



City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT
324 EAST PINE STREET
P.O. BOX 5004
TARPON SPRINGS, FLORIDA 34688-5004
(727) 942-5611
FAX (727) 943-465

PLANNING & ZONING BOARD AGENDA

FEBRUARY 22, 2021

**324 EAST PINE STREET, CITY HALL AUDITORIUM, 7:00 P.M.
VIRTUAL PARTICIPATION IN THIS MEETING IS AVAILABLE**

- 1. CALL TO ORDER/ROLL CALL**
- 2. APPROVAL OF MINUTES**
 - a. January 25, 2021**
- 3. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**
- 4. APPLICATION #21-1: Conditional Use approval for operation of a tourist home at 38 West Center Street in the Residential Multi-Family zoning district.**
- 5. APPLICATION #21-5: Conditional Use approval for construction of a single family residence on property located on the north side of Cedar Street between North Pinellas Avenue and North Safford Avenue.**
- 6. APPLICATION #21-11: Site Plan approval for a retail building at 1372 North Pinellas Avenue in the Highway Business (HB) zoning district.**
- 7. STAFF COMMENTS**
- 8. BOARD COMMENTS**
- 9. ADJOURNMENT**

If a person decides to appeal any recommendation made by the Planning & Zoning Board with respect to any matter considered at these meetings or hearings, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. You are invited to attend the meeting to express your views or to present facts in regard to the case. Written comments may be addressed to the Planning & Zoning Department, P.O. Box 5004, Tarpon Springs, Florida 34688-5004, and will become part of the record. All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611. Said hearing may be continued from time to time pending adjournment. Any person with a disability requiring reasonable accommodation in order to participate in these meetings should call (727) 942-5611 or FAX a written request to (727) 943-4651.

MINUTES
PLANNING & ZONING BOARD
CITY OF TARPON SPRINGS, FLORIDA
JANUARY 25, 2021

THE PLANNING & ZONING BOARD OF THE CITY OF TARPON SPRINGS, FLORIDA MET VIA ZOOM VIRTUAL MEETING, ON MONDAY, JANUARY 25, 2021, AT 7:00 P.M. WITH THE FOLLOWING PRESENT:

N. Mike Kouskoutis	Vice-Chairperson
Jim Stavropoulos	Member
Justin Vessey	Member
Richard Morgan	Member

ABSENT/EXCUSED:

Merlin Seamon	Chairperson
Melissa Vigil	Member
John Koulianos	Member
George Andriotis	Alternate

ALSO PRESENT:

Patricia McNeese, AICP	Principal Planner
Erica Augello	Board Attorney
Kim Yothers	Recording Secretary

1. CALL TO ORDER/ROLL CALL

Vice-Chairperson Kouskoutis called the meeting to order at 7:00 pm.

Recording Secretary Yothers called the roll.

2. APPROVAL OF MINUTES

December 14, 2020

MOTION: Mr. Stavropoulos

SECOND: Mr. Morgan

To approve Minutes of December 14, 2020.

Vote on Motion: Upon a roll call vote, the motion carried as follows:

Mr. Morgan	Yes
Mr. Vessey	Yes
Mr. Stavropoulos	Yes
Mr. Kouskoutis	Yes

3. ORGANIZATIONAL MEETING; ELECTION OF CHAIRPERSON AND VICE-CHAIRPERSON (TAKEN AFTER LAST APPLICATION)

a. CHAIRPERSON

Mrs. Augello announced that she would run the election section of the meeting.

MOTION: Mr. Kouskoutis

SECOND: Mr. Vessey

To elect Mr. Seamon as Chairperson

Vote on Motion: Upon a viva voce vote, the motion carried:

b. VICE CHAIRPERSON

MOTION: Mr. Vessey

SECOND: Mr. Morgan

To Elect Mr. Kouskoutis as Vice Chairperson

Vote on Motion: Upon a viva voce vote, the motion carried:

4. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS

Mrs. Augello made the quasi-judicial announcement and swore in all who planned to testify.

5. APPLICATION #20-153: Conditional Use approval for construction of a single-family residence on property located on the west side of North Safford Avenue between East Center Street and East Orange Street in the T4a district of the Special Area Plan.

Staff:

Mrs. McNeese gave background information and noted that Staff recommended **approval** of Resolution 2021-05 with the following condition:

1. The conditional use will expire within one year of approval, if a building permit is not issued for the property.

Board:

Mr. Stavropoulos asked if there were any plans for the home and wanted to know the setbacks.

Mrs. McNeese noted that the side setbacks were five feet, the rear setback was five or ten feet, and the front setback was zero to ten feet.

(Continued)

5. APPLICATION #20-153: (CONTINUED)

Applicant:

Mr. Kouskoutis asked whether the applicant purchased the lot from the owner of the lot to the north and whether it was a lot of record.

Mr. Maconi noted that he purchased the lot from the owner of the lot to the north and the lot he purchased was a lot of record.

Mr. Vessey asked if there would be a side setback variance requested.

Mr. Maconi noted that he would not request a variance.

Mr. Stavropoulos asked if the proposed home would be a two-story home.

Mr. Maconi indicated that it would be a two-story home.

MOTION: Mr. Vessey

SECOND: Mr. Stavropoulos

To approve application 20-153 as written.

Vote on Motion: Upon a roll call vote, the motion carried as follows:

Mr. Morgan	Yes
Mr. Vessey	Yes
Mr. Stavropoulos	Yes
Mr. Kouskoutis	Yes

6. APPLICATION #20-10:

- a. Land Development Code Amendment: Ordinance 2020-40:
 - i. Amending Article IX by adding Section 127.06 establishing parking lot traffic control signage and lighting standards.
 - ii. Amending Article X by, Sections 163.10 and 163.11 establishing standards for subdivision street signs and streetlights.

- b. Land Development Code Amendment: Ordinance 2020-39: Amending Article XI Sign Regulations, providing for graphic illustration of sign types, establishing incentives for creative signs, increasing sign setbacks, allowing certain roof signs, discourage pole signs, and establishing a landmark sign designation process.

(Continued)

6. APPLICATION #20-10: (CONTINUED)

Staff:

Mrs. McNeese gave background information and noted that Staff recommended approval of Ordinances 2020-40.

Mr. Kouskoutis asked about parking lots that were lit by Duke Energy.

Mrs. McNeese noted that there was a recent subdivision that Duke Energy was lighting, and they were able to provide lighting that fit within the criteria of the code.

Mr. Kouskoutis indicated that the photographs were misleading, and he was concerned that the subjectivity of the ordinance was concerning.

Mrs. McNeese indicated that the Planning and Zoning Board was able to recommend a change to the Ordinance so that the Board of Commissioners could adapt as they recommended if they agreed with the changes.

Mrs. Augello suggested the wording for the change in the ordinance and it was formed in the motion below.

MOTION: Mr. Vessey
SECOND: Mr. Morgan

To approve Ordinance 2020-40 with a change to be like the figures in the ordinance or otherwise meeting the design standards, or something to that affect.

Vote on Motion: Upon a roll call vote, the motion carried as follows:

Mr. Morgan	Yes
Mr. Vessey	Yes
Mr. Stavropoulos	Yes
Mr. Kouskoutis	Yes

(Continued)

6. APPLICATION #20-10: (CONTINUED)

Mrs. McNeese gave background information and noted that Staff recommended approval of Ordinances 2020-39.

Board:

Mr. Vessey asked if there would be a full-time sign enforcement person so that there was an even-handed enforcement effort.

Mr. McNeese indicated that she would note the Board's concern and would bring this concern to the Board of Commissioner's attention.

MOTION: Mr. Vessey

SECOND: Mr. Morgan

To approve Ordinance 2020-39.

Vote on Motion: Upon a roll call vote, the motion carried as follows:

Mr. Morgan	Yes
Mr. Vessey	Yes
Mr. Stavropoulos	Yes
Mr. Kouskoutis	Yes

7. STAFF COMMENTS

Mrs. McNeese noted that she would send the Board the 2021 schedule for the City Boards and Committees.

8. BOARD COMMENTS

There were no Board Comments.

9. ADJOURNMENT

Mr. Seamon adjourned the meeting at 7:53 pm.

Merlin Seamon, Chairman

MITCHELL PERGER – CONDITIONAL USE #21-1

Planning and Zoning Board – February 22, 2021
Board of Commissioners – February 23, 2021



LOCATION & CONTEXT



SUMMARY OF REQUEST

- **#21-1** – Conditional Use
 - Property Size: 7,000 square feet
 - Current Land Use: Residential Medium (RM)
 - Current Zoning: Residential Multifamily (RM)

- **Applicant:** Mitchell Perger

REVIEW CRITERIA – CONDITIONAL USE

- 1) Conformance with the Land Development Code. ***The property complies with the standard of the land development code with the exception of the western side yard setback which is less than the required 7.5 feet.***
- 2) The proposed use is appropriate to the property in question and compatible with the area. ***The proposed use is appropriate for the property and compatible with the uses in the surrounding developed area characterized by multi-family and commercial uses in close proximity to the downtown area. The property is near an existing approved short-term rental located within the SAP but meets the distance requirements to the nearest approved tourist home in the RM district.***

NEARBY TOURIST HOMES/SHORT-TERM RENTALS



REVIEW CRITERIA – CONDITIONAL USE

- 3) The use is consistent with the Comprehensive Plan. ***The use is consistent with the City's Comprehensive Plan.***
- 4) The use will not adversely impact historical or environmental resources. ***The property is a contributing structure within the City's historic district but will not be physically altered. The use of a tourist home is an appropriate adaptive use of the contributing structure. The property is not located within an environmentally sensitive area.***
- 5) The use will not adversely affect adjoining property values. ***The proposed use is consistent with the surrounding development, including adjacent single family and multi-family uses, and, nearby commercial and office uses. It is not expected to adversely affect property values in the area.***
- 6) The use will not adversely impact nor exceed the City's capacity to serve with public facilities. ***The proposed use is located in an area that is already served with public facilities and this project will not negatively affect the City's ability to provide those services.***
- 7) The use shall provide for efficient and orderly development. ***The proposed project makes appropriate use of an existing single family structure in close proximity to the City's downtown area and it is already served by public facilities and infrastructure, thereby providing for orderly and efficient development.***



PRELIMINARY STAFF RECOMMENDATION

#21-1 – *Approval* of Resolution 2021-10 granting conditional use approval for operation of a tourist home in the RM zoning district subject to the following:

1. The property shall remain a single family residence rented as a single living unit.
2. The building shall be maintained with the following:
 - a. One smoke detector in each sleeping area,
 - b. One smoke detector in the common hall between sleeping areas,
 - c. Smoke detectors shall be of the 10-year lithium battery style, and,
 - d. A fire extinguisher shall be provided and shall have annual inspections.
3. If the residence has any fossil fuel (propane, natural gas, or oil) equipment used for any purpose including heat or cooking, there shall be a carbon monoxide detector installed.
4. The applicant shall obtain and maintain a City of Tarpon Springs business tax receipt for the use. If the business tax receipt lapses for a period of more than six (6) months, a new review of the conditional use will be required.

Public Notice Provided – No responses received.





CITY OF TARPON SPRINGS
PLANNING & ZONING BOARD / BOARD OF COMMISSIONERS
FEBRUARY 22, 2021 / FEBRUARY 23, 2021

STAFF REPORT, February 12, 2021

Application No. / Project Title: 21-1 / Mitchell Perger

Staff: Patricia L. McNeese, AICP
Principal Planner

Applicant / Owner: Mitchell Perger / Simon Castillo and Clifford Castillo Jackson

Property Size: 7,000 square feet

Current Zoning: Residential Multi-Family (RM)
Current Land Use: Residential Medium (RM)

Location / Parcel ID: 38 West Center Street / 12-27-15-89802-000-0090

BACKGROUND SUMMARY:

The applicant is seeking conditional use approval to operate an existing single family residence located at 38 West Center Street as a tourist home. The Land Development Code (LDC) Section 241.00(A) (213) defines a tourist home as follows:

“A single family detached dwelling where the primary use is to provide temporary lodging accommodations for compensation to transient residents, especially motor tourists or travelers. A ‘transient resident; shall mean a visitor to the community who does not use the dwelling as a principal residence, who is neither gainfully employed in the community nor a student currently enrolled in a school located in the community or who resides in the dwelling for 6 weeks or less. The term ‘tourist home’ shall not include a hotel/motel, lodging facilities, or boarding homes. Tourist homes shall not be located within 1,200 feet of a pre-existing tourist home. The locational standard shall be measured from the nearest property line of the existing home to the nearest property line of the proposed home.”

The subject property was built in 1919 according to the Pinellas County Property Appraiser. The property conforms to the current required dimensional criteria for the Residential Multi-Family (RM) district with the exception of the western side setback which appears to be approximately 4.3 feet (7.5 feet is required for the RM district). The applicant has demonstrated that the required access and parking are in place. The survey shows a



concrete and brick driveway at the front of the property leading to a gravel parking area adjacent to the east side of the residence. The restriction on multiple tourist homes in close proximity (1,200-foot separation distance) will prevent another tourist home from becoming established nearby in the Euclidean zoning districts should this conditional use approval be granted. This property is approximately 1,845 linear feet from the nearest approved tourist home in Euclidean zoning at 109 South Spring Boulevard. The subject property does have closer proximity to an approved single family residential short-term/seasonal rental at 18 West Orange Street, at approximately 225 feet away. However, that property is within the City's Special Area Plan (SAP) district which does not place distance requirements on short term rentals.

PRELIMINARY STAFF RECOMMENDATION:

Staff is recommending **approval** of Resolution 2021-10 with the following conditions:

1. The property shall remain a single family residence rented as a single living unit.
2. The building shall be maintained with the following:
 - a. One smoke detector in each sleeping area,
 - b. One smoke detector in the common hall between sleeping areas,
 - c. Smoke detectors shall be of the 10-year lithium battery style, and,
 - d. A fire extinguisher shall be provided and shall have annual inspections.
3. If the residence has any fossil fuel (propane, natural gas, or oil) equipment used for any purpose including heat or cooking, there shall be a carbon monoxide detector installed.
4. The applicant shall obtain and maintain a City of Tarpon Springs business tax receipt for the use. If the business tax receipt lapses for a period of more than six (6) months, a new review of the conditional use will be required.

PLANNING AND ZONING BOARD RECOMMENDATION:

CURRENT PROPERTY INFORMATION:

Use of Property:	Single family detached residential subdivision
Site Features:	Single family detached residences, accessory uses, subdivision improvements
Vehicle Access:	The property is access via Center Street



SURROUNDING ZONING & LAND USE:

	Zoning (Existing Use):	Land Use:
North:	Residential Multifamily (single family residence), more than one residence)	Residential Medium
South:	Residential Office (office building)	Residential Office General
East:	Residential Multifamily (single family residence)	Residential Medium
West:	Residential Multifamily (single family residence)	Residential Medium

PLANNING CONSIDERATIONS:

When considering this application, the following general site conditions, planning concepts, and other facts should be noted:

1. The proposed tourist home has a legal nonconforming setback on the west side of less than the required 7.5 feet. Required parking is provided.
2. The proposed tourist home is located within close proximity to an existing approved tourist home that is in the Downtown Character district of the Special Area Plan (SAP). That character district allows short term/seasonal rentals with no distance requirements due to the mix of existing and allowable uses within the SAP.

REVIEW STANDARDS / STAFF ANALYSIS – CONDITIONAL USE

Pursuant to Section 209.01, Standards for Review of Conditional Uses, of the Tarpon Springs Land Development Code (LDC), no conditional use shall be recommended for approval or receive a final action of approval unless a positive finding, based upon substantial competent evidence either presented at a public hearing held by the Board or reviewed personally by the Board members, is made on each of the following standards:

1. Conformance with the requirements of the Land Development Code.

Analysis: The residence is existing and includes sufficient area to accommodate access and parking. The residence is in compliance with the zoning district dimensional standards with the exception of the western side yard setback which, at less than the required 7.5 feet, is a legal nonconforming condition.



2. The use to which the property may be put is appropriate to the property in question and is compatible with existing and planned uses in the area.

Analysis: The property is in the Residential Multifamily (RM) zoning district. The surrounding area is characterized by single family and multi-family properties and in fairly close proximity to office and business uses, being close to downtown and North Pinellas Avenue. The tourist home use is allowable in very few zoning districts. Outside the City's Special Area Plan district and Sponge Docks area, it is only allowed in the Residential Multifamily or Residential Office zoning districts and then, only as a conditional use. Since a tourist home is only allowable as a single family dwelling unit, it is implied that the mix of housing types and higher density/activity level in the RM district provide an appropriate context for this type of use. The use is determined to be appropriate to this property and compatible with the existing and planned uses in this general area. It is noted that the Special Area Plan (SAP) district is located in close proximity to the subject property. Short-term/ seasonal rentals are allowable in the T5b and T5d transect districts that are closest to the subject property. The existing approved short-term/seasonal rental located at 18 West Orange Street was established as a conditional use in the context of the use being appropriate for the are with no minimum distances required for additional short-term rental uses. Therefore, it is concluded that establishment of a tourist home on the subject property at 38 West Center Street will not have a significant negative impact the general neighborhood character with multiple short-term rentals. This is due to the fact that the Orange Street rental is located within the SAP Downtown Character District within a predominantly commercial area, is accessed from Orange Street, and is buffered from Center Street by additional residential properties.

3. The conditional use is consistent with the goals, objectives and policies of all Elements of the City Comprehensive Plan.

Analysis: The conditional use is consistent with the goals, objectives, and policies of all elements of the City's Comprehensive Plan.

4. The conditional use will not result in significant adverse impacts to the environment or historical resources.

Analysis: The property is a contributing resource in the City's Historic District. The tourist home use changes the use from occupation by permanent residents to occupation by transient residents. There is no development activity associated with this application and therefore it will not negatively impact the City's Historic District. The tourist home use is an appropriate adaptive use of this contributing structure. The use is not proposed on an environmentally sensitive site.



5. *The conditional use will not adversely affect adjoining property values.*

Analysis: The proposed tourist home is located within a general area of mixed single family and multi-family housing and in close proximity to commercial and office development. The property will continue to be subject to all applicable City Codes and Ordinances governing not only land use, but noise, nuisances, property maintenance and other similar codes. These standards will help ensure that the proposed conditional use will fit the character of the neighborhood and will not adversely affect property values.

6. *The conditional use will not adversely impact nor exceed the capacity or the fiscal ability of the City to provide available public facilities, including transportation, water and sewer, solid waste, drainage, recreation, education, fire protection, library service and other similar public facilities.*

Analysis: The single-family residence is existing and is already served by the City. The development will not require the extension of new public services to the site, and will not adversely affect the ability of the City to provide adequate public facilities. Standards for fire protection are addressed in the recommended conditions and are proposed to augment the City's efficiency in serving this use.

7. *The conditional use shall provide for efficient and orderly development considering the impact upon growth patterns and the cost to the City to provide public facilities.*

Analysis: The proposed conditional use is located within an area of higher density in close proximity to the downtown area. It will not adversely affect growth patterns or the ability of the City to provide public facilities.

TECHNICAL REVIEW COMMITTEE:

The Technical Review Committee (TRC) reviewed this project on February 1, 2021 for completeness and conformance to the Comprehensive Zoning and Land Development Code and the Comprehensive Plan. The TRC determined that the application was complete and ready for processing. There were no further comments from the TRC.

PUBLIC CORRESPONDENCE:

The property owners within 500 feet were sent written notification in accordance with Section 206.00(J)(4) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff has not received any responses to these notices.

ATTACHMENTS:

1. Location/Aerial Maps
2. Survey
3. Resolution 2021-10

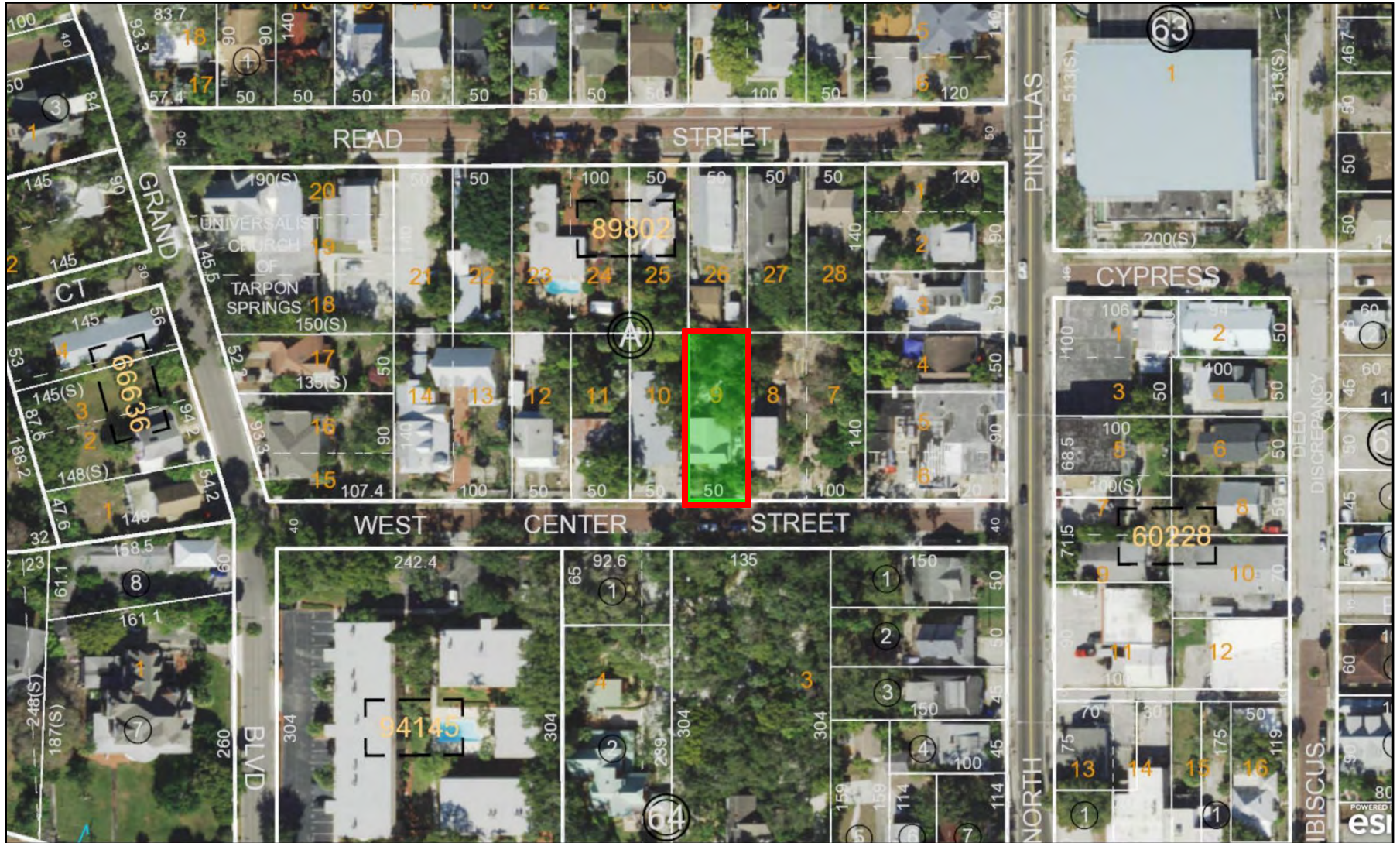


21-1 MITCHELL PERGER LOCATION MAP





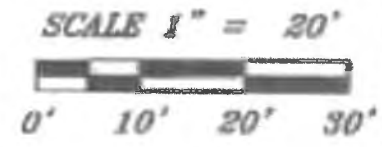
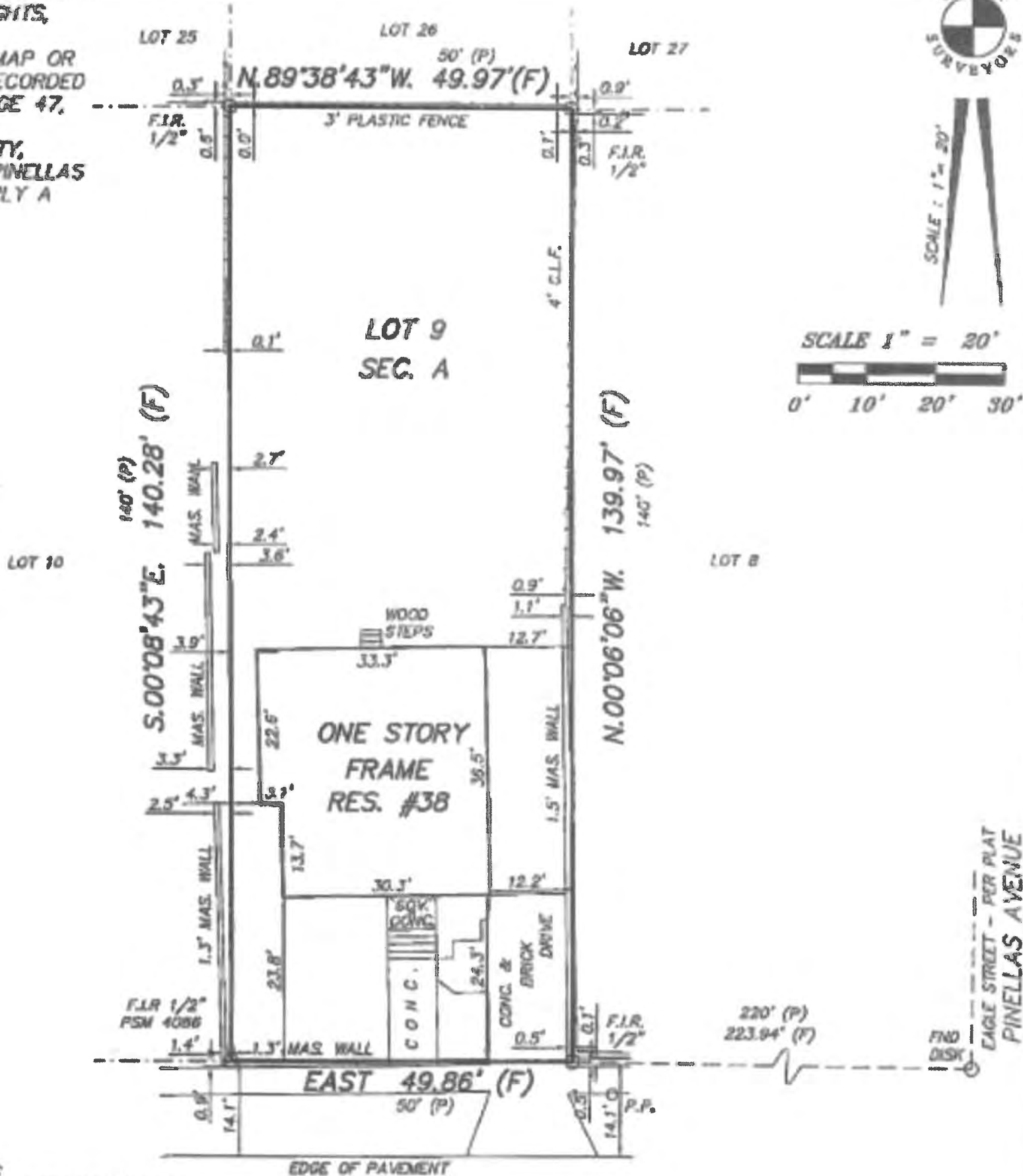
21-1 MITCHELL PERGER AERIAL MAP



BOUNDARY SURVEY

SECTION 12, TOWNSHIP 27 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

LEGAL DESCRIPTION:
LOT 9, SECTION A, READ and
KELLY'S TARPON HEIGHTS,
SECTIONS A AND B,
ACCORDING TO THE MAP OR
PLAT THEREOF AS RECORDED
IN PLAT BOOK 4, PAGE 47,
PUBLIC RECORDS OF
HILLSBOROUGH COUNTY,
FLORIDA, OF WHICH PINELLAS
COUNTY WAS FORMERLY A
PART.



CERTIFIED TO:
MWD & ASSOCIATES, LLC
KAM JOINT VENTURES LLC
GULFSIDE TITLE SERVICES, LLC
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

W. CENTER STREET

20.1' BRICK 50' R/W
LEVIS PLACE - PER PLAT

BEARINGS ARE BASED ON THE NORTH R/W LINE OF W. CENTER STREET AS, "EAST", ASSUMED.

Legend

PC	:Point of Curvature	(P)	:Plat
PT	:Point of Tangency	(D)	:Deed
PCC	:Point of Reverse Curvature	(D&D)	:Description
POC	:Point of Compound Curvature	(C)	:Calculation
PI	:Point of Intersection	(F)	:Field Measured
SW	:Set Capped Iron Rod 1/2" #1082	SEC.	:Section
FR	:Found Iron Rod	TWP.	:Township
FRP	:Found Iron Pipe	RGE	:Range
FCM	:Found Concrete Monument	C/A	:Certificate
S.C.M.	:Set Concrete Monument	A/D	:Air Conditioner
SET IRK	:Set P-K Nail & Disk	G/A	:Gutter
FND IRK	:Found P-K Nail & Disk	CONC.	:Concrete
FND RKS	:Found Railroad Spike	A.P.D.	:A Part Of
NOF	:No Corner Found or Set	CON.	:Covered
PRM	:Permanent Reference Monument	MAZ	:Masonry
O/W	:Overhead Wire	RES.	:Residence
C.L.F.	:Chain Link Fence	P.S.	:Plot Book
P.O.B.	:Point of Beginning	PG	:Page
P.O.C.	:Point of Commencement	TP	:Tie Pin
P-K	:Parker-Kelso	R.F.	:Road Fence
O.R.B.	:Official Records Book	EL	:Elevation
V.G.	:Colorado Valley Gutter	ASPH.	:Asphalt
TRM	:Temporary Benchmark	R.C.	:Rivets Corner
RM	:Reinforced	R/W	:Right of Way
PP	:Power/Utility Pole	EMT.	:Easement
PS	:Professional Surveyor & Mapper	S/W	:Side Walk
DB	:Unlicensed Business	C.B.	:Chord Bearing
RLS	:Registered Land Surveyor	COL	:Column
ASMA	:As Their Interests May Appear	SD	:Square
ASDA	:As Their Successors And/Or Assigns	DIA	:Diameter
R.C.P.	:Reinforced Concrete Pipe	ENCL.	:Enclosed
U.S.	:United States		

Surveyor's Notes:

1) Property shown herein appears to be located in Flood Zone "X" per F.I.R.M. No. 12103C 00190 Dated 9-3-03. The surveyor makes no guarantee as to the accuracy of the above information. Local F.E.M.A. agent should be contacted for verification.
2) No underground utilities, underground encroachments or building foundations were measured or located as part of this survey. Trees and shrubs were not located unless otherwise shown.
3) This survey was conducted without the benefit of an abstract of title, therefore there may be other easements, rights of way, setback lines, agreements, reservations, restrictions or other similar matters of public record, not shown herein.
4) Unless otherwise noted, distances shown herein refer to plat and field measurements and are measured in U.S. feet.
5) Re-use of this survey for purposes other than it was intended, without written verification, will be the re-user's sole risk and without liability to the surveyor. Nothing herein shall be construed to convey any rights or benefits to anyone other than those to whom this survey was originally certified.



DAVID L. SMITH
SURVEYING AND MAPPING, INC.

1406 W. LINDBAUGH AVE. Tampa, FL 33612
Phone (813) 935-1960 Fax (813) 933-9446

Certificate of Authorization "L.B. #6962"

SURVEYOR'S CERTIFICATE

I hereby certify that the survey represented herein meets the requirements of Florida Administrative Code pursuant to Chapter 61-17.000, 61.002, of the Florida Statutes, unless it bears the signature and the original raised seal of the Florida licensed surveyor and mapper. This drawing, sketch, plat or map is for informational purposes only and is not valid.

David L. Smith
Signature Date 1/30/17

Field Date: 01/26/17
Job Number: 1701-090

RESOLUTION NO. 2021-10

A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #21-1 REQUESTING A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A TOURIST HOME AT 38 WEST CENTER STREET, LOCATED ON THE NORTH SIDE OF CENTER STREET BETWEEN NORTH PINELLAS AVENUE AND GRAND BOULEVARD, IN THE RESIDENTIAL MULTI-FAMILY ZONING DISTRICT; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Tarpon Springs has received an application for a Conditional Use to allow for operation of a tourist home in the Residential Multifamily (RM) zoning district; and,

WHEREAS, Section 25.05(C)(17), of the Comprehensive Zoning and Land Development Code requires conditional use approval for such uses within the RM district; and,

WHEREAS, the Planning and Zoning Board held a public hearing on this application at its meeting of February 22, 2021 and recommended approval; and,

WHEREAS, the Board of Commissioners must approve, deny or approve subject to conditions, each application for conditional use approval; and,

WHEREAS, written legal notice of this action has been provided in accordance with Article XII of the Comprehensive Zoning and Land Development Code.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA, THAT:

SECTION 1: FINDINGS

Application #21-1 meets the criteria for approving a Conditional Use as set forth in Section 209.01 of the Land Development Code.

SECTION 2: CONDITIONAL USE APPROVAL

Application #21-1 under Resolution 2021-10, requesting Conditional Use approval to allow establishment of a tourist home at 38 West Center Street (Tarpon Heights Section A, Lot 9) in the Residential Multifamily (RM) zoning district is approved with the following conditions:

1. The property shall remain a single family residence rented as a single living unit.

2. The building shall be maintained with the following:
 - a. One smoke detector in each sleeping area,
 - b. One smoke detector in the common hall between sleeping areas,
 - c. Smoke detectors shall be of the 10-year lithium battery style, and,
 - d. A fire extinguisher shall be provided and shall have annual inspections.
3. If the residence has any fossil fuel (propane, natural gas, or oil) equipment used for any purpose including heat or cooking, there shall be a carbon monoxide detector installed.
4. The applicant shall obtain and maintain a City of Tarpon Springs business tax receipt for the use. If the business tax receipt lapses for a period of more than six (6) months, a new review of the conditional use will be required.

SECTION 3: EFFECTIVE DATE

This Resolution shall be effective upon adoption.

TARPON SPRINGS BUILDING COMPANY CONDITIONAL USE #21-5

Planning and Zoning Board – February 22, 2021

Board of Commissioners – February 23, 2021



LOCATION & CONTEXT



SUMMARY OF REQUEST

- **#21-5 – Conditional Use**
 - Property Size: 5,750 square feet
 - Current Land Use: Community Redevelopment District (CRD)
 - Current Zoning: T4c (Residential High) transect of the Special Area Plan (SAP)
- **Applicant:** Tarpon Springs Building Company, LLC

REVIEW CRITERIA – CONDITIONAL USE

- 1) Conformance with the Land Development Code. ***The property complies with the standards of the land development code and is allocated one dwelling unit in accordance with the T4c transect densities. It will be required to be built to the standards of the T4c transect district.***
- 2) The proposed use is appropriate to the property in question and compatible with the area. ***The proposed use is appropriate for the property and compatible with the uses in the surrounding developed area characterized by single family residential development on the adjacent lots, City drainage facilities to the east and commercial development along North Pinellas Avenue to the west.***



REVIEW CRITERIA – CONDITIONAL USE

- 3) The use is consistent with the Comprehensive Plan. ***The use is consistent with the City's Comprehensive Plan.***
- 4) The use will not adversely impact historical or environmental resources. ***The property is not located within the City's historic district and is not located within an environmentally sensitive area.***
- 5) The use will not adversely affect adjoining property values. ***The proposed use is consistent with the surrounding development, including adjacent single family uses. It is not expected to adversely affect property values in the area.***
- 6) The use will not adversely impact nor exceed the City's capacity to serve with public facilities. ***The proposed use is located in an area that is already served with public facilities and this project will not negatively affect the City's ability to provide those services.***
- 7) The use shall provide for efficient and orderly development. ***The proposed project makes appropriate use of an existing vacant infill lot in a single family neighborhood and it is already served by public facilities and infrastructure, thereby providing for orderly and efficient development.***



PRELIMINARY STAFF RECOMMENDATION

#21-5 – Approval of Resolution 2021-09 granting conditional use approval for construction of a single family detached dwelling in the T4c transect district subject to the following:

1. The conditional use will expire within on year of approval if a building permit is not issued for the property.

Public Notice Provided – No responses received.



CITY OF TARPON SPRINGS
PLANNING & ZONING BOARD / BOARD OF COMMISSIONERS
FEBRUARY 22, 2021 / FEBRUARY 23, 2021

STAFF REPORT, February 12, 2021

Application No. / Project Title: 21-5 / Tarpon Springs Building Company
Staff: Patricia L. McNeese, AICP
Principal Planner
Applicant / Owner: Tarpon Springs Building Company, LLC
Property Size: 5,750 square feet
Current Zoning: T4c (Residential High) transect of Special Area Plan (SAP)
Current Land Use: Commercial Redevelopment District (CRD)
Location / Parcel ID: North side of Cedar Street between North Pinellas Avenue and North Safford Avenue / 12-27-15-75852-000-0480

BACKGROUND SUMMARY:

The applicant is seeking conditional use approval to construct a single family residence on a vacant lot located on the north side of Cedar Street between North Pinellas Avenue and North Safford Avenue. The subject property is zoned T4c (Residential High) and is located in the Uptown Character District. Pursuant to Table 4F of the Transect-Based Infill Code for the Sponge Docks and Community Redevelopment Area (Smartcode) the proposed land use is subject to conditional use review. To ensure compliance with the desired character of the T4c district, the proposed residence will be subject to the design standards of the district including standards for building placement, frontage type, height, building form, parking location, lot coverage, setbacks and landscaping.

PRELIMINARY STAFF RECOMMENDATION:

Staff recommends approval of Resolution 2021-09 with the following condition:

1. The conditional use will expire within one year of approval if a building permit is not issued for the property.

PLANNING AND ZONING BOARD RECOMMENDATION:

CURRENT PROPERTY INFORMATION:

Use of Property:	Vacant
Site Features:	The lot is vacant, cleared and fenced.
Vehicle Access:	The property is accessed from Cedar Street.



SURROUNDING ZONING & LAND USE:

	Zoning (existing use):	Land Use:
North:	T4c (vacant)	Community Redevelopment District
South:	T4c (single family residence)	Community Redevelopment District
East:	T4c (single family residence)	Community Redevelopment District
West:	T4c (single family residence)	Community Redevelopment District

PLANNING CONSIDERATIONS:

When considering this application, the following general site conditions, planning concepts, and other facts should be noted:

1. The property is vacant. It has an existing entrance walkway and previously had a mailbox at the front of the lot (shown on Google Street View, 2007), so it may have been previously developed.
2. The lot is in a high-density area of the City’s Special Area Plan but due to its size is allocated one unit. It is situated between two existing single family residences and is appropriate for development as an infill lot for a detached single family residence.

REVIEW STANDARDS / STAFF ANALYSIS – CONDITIONAL USE

Pursuant to Section 209.01, Standards for Review of Conditional Uses, of the Tarpon Springs Land Development Code (LDC), no conditional use shall be recommended for approval or receive a final action of approval unless a positive finding, based upon substantial competent evidence either presented at a public hearing held by the Board or reviewed personally by the Board members, is made on each of the following standards:

1. Conformance with the requirements of the Land Development Code.

Analysis: The proposed use is subject to conditional use review in the T4c district. The applicant will be required to comply with the design requirements of the Smartcode and with all other applicable requirements of the Land Development Code.

2. The use to which the property may be put is appropriate to the property in question and is compatible with existing and planned uses in the area.

Analysis: The proposed use will be located adjacent to other like uses and will be built consistent with the performance standards of the T4c district. It is noted this block and street where the subject lot is located is characterized by single family detached residential development. As one travels east on Cedar Street, the properties to the north and south up to Live Oak are owner by the City of Tarpon Springs and accommodate stormwater facilities. Immediately to the west of this neighborhood is the commercial development facing North Pinellas Avenue.



3. *The conditional use is consistent with the goals, objectives and policies of all Elements of the City Comprehensive Plan.*

Analysis: The conditional use is consistent with the goals, objectives, and policies of all elements of the City Comprehensive Plan.

4. *The conditional use will not result in significant adverse impacts to the environment or historical resources.*

Analysis: The use is not located within the City's Historic District or on an environmentally sensitive site.

5. *The conditional use will not adversely affect adjoining property values.*

Analysis: The proposed single-family residence is located adjacent to other like uses in this block and will be built in accordance with the standards of the T4c district. These standards will help ensure that the proposed conditional use will fit in with the character of the neighborhood and will not adversely affect property values.

6. *The conditional use will not adversely impact nor exceed the capacity or the fiscal ability of the City to provide available public facilities, including transportation, water and sewer, solid waste, drainage, recreation, education, fire protection, library service and other similar public facilities.*

Analysis: The single-family residence is proposed to be built on a vacant residential lot located within the Community Redevelopment Area. The development will not require the extension of public services to the site and will not adversely affect the ability of the City to provide adequate public facilities.

7. *The conditional use shall provide for efficient and orderly development considering the impact upon growth patterns and the cost to the City to provide public facilities.*

Analysis: The proposed conditional use is located on a vacant lot that is within the Community Redevelopment Area. Based on the location and the very limited scale of the proposed project, the conditional use will promote efficient and orderly development within the City and will not adversely affect growth patterns and the ability of the City to provide public facilities.

TECHNICAL REVIEW COMMITTEE:

The Technical Review Committee (TRC) reviewed this project on February 1, 2021 for completeness and conformance to the Comprehensive Zoning and Land Development Code and the Comprehensive Plan. The TRC determined that the application was complete and ready for processing. There were no further comments from the TRC.

PUBLIC CORRESPONDENCE:

The property owners within 500 feet were sent written notification in accordance with Section 206.00(J)(4) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code and Chapter 166.041, Florida Statutes. Notice was advertised in the *Tampa Bay Times*. Staff has not received any responses to these notices.



ATTACHMENTS:

1. Location/Aerial Maps
2. Survey
3. Resolution 2021-09

BOUNDARY SURVEY

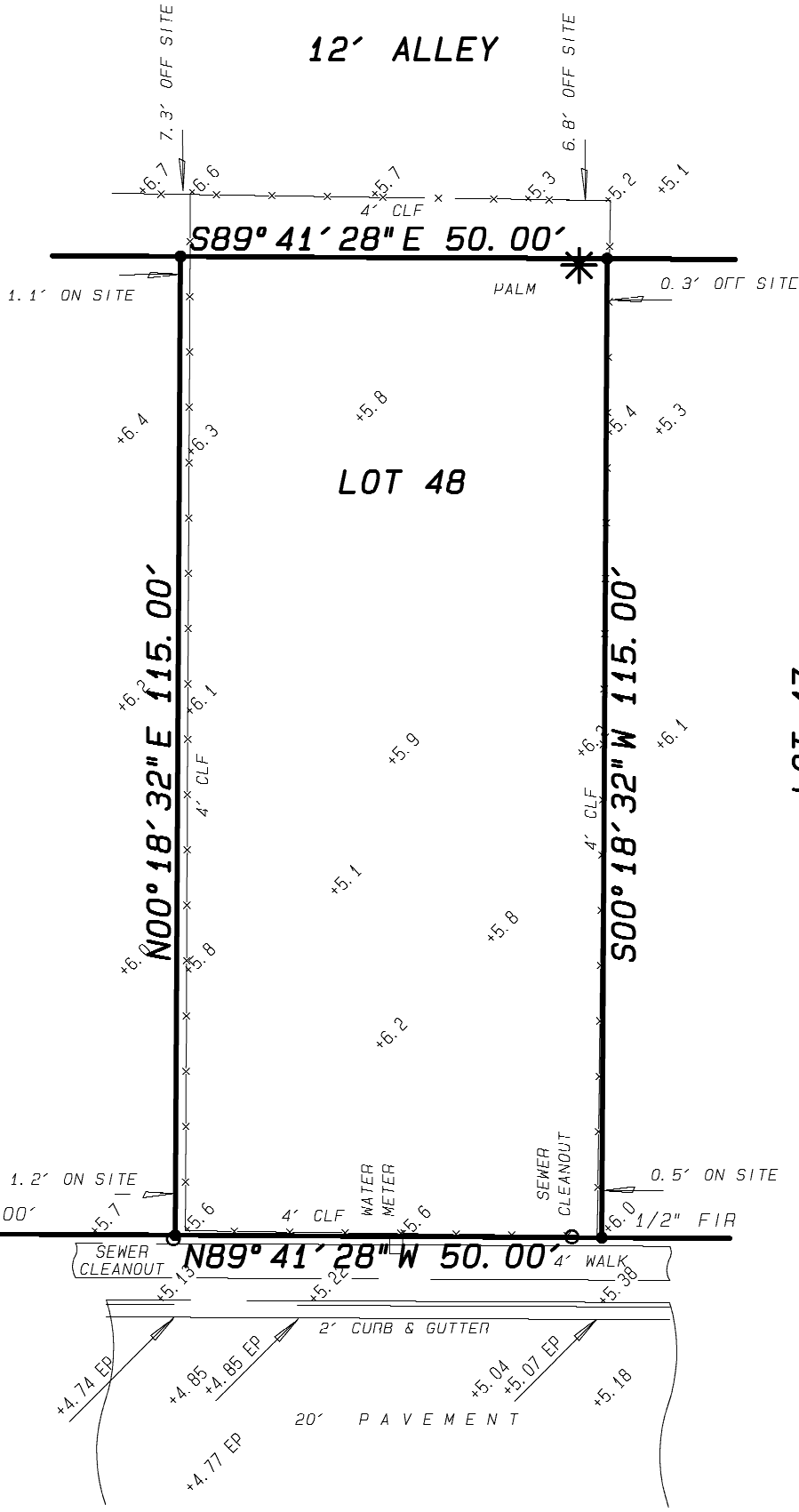
NORTH PINELLAS AVENUE
(40' RIGHT-OF-WAY)

CERTIFIED TO:
TARPOON SPRINGS BUILDING COMPANY, LLC
PETE MASTROVASILIS



GRAPHIC SCALE - FEET

LOT 49



EAST CEDAR STREET
(KONSTANTINE STREET PER PLAT)
(40' RIGHT-OF-WAY)

SURVEYOR'S REPORT/NOTES:

- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE POLICY. THERE MAY BE SETBACKS, EASEMENTS, RESTRICTIONS, AND/OR OTHER MATTERS OF RECORD WHICH COULD AFFECT THE PROPERTY AND/OR BOUNDARIES.
- THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY B/M OF EAST CEDAR STREET BEARING N89° 41' 28" W.
- ELEVATIONS SHOWN HEREON ARE BASED ON N.A.S.D. GBS.
- BENCHMARK: GBS DETERMINED.
- CALCULATED INFORMATION IS BASED ON (A) CONCEPTUAL RECREATION OF PLAT INTENT; (B) INFORMATION REQUIRED TO SET RECORD CORNERS, &/OR (C) COMPILED DATA FROM SURROUNDING PLATS, DEEDS, AND CERTIFIED CORNER DOCUMENTS.
- ALL PROPERTY DIMENSIONS ARE RECORD UNLESS NOTED OTHERWISE.
- DIMENSIONS ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.
- PHYSICAL ADDRESS: LOT 48, EAST CEDAR STREET, TARPON SPRINGS, FLORIDA, 34689.
- THIS DRAWING DOCUMENTS THE BOUNDARIES AND IMPROVEMENTS AS THEY EXISTED 12-18-2019. THE SURVEYOR MAKES NO WARRANTY, WRITTEN OR OTHERWISE, AS TO THE ACCURACY AND/OR DISPOSITION OF THE BOUNDARIES BEYOND THAT DATE.
- THE SURVEYOR ACCEPTS NO LIABILITY FOR CONSTRUCT OR, ADDITIONS, AND/OR IMPROVEMENTS HEREAFTER ERECTED.
- ELEVATIONS ARE SHOWN THIS: +0.00
- UNDERGROUND FEATURES SUCH AS UTILITIES, FOOTERS AND STEMWALLS ARE NOT LOCATED.

LEGEND:

- ⊕ = CENTERLINE
- ∠ = CENTRAL ANGLE
- A = ARC LENGTH
- A/C = AIR CONDITIONER
- (C) = CALCULATED
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CH = CHORD
- CH = CHAIN LINK FENCE
- CLF = CONCRETE
- CONC = CONCRETE
- CR/CH = CHORD BEARING/CHORD
- ELEV. = ELEVATION
- FOUND CONCRETE MONUMENT
- FOUND DRILL HOLE
- FOUND CAPPED IRON ROD
- FOUND IRON ROD
- FOUND NAIL & TIN
- FOUND OPEN END PIPE
- FOUND PINCHED PIPE
- FPP = FURMEST LIVING FLOOR
- L.L.F. = LATEST LIVING FLOOR
- (M) = MEASURED
- N/A = NOT APPLICABLE
- D.R.B. = OFFICIAL RECORDS BOOK
- (P) = PLAT
- P.B. = PLAT BOOK
- P.G. = PAGE
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- R = RADIUS
- (R) = RECORD
- SDH = SET DRILL HOLE
- SNT = SET NAIL & TIN
- SCR = SET 1/2" CAPPED IRON ROD #5545
- U.E. = UTILITY EASEMENT
- *— = FENCE LINE

CERTIFICATION:

I HEREBY CERTIFY THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY DIRECT SUPERVISION AND THAT THE SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPERS IN CHAPTER 5-17 F.A.C. PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THE SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION OF SAID PROPERTY TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE POLICY.

SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

No. 5545
Mohammad B. Far

MOHAMMAD B. FAR, P.L.S. #5545

DATE

12/18/2019

NOT VALID UNLESS SIGNED, DATED, AND STAMPED WITH AN ELECTRONIC SEAL.

MOHAMMAD B. FAR
8131 Meadowview Place, New Port Richey, Florida, 34655
Phone: (727) 375-1740 Fax: (727) 375-1741

FLOOD INSURANCE RATE MAP INFORMATION:

COMMUNITY PANEL NUMBER: 12103C-0019-6 DATED: 09/03/2003
THE PROPERTY APPEARS TO BE IN FLOOD ZONE "AE"
THE BASE 100 YEAR FLOOD ELEVATION IS 9.0 MEAN SEA LEVEL.

LEGAL DESCRIPTION: (SECTION 12, TOWNSHIP 27 SOUTH, RANGE 15 EAST)
LOT 48, RIVERVIEW, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 17, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE POLICY. THERE MAY BE SETBACKS, EASEMENTS, RESTRICTIONS, AND/OR OTHER MATTERS OF RECORD WHICH COULD AFFECT THE PROPERTY AND/OR BOUNDARIES.

DRANN BY: WGM	CREW CHIEF: MBF
CHECKED BY: MBF	F. B. FILE
SCALE: 1" = 20'	FIELD WORK: 12/18/19
JOB NO. 191222H	DATA FILE: 191222

REVISIONS	
1:	
2:	
3:	
4:	

RESOLUTION NO. 2021-09

A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #21-5 REQUESTING A CONDITIONAL USE PERMIT TO ALLOW CONSTRUCTION OF ONE SINGLE FAMILY RESIDENCE ON LOT 8 OF RIVERVIEW SUBDIVISION LOCATED ON THE NORTH SIDE OF CEDAR STREET BETWEEN NORTH PINELLAS AVENUE AND NORTH SAFFORD AVENUE, IN THE T4C DISTRICT OF THE SPECIAL AREA PLAN; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Tarpon Springs has received an application for a Conditional Use to allow construction of a single family residence on property described as Lot 48 of Riverview Subdivision, located on the north side of Cedar Street between North Pinellas Avenue and North Safford Avenue; and,

WHEREAS, Table 4F of the Appendix B (Transect-Based Infill Code for the Sponge Docks and Community Redevelopment Area) of the Code of Ordinances requires conditional use approval for such uses; and,

WHEREAS, the Planning and Zoning Board held a public hearing on this application at its meeting of February 22, 2021 and recommended approval; and,

WHEREAS, the Board of Commissioners must approve, deny or approve subject to conditions each application for conditional use approval; and,

WHEREAS, written legal notice of this action has been provided in accordance with Article XII of the Comprehensive Zoning and Land Development Code.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA, THAT:

SECTION 1: FINDINGS

Application #21-5 meets the criteria for approval of a Conditional Use as set forth in the Community Redevelopment District and the Transect-Based Infill Code for the Sponge Docks and Community Redevelopment Area.

SECTION 2: APPROVAL

Application #21-5, requesting a Conditional Use Permit to allow construction of one single family residence in the T4c district of the Special Area Plan, is approved with the following condition:

1. The conditional use will expire within one year of approval if a building permit is not issued for the property.

SECTION 3: EFFECTIVE DATE

This Resolution shall be effective upon adoption.

RED BANK INVESTMENTS, LLC APPLICATION #21-11

Planning and Zoning Board – February 22, 2021



LOCATION & CONTEXT



REQUEST

- **21-11 – Site Plan Review – Red Bank Investments, LLC**
 - 12,750 square foot building on 2.01 acres
 - Specialty retail use
 - Wetland preservation and on-site mitigation
- **Applicant:** Nicholas Mavromatis
- **Owner:** Red Bank Investments, LLC

PRELIMINARY STAFF RECOMMENDATION

Resolution 2021-11

- **APPROVAL** of site plan subject to recommended conditions addressing:
- Compliance with the minimum criteria of the land development code, and providing construction plans consistent with the approved site plans,
- Written confirmation of proposed roadway connections and traffic controls from the applicable agencies,
- Provision of appropriate driveway grades for fire equipment access, and,
- Provision of traffic control signage matching the City's specifications





CITY OF TARPON SPRINGS
PLANNING & ZONING BOARD / BOARD OF COMMISSIONERS
[FEBRUARY 22, 2021 / MARCH 9, 2021]

STAFF REPORT – FEBRUARY 12, 2021

Application No. / Project Title: #21-11 (Red Bank Investments, LLC)
Staff: Patricia McNeese, Principal Planner
Applicant / Owner: Nicholas Mavromatis / Red Bank Investments, LLC
Property Size: 2.01 acres
Current Zoning: Highway Business (HB)
Current Land Use: Commercial General (CG)
Location / Parcel ID: 1372 North Pinellas Avenue / 01-27-15-89136-000-0452

BACKGROUND SUMMARY:

The applicant, representing Redbank Investments, LLC, wishes to construct a commercial building for retail specialty use. Specialty retail is generally described as small strip shopping centers that contain a variety of retail shops. The proposed project includes a one-story building of 12,750 square feet in floor area and parking that serves the building. The project also includes wetlands preservation and mitigation area on site. This project was approved under Resolution 2019-40 on December 3, 2019. The project was never initiated and the Site Plan approval has lapsed. The applicant is requesting a new approval. There is no change to the project. Since the project was approved, the Florida Department of Transportation District 7 completed improvements to this area of North Pinellas Avenue which include sidewalks on both sides of the road, and along the front of this parcel, and, a crosswalk to the south of this parcel.

PRELIMINARY STAFF RECOMMENDATION:

Staff finds the application for site plan approval consistent with the applicable review criteria and recommends **APPROVAL**, subject to the following:

1. The developer is responsible for meeting the minimum criteria of the Land Development Code and for acquiring all other jurisdictional permits and approvals.
2. Construction plans shall be consistent with the approved site plan. All requisite fees attendant to the project shall be paid in accordance with the Land Development Code.
3. Written confirmation of access approvals from Pinellas County for Dixie Highway and from the Florida Department of Transportation for North Pinellas Avenue shall be submitted with the building permit application.
4. Written confirmation from the Florida Department of Transportation for the left turn prevention configuration of the North Pinellas Avenue accessway shall be submitted with the building permit application.



5. Final grades for both access points (Dixie Highway and North Pinellas Avenue) shall be compliant with the City of Tarpon Springs Fire Marshal’s requirements for equipment access. Compliant grades shall be shown on the building permit application plans submittal.
6. Traffic control signage shall meet the City’s design standards for the Community Redevelopment Area.
7. The site plan shall expire at one year from the effective date unless an application has been filed for a building permit with construction plans signed and sealed by a registered engineer licensed in the State of Florida.

CURRENT PROPERTY INFORMATION:

Use of Property:	Vacant
Site Features:	The site is cleared and partially filled.
Flood Hazards:	This property is located within flood zone AE.
Vehicle Access:	The property borders North Pinellas Avenue and Dixie Highway. The project proposes to use both roadways for access.

SURROUNDING ZONING & USE:

	Zoning:	Use:
North:	Land Conservation and General Business	Vacant
South:	General Commercial and Services – Pinellas County	Office
East:	General Commercial and Services – Pinellas County	Vacant
West:	Residential Office (RO)	Institutional (Church)

REVIEW STANDARD – COMPREHENSIVE PLAN MAP:

The project site is located in the Commercial General (CG) Future Land Use Category which designates “existing commercial areas which may be either highway or commercial oriented and include uses of varying degree and intensity” (Policy 2.4.3(a)). The site is situated along a strip of North Pinellas Avenue that is occupied by incorporated and unincorporated properties. The City’s Future Land Use Map indicates this strip from Dixie Highway south to the Anclote River in the Commercial General category on the east side and in the Residential/Office General category on the west side. City and County property zonings are consistent with these designations and indicate this area as a current and future commercial area. The applicant’s project is consistent with the City’s Comprehensive Plan.

REVIEW STANDARD - ZONING:

The property is located within the General Business (GB) zoning district. This district permits retail sales establishments as a use by right. The proposed site plan is consistent with the permitted uses and requirements of the GB zoning district. Property zoning districts in this area of North Pinellas Avenue include County zonings C-2 (Commercial General and Services) and GO (General Office) and



City zonings GB (General Business) and RO (Residential Office). The proposed retail center is consistent with the GB zoning district and with the current and future planned character of this commercial corridor.

SITE PLAN REVIEW PROCEDURES & STANDARDS:

The process for site plan review is set forth in Section 210.03 of the Land Development Code (LDC) and calls for the Planning and Zoning Board to review the site plan for compliance with (1) the Comprehensive Plan, (2) the Comprehensive Zoning and Land Development Code, (3) the City's Concurrency Management System, and (4) the City's Building Codes to provide a written recommendation to the Board of Commissioners as enumerated in Section 210.03(C)(4) of the LDC. The Technical Review Committee has reviewed and determined the application for site plan approval to be complete and in compliance with the above cited standards for review:

1. The application is found to be consistent with the City's Comprehensive Plan,
2. The application is found to be compliant with the City's LDC,
3. The project proposes minimal new impacts to facilities and therefore meets the City's Concurrency Management standards (see below), and,
4. The project will be required to, and is expected to be able to, meet the standards of the City's Buildings Codes.

LEVEL OF SERVICE ANALYSIS:

Article VIII of the Land Development Code requires that public facilities be available concurrent with impacts from development. Facilities impacts are listed in the table below. They are not expected to degrade the levels of services for any of the listed facilities.

Facility	Proposed Impacts
Potable Water	2,500 gallons per day
Wastewater	1,912 gallons per day
Solid Waste	23 tons per year
Transportation	23 peak hour trips

TECHNICAL REVIEW COMMITTEE:

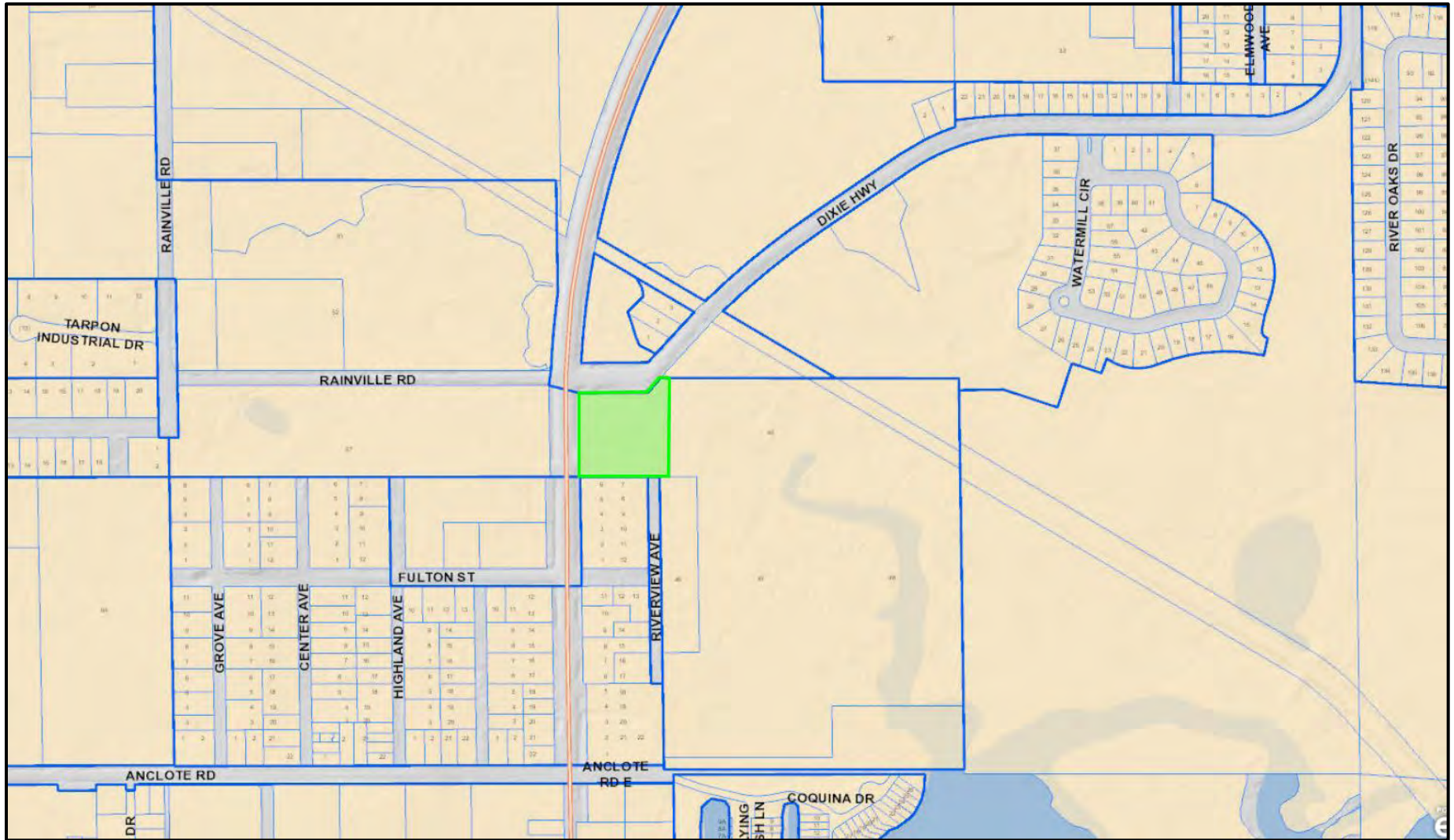
TRC reviewed this project on February 1, 2021 for completeness and conformance to the Comprehensive Zoning and Land Development Code and the Comprehensive Plan and had no objections to the request. Outstanding issues are addressed in the recommended conditions of approval.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Resolution 2021-11
4. Legal Description (Exhibit A)
5. Survey and Site Plan (Exhibit B)
6. Signed Resolution 2019-40 adopted December 3, 2019

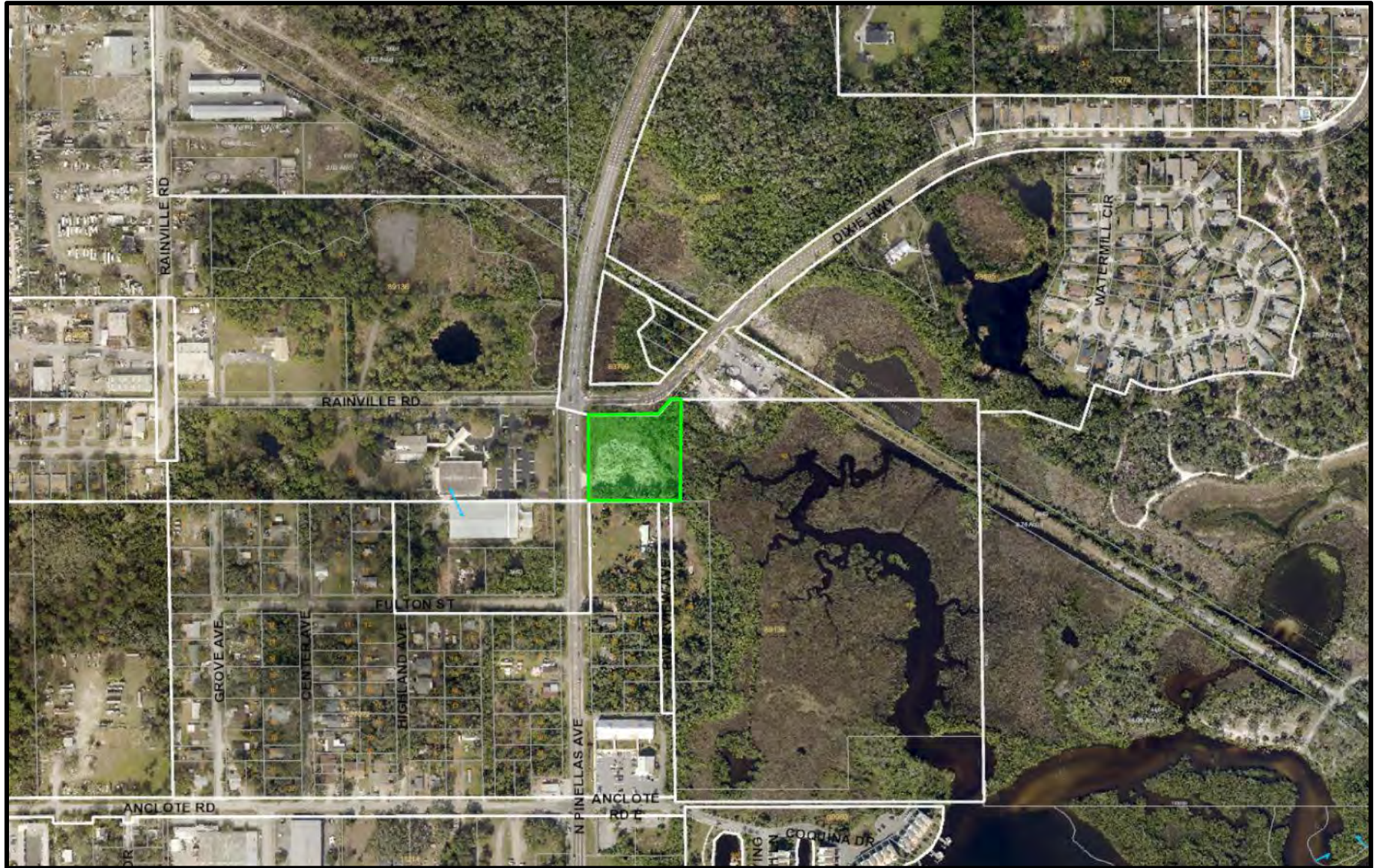


21-11 Red Bank Investments – Location Map





21-11 Red Bank Investments – Aerial Map



RESOLUTION NO. 2021-11

A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #21-11 REQUESTING SITE PLAN APPROVAL FOR RED BANK INVESTMENTS, LLC, TO CONSTRUCT A SPECIALTY RETAIL BUILDING OF 12,750 SQUARE FEET OF GROSS FLOOR AREA ON 2.01 ACRES (MORE OR LESS) LOCATED AT 1372 NORTH PINELLAS AVENUE ON THE SOUTHEAST CORNER OF NORTH PINELLAS AVENUE AND DIXIE HIGHWAY IN THE HIGHWAY BUSINESS (HB) ZONING DISTRICT; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Tarpon Springs has received an application for site plan approval to develop a specialty retail center of 12,750 square feet of gross floor area located on 2.01 acres of land at 1372 North Pinellas Avenue in the Highway Business (HB) zoning district; and,

WHEREAS, the Planning and Zoning Board held a public hearing on this application at its meeting of February 22, 2021 and voted to recommend approval of the site plan with conditions; and,

WHEREAS, pursuant to Section 210.03(C)(4) of the Comprehensive Zoning and Land Development Code, the Board of Commissioners must approve, approve with conditions, or, deny the application.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA:

SECTION 1: FINDINGS

1. That the site plan, as conditioned, meets the applicable sections of the Comprehensive Zoning and Land Development Code.
2. That the site plan, as conditioned, is consistent with the Tarpon Springs Comprehensive Plan.
3. That the site plan, as conditioned, demonstrates that required facilities and services will be available at the prescribed level of service standards concurrent with the impact of the development and may, subject to Section 3 of this resolution, during the term of this site plan approval, receive a Certificate of Concurrency pursuant to Section 122.00 et seq.

SECTION 2: SITE PLAN APPROVAL

The site plan on a property parcel located at 1372 North Pinellas Avenue and legally described in Exhibit A was prepared and sealed by Joseph Anthony Cimino, P.E., on November 1, 2019, and is attached as Exhibit B-1 through B-15, is hereby approved.

SECTION 3: CONDITIONS

1. The developer is responsible for meeting the minimum criteria of the Land Development Code and for acquiring all other jurisdictional permits and approvals.
2. Construction plans shall be consistent with the approved site plan. All requisite fees attendant to the project shall be paid in accordance with the Land Development Code.
3. Written confirmation of access approvals from Pinellas County for Dixie Highway and from the Florida Department of Transportation for North Pinellas Avenue shall be submitted with the building permit application.
4. Written confirmation from the Florida Department of Transportation for the left turn prevention configuration of the North Pinellas Avenue accessway shall be submitted with the building permit application.
5. Final grades for both access points (Dixie Highway and North Pinellas Avenue) shall be compliant with the City of Tarpon Springs Fire Marshal's requirements for equipment access. Compliant grades shall be shown on the building permit application plans submittal.
6. Traffic control signage shall match the City's design standards for the Community Redevelopment Area.
7. The site plan shall expire at one year from the effective date unless an application has been filed for a building permit with construction plans signed and sealed by a registered engineer licensed in the State of Florida.

SECTION 4: EFFECTIVE DATE

This Resolution shall become effective upon adoption.

EXHIBIT A. LEGAL DESCRIPTION

A portion of Lot 45, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part, and being more particularly described as followed: Commence at the Southwest corner of the Southwest 1/4 of the Southeast 1/4 of Section 1, Township 27 South, Range 15 East, Pinellas County, Florida, thence South $89^{\circ} 15'35''$ East, along the South boundary line of said Southwest 1/4 for a distance of 317.79 feet to the point of intersection with a line 125.00 feet West of and parallel to the East boundary line of Lot 46, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part; thence North $0^{\circ} 29'44''$ West, along said line for 403.69 feet to the point of intersection with a line 403.60 feet North of and parallel to the South boundary line of said Southwest 1/4; thence South $89^{\circ} 15'38''$ East, for 125.03 feet to the point of intersection with the East boundary line of said Lot 46; thence North $0^{\circ} 29'44''$ West, along said East boundary line of Lot 46 for 589.92 feet to the point of intersection with the South boundary line of said Lot 45; thence North $89^{\circ} 21'29''$ West, along said South boundary line of Lot 45, for 91.56 feet to the Point of Beginning; thence continue North $89^{\circ} 21'29''$ West, along said South boundary line of Lot 45, for 299.45 feet to the point of intersection with the East Right-of-Way line of U.S. Alternate 19, thence North $0^{\circ} 25'04''$ West, along said Right-of-Way line 194.34 feet to the point of curvature of a curve concave to the East, thence along the arc of said curve, having a radius of 2814.79 feet, a central angle of $1^{\circ} 42'54''$ an arc length of 84.25 feet and chord bearing North $00^{\circ} 26'23''$ East, for 84.25 feet to the point of intersection with the South Right-of-Way line of State Road 595; thence along said South and Southeasterly Right-of-Way lines of State Road 595 the following two (2) courses: (1) North $89^{\circ} 48'01''$ East for 228.84 feet; (2) North $41^{\circ} 30'47''$ East, for 64.99 feet; thence leaving said South and Southeasterly Right-of-Way lines South $89^{\circ} 23'26''$ East, along the North boundary line of said Southwest 1 / 4 and Lot 45 of said TAMPA AND TARPON SPRINGS LAND COMPANY a distance of 32.00 feet; thence South $00^{\circ} 38'31''$ West, for 331.08 feet to the Point of Beginning.

Parcel ID Number: 01-27-15-89136-000-0452

CONSTRUCTION SITE PLAN FOR DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

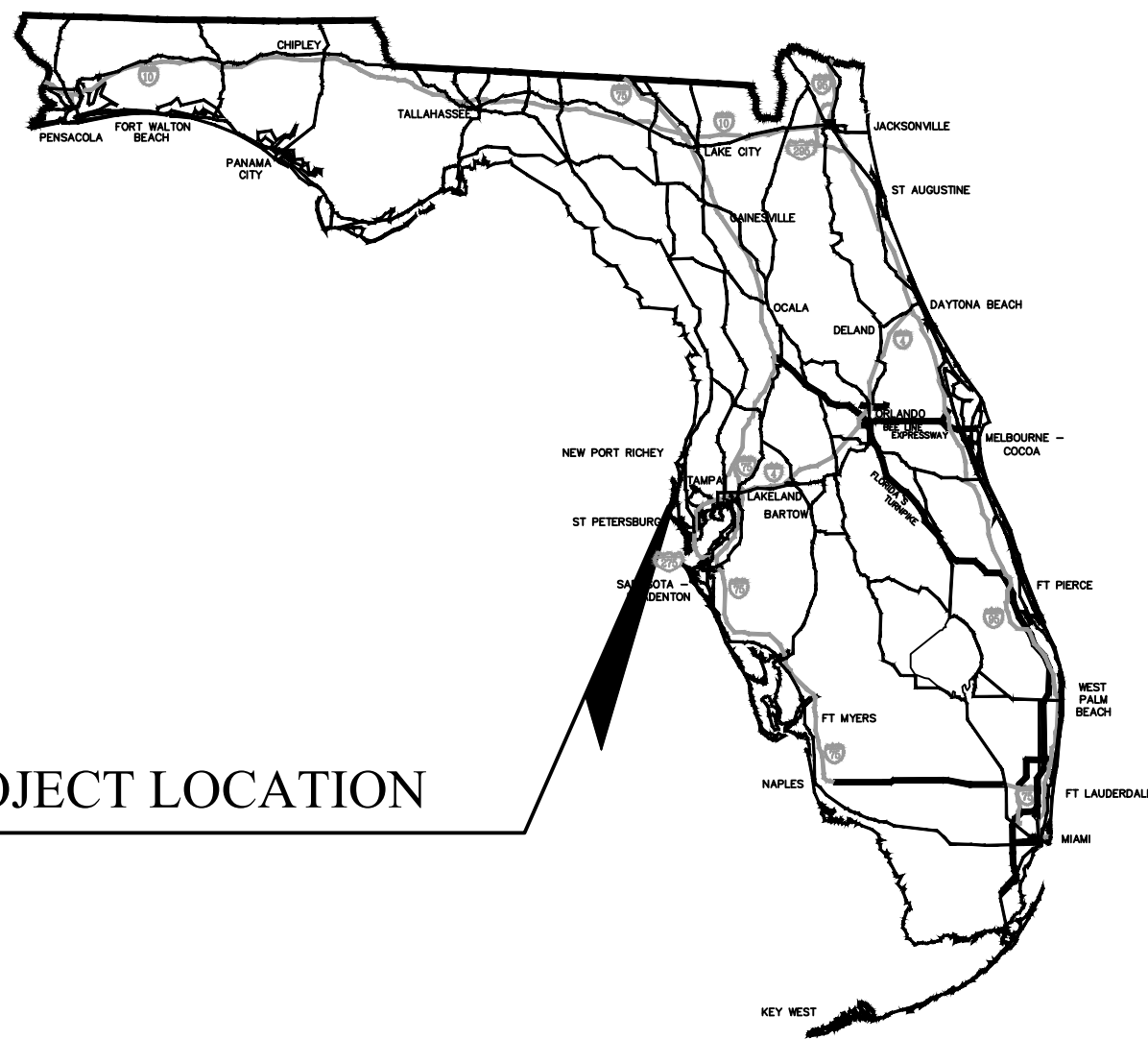
SECTION 1, TOWNSHIP 27S, RANGE 15E
PARCEL ID: 01-27-15-89136-000-0452
PINELLAS COUNTY, FLORIDA

PREPARED FOR
RED BANK INVESTMENTS LLC
4114 WOODLANDS PARKWAY
SUITE 401
PALM HARBOR, FLORIDA 34685

LEGAL DESCRIPTION

A PORTION OF LOT 45, TAMPA AND TARPON SPRINGS LAND COMPANY, AS RECORDED IN PLAT BOOK 1, PAGE 116, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMALLY A PART, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SW 1/4 OF THE SE 1/4 OF SECTION 1, TOWNSHIP 27 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA; THENCE S89°15'35"E, ALONG THE SOUTH BOUNDARY LINE OF SAID SW 1/4 FOR A DISTANCE OF 317.79 FEET TO THE INTERSECTION WITH A LINE 125 FEET WEST OF AND PARALLEL TO THE EAST BOUNDARY OF LOT 46, TAMPA AND TARPON SPRINGS LAND COMPANY, AS RECORDED IN PLAT BOOK 1, PAGE 116, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS A PART; THENCE N0°29'44"W, ALONG SAID LINE FOR 403.69 FEET TO THE POINT OF INTERSECTION WITH A LINE 403.60 FEET NORTH OF AND PARALLEL TO THE SOUTH BOUNDARY LINE OF SAID SW 1/4; THENCE S89°15'38"E, FOR 125.03 FEET TO A POINT OF INTERSECTION WITH THE EAST BOUNDARY LINE OF SAID LOT 46; THENCE N0°29'44"W, ALONG SAID EAST BOUNDARY LINE OF LOT 46 FOR 589.92 FEET TO THE POINT OF INTERSECTION WITH THE SOUTH BOUNDARY LINE OF SAID LOT 45; THENCE N89°21'29"W, ALONG SAID SOUTH BOUNDARY LINE OF LOT 45, FOR 91.56 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N89°21'29"W, ALONG SAID SOUTH BOUNDARY LINE OF LOT 45 FOR 299.45 FEET TO THE POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF U.S. ALTERNATE 19, THENCE N0°25'04"W, ALONG SAID RIGHT-OF-WAY LINE 194.34 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST; THENCE ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 2814.79 FEET, A CENTRAL ANGLE OF 1°42'54" AN ARC LENGTH OF 84.25 FEET AND CHORD BEARING N00°26'23"E, FOR 84.25 FEET TO THE POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 595; THENCE ALONG SAID SOUTH AND SOUTHEASTERLY RIGHT-OF-WAY LINES OF STATE ROAD 595 THE FOLLOWING TWO COURSES: (1) N89°48'01"E FOR 228.84 FEET; (2) N41°30'47"E, FOR 64.99 FEET; THENCE LEAVING SAID SOUTH AND SOUTHEASTERLY RIGHT-OF-WAY LINES S89°23'26"E, ALONG THE NORTH BOUNDARY LINE OF SAID SW 1/4 AND LOT 45 OF SAID TAMPA AND TARPON SPRINGS LAND COMPANY A DISTANCE OF 32.00 FEET; THENCE S00°38'31"W, FOR 331.08 FEET TO THE POINT OF BEGINNING.



PROJECT LOCATION

SITE DATA TABLE

PROPERTY OWNER: RED BANK INVESTMENTS LLC	PROPERTY LOCATION: 1372 N. PINELLAS AVENUE TARPON SPRINGS, FL																														
LEGAL DESCRIPTION: SEE LEGAL DESCRIPTION AT RIGHT	PARCEL IDENTIFICATION NUMBER: 01-27-15-89136-000-0452																														
PROPERTY ZONING: HB	ADJACENT PROPERTY ZONING: NORTH: LC SOUTH: C-2 EAST: C-2 WEST: RO																														
PROPERTY USE: EXISTING: VACANT PROPOSED: RETAIL	ADJACENT PROPERTY USE: NORTH: SEWAGE DISPOSAL, SOLID WASTE SOUTH: FLORIST/GREENHOUSE EAST: RAW ACREAGE WEST: CHURCH																														
MAXIMUM BUILDING HEIGHT: ALLOWED: 35 FEET PROPOSED: 18 FEET																															
LOT COVERAGE CALCULATIONS:																															
	<table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>EXISTING</th> <th>PROPOSED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>BUILDING AREA</td> <td>0 SF (0.00 AC)</td> <td>0 %</td> <td>12,750 SF (0.29 AC)</td> <td>15 %</td> </tr> <tr> <td>PARKING AND SIDEWALK AREA</td> <td>0 SF (0.00 AC)</td> <td>0 %</td> <td>39,529 SF (0.91 AC)</td> <td>45 %</td> </tr> <tr> <td>TOTAL IMPERVIOUS AREA</td> <td>0 SF (0.00 AC)</td> <td>0 %</td> <td>52,279 SF (1.20 AC)</td> <td>60 %</td> </tr> <tr> <td>TOTAL PERVIOUS AREA (OPEN SPACE)</td> <td>87,646 SF (2.01 AC)</td> <td>100 %</td> <td>35,367 SF (0.81 AC)</td> <td>40 %</td> </tr> <tr> <td>TOTAL SITE AREA</td> <td>87,646 SF (2.01 AC)</td> <td>100 %</td> <td>87,646 SF (2.01 AC)</td> <td>100 %</td> </tr> </tbody> </table>		EXISTING	EXISTING	PROPOSED	PROPOSED	BUILDING AREA	0 SF (0.00 AC)	0 %	12,750 SF (0.29 AC)	15 %	PARKING AND SIDEWALK AREA	0 SF (0.00 AC)	0 %	39,529 SF (0.91 AC)	45 %	TOTAL IMPERVIOUS AREA	0 SF (0.00 AC)	0 %	52,279 SF (1.20 AC)	60 %	TOTAL PERVIOUS AREA (OPEN SPACE)	87,646 SF (2.01 AC)	100 %	35,367 SF (0.81 AC)	40 %	TOTAL SITE AREA	87,646 SF (2.01 AC)	100 %	87,646 SF (2.01 AC)	100 %
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TOTAL SITE AREA	87,646 SF (2.01 AC)	100 %	87,646 SF (2.01 AC)	100 %																											
VEHICULAR PARKING (REQUIRED): RETAIL - 4 SPACES PER 1000 SF @ 12,750 SF = 51 SPACES																															
VEHICULAR PARKING (PROPOSED): STANDARD PARKING SPACES = 59 H/C SPACES = 4 (3 REQUIRED) TOTAL ONSITE PARKING SPACES PROVIDED = 63 BICYCLE PARKING PROVIDED AT A RATE OF 10% OF THE ONSITE PARKING SPACES REQUIRED. SEE SITE PLAN.																															
FLOOD ZONE: THE SUBJECT PROPERTY APPEARS TO LIE IN FLOOD ZONE "AE" BFE=9.0 PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0017H, MAP EFFECTIVE DATE OF JUNE 29, 2018.																															
VERTICAL DATUM INFORMATION: ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM, 1988 (NAVD'88).																															

FACILITIES DATA TABLE

POTABLE WATER USAGE = 2,550 GALLONS PER DAY
WASTEWATER USAGE = 1,912 GALLONS PER DAY
SOLID WASTE DISPOSAL = 23 TONS PER YEAR
AVERAGE DAILY VEHICLE TRIPS = 23 PEAK HOUR TRIPS



VICINITY MAP

PREPARED BY

**Engineering ~ Environmental
Water Resource**
8043 Cooper Creek Blvd., Suite 210
University Park, Florida 34201
Phone: 941.275.9721 Fax: 813.275.9729
www.wraconsultants.com

Sheet List Table

Sheet Number	Sheet Title
G-001	COVER SHEET
G-002	GENERAL CONSTRUCTION NOTES
G-003	STORWATER POLLUTION PREVENTION PLAN
G-004	EXISTING CONDITIONS AND DEMOLITION PLAN
G-005	EROSION CONTROL PLAN
G-006	EROSION CONTROL DETAILS
C-001	PROPOSED SITE LAYOUT
C-002	SITE DETAILS
C-003	GRADING AND DRAINAGE PLAN
C-004	DRAINAGE DETAILS
C-005	WETLAND IMPACT AND MITIGATION PLAN
C-006	UTILITY PLAN
C-007	UTILITY DETAILS
C-008	LIFT STATION DETAIL
C-009	LANDSCAPE PLAN

- ENTRANCE AND EXIT GRADES ARE COMPLIANT WITH FIRE CODE FOR FIRE APPARATUS ACCESS. PER NFPA 1 CHAPTER 18.2.3.4.6
- THE GRADIENT FOR A FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED THE MAXIMUM APPROVED PER 18.2.3.4.6.1
- THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT (0.3 M DROP IN 6 M) OR THE DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT, AND SHALL BE SUBJECT TO APPROVAL BY THE AHJ. PER 18.2.3.4.6.2*
- FIRE DEPARTMENT ACCESS ROADS CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FT (0.61 M) BEYOND EACH EDGE OF THE FIRE LANE PER 18.2.3.4.6.3

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL, COMPLIES WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION PURSUANT TO 334.044(10)(a) AND 336.045, FLORIDA STATUTE.

CALL 48 HOURS BEFORE YOU DIG
811
IT'S THE LAW!
DIAL 811
Know what's below.
Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

REVISIONS

NO.	DATE	DESCRIPTION
6		
5		
4		
3		
2		
1		

Engineering ~ Environmental
Water Resource ~ Survey
4366 W. Littlefield Ave.
Tampa, Florida 33624
www.wraengineering.com
CA 00007652 LB 8274
Phone: 813.265.3130 941.275.9721

WRA

COVER SHEET

DIXIE HIGHWAY
COMMERCIAL
DEVELOPMENT

ISSUED FOR: PERMITTING
JOB # 1378
SEC. 01
TWN. 27
RNG. 15
DESIGNED: BAF
DRAWN: BAF
APPROVED: JAC

DATE: 11/1/2019 10:54:08 AM
2019 WRA

Datum: NAVD
G-001

STORM WATER POLLUTION PREVENTION PLAN

Exhibit B-3

Contained on these plans and within the following notes is a Storm Water Pollution Prevention Plan (SWPPP) which has been developed by Water Resource Associates, Inc. in accordance with the Florida Department of Environmental Protection's (FDEP) "National Pollutant Discharge Elimination System" (NPDES) Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

The following entities are identified as team members of "SWPPP": Water Resource Associates, the Developer as identified in the title box of these plans, and the site contractor and his sub-contractors. Each team member has specific responsibilities and obligations. In general, all team members, with regard to their involvement and responsibilities on the project, are to implement all necessary storm water management controls to assure compliance with the NPDES Generic Permit for Storm Water Discharges from Construction Activities, the Southwest Florida Water Management District Permit, the applicable local governing agency (i.e. Manatee County, etc.) and the guidelines listed in the SWPPP. The duties and responsibilities of the team members as they pertain to the SWPPP are as follows.

Water Resource Associates, Inc.

- A. Develop SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria. This design is included within these construction plans and the following notes and instructions.
B. Submit and obtain the necessary design related storm water permits from the Florida Department of Environmental Protection, the Southwest Florida Water Management District and other applicable governmental bodies.
C. Upon notification by the developer of his intent to commence construction, submit a Notice of Intent to the FDEP on behalf of the developer and copy the contractor including SWPPP certification and copy of the permit.
D. Submit to SWFWMD and the operator of the municipal separate storm water system, if applicable, a letter of construction commencement.
E. Complete and submit a Notice of Termination and certification for developer.
The NOT's shall be submitted no more than 30 days after (a) completion of the project and final stabilization of the site or (b) when responsibility for the site has ended. Final stabilization as defined by EPA is when all soil disturbing activities at the site have been completed and a uniform (e.g. evenly distributed, without large bare areas) perennial vegetative cover with a density of 70% of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures. As an alternative, equivalent permanent stabilization measures (such as riprap, gabions, or geotextiles) may be employed. The client shall notify Water Resource Associates when one of these criteria has been met.

Contractor

- A. Sign and return to WRA a Contractors Certification Form certifying your understanding of and willingness to comply with the Storm Water Pollution Prevention Plan no later than 48 hours prior to commencement of construction. Also, each subcontractor affected by the SWPPP must certify to the contractor that they understand and shall comply with the NPDES permit and SWPPP. A record of these certifications shall be maintained by the contractor on site.
B. During construction, assure compliance with the designed Storm Water Pollution Prevention Plans prepared by Water Resource Associates and the NPDES Generic Permit for Storm Water Discharges from Large and Small Construction Activities.
C. Maintain a copy of the construction plans, which include the Storm Water Pollution Prevention Plan, the NOT, and all inspections reports and certifications on site.
D. Undertake all reasonable Best Management Practices (BMP's) to assure that sited or otherwise polluted storm water is not allowed to discharge from the site during all phases of construction. Stabilization BMP's that may be used include: straw bale dikes, silt fences, earth dikes, brush barriers, drainage swales, check dams, subsurface drain, pipe slope drain, level spreaders, storm drain inlet protection, outlet protection, sediment traps, and temporary sediment basins. Detention ponds may also be used as temporary sediment basins. Additional BMP's that may need to be implemented include: providing protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials. Providing waste receptacles at convenient locations and providing regular collection of wastes, including building material wastes. Minimizing off-site trucking of sediments. Making adequate preparations, including training and equipment to contain spills of oil and hazardous materials. Complying with applicable state or local waste disposal, sanitary sewer or septic system regulations and the use of appropriate pollution prevention measures for allowable non-storm water components of discharge.
E. Notify Water Resource Associates and the developer in writing of any non-storm water pollution sources which are being stored, or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, other chemicals. The notification should be accompanied with the contractor's design and methods to prevent pollution run-off from these sources.
F. Develop a maintenance and inspection plan which includes, but is not limited to the following:
A. The specific areas to be inspected and maintained that includes all the disturbed areas and material storage areas of the site.
B. The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls that the contractor deems necessary.
C. Maintenance procedures.
D. The procedure to follow if additional work is required or whom to call.
E. Inspections and maintenance forms.
F. The personnel assigned to each task.

The following shall be inspected a minimum of once a week or within 24 hours after 0.50 inches of rainfall:
Stabilization measures (once a month if fully stabilized).
Structural controls.
Discharge points.
Construction entrances and exits.
Areas used for storage of exposed materials.

An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures shall be taken no later than 7 days after the inspection occurred. If revisions to the SWPPP are needed, a report form for changes in the SWPPP shall be completed and a copy sent to Water Resource Associates. The original shall be kept on-site as documentation of the change. If the inspection passes, a certification that the facility is in compliance with the SWPPP and the NPDES permit must be signed by a duly authorized representative of the principal executive official of the operator of the SWPPP with one of the following qualifications:

- 1. Has successfully completed the Florida Stormwater, Erosion and Sediment Control Inspector Training Program.
2. Successfully completed a similar training program.
3. Has enough practical on the job training to be qualified to perform the inspections.
Retain inspection reports and certifications for at least three years.
G. Site stabilization measures shall be initiated as soon as practical but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.

- H. Releases in Excess of Reportable Quantities.
1. The discharge of hazardous substances or oil in the stormwater discharge(s) from a facility or activity shall be prevented or minimized in accordance with the applicable stormwater pollution prevention plan for the facility or activity. This permit does not relieve the operator of the reporting requirements of 40 CFR part 117 and 40 CFR part 302. Where a release containing a hazardous substance in amount equal to or in excess of a reporting quantity established under either 40 CFR 117 or 40 CFR 302, occurs during a 24 hour period:
a. The operator is required to notify the State Warning Point (800-210-0519 or 850-413-9911) as soon as he or she has knowledge of the discharge;
b. The operator shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and remedial steps to be taken, to the Florida Department of Environmental Protection, NPDES Stormwater Section, Mail Station 2500, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and
c. The stormwater pollution prevention plan required under Part V of this permit must be modified within 14 calendar days of knowledge of the release: to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the recurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.
2. This permit does not authorize the discharge of hazardous substances or oil resulting from an on-site spill.

Developer

- A. Notify WRA of your intent to commence construction. Sign the Notice of Intent form as operator of the storm water discharge facility and permittee and return to Water Resource Associates, Inc.
B. Sign a Certification of Storm Water Pollution Prevention Plan and return it to Water Resource Associates, Inc.
C. Notify WRA when it is time to submit a Notice of Termination as defined under Part E of the Water Resource Associates section of the SWPPP. Sign and return to Water Resource Associates, Inc. for submittal to FDEP a Notice of Termination form and certification.

PRE-DEVELOPED SITE INFORMATION:

- 1. Total project acreage: 2.01 AC.
2. Land use: VACANT
3. Vegetation:
4. Receiving waters or municipal separate storm water system:
5. 25 Year/24 Hour rainfall depth:
6. Soil types:

PROJECT INFORMATION:

- 1. Project type: RETAIL
2. Anticipated construction sequence is as follows:
1. Complete erosion control installation
2. Clearing and grubbing
3. Earthwork activities
4. Storm water system construction
5. Utility construction
6. Base and pavement construction
7. Final stabilization

The BMP's listed in Part D of the Contractor section of the SWPPP shall be considered during all phases of construction.
3. Anticipated start date: NOVEMBER 2019
4. Anticipated completion date: MAY 2020
5. Total acres disturbed: 1.60
6. Pre-developed "CN" number: 80
7. Post-developed "CN" number: 98
8. The storm water management system, upon completion and appropriate certification and as-built submittals will be operated and maintained by:
9. The potential source of pollution from this project is on-site development and construction activity.

AS REQUIRED UNDER FAC 400, PART B, SECTION 2.8.1(c) THE OWNER/PERMITEE "SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL". THE "PLAN" INCLUDES THE NOTES, DETAILS AND INSTRUCTIONS FOR STORMWATER MANAGEMENT PRESENTED THROUGHOUT THE PLAN SET. THE OWNER/PERMITEE HEREBY AGREES TO COMPLY WITH ALL STORMWATER MANAGEMENT ITEMS CONTAINED WITHIN THE PLANS AS SUBMITTED FOR DISTRICT APPROVAL.

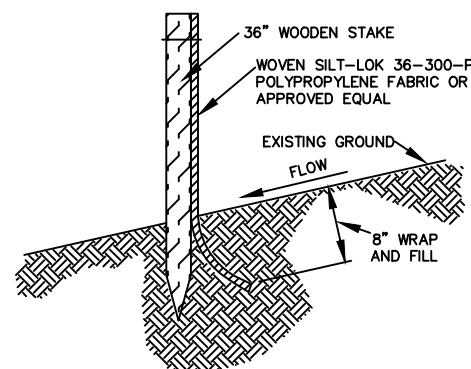
GENERAL EROSION AND TURBIDITY CONTROL NOTES

- 1. The Site Subcontractor shall be responsible for installation and maintenance of all erosion and turbidity controls and the quality and quantity of offsite or wetland discharges.
2. Prior to construction, the Site Subcontractor is responsible for having his dewatering plan and turbidity control plan approved by the applicable reviewing agencies. Refer to the project's permit approvals and permit conditions for agencies requiring such review and approval. Questions concerning appropriate techniques should be addressed to those agencies and/or discussed with the project engineer and owner.
3. The appropriate turbidity and erosion control methodologies selected by the Site Subcontractor for the project should be made following assessment of the plans and project site specific factors and after consultations as needed with the project engineer and appropriate agencies. The Site Subcontractor will be responsible for obtaining any and all necessary permits for such activity; several factors to consider are listed below:
A. Clay content in excavated materials and/or permeabilities rates
B. Depth of cut in ponds, trenches, or utility lines
C. Ambient ground water levels
D. Actual rainfall amounts and time of year relative to normal rainy seasons
E. Proximity to wetlands, water bodies or offsite properties
F. 'Class' designation of receiving water bodies (i.e., Outstanding Florida Waters, shellfish harvest areas, etc.)
G. Density, type, and proximity of upland vegetation to be retained during construction (for use as possible filtration areas)
H. Fill height relative to natural grade and length and steepness of the proposed slopes
I. Existing topography and directions of surface flow
J. Type of equipment used
K. Project type
L. Duration of construction activities
M. Separation distance of onsite ponds
N. Ambient quality of surface and groundwater
O. Temporary stockpile locations and heights
4. At the onset of construction, the Site Subcontractor, as the party responsible for implementation of the erosion and sediment control plan, shall assess the above described conditions and factors with respect to relative cost effectiveness and select the appropriate methods of protection. A fairly extensive list of techniques are presented below but it must be stressed that any or all of the following may be necessary to maintain water quality and quantity standards. The construction sequencing should be thought out in advance of initiation to provide adequate protection of water quality.
5. Discharges which exceed 0 (O.F.W.) N.T.U.'s over the background levels are in violation of state water quality standards. Discharges of water quantities which affect offsite properties or may damage wetlands are also prohibited by regulating agencies.
6. The erosion and turbidity control measures shown hereon are the minimum required for agency approval. Additional control and measures may be required due to the Site Subcontractor's construction sequence & unforeseen weather conditions. Any additional measures deemed necessary by the Site Subcontractor shall be included in the lump sum bid with no extras for materials and labor allowed.
7. Hay bales or silt screens shall be installed prior to land clearing to protect water quality and to identify areas to be protected from clearing activities and maintained for the duration of the project until all soil is stabilized.
8. Floating turbidity barriers shall be in place in flowing systems or in open water lake edges prior to initiation of earthwork and maintained for the duration of the project until all soil is stabilized.
9. No clay material shall be left exposed in any stormwater facility. If clay or sandy-clays are encountered during stormwater storage excavation, the Site Subcontractor shall notify the Engineer immediately before proceeding with further excavation. If the Engineer of Record has determined that such soils are non-confining and must be excavated to meet permit and design conditions, excavation may proceed after obtaining written authorization from the appropriate governing agency. If said soils are left exposed at the permitted and designed depth, the Site Subcontractor shall over-excavate the pond's bottom and side slopes by a minimum of twelve (12") inches and backfill with clean sands to help prevent suspension of fine particles in the water column.
10. The installation of temporary erosion control barriers shall be coordinated with the construction of the permanent erosion control features to the extent necessary to assure effective and continuous control of erosion and water pollution throughout the life of the construction phase.
11. The type of erosion control barriers used shall be governed by the nature of the construction operation and soil type that will be exposed. Silty and clayey material may require solid sediment barriers to prevent turbid water discharge, while sandy material may need only silt screens or hay bales to prevent erosion. Floating turbidity curtains should generally be used in open water situations. Diversion ditches or swales may be required to prevent turbid stormwater runoff from being discharged to wetlands or other water bodies. It may be necessary to employ a combination of barriers, ditches and other erosion/turbidity control measures if conditions warrant.
12. Where pumps are to be used to remove turbid waters from construction areas, the water shall be treated prior to discharge to the wetlands. Treatment methods include, for example, turbid water being pumped into grassed swales or appropriate upland vegetated areas (other than upland preservation areas and wetland buffers), sediment basins, or confined by an appropriate enclosure such as turbidity barriers or low berms, and kept confined until turbidity levels meet State Water Quality Standards.
13. The Permittee shall schedule his operations such that the are unprotected erodible earth exposed at any one time is not larger than the minimum area necessary for efficient construction operation, and the duration of exposed, uncompleted construction to the elements shall be as short as practicable. Clearing and grubbing shall be so scheduled and performed such that grading operations can follow immediately thereafter. Grading operations shall be so scheduled and performed that permanent erosion control features can follow immediately thereafter if conditions on the project permit.
14. Water derived from various dewatering methods should be passed through sufficiently wide areas of existing upland vegetation to filter out excess turbidity. If this is not sufficient, the water shall be retained in previously constructed permanent stormwater ponds or else retained in temporary sedimentation basins until clarity is suitable to allow for its discharge. Plugging the outfalls from completed stormwater ponds may be needed to avoid discharge. However, such situations should be monitored closely to preclude berm failure if water levels rise too high.
15. Water can be transported around the site by the use of internal swales or by pumps and pipes.
16. Sheet flow of newly filled or scraped areas may be controlled or contained by the use of brush barriers, diversion swales, interceptor ditches or low berms. Flow should be directed toward areas where sediments can sufficiently settle out.
17. Exposed soils shall be stabilized as soon as possible, especially slopes leading to wetlands. Stabilization methods include solid sod, seeding and mulching or hydromulching to provide a temporary or permanent grass cover mulch blankets, filter fabrics, etc., can be employed to provide vegetative cover.
18. Energy dissipaters (such as rip rap, a gravel bed, hay bales, etc.) shall be installed at the discharge point of pipes or swales if scouring is observed.
19. Attempt to install roadway curb and gutters as soon as possible to reduce the surface area for erosion to occur.
20. Implement storm drain inlet protection (hay bales or gravel) to limit sedimentation within the stormwater system. Perform inspections and periodic cleaning of sediments which wash out into the streets until all soil is stabilized.

- 21. Water discharge velocities from impounded areas and temporary sedimentation basins shall be restricted to avoid scouring in receiving areas.
22. If water clarity does not reduce to state standards rapidly enough in holding ponds, it may be possible to use chemical agents such as alum to flocculate or coagulate the sediment particles.
23. Hay bales, silt screens, or gravel beds can be added around the pipe or swale discharge points to help clarify discharges. Spreader swales may help dissipate cloudy water prior to contact with wetlands.
24. All fuel storage areas or other hazardous storage areas shall conform to accepted state or federal criteria for such containment areas.
25. Vehicle or equipment washdown areas will be sufficiently removed from wetlands or offsite areas.
26. Fugitive dust controls (primarily by using water spray trucks) shall be employed as needed to control windborn emissions.
27. If the above controls remain ineffective in preventing release of turbid water, especially during pond or utility line dewatering, then the well points or sock drains to withdraw groundwater which may already be clear enough to allow for direct discharge to wetlands.
28. Ongoing inspections and periodic maintenance by the Site Subcontractor shall occur throughout construction as necessary to insure the above methods are working suitably. This may be needed daily, if conditions so warrant. Site Subcontractors are encouraged to obtain and thoroughly review The Florida Development Manual: A Guide to Sound Land and Water Management, which was developed by the State of Florida Department of Environmental Protection in 1988. This provides fairly in-depth discussions of recommended techniques and also provides specific design and technical standards. A copy of this document is available for review at Water Resource Associates, Inc.
29. Fill stockpiles are to be located outside of all surface water lines and buffer lines shown on the plan to be saved. Fill stockpiles must be self-contained, in that erosion control measures such as silt fence and/or hay bails must be installed and maintained around each stockpile to prevent sediment runoff beyond the limits of construction.

Pond/Lake Excavation Note

No excavation shall extend below the permitted design depths/elevations shown on the drawings, unless additional testing supports otherwise; and no lower semi-confining unit clayey soil material and/or no limestone materials shall be excavated, regardless if these materials are encountered within the permitted excavation depths/elevations. If any lower semi-confining unit clayey soil materials or limestone materials are encountered above the permitted depths/elevations, then excavation operations shall cease in the general area and the Engineer of Record shall be notified immediately.



STAKED SILT FENCE

EROSION CONTROL NOTES:

- 1. TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT SCREENS OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLET LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SITUATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
2. CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT TO A MINIMUM AT OUTFALL LOCATIONS WHICH DISCHARGE TO WETLANDS. JURISDICTIONAL AREAS, FLOATING OR STAKED TURBIDITY BARRIERS MAY BE USED IN LIEU OF STAKED HAYBALES/SILT SCREENS WHERE WARRANTED.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN-PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
4. CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104-H OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS.
o) JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
5. SILT SCREENS MAY ALSO REPRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE ERRECTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, BUFFER AREAS AND ANY OTHER AREAS SHOWN AS PRESERVED OR PROTECTED FROM CONSTRUCTION ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS/SILT SCREENS SHALL BE CAUSE FOR FINITIVE, FINANCIAL PENALTIES, FINANCIAL PENALTIES (PUNITIVE AND REGULATORY), CONSULTING FEES AND ESTIMATED COST OF RESTORATION WILL BE DEDUCTED FROM SUBSEQUENT PAYMENT REQUESTS.

EROSION CONTROL DETAIL

N.T.S.

NON-STORMWATER DISCHARGE:

Allowable (Potential) Non-Stormwater Discharges at the site: Waterline Flushing, Dust Control Water, External Building Washdown where no detergents are used, etc.
Prohibited Non-Stormwater Discharges at the site: Discharges from Dewatering, Vehicle washing with detergents, etc.

RESPONSIBILITIES:

The Contractor(s) and/or Sub-Contractor(s) that will implement this Stormwater Pollution Prevention Plan:

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER"

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:



REVISIONS

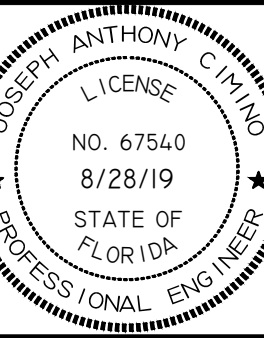
NO. DATE

Engineering ~ Environmental Water Resource ~ Survey



STOR WATER POLLUTION PREVENTION PLAN

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT



NAVĐ

G-003

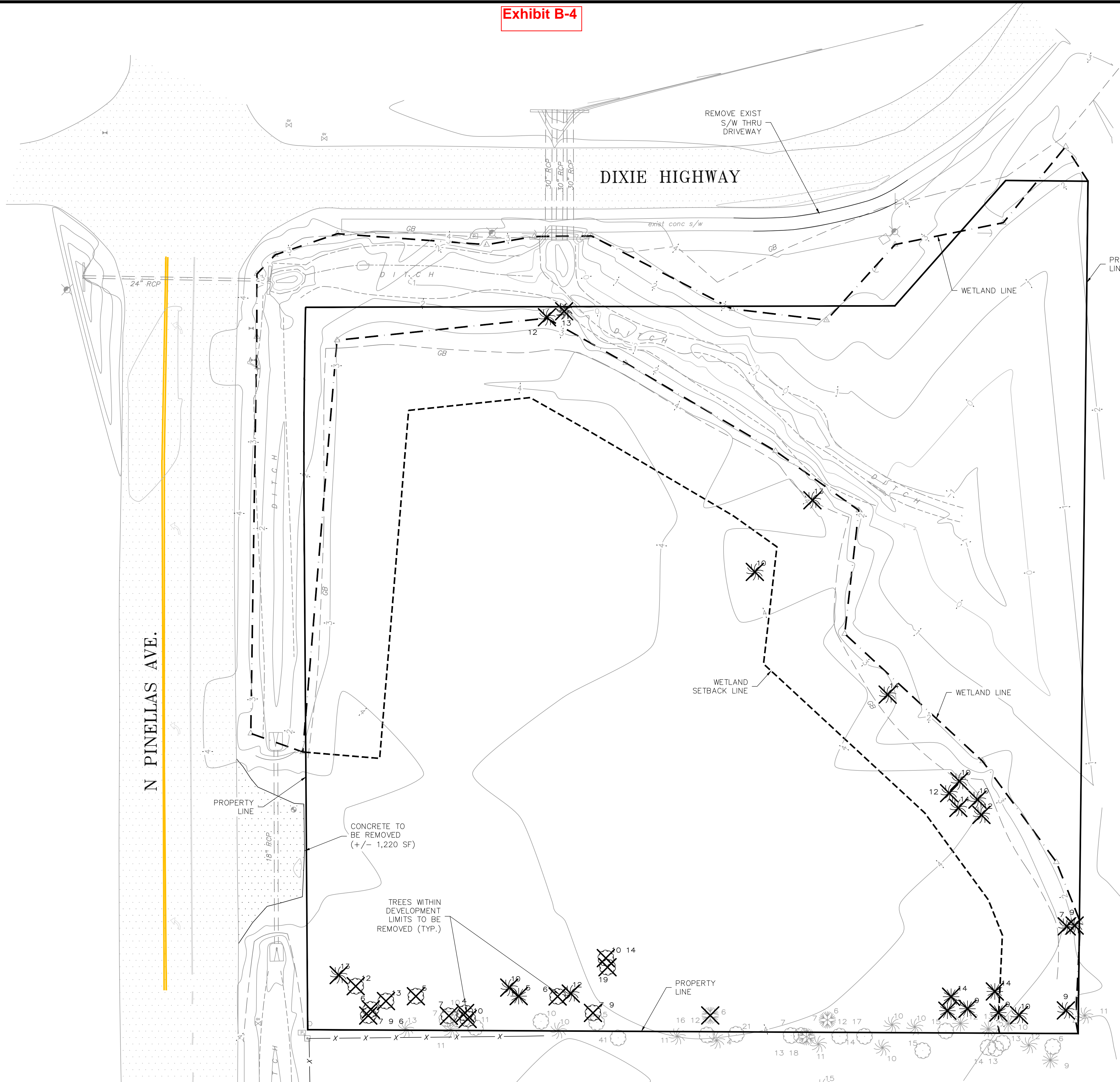
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Plot Date: 8/28/2019 12:04:54 PM

2019 WRA

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 Print Date: 10/16/2019 5:23:29 PM
 2019 WRA



FLOOD DATA:
 COMMUNITY NO. 12103C
 PANEL NO. 0017 H
 FLOOD ZONE: "AE"
 REVISED: 06/29/2018
 BASE FLOOD ELEV: 8 FEET

- EXISTING TREE
- TREE TO BE REMOVE

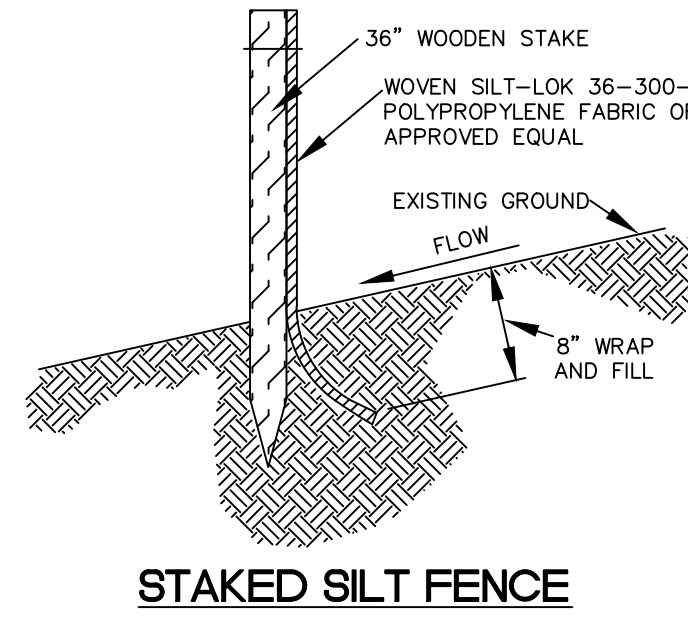
SURVEY NOTES:

SEE LEGEND FOR SYMBOLS AND/OR A
 THIS SURVEY WAS PREPARED WITHOUT
 NO INSTRUMENTS OF RECORD REFLECT
 FURNISHED TO THE UNDERSIGNED, UNL
 NO UNDERGROUND FOUNDATIONS, STR
 BEEN LOCATED UNLESS OTHERWISE SH
 THIS SURVEY IS NOT VALID UNLESS IT
 OF A FLORIDA LICENSED SURVEYOR AF
 VERTICAL INFORMATION REFERENCE TO
 EPC LINES DELINEATION AS FLAGGED I
 JOB NO. 1362

DEMOLITION NC

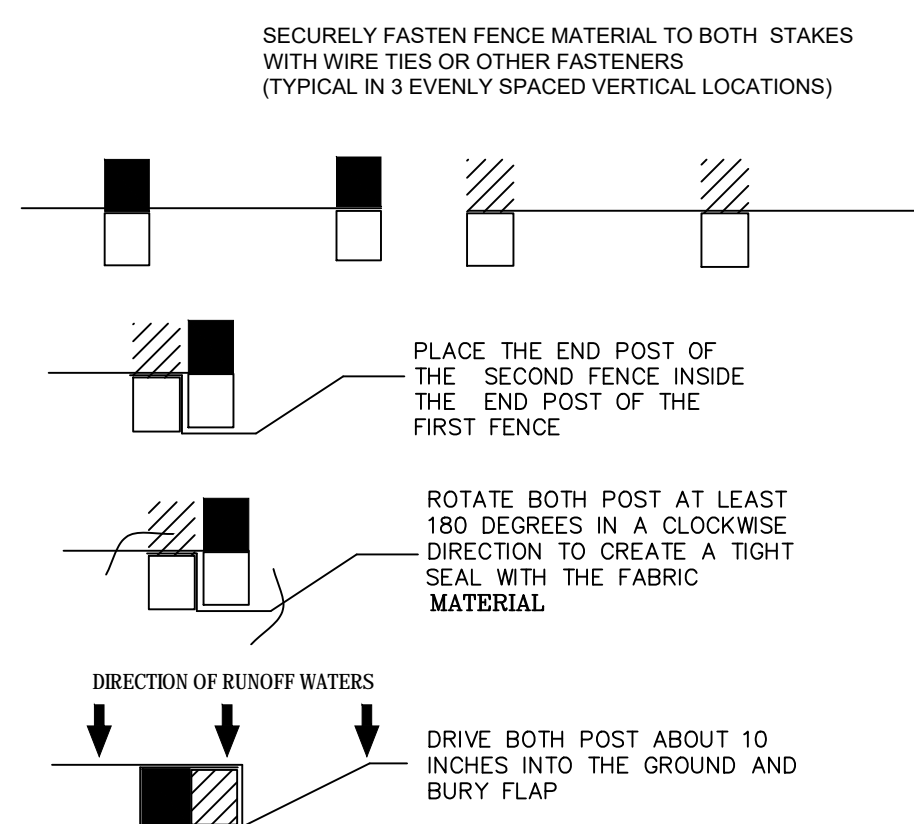
1. The existing features shown Ayuso Surveying, Inc., dated 12-
2. Contractor shall be responsi and owners to disconnect existir
3. Contractor shall be responsi approval prior to any activity.
4. All existing storm inlets are condition. Refer to sheet C-005
5. Contractor shall maintain all and free from any construction safe pedestrian and vehicular tr
6. The Contractor will follow all OSHA and other agencies havin owner's representative, and the safety procedures and implemen
7. All work shall be performed approval. The Contractor shall violation of any regulations.
8. During demolition the Contr and transport of sediments to i Contractor shall be responsible
9. Damage to all existing condit Contractor's expense.
10. A Tree Permit may be requi removal within the dripline of a
11. Refer to sheet C-005 for ty and proposed improvements. "gl used.

Exhibit B-6



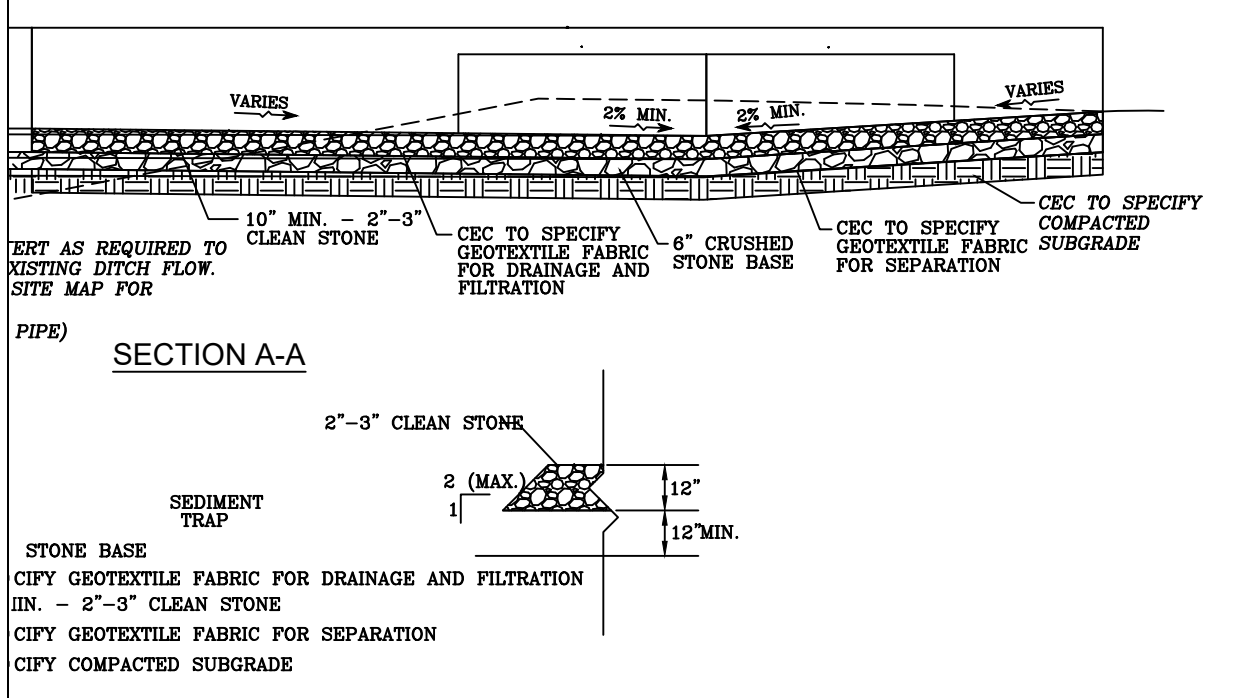
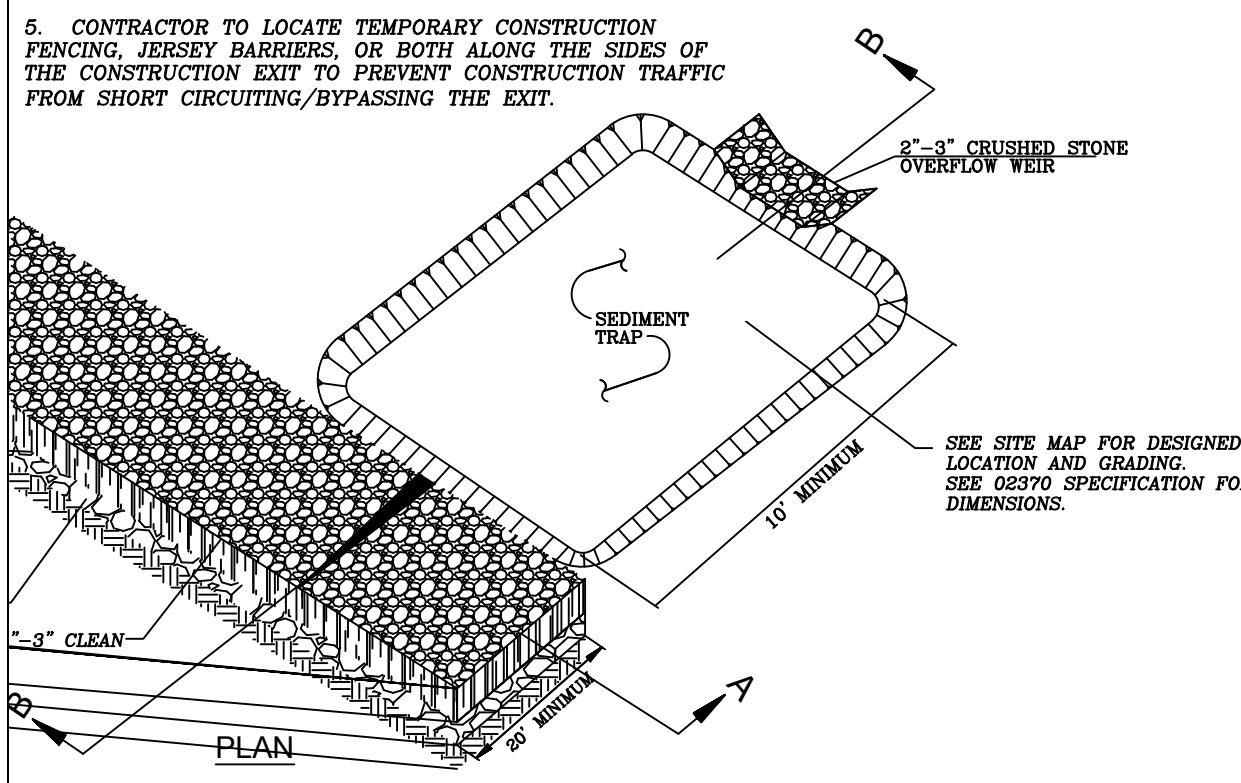
STAKED SILT FENCE

2 STAKED SILT FENCE N.T.S.

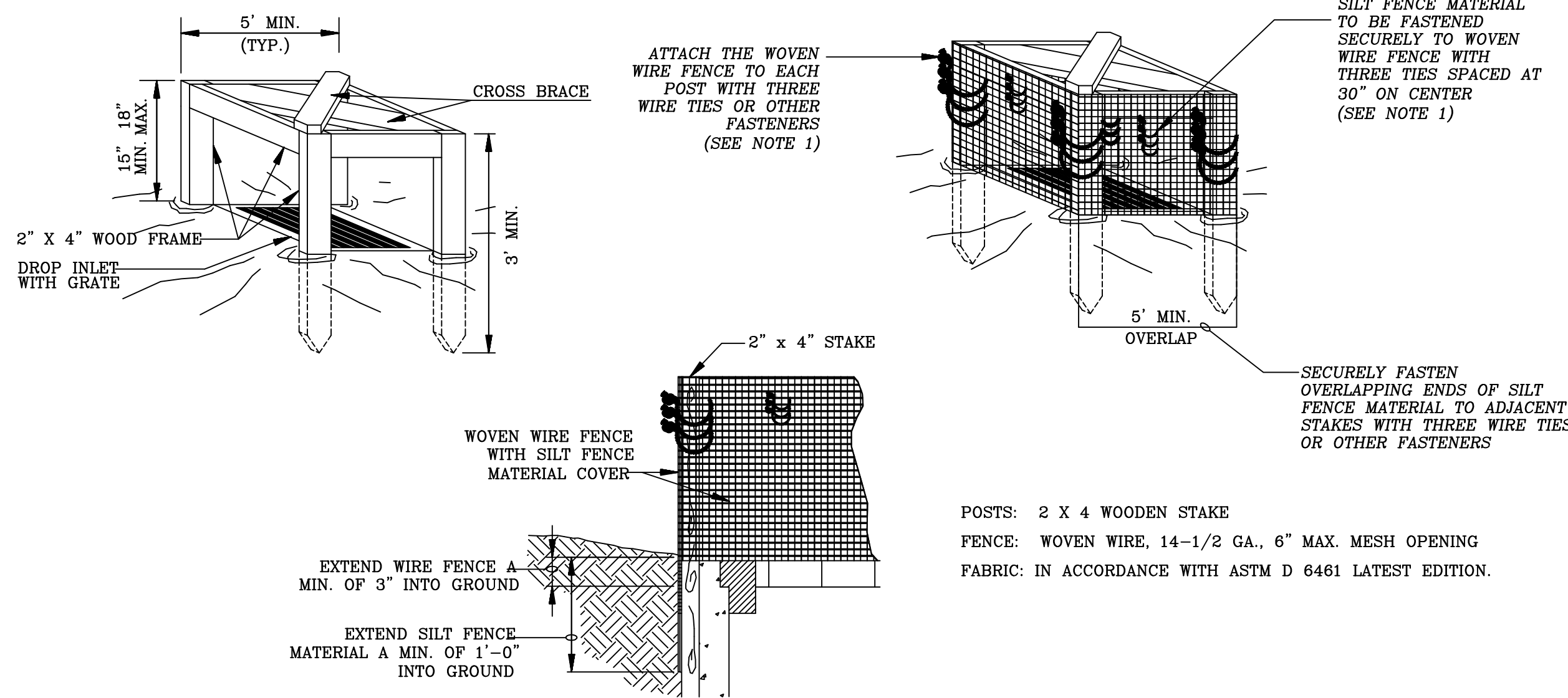


2A ATTACHING 2 SILT FENCES N.T.S.

- NOTES:**
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
 2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
 3. SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
 4. SEE SWPPP SITE MAPS FOR LOCATION OF SEDIMENT TRAP(S).
 5. CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CIRCUITING/BYPASSING THE EXIT.

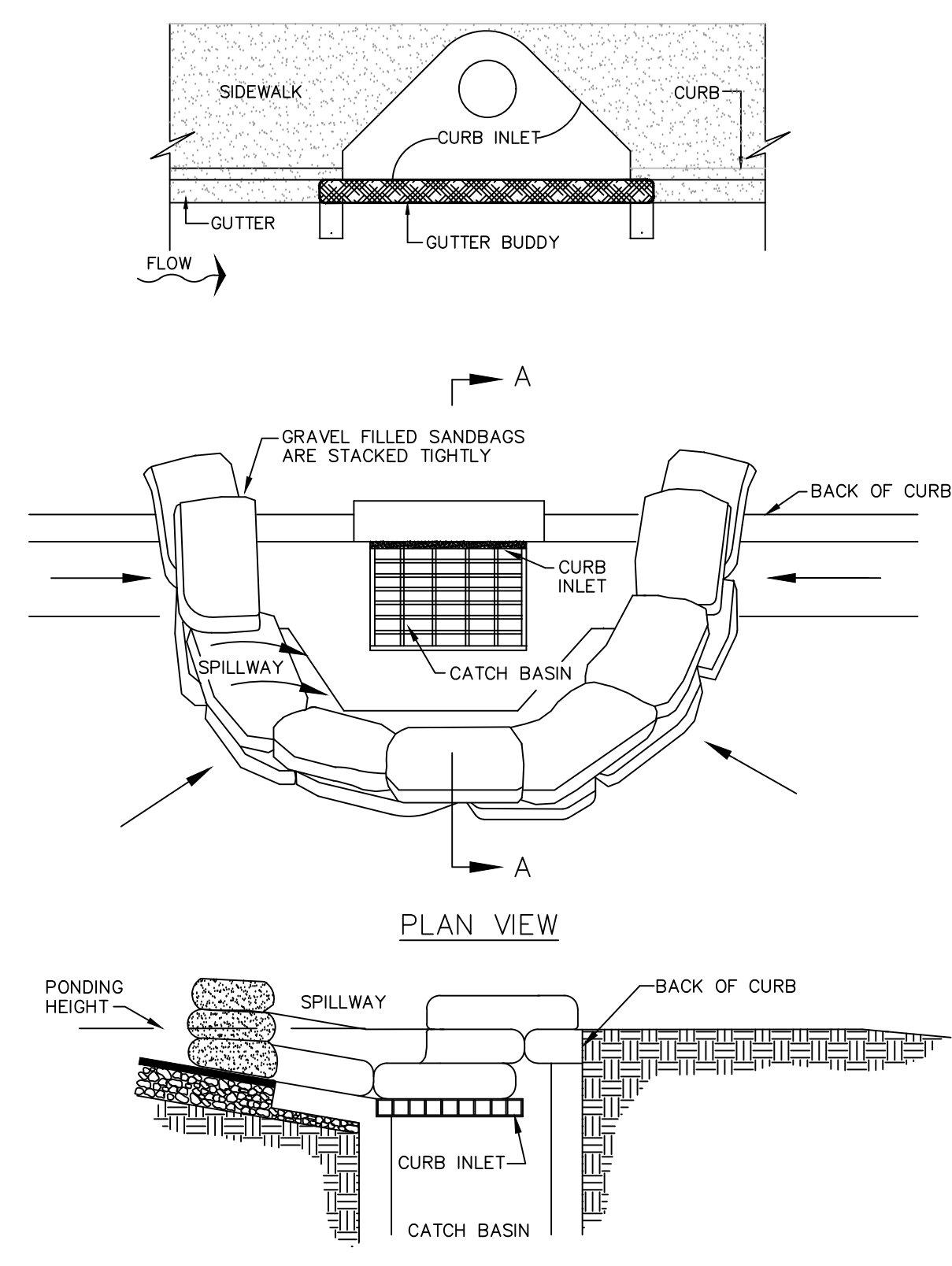


TYPICAL CONSTRUCTION ACCESS N.T.S.



1. ATTACH THE WOVEN WIRE FENCE TO EACH POST GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 6" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

4 TYPICAL SILT FENCE INLET PROTECTION N.T.S.



- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF
 2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY
 3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AS NECESSARY. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY

3 TYPICAL CURB INLET PROTECTION DETAILS N.T.S.

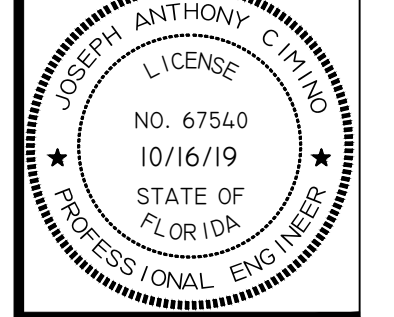
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Engineering ~ Environmental
Water Resource ~ Survey
7978 Cooper Creek Blvd.
University Park, Florida 34201
4266 W. Linebaugh Ave.
Tampa, Florida 33624
www.wraengineering.com
CA 00007652 LB 8274
Phone: 813.265.3130 941.275.9721



EROSION CONTROL
DETAILS

DIXIE HIGHWAY
COMMERCIAL
DEVELOPMENT

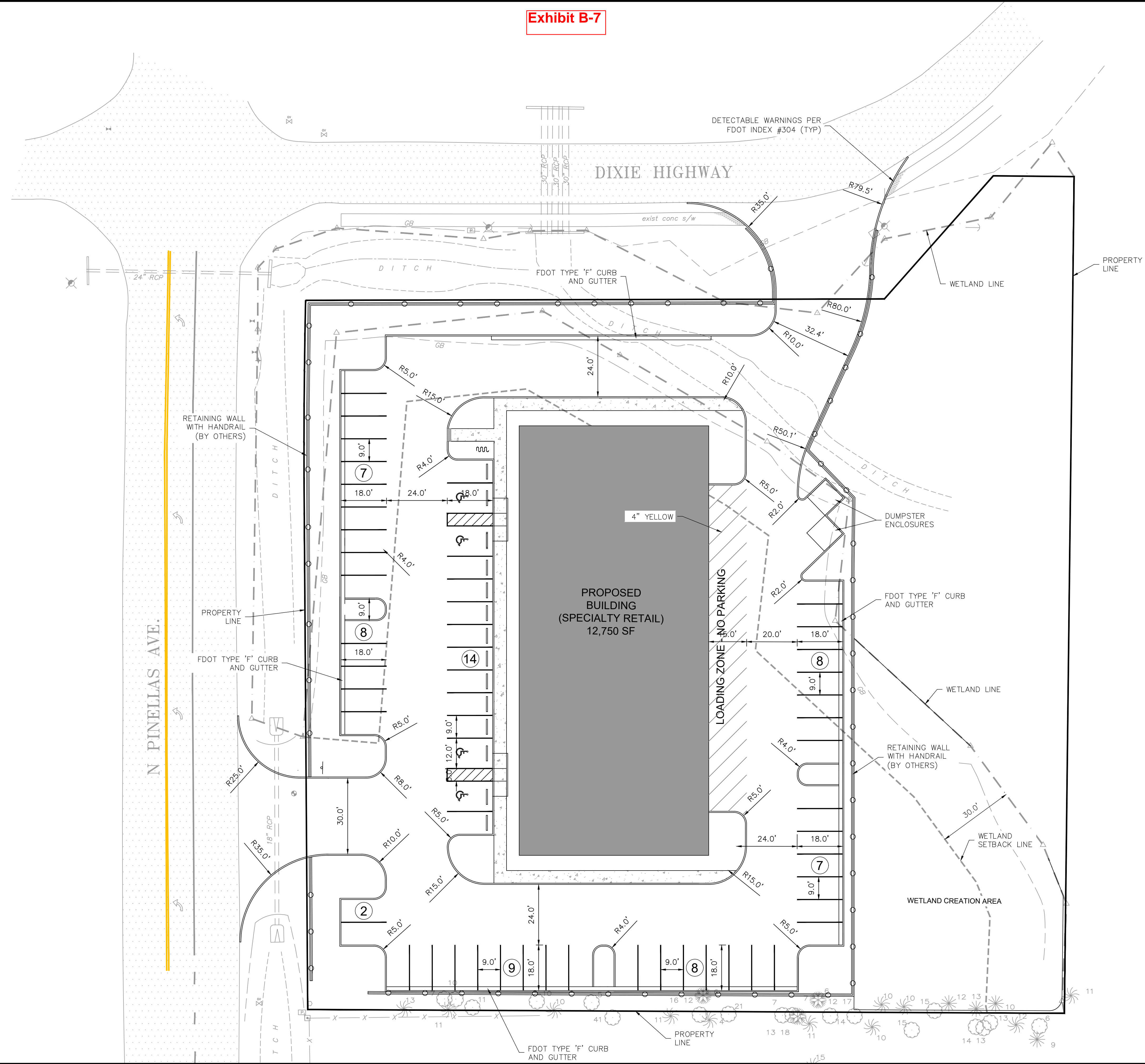


ISSUED FOR: PERMITTING
JOB #: 1378 SEC.: 01
TWN: 27
RNG: 15
DESIGNED: BAE DRAWN: BAE APPROVED: JAC
NAVD

Datum:
G-006

Exhibit B-7

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2019 WEA



STANDARD SILT FENCE (18" HIGH)

STAKE
STAPLES
JOINING FENCE SECTIONS

*STAKES SPACED @ 8' MAX. USE 2"x2" (± 1/8") WOOD OR EQUIVALENT STEEL (U OR T) STAKES.

SUPPORT STAKE *
FABRIC FENCE
COMPACTED BACKFILL
UNDISTURBED GROUND
FILL SLOPE
TOE ANCHOR TRENCH

FABRIC WIDTH SHALL BE 30" MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.

SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER.

FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	SILT FENCE INSTALLATION DETAIL	DATE: 12/15/15 NO. G-01 SCALE: N.T.S. 1 OF 1
--	---	---	--

DUMPSTER ENCLOSURE: PLAN

DUMPSTER ENCLOSURE: SECTION

TYPE	A	B
TYPE 1	10'-0"	10'-0"
TYPE 2	12'-0"	12'-0"
TYPE 3	14'-0"	14'-0"
TYPE 4	16'-0"	16'-0"
TYPE 5	18'-0"	18'-0"

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	DUMPSTER ENCLOSURE	DATE: 10/16/17 NO. G-09 SCALE: 1/4"=1'-0" 1 OF 1
--	---	---------------------------	--

DUMPSTER: CMU WALL FOOTING

ROUNDED STUCCO TOP
TOP BLOCK SHALL BE KNOCK OUT BLOCK WITH (1) #5 BAR CONTINUOUS

PAINTED STUCCO FINISH OUTSIDE ONLY
PAINTED BLOCK ON THE INSIDE AND PAINTED STUCCO ON THE OUTSIDE

#5 @ 24" RUN TO KNOCK OUT BLOCK. AND BEND 24" HORIZONTALLY USE 24" LAPS

HORIZ. REINFORCEMENT (DUROWALL OR EQUAL) @ 16" O.C.

8"X8"X16" CMU, FILL CORES W/CONCRETE 3,000 PSI

X" EXPANSION JOINT

#4 @ 12" O.C., E.W.

PROPOSED GRADE
3" CLEAR
COMPACTED SUBGRADE
3" CLEAR

#5 @ 24" O.C.
(4) #5 CONTINUOUS
#5 @ 24" O.C.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	DUMPSTER: CMU WALL FOOTING	DATE: 1/4/17 NO. G-10 SCALE: 3/4"=1'-0" 1 OF 1
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**CITY OF
TARPON SPRINGS**
PINELLAS COUNTY, FLORIDA

COLLECTION VEHICLE APPROACH AND TURN RADIUS DIAGRAM

40'-0" undisturbed approach

100 degree turn radius

50 degree turn radius measured to center point of the outside front wheel relative to back of curb

Vehicle	Clearance	Turn Radius
Class C	72 Feet	72 Feet
Water Transport Vehicle	45 Feet	60 Feet
Motor Unit	38 Feet	50 Feet
Tractor	35 Feet	45 Feet

NOTE: verify actual required turning radiuses with vehicle manufacturer's specifications.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	COLLECTION VEHICLE TURNING RADIUS	DATE: 1/4/17 NO. G-12 SCALE: N.T.S. 1 OF 1
--	---	--	--

NOTES:

- WALLS; MAXIMUM 6'-0" HIGH AND CONSTRUCTED OF CONCRETE BLOCK (8"X8"X16").
- GATES; CONSTRUCTED OF PVC MATERIAL, HINGE-MOUNTED ON MIN. 6"x6" HOT DIPPED GALVANIZED STEEL POST (PAINTED) OR EQUAL.
- DROP PIN; 1" GAL. STEEL SLEEVE CENTERED IN 12"x12"x18" CONCRETE FOOTING FLUSH WITH GRADE FOR CANE BOLT ANCHORING (TYP.).
- BOLLARD; 3'-6" HIGH, 6" DIAMETER STEEL PIPE BOLLARD FILLED WITH CONCRETE, PAINTED TRAFFIC YELLOW, IMBEDDED 3'-0" DEEP IN 18" CONCRETE FOUNDATION. (SEE DETAIL G-11)

CONCRETE MASONRY WALL CONSTRUCTION

MATERIALS, CONSTRUCTION AND QUANTITY CONTROL OF MASONRY SHALL BE IN ACCORDANCE WITH UNIFORM BUILDING CODE (UBC), CHAPTER 24. GENERAL CONDITIONS AND CONSTRUCTION REQUIREMENTS SHALL BE APPLIED AS SPECIFIED IN UBC, SECTION 2404 (F), DURING GROUTED MASONRY WORK.

- ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60. VERTICAL REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL, AND SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM.
- HORIZONTAL WALL REINFORCEMENT SHALL BE STANDARD TRUSS TYPE DUR-O-WALL (OR EQUIVALENT) AT 16" O.C..
- HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C-90, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI.
- MORTAR SHALL BE TYPE M OR S, IN ACCORDANCE WITH ASTM C-270. PLACE ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING, HORIZONTAL AND VERTICAL.
- COARSE GROUT SHALL CONFORM TO ASTM C-476, WITH A MAXIMUM AGGREGATE SIZE OF 3/8", 8" TO 10" SLUMP, AND A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS.

DESIGN CRITERIA:
DESIGN CRITERIA BASED ON 2014 FLORIDA BUILDING CODE, 5TH EDITION AND ASCE 7-10.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	DUMPSTER ENCLOSURE STRUCTURE NOTES	DATE: 1/4/17 NO. G-13 SCALE: N.T.S. 1 OF 1
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PLAN

SECTION AA

SECTION BB

SECTION CC

VALLEY GUTTER

TYPE E

TYPE F

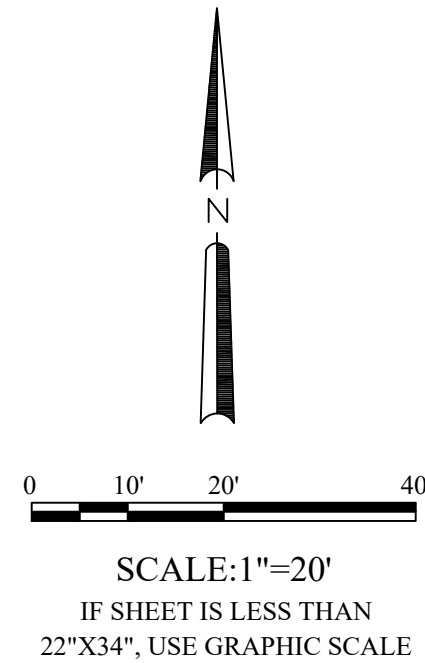
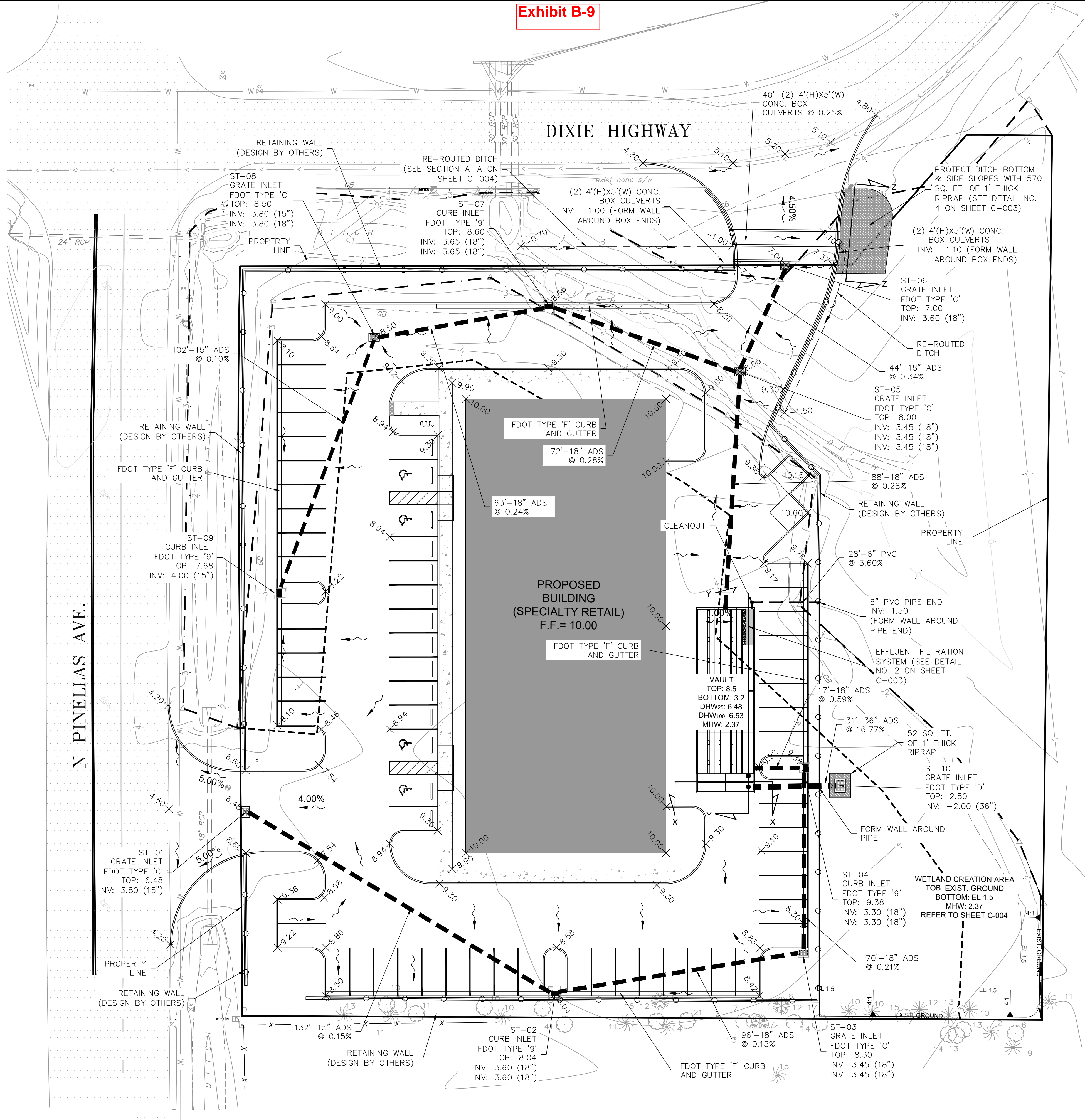
DROP CURB

SHOULDER GUTTER

TRAFFIC BEARING SECTION FOR USE IN ROUNDABOUT CENTRAL ISLAND CONSTRUCTION TYPE RA

Note: For use as shown. E's required.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	DUMPSTER ENCLOSURE STRUCTURE NOTES	DATE: 1/4/17 NO. G-13 SCALE: N.T.S. 1 OF 1
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VERTICAL DATUM: NAVD 1988

FEMA FLOOD DATA:
 COMMUNITY NO. 12013C0017H
 FLOOD ZONE: "AE" BFE: 9.0
 DATED: 6/29/2018

- GENERAL NOTES:
- REFER TO SHEETS C-003 AND C-004 FOR DRAINAGE DETAILS AND SITE CROSS-SECTIONS
 - THE CONTRACTOR SHALL PROVIDE A DEWATER SEQUENCING PLAN TO SWFWMD FOR APPROVAL PRIOR TO ANY DEWATERING ACTIVITIES

2019 WRA
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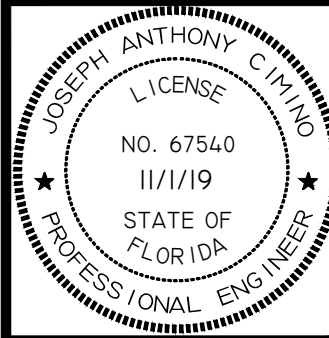
Engineering ~ Environmental
 Water Resource ~ Survey

www.wraengineering.com
 7978 Cooper Creek Blvd.
 4366 W. Littlefield Ave.
 Tampa, Florida 33624
 CA 00007652 LB 8274
 Phone: 813.265.3130 941.275.9721

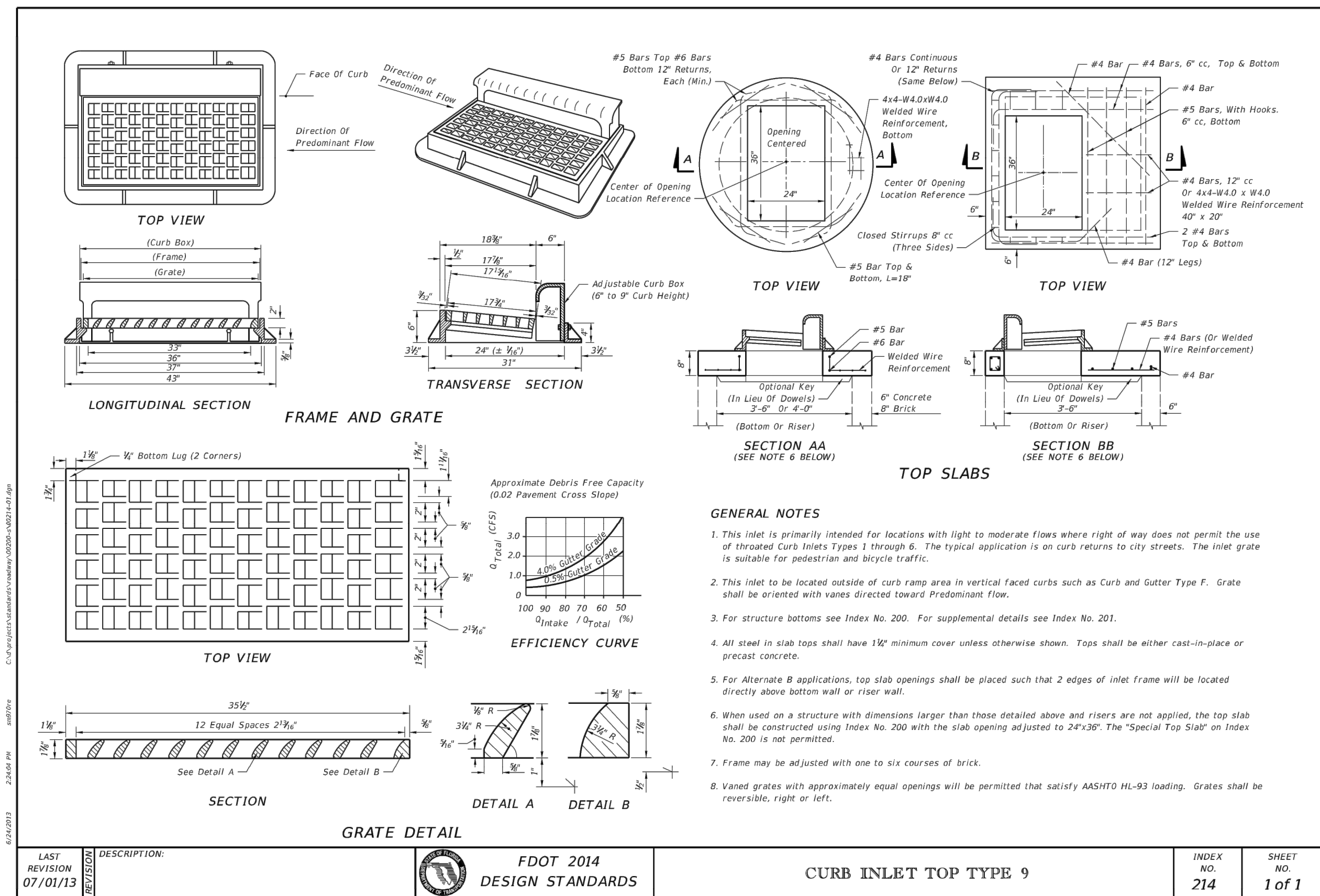


GRADING AND
 DRAINAGE PLAN

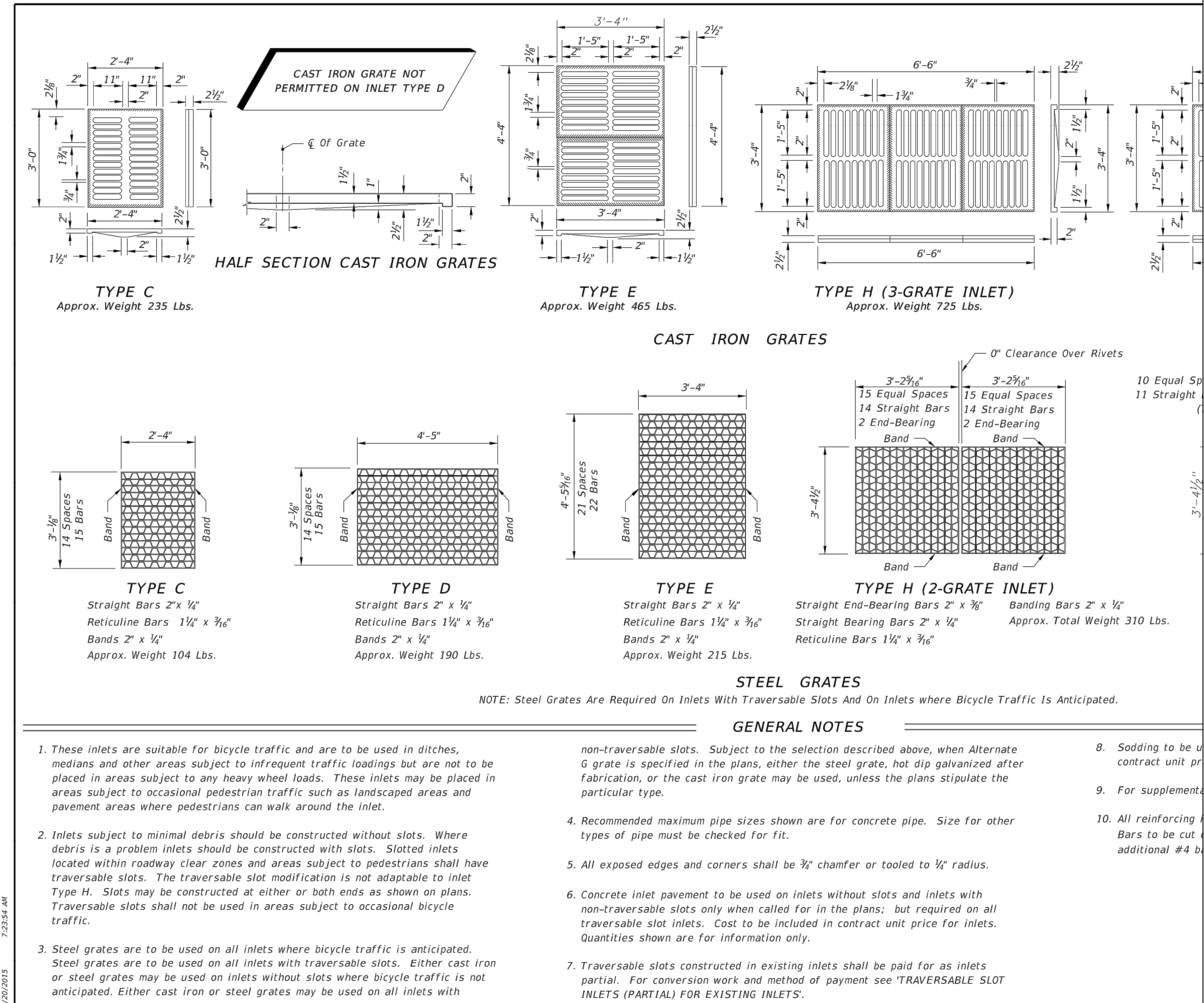
DIXIE HIGHWAY
 COMMERCIAL
 DEVELOPMENT



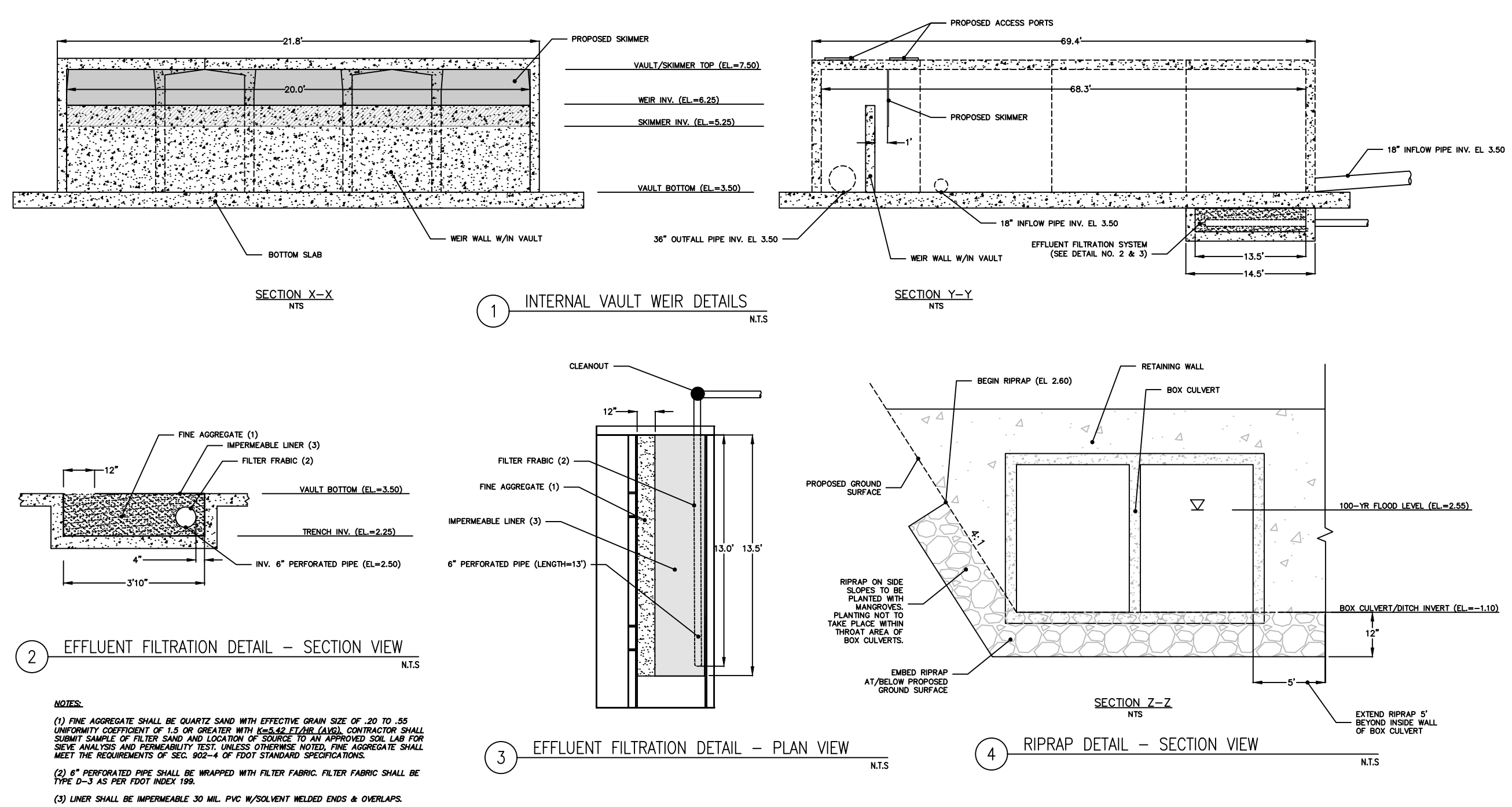
ISSUED FOR: PERMITTING
 JOB # 1378 SEC. 01 TOWN 27
 NAVD
 Datum:
 C-003



LAST REVISION	DESCRIPTION:	FDOT 2016 DESIGN STANDARDS	DITCH BOTTOM INLET TYPES C, D, E, H
07/01/05			

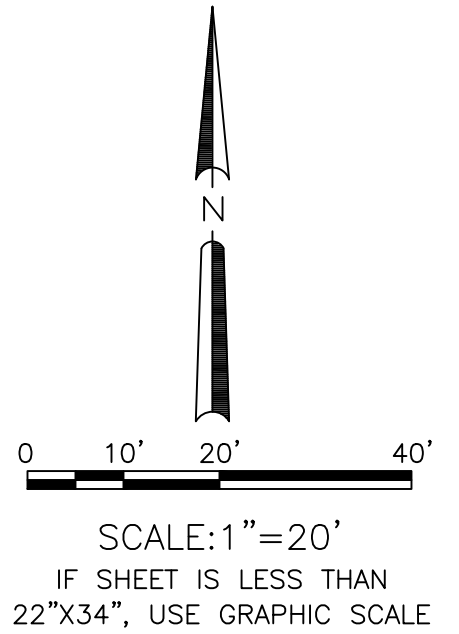


LAST REVISION	DESCRIPTION:	FDOT 2016 DESIGN STANDARDS	DITCH BOTTOM INLET TYPES C, D, E, H
07/01/10			



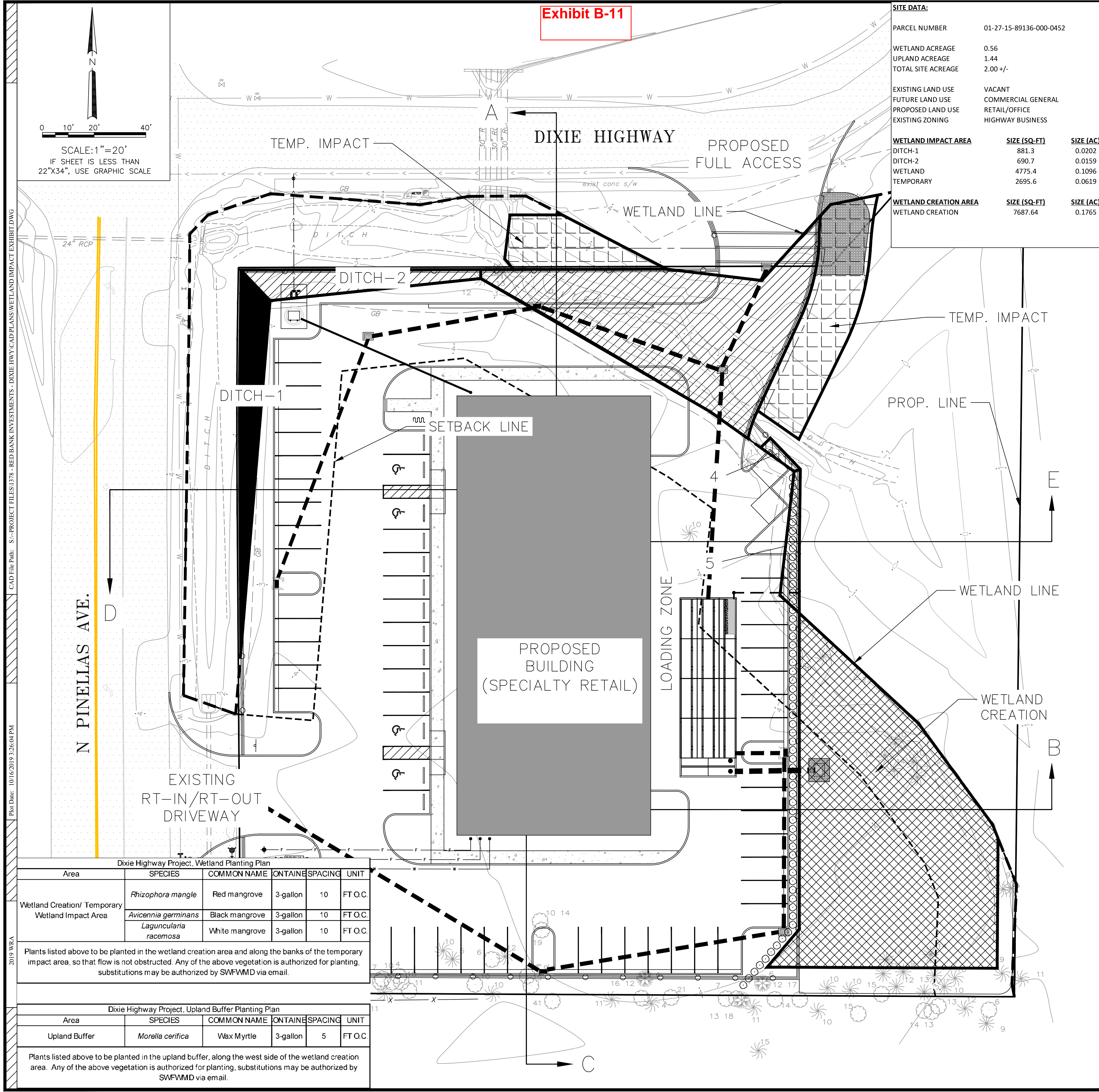
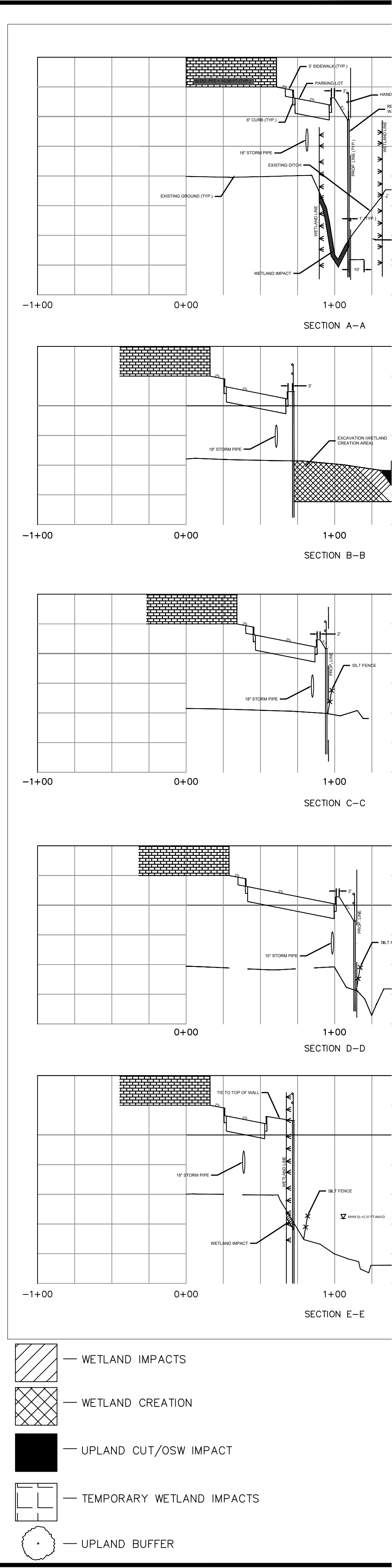
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Exhibit B-11



SITE DATA:

PARCEL NUMBER	01-27-15-89136-000-0452	
WETLAND ACREAGE	0.56	
UPLAND ACREAGE	1.44	
TOTAL SITE ACREAGE	2.00 +/-	
EXISTING LAND USE	VACANT	
FUTURE LAND USE	COMMERCIAL GENERAL	
PROPOSED LAND USE	RETAIL/OFFICE	
EXISTING ZONING	HIGHWAY BUSINESS	
WETLAND IMPACT AREA	SIZE (SQ-FT)	SIZE (AC)
DITCH-1	881.3	0.0202
DITCH-2	690.7	0.0159
WETLAND	4775.4	0.1096
TEMPORARY	2695.6	0.0619
WETLAND CREATION AREA	SIZE (SQ-FT)	SIZE (AC)
WETLAND CREATION	7687.64	0.1765



2019 WEA
 Print Date: 10/16/2019 3:26:04 PM
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Dixie Highway Project: Wetland Planting Plan

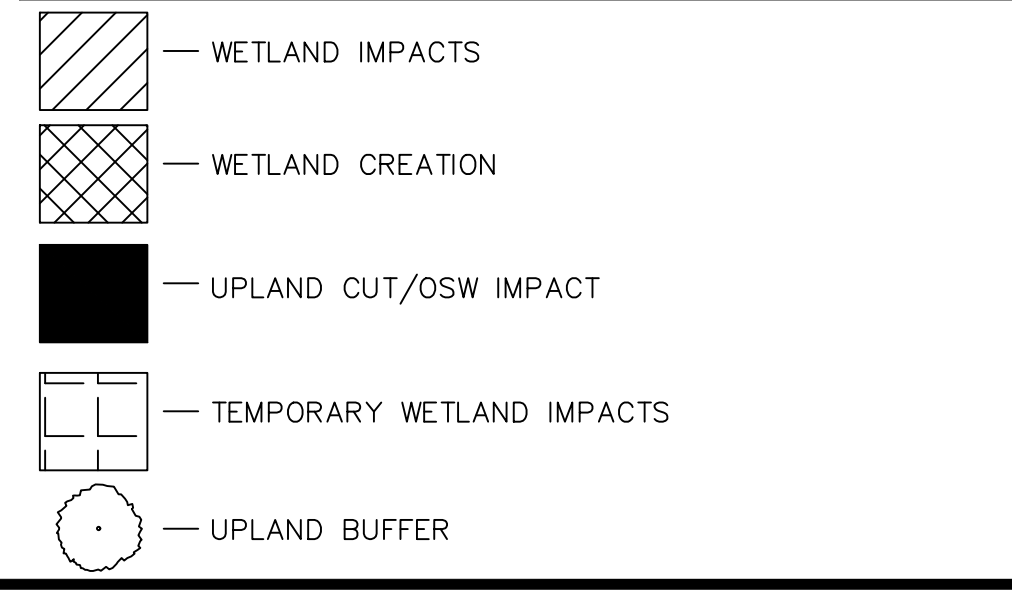
Area	SPECIES	COMMON NAME	CONTAINER	SPACING	UNIT
Wetland Creation/ Temporary Wetland Impact Area	<i>Rhizophora mangle</i>	Red mangrove	3-gallon	10	FT O.C.
	<i>Avicennia germinans</i>	Black mangrove	3-gallon	10	FT O.C.
	<i>Laguncularia racemosa</i>	White mangrove	3-gallon	10	FT O.C.

Plants listed above to be planted in the wetland creation area and along the banks of the temporary impact area, so that flow is not obstructed. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.

Dixie Highway Project: Upland Buffer Planting Plan

Area	SPECIES	COMMON NAME	CONTAINER	SPACING	UNIT
Upland Buffer	<i>Morella cerifera</i>	Wax Myrtle	3-gallon	5	FT O.C.

Plants listed above to be planted in the upland buffer, along the west side of the wetland creation area. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.



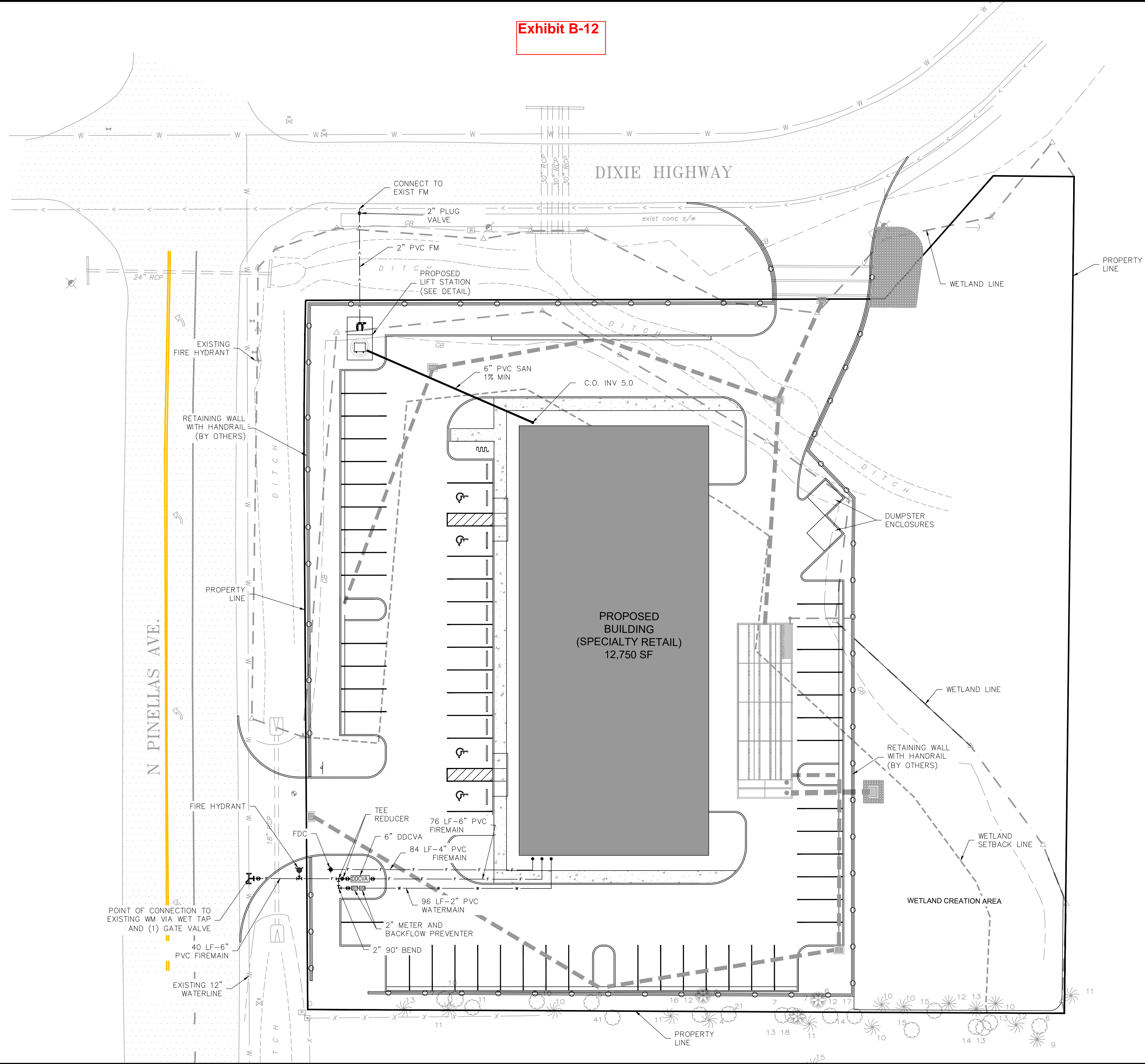


Exhibit B-13

1. ALL PRESSURE PIPE MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AS SHOWN HEREIN, OR AS DIRECTED BY THE ENGINEER.

2. PIPE JOINT DEFLECTION SHALL NOT EXCEED 75% OF THE PIPE MANUFACTURE REQUIREMENTS.

3. THE CONTRACTOR SHALL ADJUST PIPELINE ALIGNMENTS HORIZONTALLY AND/OR VERTICALLY AS REQUIRED TO AVOID CONFLICTS WITH ACTUAL FIELD CONDITIONS AS UNCOVERED DURING CONSTRUCTION. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

4. PRESSURE PIPE CLEARANCES SHALL BE AS FOLLOWS:

A) POTABLE WATER MAINS IN PARALLEL INSTALLATIONS SHALL MAINTAIN A MINIMUM 10 FEET OUTSIDE TO OUTSIDE HORIZONTAL CLEARANCE FROM ALL SANITARY SEWERS, STORM DRAINS, AND FORCE MAINS.

B) POTABLE WATER MAINS WHERE CROSSING SHALL MAINTAIN A MINIMUM OF 18 INCHES OUTSIDE TO OUTSIDE VERTICAL CLEARANCE FROM ALL SANITARY SEWERS, STORM DRAINS, AND FORCE MAINS.

C) POTABLE WATER MAINS SHALL MAINTAIN A MINIMUM OF 5 FOOT CENTER TO CENTER HORIZONTAL CLEARANCE OR 3 FOOT OUTSIDE TO OUTSIDE HORIZONTAL CLEARANCE AND 18 INCHES OUTSIDE TO OUTSIDE VERTICAL CLEARANCE FROM RECLAIMED WATER MAINS.

5. THE CONTRACTOR SHALL PROVIDE ALL DEWATERING EQUIPMENT NECESSARY TO KEEP EXCAVATIONS DRY AND SHALL PROVIDE ALL SHORING, SHEETING, AND BRACING NECESSARY TO PROTECT WORKMEN, ADJACENT STRUCTURES, UTILITIES, EXISTING PAVEMENT, OR TO MINIMIZE TRENCH WIDTH AT NO ADDITIONAL COST TO THE CITY.

6. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER REGARDING SHUTTING DOWN WATER MAINS. PROPER AND ADEQUATE NOTIFICATION MUST BE MADE TO PROPERTY OWNERS, BUT IN NO CASE SHALL LESS THAN 24 HOURS WRITTEN NOTICE BE GIVEN.

7. THE OPENING AND/OR CLOSING OF EXISTING VALVES OR NEW VALVES INSTALLED IN PRESSURE PIPE SYSTEMS SHALL BE BY A CITY SANITARIAN AFTER COORDINATION WITH THE ENGINEER.

8. THE CONTRACTOR SHALL PROVIDE NECESSARY EQUIPMENT AND LABOR TO MAKE TAPS IN PRESSURE PIPE MAINS WHERE TAPPING SLEEVES AND VALVES ARE SHOWN ON THE PLANS.

9. ALL NEW DUCTILE IRON PRESSURE PIPE, FITTINGS, AND VALVE BODIES SHALL BE WRAPPED IN POLYETHYLENE IN ACCORDANCE WITH ANSI/AWWA C105.

10. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING POTABLE AND RECLAIMED SERVICE LINES UNDER PAVEMENT OR ELSEWHERE IN THE CONSTRUCTION ZONE. REPLACE SERVICE LINES WHERE SHOWN OR DIRECTED BY THE ENGINEER. ALL RELOCATED SERVICE LINES SHALL BE RELOCATED SO THAT THE METER ASSEMBLY WILL NOT BE IN AN ALLEY, DRIVEWAY, OR OTHER VEHICULAR TRAVEL PATH.

11. ALL EXISTING POTABLE AND/OR RECLAIMED WATER SERVICE LINES SHALL BE TRANSFERRED TO THE NEW MAIN, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

12. MAINTAIN A MINIMUM COVER OF 36 INCHES UNDER ROADWAYS, ALLEYS, AND DRIVEWAYS. MAINTAIN A MINIMUM OF 30 INCHES OF COVER IN SODDED AND LANDSCAPED AREAS.

13. THRUST BLOCKING SHALL NOT BE USED, UNLESS ORDERED BY THE ENGINEER. HARNESSED PIPE JOINTS SHALL BE USED. THE LENGTH OF HARNESSED JOINTS SHALL BE AS SHOWN ON THE PLANS.

14. SANITARY SEWER FORCE MAINS SHALL NOT USE GREATER THAN 45° BENDS FOR OFFSETS OR REALIGNMENT OF THE FORCE MAIN. THE 45° BENDS SHALL HAVE A MINIMUM OF 5 FEET BETWEEN THEM, WHEN POSSIBLE.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	NOTES FOR PRESSURE PIPE	DATE: 12/15/15
			INDEX: W-01
			SCALE: N.T.S.
			SHEET: 1 OF 1

18" x 18" x 6" CONCRETE COLLAR
(2) #4 BARS CONTINUOUS AND
(4) #4 BARS DIAGONAL
(2" MINIMUM COVER FOR REINFORCING STEEL)

SPECIFY LETTERING AS "WATER", "SEWER", OR "WATER" DEPENDING ON USE

PROVIDE A 3" DIAMETER BRASS DISC ANCHORED IN CONCRETE COLLAR

PLAN VIEW

16" MAN - SIZE OF MAN OR BYPASS

51 TURNS TO - NUMBER OF TURNS TO OPEN

OPEN - C.W. - DIRECTION TO TURN TO OPEN

DARLING CO. - VALVE MANUFACTURER

1994 - YEAR VALVE INSTALLED

NON PAVED AREAS / PAVED AREAS

PROVIDE A 3" DIAMETER BRASS DISC ANCHORED IN CONCRETE COLLAR

FINISHED GRADE

18" x 18" x 6" CONCRETE COLLAR
(2) #4 BARS CONTINUOUS AND
(4) #4 BARS DIAGONAL

FINISHED PAVEMENT

VARIES - 30" MINIMUM

TWO PIECE CAST IRON VALVE BOX WITH OR 18 PVC PIPE EXTENSION IF NEEDED (C-900 OR 14 PVC PIPE IN PAVED AREAS). VALVE BOX OR PIPE SHALL NOT BEAR ON VALVE OR PRESSURE MAIN

PRESSURE MAIN

ALL VALVES USED IN WATER DISTRIBUTION SYSTEMS SHALL BE OF THE RESILIENT SEAT TYPE IN ACCORDANCE WITH AWWA C-509

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	TYPICAL VALVE SETTING DETAIL	DATE: 12/15/15
			INDEX: W-11
			SCALE: N.T.S.
			SHEET: 1 OF 1

REFER TO STANDARD DETAIL W-09 FOR VALVE BOX / TRACER WIRE INSTALLATION

2" WITH CAP

12" MIN

2-#14 GAUGE SOLID STRAND COPPER WIRES

DUCT TAPE

TAPPING SLEEVE OR TEE

NOTES:

- USE 2-#14 GAUGE, SOLID COPPER STRAND WIRE WITH COLOR CODED INSULATION PER SERVICE.
- THERE IS TO BE SUFFICIENT SLACK IN TRACER WIRE TO EXTEND A MIN. OF 12" ABOVE VALVE BOX.
- WIRE IS TO CONTINUE THROUGH TEES ON MAIN LINE WHERE NO VALVES EXIST.
- ATTACH WIRE TO TOP CENTER LINE OF MAIN USING DUCT TAPE OR APPROVED EQUAL @ 5'-0" INTERVALS.
- DUMMY BOXES ARE TO BE INSTALLED WHERE NEW CONSTRUCTION TIES INTO EXISTING, AND ON FIRE LINES WITH DOUBLE CHECK VALVE ASSEMBLIES WHERE MAIN ENTERS BUILDING IF NO VALVE IS INSTALLED.
- DUMMY BOXES ARE TO CONSIST OF A TOP SECTION OF A VALVE BOX ASSEMBLY ENCASED IN A CONCRETE PAD PER STANDARD DETAIL W-05.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	TRACER WIRE INSTALLATION	DATE: 12/15/15
			INDEX: W-13
			SCALE: N.T.S.
			SHEET: 1 OF 1

LOCK RING 6" PVC (SDR 35) OR APPROVED EQUAL. 1"-3" WIDE BAND w/3" SECTION CUT OUT. 2 REQUIRED FOR EACH VALVE BOX

2" CAP

3"

ADJUSTABLE VALVE BOX BOTTOM SECTION

1" TO 1-1/2" NOTCH IN LINE w/PIPE DIRECTION (UP TO 4 REQUIRED)

2-#14 GAUGE SOLID COPPER STRAND WIRES

JOINT RESTRAINERS

DUCT TAPE

12" MIN.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	VAL	DATE: 12/15/15
			INDEX: W-13
			SCALE: N.T.S.
			SHEET: 1 OF 1

REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER ASSEMBLY (PROVIDED BY CONTRACTOR) SUPPLIED WITH AMMONIA AND CHLORINE RESISTANT SEALS AND SILICONE RUBBER SEALS. INSTALLATION AS REQUIRED BY ORDINANCE.

TEMPORARY METER TO BE PROVIDED BY CITY OF TARPON SPRINGS WITH A 48 HOUR NOTIFICATION. CERTIFIED BACKFLOW TESTER TO BE ON SITE AT THE TIME THAT THE METER IS SET.

SCHEDULE 80 PVC (TYP)

SEE INDEX W-05

FLOW

12" MINIMUM CLEARANCE FROM BOTTOM OF DUMP PORT

MJ TAPPED CAP WITH 2" THREADED TAP

MJ RETAINER GLANDS (TYP)

NEW MAIN

MJ TAPPED CAP WITH 2" THREADED TAP

4"-0" MINIMUM / 6"-0" MAXIMUM

EXISTING MAIN

GATE VALVE (MAIN LINE HOT TAP)

THRUST BLOCK

STAINLESS STEEL OR CAST IRON TAPPING SADDLE

NOTES:

- FINAL CONNECTION TO BE WITNESSED BY CITY OF TARPON SPRINGS WATER DISTRIBUTION.
- MJ TAPPED CAPS TO BE PROPERLY RESTRAINED.
- INSTALL JUMPER TAP SYSTEM FOR TEMPORARY METER DOWNSTREAM OF BLIND FLANGE FOR CONSTRUCTION WATER.
- TAPPING SADDLES SHALL BE STAINLESS STEEL. ALL TAPPING SADDLES FOR ASBESTOS CEMENT PIPE SHALL BE STAINLESS STEEL.
- JUMPER ASSEMBLY MUST BE MINIMUM OF 18" ABOVE FINISHED GRADE.
- BACKFLOW ASSEMBLY REQUIRES INITIAL CERTIFICATION BY CERTIFIED BACKFLOW TESTER.
- THIS ASSEMBLY SHALL ONLY BE USED IF NO COMBUSTIBLES WILL BE ON SITE. IF COMBUSTIBLES ARE BROUGHT ON SITE, THEN THE TEMPORARY BACKFLOW PREVENTERS AND FIRE PROTECTION METER TIE-IN ASSEMBLY SHALL BE USED.
- THIS ASSEMBLY IS NOT APPROVED TO PROVIDE FIRE PROTECTION WATER TO THE SITE DURING CONSTRUCTION. ASSEMBLY NOT TO BE REMOVED AND SPOOL PICE INSTALLED FOR FINAL CONNECTION UNTIL AFTER TESTING, BACTERIAL CLEARANCE, FINAL INSPECTION AND COUNTY ACCEPTANCE.
- GAP CONFIGURATION TO BE INSTALLED WITHIN 24 HOURS OR LESS AT THE DISCRETION OF THE WATER DISTRIBUTION DEPARTMENT.
- ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	CONNECTION TO EXISTING WATER MAIN DETAIL (GAP CONFIGURATION)	DATE: 12/15/15
			INDEX: W-23
			SCALE: N.T.S.
			SHEET: 1 OF 1

INSTALL INLINE GATE VALVE AT PROPERTY LINE OR RIGHT-OF-WAY LINE

CONCRETE FOUNDATION (TYP) FULL LENGTH OF METER ASSEMBLY 4" WIDE, 6" THICK REINFORCED 6 x 6 10/10 WELDED WIRE MESH

AR VALVE WITH CORPORATION STOP

STRAINER (TOP ACCESS FACTORY APPLIED FUSION BONDED EPOXY COATED STRAINER ONLY). UL LISTED/FM APPROVED

3/4" BYPASS METER AND BACKFLOW DEVICE

DOUBLE CHECK DETECTOR BACKFLOW PREVENTER ASSEMBLY SUPPLIED WITH AMMONIA AND CHLORINE RESISTANT SEALS AND SILICONE RUBBER SEALS. UL/FM APPROVED FOR FIRE SERVICE INSTALLATION. INSTALLATION AS REQUIRED BY AWWA M-14.

FLANGED GATE VALVE WITH RISING STEM AND RESILIENT SEAT (TYP)

12" SPOOL PIECE

BRASS NIPPLE

12" SPOOL PIECE

12" MINIMUM ABOVE SLAB

INSTALL INLINE GATE VALVE AT PROPERTY LINE OR RIGHT-OF-WAY LINE

ADJUSTABLE STAINLESS STEEL PIPE SUPPORT STANDS AS REQUIRED ANCHORED TO PAD (TYP)

MAN SIZE PER UTILITY PLAN

MJ 45 OR 90 DEGREE BEND WITH MJ RETAINING GLANDS (TYP)

MAN SIZE PER UTILITY PLAN

NOTES:

- ALL ABOVE GROUND PIPE WILL HAVE FLANGED END DUCTILE IRON PIPE, PRESSURE CLASS 350. ALL NUTS AND BOLTS SHALL BE STAINLESS STEEL.
- VEHICULAR GUARD POSTS TO BE INSTALLED AROUND ASSEMBLY. CONFIGURATION TO BE ILLUSTRATED ON CONSTRUCTION DOCUMENTS SUBMITTED FOR REVIEW AND APPROVAL.
- AS THIS UNIT WILL REQUIRE PERIODIC TESTING, FACILITIES REQUIRING CONTINUOUS WATER SERVICE MAY WISH TO INSTALL PARALLEL UNITS TO PREVENT SERVICE INTERRUPTIONS.
- ASSEMBLY WILL BE OWNED AND MAINTAINED BY PROPERTY OWNER, STARTING AFTER THE INLINE GATE VALVE AT THE PROPERTY LINE OR RIGHT-OF-WAY LINE.
- CITY OF TARPON SPRINGS WILL REQUIRE DEDICATION OF MATERIAL UP TO AND INCLUDING THE INLINE GATE VALVE FROM THE FROM THE CITY'S WATER MAIN.
- BACKFLOW DEVICE REQUIRES INITIAL CERTIFICATION BY AN APPROVED CERTIFIED TESTER.
- ALL PLANTING SHALL BE A MINIMUM OF 1.5' FROM THE EDGE OF SLAB, AND SHALL PROVIDE A 3" ACCESS OPENING.
- THIS ASSEMBLY SHALL BE PAINTED WITH RED EPOXY PAINT.
- ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.
- A REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY SHALL BE USED WHEN HIGH HAZARDOUS, AS DEFINED BY AWWA M-14 (e.g., RISK OF CHEMICAL ADDITION, MEDICAL FACILITIES, INDUSTRIAL FACILITIES, PROPERTIES USING RECLAIMED WATER, ETC.), EXIST.

	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	FIRE SYSTEM ASSEMBLY DETAIL	DATE: 12/15/15
			INDEX: W-27
			SCALE: N.T.S.
			SHEET: 1 OF 1

2019 WPCA
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GENERAL NOTES

FURNISH AND INSTALL EBARA SUBMERSIBLE GRINDER PUMPS:

DESIGN CONDITION:

MODEL	50DVU6.75S2	1 HP	HP
GPM	20	46.8	FT/TDH
VOLTAGE	208/230	SINGLE	PHASE
DISCHARGE	2"	132MM	IMPELLER

SEWAGE GRINDER PUMP: RATED FOR TWENTY (20) STARTS PER HOUR.

- AIR FILLED MOTOR DESIGNED FOR SEWAGE APPLICATION WITH CLASS F INSULATION.
- DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE) LOCATED OUT OF THE PUMPAGE, IN A SEPARATE OIL FILLED CHAMBER.
- HIGH TEMPERATURE BALL BEARINGS B-10 RATING OF 60,000 HOURS, UPPER BEARING - SINGLE ROW AND LOWER BEARINGS - DOUBLE ROW TYPE.
- PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.
- SINGLE PHASE MOTORS SHALL BE DUAL WOUND, CAPACITOR START-RUN AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260). THREE PHASE MOTORS SHALL BE DUAL WOUND AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260) OR OPERATE ON 460 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.

FIBERGLASS WET WELL: SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WET WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THE TEST PROCEDURE. ASTM D 3753 & H-20 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.

ALUMINUM HATCH: TSC MODEL-54R (54") ROUND WITH 24" X 36" LOCKABLE HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM, LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

VALVE BOX: FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM. (FOR 1 1/4" AND 2" DISCHARGE PIPING SXS HEADER SYSTEM) SHALL BE 26" X 38" X 18" WITH 17" X 30" LIMITED ACCESS LID

ACCESSORIES: #304 S/S - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.

VALVES: SHALL BE SEWAGE SERVICE DESIGN BRASS SWING CHECK VALVES WITH TOP ENTRY CLEAN-OUT PORT AND BRASS WEDGE GATE VALVES OPEN 100%.

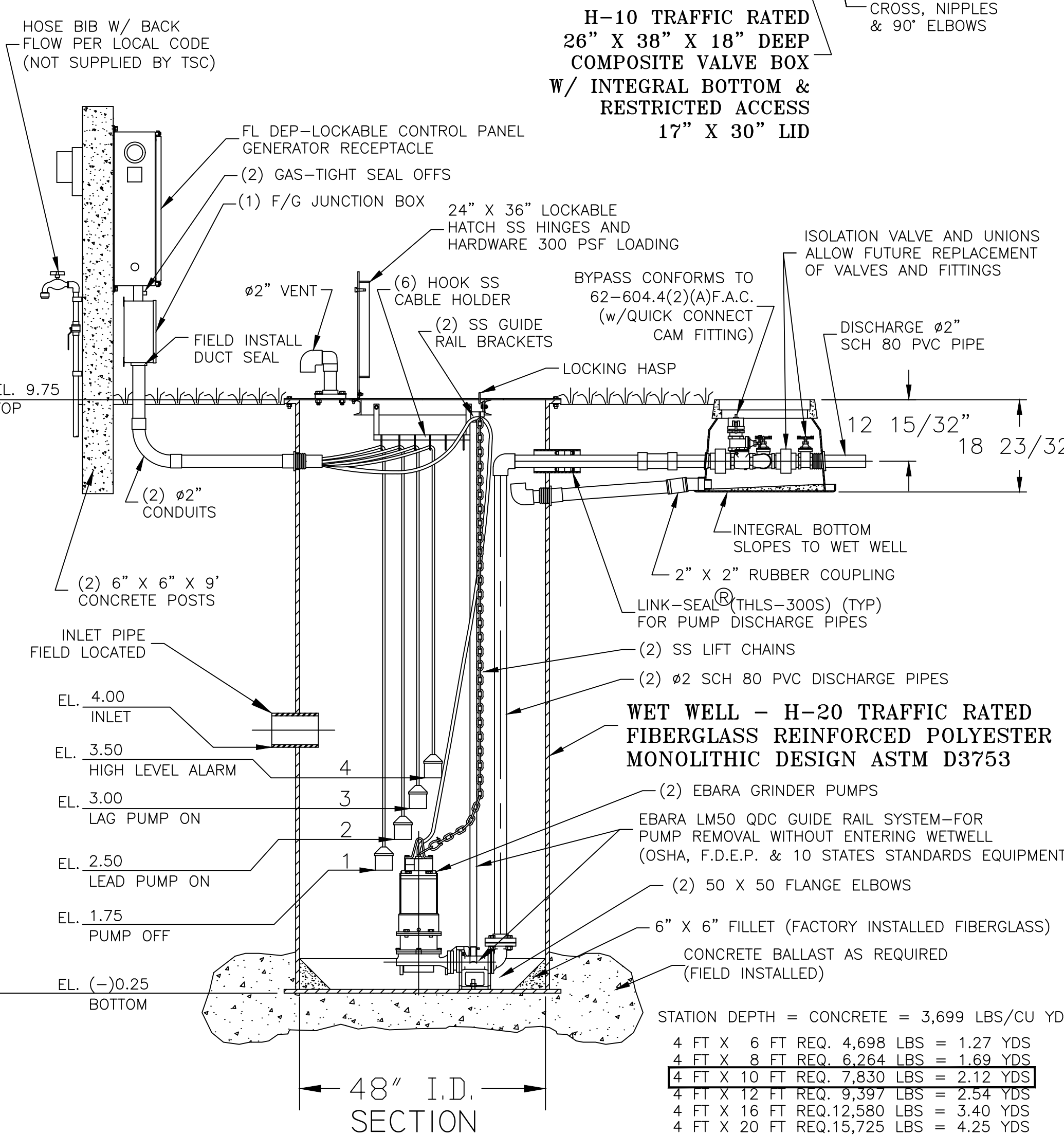
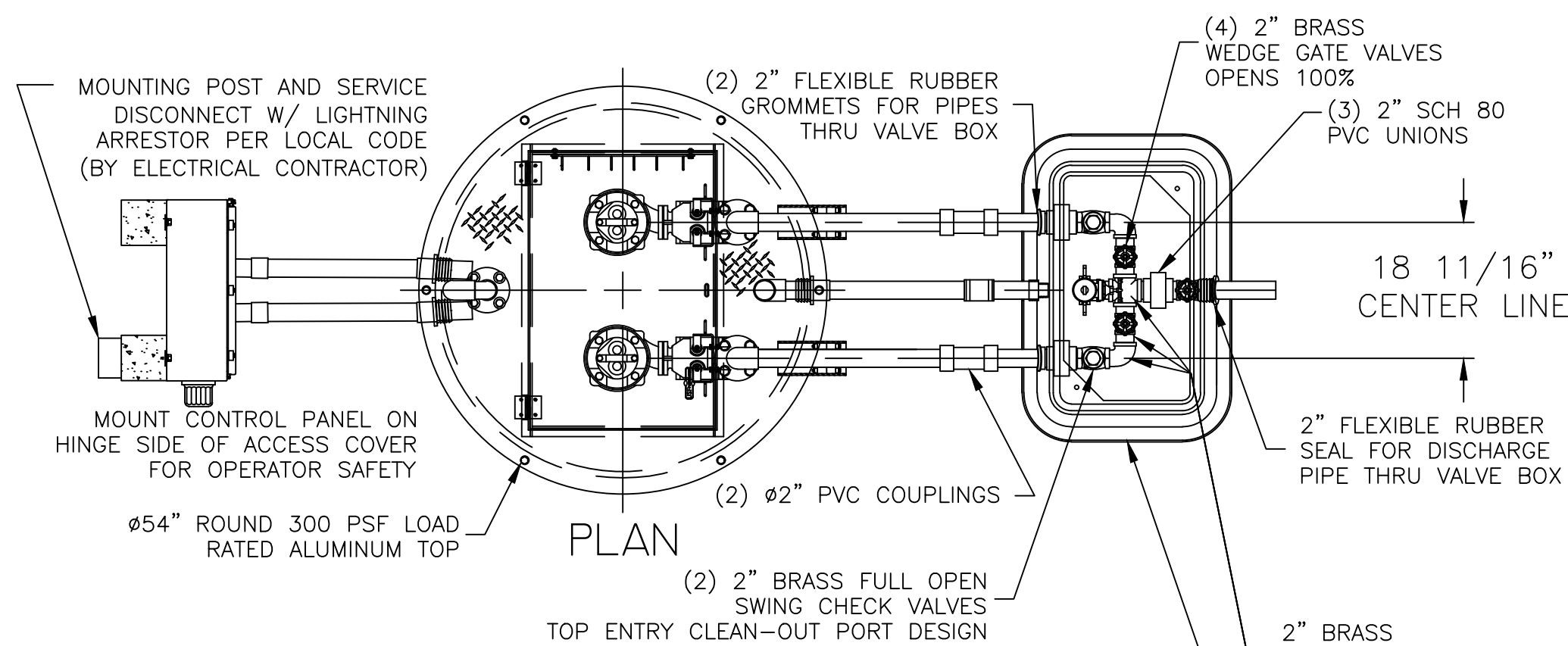
PIPING: 2" SCHEDULE 80 PVC.

FLOAT SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO).

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, ALUMINUM HATCH AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.

THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, SLIDE RAIL ASSEMBLIES AND DISCHARGE PIPING ASSEMBLED BY TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION. THE MANUFACTURER OF PRE-FAB PUMP SOLUTIONS®.

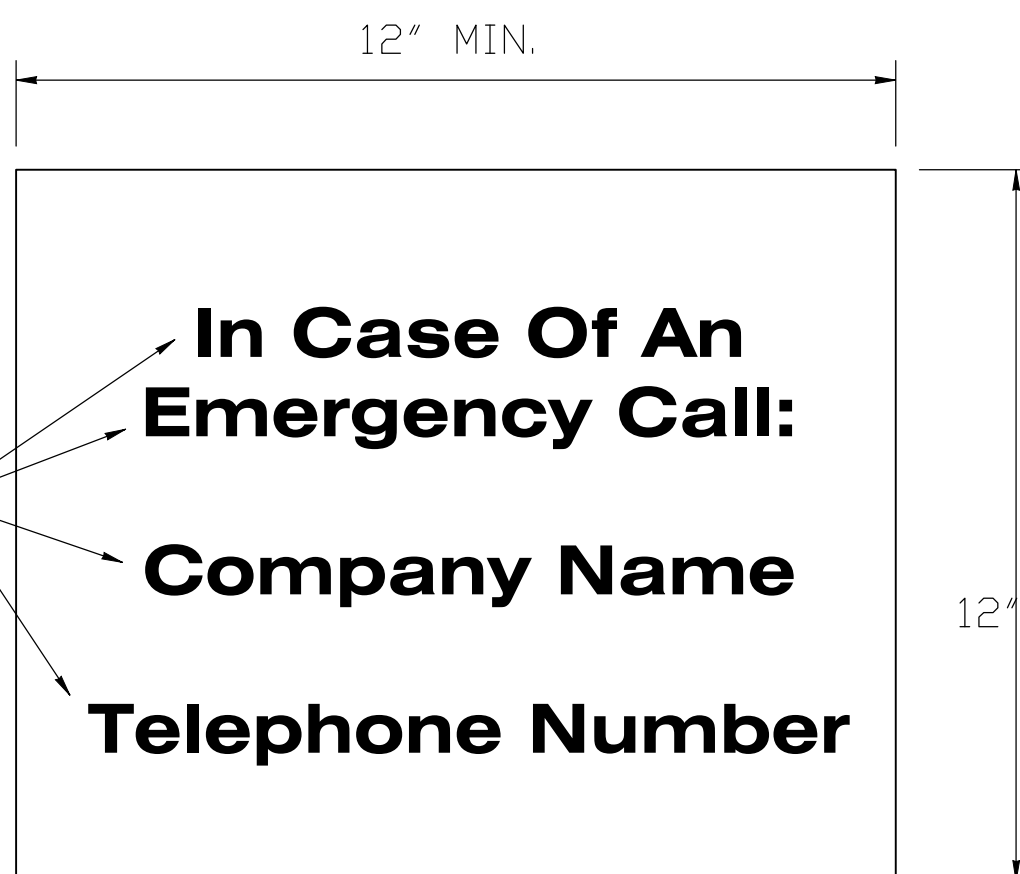
TECHNICAL SALES CORPORATION, 4621 N. HALE AVE TAMPA, FL 33614 (813)876-9256



EBARA SEWAGE GRINDER PUMP
48" DUPLEX STATION - 2" PIPING
WITH SLIDE RAIL SYSTEM, V.B. AND F.D.E.P. PANEL
TSC PRE-FAB PUMP SOLUTIONS®

MODEL
TSC2-48.0 R9.dwg ©

2. GROUT FILLET (1 TO 1 SLOPE TO "HOPPER" BOTTOM) JOB: _____
1. HOSE BIBB WITH REDUCED PRESSURE BACK FLOW PREVENTER FIELD INSTALL BY CONTRACTOR QS: _____



TYPICAL PUMP STATION EMERGENCY ADVISORY SIGN DETAIL

NOT TO SCALE
SIGN TO BE POSTED CONSPICUOUSLY ON PUMP STATION WALL OR GATE OR ON THE CONTROL PANEL IF NO WALL OR GATE.

CONTROL PANEL - SHALL CONFORM TO FL DEP 64-604.42(A)

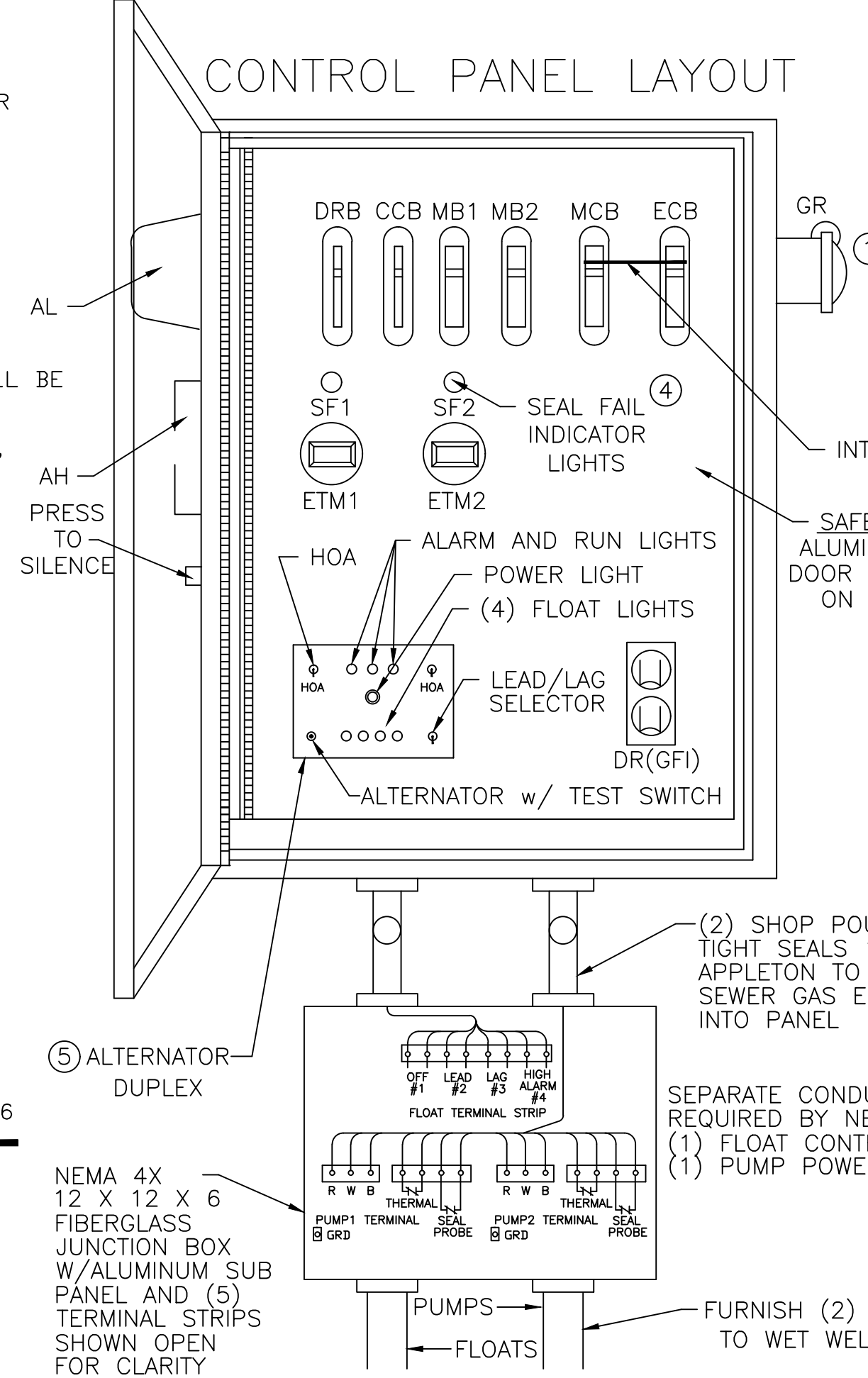
CONTROL PANEL SHALL BE TSC MODEL # 38-D IN NEMA 4X FIBERGLASS ENCLOSURE. THE PANEL SHALL MEET STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP), ENVIRONMENTAL PROTECTION COMMISSION (EPC) AND LOCAL CODE REQUIREMENTS GOVERNING PRIVATE LIFT STATIONS.

FLOAT SWITCHES AND CONTROL SYSTEM SHALL BE UL LISTED AND INTRINSICALLY SAFE. ALL COMPONENTS SHALL BE UL LISTED.

A JUNCTION BOX IS REQUIRED, WITH SHOP POURED SEALS BETWEEN BOX AND CONTROL PANEL TO PREVENT SEWER GAS ENTRY INTO CONTROL PANEL.

ELECTRICAL CONTRACTOR TO PROVIDE SERVICE DISCONNECT WITH LIGHTNING ARRESTOR MOUNTED PER LOCAL CODES.

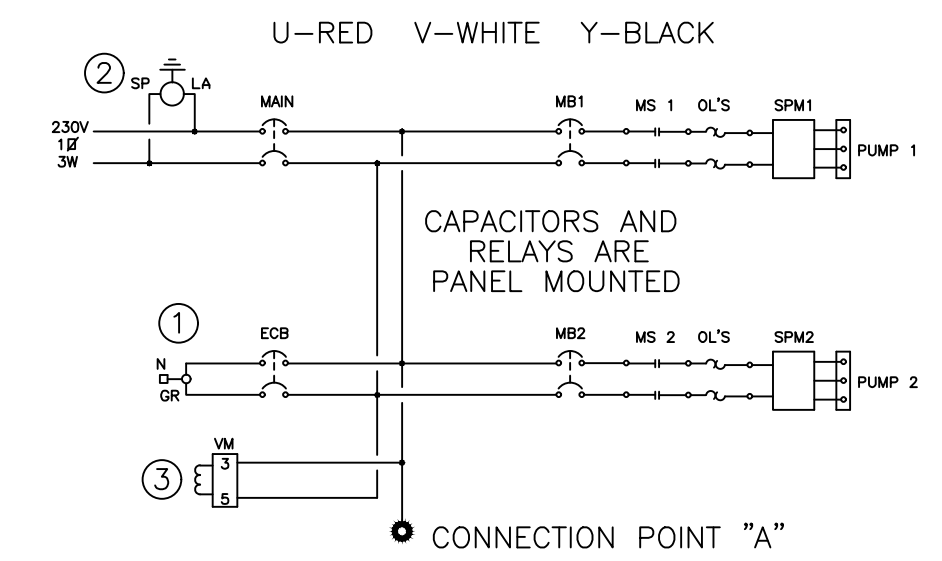
THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.



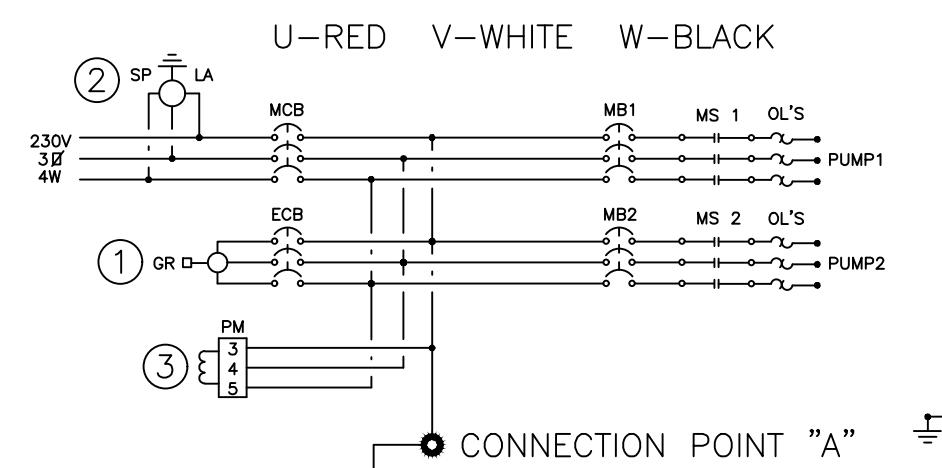
LEGEND

- AH ALARM HORN
- AL ALARM LIGHT
- ASB ALARM SILENCE BUTTON
- ATS ALTERNATOR W/ TEST SWITCH
- CCB CONTROL CIRCUIT BREAKER
- DR DUPLEX RECEPTACLE
- DRB DUPLEX RECEPTACLE BREAKER
- ECB EMERGENCY CIRCUIT BREAKER
- ELAPSED TIME METER
- ETM
- F FUSE
- FL FLASHER
- FS FLOAT SWITCH (REGULATOR)
- GR GENERATOR RECEPTACLE
- GRD GROUND
- HOA HAND-OFF-AUTOMATIC SELECTOR
- LA LIGHTNING ARRESTOR
- MB MOTOR BREAKER
- MCB MAIN CIRCUIT BREAKER
- MS MOTOR STARTER
- N NEUTRAL
- OL'S OVERLOAD HEATERS
- PM PHASE MONITOR
- PTS PUMP TERMINAL STRIP
- R RELAY
- RC RUN CAPACITOR
- RD DISCHARGE RESISTOR
- RL PUMP RUN INDICATORS
- RTS REGULATOR TERMINAL STRIP
- SC START CAPACITOR
- SF SEAL FAIL (SHAFT)
- SR START RELAY
- SP SURGE PROTECTOR
- TTS THERMAL TERMINAL STRIP

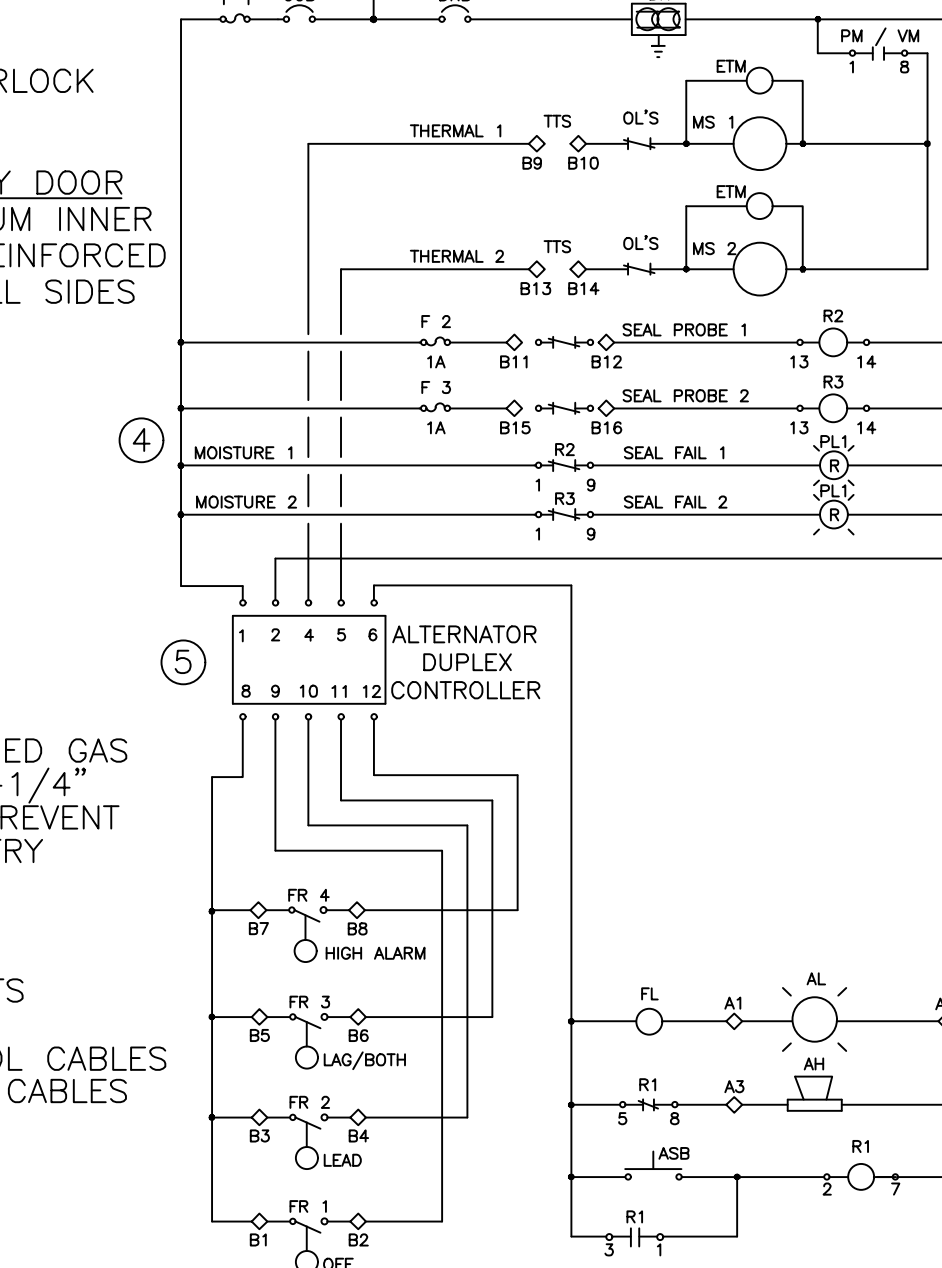
SINGLE PHASE WIRING DIAGRAM



THREE PHASE WIRING DIAGRAM



PANEL WIRING DIAGRAM



PANELS SHALL CONFORM TO FLORIDA DEP 64-604.400

- GENERATOR RECEPTACLE FOR EMERGENCY POWER CONNECTION WITH INTERLOCK
 - SURGE PROTECTION AND LIGHTNING PROTECTION ON ALL INCOMING LEGS
 - PHASE PROTECTION SHALL BE PROVIDED
 - SHAFT SEAL FAIL DETECTION
 - ALTERNATOR W/ TEST SWITCH
- PANEL MANUFACTURER SHALL BE A "UL" LISTED SHOP.

TSC DUPLEX GRINDER PUMP STATION
FIBERGLASS WET WELL

TECHNICAL SALES CORPORATION
CORPORATION
TSC PRE-FAB PUMP SOLUTIONS®
WATERWORKS & WASTEWATER SPECIALTIES
Representing Innovative Manufacturers
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TAMPA, FL 33614 FAX (813)874-1194

REVISIONS

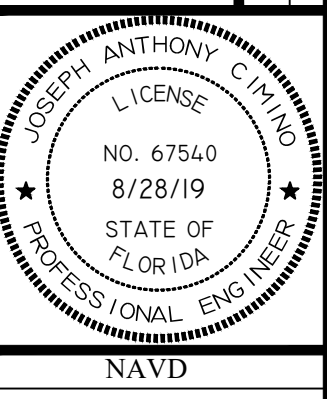
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Engineering ~ Environmental
Water Resource ~ Survey
7978 Cooper Creek Blvd
University Park, Florida 34081
www.wraengineering.com
4260 W. Linsbaugh Ave.
Tampa, Florida 33606
CA 00007652 LB 8374
Phone: 813.265.3130 941.275.9721



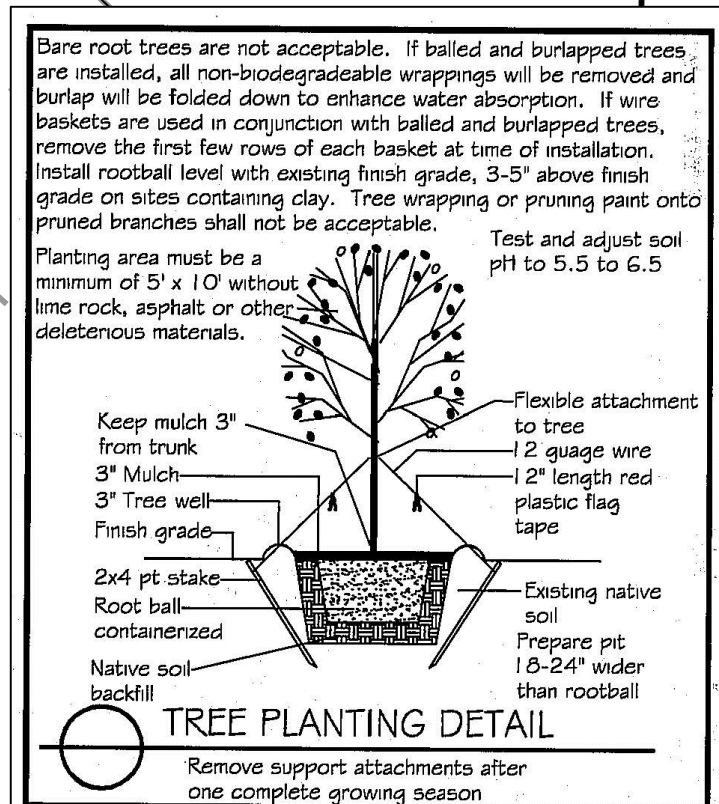
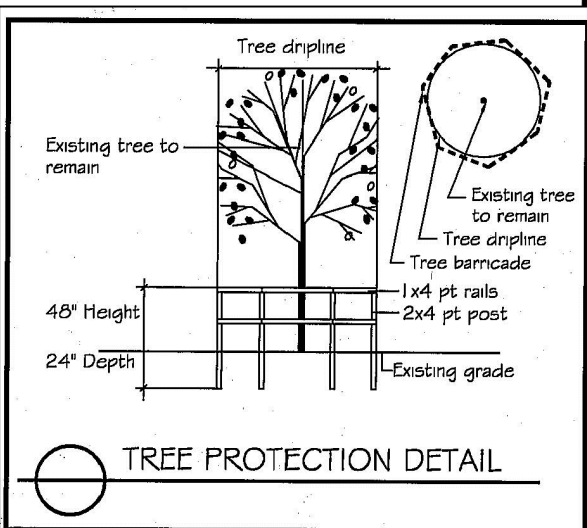
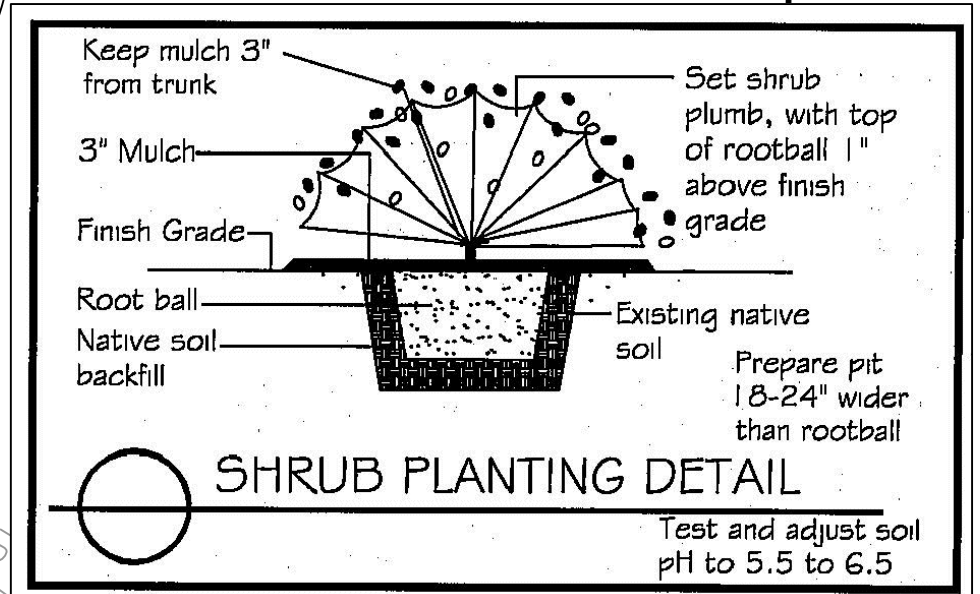
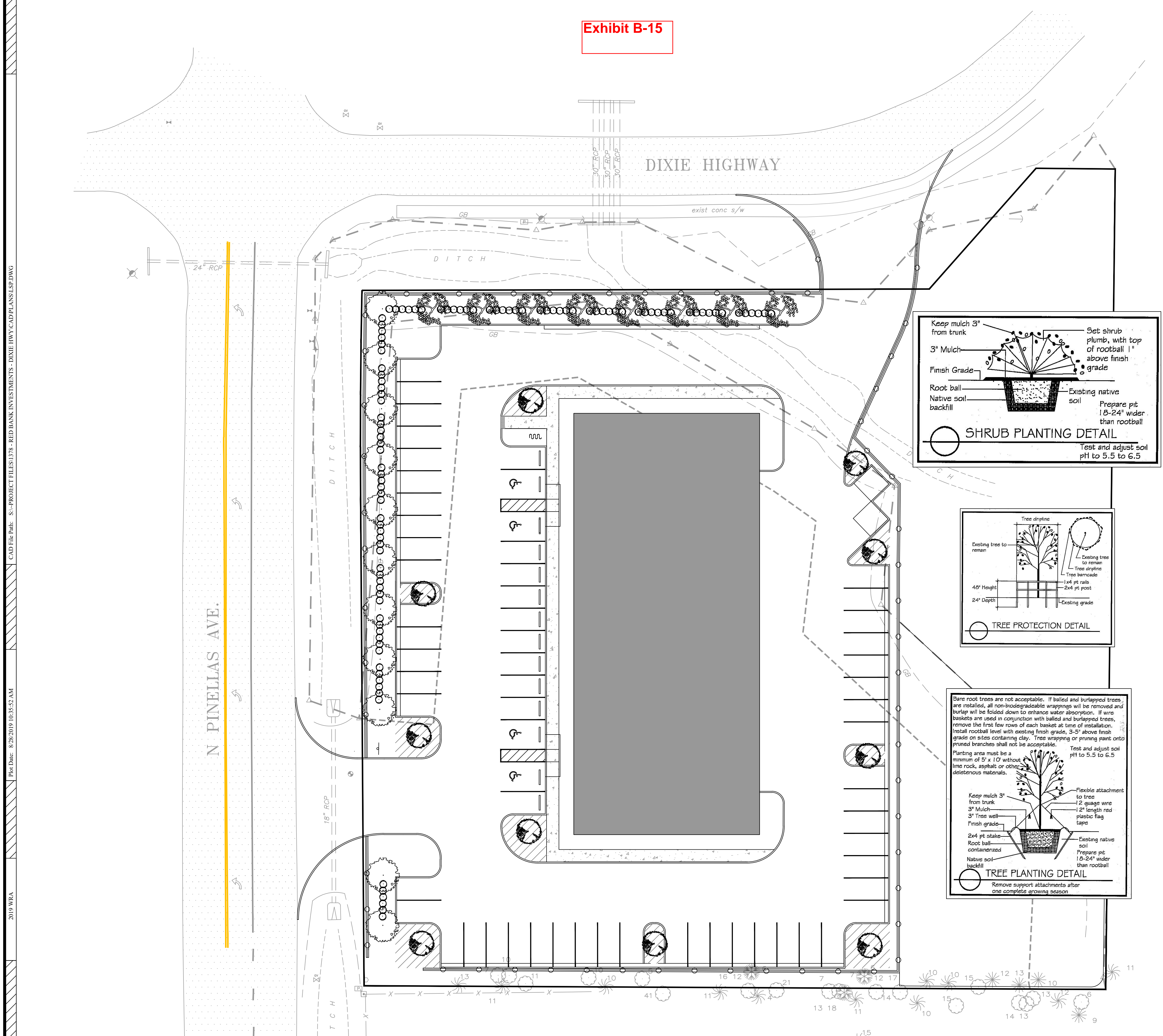
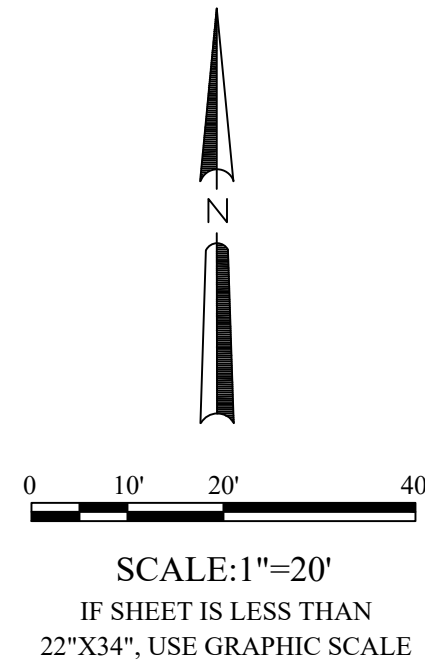
LIFT STATION
DETAILS

DIXIE HIGHWAY
COMMERCIAL
DEVELOPMENT



Datum: _____

Exhibit B-15



- IRRIGATION SYSTEM REQUIREMENTS**
1. Shallow wells, open surface water bodies, or reclaimed water must be used as a source of irrigation water. The distribution system for irrigation must not be connected to county or municipal water sources, unless it can be demonstrated that these sources are not available.
 2. Irrigation systems must utilize low volume design such as low trajectory heads or soaker hoses to provide direct application and low evaporation. Systems that overspray areas that do not require irrigation, such as paved areas will not be acceptable. High irrigation need areas must not overspray low need areas.
 3. High water demand landscape areas such as turf must be served by a separate irrigation zone than low water need areas, such as planter beds, or mulched areas with trees. In no case, shall any planted vegetation area be more than 50' from a water supply hose bib.
 4. Automatic irrigation systems must operate by an irrigation controller capable of differentiating between schedules of high and low water demands areas. Controllers must have multiple cycle start capacity and a flexible calendar program able to be set to comply with local or water management district imposed restrictions.
 5. Automatic irrigation systems must be equipped with a rain sensor device or switch which will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred.
 6. Per the new Florida Building Code, all irrigation lines and heads must be maintained at a minimum distance of one foot away from all structures.

LANDSCAPE NOTES:

All trees shall be grade Florida #1 or better, in a 15 gallon pot, and have a minimum 1 and 1/2 inch diameter measured 12 inches above ground, with a minimum crown of 2 feet and minimum height of 6 feet upon planting.

All shrubs shall have a minimum height of 24 inches and minimum 12 inch spread with a 3 gallon pot size upon planting, being grade Florida #1 or better. Hedges, where required, shall form a continuous, unbroken, solid visual screen within 1 year of planting, being maintained thereafter to specification.

The property owner shall be solely responsible for the continued maintenance of all landscape areas in accordance with the approved site plan so as to present a healthy, neat, and orderly appearance, and all landscaped areas are to be kept free from refuse and debris. For required landscape areas which die from lack of maintenance, disease, or other natural occurrence, the City Staff shall require re-landscaping. This shall be applicable to all required landscaping, whether installed under the terms of this Code or a previous ordinance.

No Final Certificate of Occupancy shall be issued until all required landscaping is installed in accordance with the approved plan.

TREE PLANTING REQUIREMENTS:

LOT SIZE: 87,646SF
 8 TREES REQUIRED FOR FIRST 15,000SF; ONE TREE REQUIRED FOR EACH ADDITIONAL 2,000SF
 87,646SF-15,000SF = 72,646SF / 2,000SF = 36 TREES
 26 TREES + 8 TREES = 44 TREES
 44 TREES - 15 EXISTING TREES TO BE RETAINED ON SITE = 29 TREES
 29 TREES REQUIRED
 29 TREES PROVIDED (SEE PLANTING SCHEDULE BELOW)

PLANTING SCHEDULE

SYMBOL	NAME	QT	SIZE	HT
IA	Ilex x Attenuata East Palatka Holly	10	1.5" cal	6'
JS	Juniperus Silicicola Southern Red Cedar	8	1.5" cal	6'
MV	Magnolia Virginiana L. Sweet Bay Magnolia	11	1.5" cal	6'
VA	Viburnum Awabuki Sweet Viburnum	102	3 GAL	24"

INTERIOR LANDSCAPING REQUIREMENTS:

INTERIOR LANDSCAPE AREA - 2,004 SF (PROVIDED)
 63 PARKING SPACES / 5 x 100 = 1,260 SF (REQUIRED)

2019 WRA
 Print Date: 8/28/2019 10:55:52 AM
 CAD File Path: S:\PROJECT FILES\1378 - RED BANK INVESTMENTS - DIXIE HWY\CAD\PLANS\15.DWG

REVISIONS
 6
 5
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 3
 2
 1
 NO. DATE DESCRIPTION
 IAC BY

Engineering ~ Environmental
 Water Resource ~ Survey
 7978 Cooper Creek Blvd.
 University Park, Florida 32001
 www.wraengineering.com
 4366 W. Littlefield Ave.
 Tampa, Florida 33624
 CA 00007652 LB 8274
 Phone: 813.265.3130 941.275.9721

WRA

LANDSCAPE PLAN

DIXIE HIGHWAY
 COMMERCIAL
 DEVELOPMENT

ISSUED FOR: PERMITTING
 JOB # 1378
 SEC. 01
 TOWN 27
 RANG. 15
 DESIGNED: BAF
 DRAWN: BAF
 APPROVED: IAC

DATED: 8/28/19
 NO. 67540
 8/28/19
 STATE OF
 FLORIDA
 PROFESSIONAL ENGINEER

NAVD
 Datum:
 C-009

P & Z

RESOLUTION NO. 2019-40

A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #19-63 REQUESTING SITE PLAN APPROVAL FOR RED BANK INVESTMENTS, LLC, TO CONSTRUCT A SPECIALTY RETAIL BUILDING OF 12,750 SQUARE FEET OF GROSS FLOOR AREA ON 2.01 ACRES (MORE OR LESS) LOCATED AT 1372 NORTH PINELLAS AVENUE ON THE SOUTHEAST CORNER OF NORTH PINELLAS AVENUE AND DIXIE HIGHWAY IN THE HIGHWAY BUSINESS (HB) ZONING DISTRICT; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Tarpon Springs has received an application for site plan approval to develop a specialty retail center of 12,750 square feet of gross floor area located on 2.01 acres of land at 1372 North Pinellas Avenue in the Highway Business (HB) zoning district; and,

WHEREAS, the Planning and Zoning Board held a public hearing on this application at its meeting of November 18, 2019 and voted to recommend approval of the site plan with conditions; and,

WHEREAS, pursuant to Section 210.03(C)(4) of the Comprehensive Zoning and Land Development Code, the Board of Commissioners must approve, approve with conditions, or, deny the application.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA:

SECTION 1: FINDINGS

1. That the site plan, as conditioned, meets the applicable sections of the Comprehensive Zoning and Land Development Code.
2. That the site plan, as conditioned, is consistent with the Tarpon Springs Comprehensive Plan.
3. That the site plan, as conditioned, demonstrates that required facilities and services will be available at the prescribed level of service standards concurrent with the impact of the development and may, subject to Section 3 of this resolution, during the term of this site plan approval, receive a Certificate of Concurrence pursuant to Section 122.00 et seq.

SECTION 2: SITE PLAN APPROVAL

The site plan on a property parcel located at 1372 North Pinellas Avenue and legally described in Exhibit A was prepared and sealed by Joseph Anthony Cimino, P.E., on November 1, 2019, and is attached as Exhibit B-1 through B-15, is hereby approved.

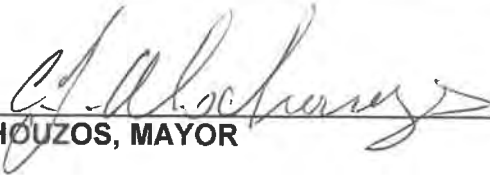
SECTION 3: CONDITIONS

1. The developer is responsible for meeting the minimum criteria of the Land Development Code and for acquiring all other jurisdictional permits and approvals.
2. Construction plans shall be consistent with the approved site plan. All requisite fees attendant to the project shall be paid in accordance with the Land Development Code. This includes payment of a fee in lieu of constructing a sidewalk for deposit into the City's Sidewalk Trust Fund.
3. Written confirmation of access approvals from Pinellas County for Dixie Highway and from the Florida Department of Transportation for North Pinellas Avenue shall be submitted with the building permit application.
4. Written confirmation from the Florida Department of Transportation for the left turn prevention configuration of the North Pinellas Avenue accessway shall be submitted with the building permit application.
5. Final grades for both access points (Dixie Highway and North Pinellas Avenue) shall be compliant with the City of Tarpon Springs Fire Marshal's requirements for equipment access. Compliant grades shall be shown on the building permit application plans submittal.
6. The site plan shall expire at one year from the effective date unless an application has been filed for a building permit with construction plans signed and sealed by a registered engineer licensed in the State of Florida.

SECTION 4: EFFECTIVE DATE

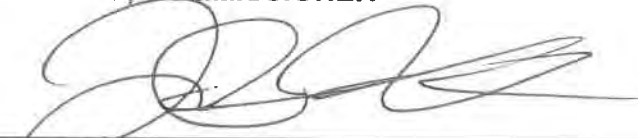
This Resolution shall become effective upon adoption.

PASSED and ADOPTED this 3rd day of December, 2019.


CHRIS ALAHOUZOS, MAYOR

TOWNSEND TARAPANI, VICE MAYOR


REA SIEBER, COMMISSIONER


JACOB KARR, COMMISSIONER

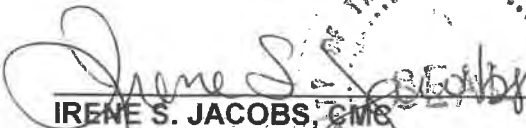

CONNOR DONOVAN, COMMISSIONER

MOTION BY: COMMISSIONER SIEBER
SECOND BY: COMMISSIONER KARR

VOTE ON MOTION

COMMISSIONER DONOVAN	<u>Yes</u>
COMMISSIONER KARR	<u>Yes</u>
COMMISSIONER SIEBER	<u>Yes</u>
VICE MAYOR TARAPANI	<u>Absent</u>
MAYOR ALAHOUZOS	<u>Yes</u>

ATTEST:


IRENE S. JACOBS, CMC
CITY CLERK & COLLECTOR

APPROVED AS TO FORM:

 / for
THOMAS J. TRASK, B.C.S
CITY ATTORNEY

EXHIBIT A. LEGAL DESCRIPTION

A portion of Lot 45, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part, and being more particularly described as followed: Commence at the Southwest corner of the Southwest 1/4 of the Southeast 1/4 of Section 1, Township 27 South, Range 15 East, Pinellas County, Florida, thence South $89^{\circ} 15'35''$ East, along the South boundary line of said Southwest 1/4 for a distance of 317.79 feet to the point of intersection with a line 125.00 feet West of and parallel to the East boundary line of Lot 46, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part; thence North $0^{\circ} 29'44''$ West, along said line for 403.69 feet to the point of intersection with a line 403.60 feet North of and parallel to the South boundary line of said Southwest 1/4; thence South $89^{\circ} 15'38''$ East, for 125.03 feet to the point of intersection with the East boundary line of said Lot 46; thence North $0^{\circ} 29'44''$ West, along said East boundary line of Lot 46 for 589.92 feet to the point of intersection with the South boundary line of said Lot 45; thence North $89^{\circ} 21'29''$ West, along said South boundary line of Lot 45, for 91.56 feet to the Point of Beginning; thence continue North $89^{\circ} 21'29''$ West, along said South boundary line of Lot 45, for 299.45 feet to the point of intersection with the East Right-of-Way line of U.S. Alternate 19, thence North $0^{\circ} 25'04''$ West, along said Right-of-Way line 194.34 feet to the point of curvature of a curve concave to the East, thence along the arc of said curve, having a radius of 2814.79 feet, a central angle of $1^{\circ} 42'54''$ an arc length of 84.25 feet and chord bearing North $00^{\circ} 26'23''$ East, for 84.25 feet to the point of intersection with the South Right-of-Way line of State Road 595; thence along said South and Southeasterly Right-of-Way lines of State Road 595 the following two (2) courses: (1) North $89^{\circ} 48'01''$ East for 228.84 feet; (2) North $41^{\circ} 30'47''$ East, for 64.99 feet; thence leaving said South and Southeasterly Right-of-Way lines South $89^{\circ} 23'26''$ East, along the North boundary line of said Southwest 1/4 and Lot 45 of said TAMPA AND TARPON SPRINGS LAND COMPANY a distance of 32.00 feet; thence South $00^{\circ} 38'31''$ West, for 331.08 feet to the Point of Beginning.

Parcel ID Number: 01-27-15-89136-000-0452

STORM WATER POLLUTION PREVENTION PLAN

Exhibit B-3

GENERAL EROSION AND TURBIDITY CONTROL NOTES

Contained on these plans and within the following notes is a Storm Water Pollution Prevention Plan (SWPPP) which has been developed by Water Resource Associates, Inc. in accordance with the Florida Department of Environmental Protection's (FDEP) "National Pollutant Discharge Elimination System" (NPDES) Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

The following entities are identified as team members of "SWPPP": Water Resource Associates, the Developer as identified in the title block of these plans, and the site contractor and his sub-contractors. Each team member has specific responsibilities and obligations. In general, all team members will have the involvement and responsibilities on the project, are to implement all necessary storm water management controls to assure compliance with the NPDES Generic Permit for Storm Water Discharges from Construction Activities, the Southwest Florida Water Management District Permit, the applicable local governing agency (i.e. Manatee County, etc.) and the guidelines listed in the SWPPP. The duties and responsibilities of the team members as they pertain to the SWPPP are as follows:

Water Resource Associates, Inc.

- A. Develop SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria. This design is included within these construction plans and the following notes as indicated.
B. Submit and obtain the necessary design related storm water permits from the Florida Department of Environmental Protection, the Southwest Florida Water Management District and other applicable governing bodies.
C. Upon notification by the developer of his intent to commence construction, submit a Notice of Intent to the FDEP on behalf of the developer and copy the contractor including SWPPP certification and copy of the permit.
D. Submit to SWPPP and the operator of the municipal separate storm water system, if applicable, a notice of construction commencement.
E. Complete and submit a Notice of Termination and certification for developer. The NOTs shall be submitted no more than 30 days after (a) completion of the project and final stabilization of the site or (b) when responsibility for the site has ended. Final stabilization as defined by EPA is when all soil disturbing activities at the site have been completed and a uniform (e.g. evenly distributed, without large bare areas) permanent vegetative cover with a density of 70% of the native background vegetative cover for the area has been established on all unvegetated areas and areas not covered by permanent structures. As an alternative, equivalent permanent stabilization measures (such as grass, sedges, or geotextiles) may be employed. The client shall notify Water Resource Associates when use of these criteria has been met.

Contractor

- A. Sign and return to WRA a Contractor Certification Form certifying your understanding of and willingness to comply with the Storm Water Pollution Prevention Plan no later than 48 hours prior to commencement of construction. Also, each subcontractor affected by the SWPPP must certify to sign and return to Water Resource Associates, Inc. the NPDES permit and SWPPP. A record of these certifications shall be maintained by the contractor on site.
D. During construction, assure compliance with the designed Storm Water Pollution Prevention Plan prepared by Water Resource Associates and the NPDES Generic Permit for Storm Water Discharges from Large and Small Construction Activities.
E. Notify Water Resource Associates and the developer in writing of any non-storm water pollution sources which are being used, or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, other chemicals. This notification should be accompanied with the contractor's design and methods to prevent pollution run-off from these sources.
F. Develop a maintenance and inspection plan which includes, but is not limited to the following:
A. The specific areas to be inspected and maintained that includes all of the disturbed areas and material storage areas of the site.
B. The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls that the contractor deems necessary.
C. Maintenance procedures.
D. The procedure to follow if additional work is required or whom to call.
E. Inspections and maintenance forms.
F. The personnel assigned to each task.
The following shall be inspected a minimum of once a week or within 24 hours after 0.50 inches of rainfall.
Stabilization measures (once a month if fully stabilized).
Structural controls.
Discharge points.
Construction entrances and exits.
Areas used for storage of exposed materials.

An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures shall be taken no later than 7 days after the inspection occurred. If violations to the SWPPP are noted, a report form for changes in the SWPPP shall be completed and a copy sent to Water Resource Associates. The original shall be kept on-site as documentation of the changes. If the inspection passes, a certification that the facility is in compliance with the SWPPP and the permit shall be signed by a duly authorized representative of the principal executive officer of the operator of the SWPPP with one of the following qualifications:

- 1. Has successfully completed the Florida Stormwater, Erosion and Sediment Control Inspector Training Program.
2. Successfully completed a similar training program.
3. Has enough practical on the job training to be qualified to perform the inspections.
Retain inspection reports and certifications for at least three years.

Stabilization measures shall be initiated as soon as practical but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.

H. Releases in Excess of Reportable Quantities.

- 1. The discharge of hazardous substances or of in the stormwater discharges from a facility or facility shall be prevented or minimized in accordance with the applicable stormwater pollution prevention plan for the facility or facility. This permit does not relieve the operator of the reporting requirements of 40 CFR part 117 and 40 CFR part 302. Where a release involving a hazardous substance in amount equal to or in excess of a reporting quantity specified under either 40 CFR 117 or 40 CFR 302, occurs during a 24 hour period:
A. The operator is required to notify the State Warning Point (800-210-0018 or 850-413-9911) as soon as he or she has knowledge of the discharge.
B. The operator shall submit within 14 calendar days of knowledge of the release a written description of the release (including the type and estimated amount of material released), the date that such release occurred, the circumstances leading to the release, and remedial steps to be taken, to the Florida Department of Environmental Protection, NPDES Stormwater Section, Mail Station 2000, 2000 Bob Stone Road, Tallahassee, Florida 32399-2400; and
C. The stormwater pollution prevention plan required under Part V of this permit shall be modified within 14 calendar days of knowledge of the release to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the recurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.
2. This permit does not authorize the discharge of hazardous substances or of resulting from an on-site spill.

Developer

- A. Notify WRA of your intent to commence construction. Sign the Notice of Intent form as operator of the storm water discharge facility and permittee and return to Water Resource Associates, Inc.
B. Sign a Certification of Storm Water Pollution Prevention Plan and return it to Water Resource Associates, Inc.
C. Notify WRA when it is time to submit a Notice of Termination as defined under Part E of the Water Resource Associates section of the SWPPP. Sign and return to Water Resource Associates, Inc. for submission to FDEP a Notice of Termination form and certification.

PRE-DEVELOPED SITE INFORMATION:

- 1. Total project acreage: 2.01 AC.
2. Land use: VACANT
3. Vegetation:
4. Receiving waters or municipal separate storm water system:
5. 24 Hour/24 Hour rainfall depth:
6. Soil types:

PROJECT INFORMATION:

- 1. Project type: RETAIL
2. Anticipated construction sequence is as follows:
a. Complete erosion control installation
b. Clearing and grubbing
c. Earthwork activities
d. Storm water system construction
e. Utility construction
f. Stone and pavement construction
g. Final stabilization

- The SWPPP listed in Part D of the Contractor section of the SWPPP shall be considered during all phases of construction.
3. Anticipated start date: NOVEMBER 2019
4. Anticipated completion date: MAY 2020
5. Total acres disturbed: 1.80
6. Pre-developed "CN" number: SE
7. Post-developed "CN" number: SE
8. The storm water management system, upon completion and appropriate certification and as-built submittals will be operated and maintained in accordance with the STORM WATER MANAGEMENT PLAN. THROUGHOUT THE PLAN PERIOD, THE OWNER/PERMITEE AGREES TO COMPLY WITH ALL OTHER REGULATIONS CONTAINED WITHIN THE PLANS AS SUBMITTED FOR DISTRICT APPROVAL.

AS REQUIRED UNDER FAC 60D, PART 6, SECTION 3.8(1)(C) THE OWNER/PERMITEE SHALL ASSURE THAT THE STORM WATER MANAGEMENT PLAN AND ALL ATTACHMENTS MEASURED IN THE PLAN ARE EFFECTIVELY MAINTAINED UNTIL THE PERMITS ARE FULLY COMPLETED. THE PERMITS SHALL BE MAINTAINED IN AN OPERATIONAL STATE. THE PLAN INCLUDES THE NOTES AND OTHER INFORMATION REQUIRED BY THE DISTRICT THROUGHOUT THE PLAN PERIOD. THE OWNER/PERMITEE AGREES TO COMPLY WITH ALL OTHER REGULATIONS CONTAINED WITHIN THE PLANS AS SUBMITTED FOR DISTRICT APPROVAL.

- 1. The Site Subcontractor shall be responsible for installation and maintenance of all erosion and turbidity controls on the quality and quantity of off-site or water discharge.
2. After construction, the Site Subcontractor is responsible for having his dewatering plan and turbidity control plan approved by the applicable reviewing agencies. Refer to the project's permit approval and permit conditions for details regarding such reviews and approvals. Appropriate techniques should be addressed to those agencies and/or discussed with the project engineer and owner.
3. The appropriate turbidity and erosion control methodologies selected by the Site Subcontractor for this project should be based on following assessment of the project and project site specific factors and after consultation as needed with the project engineer and appropriate agencies. The Site Subcontractor will be responsible for obtaining any and all necessary permits for such activities, several factors to consider are listed below:
A. Clay content in excavated materials and/or permeability rates
B. Depth of cut in ponds, trenches, or utility lines
C. Ambient ground water levels
D. Initial rainfall amounts and time of year relative to normal rainy seasons
E. Proximity to buildings, water bodies or off-site properties
F. Gens' designation of receiving water bodies (i.e., Outstanding Florida Waters, shallow harvest areas, etc.)
G. Density, type, and proximity of upland vegetation to be retained during construction (for use as possible filtration areas)
H. Fill height relative to natural grade and length and steepness of the proposed slope
I. Existing topography and directions of surface flow
J. Type of equipment used
K. Project type
L. Duration of construction activities
M. Separation distance of eroded ponds
N. Ambient quality of receiving water body
O. Turbidity stocking locations and heights
4. At the onset of construction, the Site Subcontractor, as the party responsible for implementation of the erosion and turbidity control measures, shall assess the above described conditions and factors with respect to relative cut, effectiveness and select the appropriate method of protection. A fully complete list of techniques are enumerated below but it must be stressed that any one or all of the following may be necessary to maintain water quality and erosion control. The construction engineer shall be brought into the advanced of initiation to provide adequate protection of water quality.
5. Discharges which exceed 0.05% TSS over the background levels are in violation of state water quality standards. Discharges of water quantities which affect off-site properties or may damage wetlands are also prohibited by regulatory agencies.
6. The erosion and turbidity control measures shown herein are the minimum required for agency approval. Additional control and measures may be required due to site specific conditions, storage sequence & unforeseen weather conditions. Any additional measures deemed necessary by the Site Subcontractor and included in the permit shall be approved by the project engineer and owner.
7. Hay bales or silt screens shall be installed prior to land clearing to protect soil quality and to identify areas to be protected from clearing activities and maintained for the duration of the project until all soil is stabilized.
8. Flooding turbidity barriers shall be in place in flowing streams or in open water (like edges prior to initiation of earthwork and mobilized for the duration of the project until all soil is stabilized.
9. No clay material shall be left exposed in any stormwater facility. If clay or earthy clays are encountered during stormwater storage excavation, the Site Subcontractor shall notify the Engineer immediately before proceeding with further excavation. If the Engineer of Record has determined that such soils are non-confining and must be excavated to meet permit and design conditions, excavation shall be completed within written authorization from the appropriate governing agency. If soil solids are left exposed at the permitted and designed depth, the Site Subcontractor shall over-excavate the portion and backfill to a minimum of 18 inches and backfill with clean sand to help prevent suspension of fine particles in the water column.
10. The installation of temporary erosion control barriers shall be coordinated with the construction of the permanent erosion control features to the extent necessary to ensure effective and continuous control of erosion and water pollution throughout the life of the construction phase.
11. The type of erosion control barriers used shall be covered by the nature of the construction operation and soil types that will be exposed. Silt and clay material may require solid sediment barriers to prevent turbid water discharge, while sandy material may need only silt screens or hay bales to prevent erosion. Flooding turbidity barriers shall generally be used in open water situations. Diversion ditches or swales may be required to prevent turbid stormwater runoff from being discharged to wetlands or other water bodies. It may be necessary to employ a combination of barriers, ditches and other erosion/turbidity control measures if conditions occur.
12. Where pumps are to be used to remove turbid waters from construction areas, the water shall be treated prior to discharge to the wetlands. Treatment methods include, for example, turbid water being pumped into grassed swales or appropriate upland vegetated areas (other than upland preservation area and wetland buffers), sediment basins, or confined by an appropriate enclosure such as turbidity barriers or low berms, and kept confined until turbidity levels meet State Water Quality Standards.
13. The Permittee shall schedule his operations such that the are unprotected eroded earth exposed at any one time is not larger than the minimum area necessary for efficient construction operation, and the duration of exposed, unprotected construction to the elements shall be as short as practicable. Clearing and grubbing shall be so scheduled and performed such that grading operations can follow immediately thereafter. Grading operations shall be so scheduled and performed that permanent erosion control features can follow immediately thereafter if conditions on the project permit.
14. Water derived from various dewatering methods should be passed through sufficiently wide areas of existing upland vegetation to filter out silt and turbidity. If this is not sufficient, the water shall be retained in previously constructed permanent stormwater ponds or else retained in temporary sedimentation basins until clarity is sufficient to allow for its discharge. Plugging the outlets from completed stormwater ponds may be needed to avoid discharge. However, such situations should be monitored closely to preclude berm failure if water levels rise too high.
15. Water can be transported around the site by the use of internal roads or by pumps and pipes.
16. Sheet flow of newly filled or scraped areas may be controlled or contained by the use of brush barriers, diversion trench intercepter ditches or low berms. This should be done to prevent erosion and sediment control failure.
17. Exposed soils shall be stabilized as soon as possible, especially slopes leading to wetlands. Stabilization methods include solid soil, seeding and mulching or hydro-mulching to provide a temporary or permanent grass cover which prevents water runoff, etc., can be employed to provide vegetation cover.
18. Energy dissipaters (such as rip rap, a gravel bed, hay bales, etc.) shall be installed at the discharge points of stormwater ponds or other structures.
19. Attempt to install roadway curb and gutters as soon as possible to reduce the surface area for erosion to occur.
20. Implement storm drain inlet protection (hay bales or gravel) to limit sedimentation within the stormwater system. Perform inspections one periodic cleaning of sediments which wash into the streets until all soil is stabilized.

- 21. Water discharge velocities from impounded areas and temporary sedimentation basins shall be restricted to avoid scouring in receiving areas.
22. If water clarity does not reduce to state standards rapidly enough in holding ponds, it may be possible to use chemical agents such as alum to flocculate or coagulate the sediment particles.
23. Hay bales, silt screens, or gravel beds can be added around the pipe or swale discharge points to help clarify discharges. Spreader wheels may help disperse cloudy water prior to contact with wetlands.
24. All fuel storage areas or other hazardous storage areas shall conform to completed state or federal criteria for such containment areas.
25. Fuel or equipment wetlands areas will be sufficiently removed from wetlands or off-site areas.
26. Volatile dust controls (primarily by using water spray trucks) shall be employed as needed to control dust emissions.
27. If the above controls remain ineffective in precluding release of turbid water, especially during pond or utility line dewatering, then the wet ponds or rock drains to wetlands/grasslands which may already be clear enough to allow for direct discharge to wetlands.
28. Ongoing inspections and periodic maintenance by the Site Subcontractor shall occur throughout construction as necessary to insure the above methods are working properly. This may be needed daily, if conditions so warrant. Site Subcontractors are encouraged to select and thoroughly review the Florida Department Manual: A Guide to Sound Land and Water Management, which was developed by the State of Florida Department of Environmental Protection in 1988. This provides forty 8-inch chapters of recommended techniques and also provides specific design and technical standards. A copy of this document is available for review at Water Resource Associates, Inc.
29. Fill stockpiles are to be located outside of all surface water lines and buffer lines shown on the plan to be saved. Fill stockpiles must be self-contained. In that erosion control measures such as silt fence and/or hay bales must be installed and maintained around each stockpile to prevent sediment runoff beyond the limits of construction.

Pond/Lake Excavation Notes

No excavation shall exceed below the permitted design depth/width/length shown on the drawings, unless additional testing supports otherwise; and no lower semi-confined unit clay or no limestone materials shall be excavated, regardless if these materials are encountered within the permitted excavation depth/width/length. If any lower semi-confined unit clay or limestone materials are encountered above the permitted depth/width/length, then excavation operations shall cease in the general area and the Engineer of Record shall be notified immediately.



STAKED SILT FENCE

EROSION CONTROL NOTES:

- 1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND THROUGHOUT THE LIFE OF THE PROJECT UNTIL ALL SOIL IS STABILIZED.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND THROUGHOUT THE LIFE OF THE PROJECT UNTIL ALL SOIL IS STABILIZED.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND THROUGHOUT THE LIFE OF THE PROJECT UNTIL ALL SOIL IS STABILIZED.

EROSION CONTROL DETAIL

NON-STORMWATER DISCHARGE

Allowable (Potential) Non-Stormwater Discharges at the site: Waterline Flushing, Dust Control Water, External Building Washdown where no detergents are used, etc.
Prohibited Non-Stormwater Discharges at the site: Discharges from Dewatering, Vehicle washing with detergents, etc.

RESPONSIBILITIES:

The Contractor(s) and/or Sub-Contractor(s) shall implement this Stormwater Pollution Prevention Plan:

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:

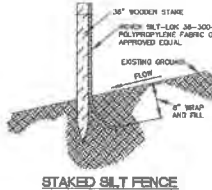


Vertical sidebar containing project information: Project Name: STORMWATER POLLUTION PREVENTION PLAN, Project No.: 2019-001, Date: 11/15/2019, Location: 10000 1st St, Palmdale, FL 34651. Includes a table for REVISIONS, a table for DRAWING INFORMATION, and a table for PROJECT INFORMATION. At the bottom, it lists the project as 'DIXIE HIGHWAY COMMERCIAL DEVELOPMENT' and includes a 'NAVJ' logo and 'G-003' identifier.

EROSION CONTROL NOTES:

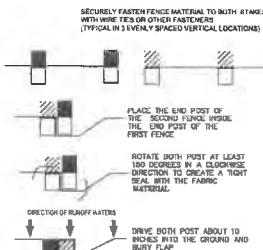
- TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT SCREENS OR INLET CURB CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SLITATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES ON ONE-HALF OF THE CORN OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. BI ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL. IMMEDIATELY STOP WATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
- CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT TO A MINIMUM AT OUTFALL LOCATIONS WHICH DISCHARGE TO EXISTING JURISDICTIONAL AREAS. FLOATING OR STAKED TURBOIDITY BARRIERS MAY BE USED IN LIEU OF STAKED HAYBALES/SILT SCREENS WHERE WARRANTED.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN-PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
- CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 101-4 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS.
 - JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
- SILT SCREENS MAY ALSO REPRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE ERCTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, GARDEN AREAS AND ANY OTHER AREAS SHOWN AS PRESERVED OR PROTECTED FROM CONSTRUCTION ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS/SILT SCREENS SHALL BE CAUSE FOR PUNITIVE FINANCIAL PENALTIES. FINANCIAL PENALTIES (PUNITIVE AND REGULATORY), CONSULTING FEES AND ESTIMATED COST OF RESTORATION WILL BE DEDUCTED FROM SUBSEQUENT PAYMENT REQUESTS.

Exhibit B-6

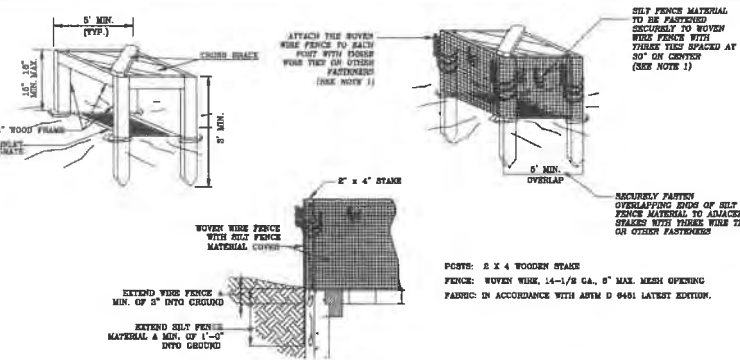


STAKED SILT FENCE

2 STAKED SILT FENCE N.T.S.

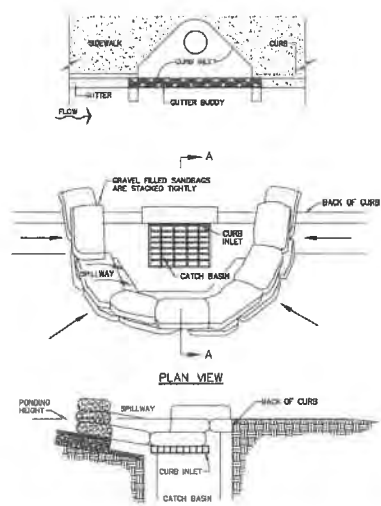


2A ATTACHING 2 SILT FENCES N.T.S.



- ATTACH THE WOVEN WIRE FENCE TO EACH FENCE CLOSURE TO THE WOVEN WIRE FENCE (SPACED EVERY 60") WITH THREE WIRE TIES ON OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
- WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
- MAINTENANCE SHALL BE PERFORMED AS NOTED BY THE SWEEP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEARANCE MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM PRELACING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
- ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

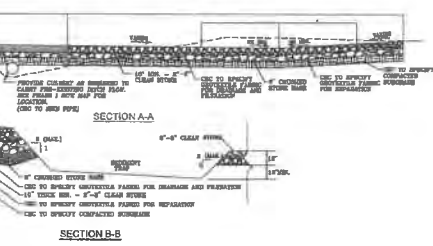
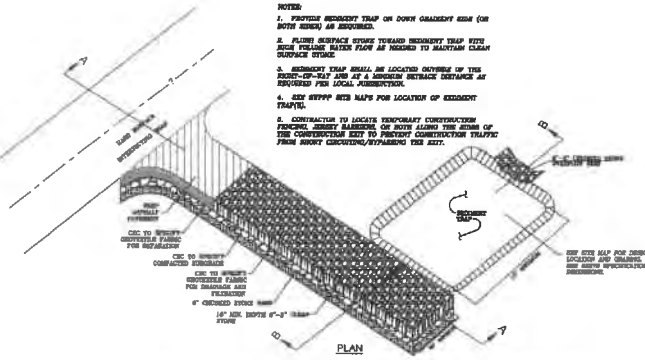
4 TYPICAL SILT FENCE INLET PROTECTION N.T.S.



- NOTES:**
- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEDIMENTS INSURE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 - SANDBAGS OF OTHER BURLAP OR WOVEN COTESTIBLE FABRIC ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 - LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 - INSPECT BARRIERS AND REMOVE SEDIMENT AS NECESSARY. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

3 TYPICAL CURB INLET PROTECTION DETAILS N.T.S.

- NOTES:**
- PROVIDE SEDIMENT TRAP ON DOWN GRADE SIDE (OR BOTH SIDES) AS INDICATED.
 - FLUSH SANDBAG ROWS TOWARD SEDIMENT TRAP WITH FRESH WATER FLOW AS NEEDED TO MAINTAIN CLEAR SURFACE STONE.
 - SEDIMENT TRAP SHALL BE LOCATED DOWNSTREAM OF THE DOWN-SLOPE AND AS A MINIMUM RETRAKE DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
 - SEE SWEEPING SCHEDULE FOR LOCATION OF SEDIMENT TRAP.
 - CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION PERIOD BERRY BARRIERS OF NOTS ALONG THE PERM OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION TRAFFIC FROM BLOCKING CIRCULATION/STAIRING THE SITE.



1 TYPICAL CONSTRUCTION ACCESS N.T.S.

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
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10		

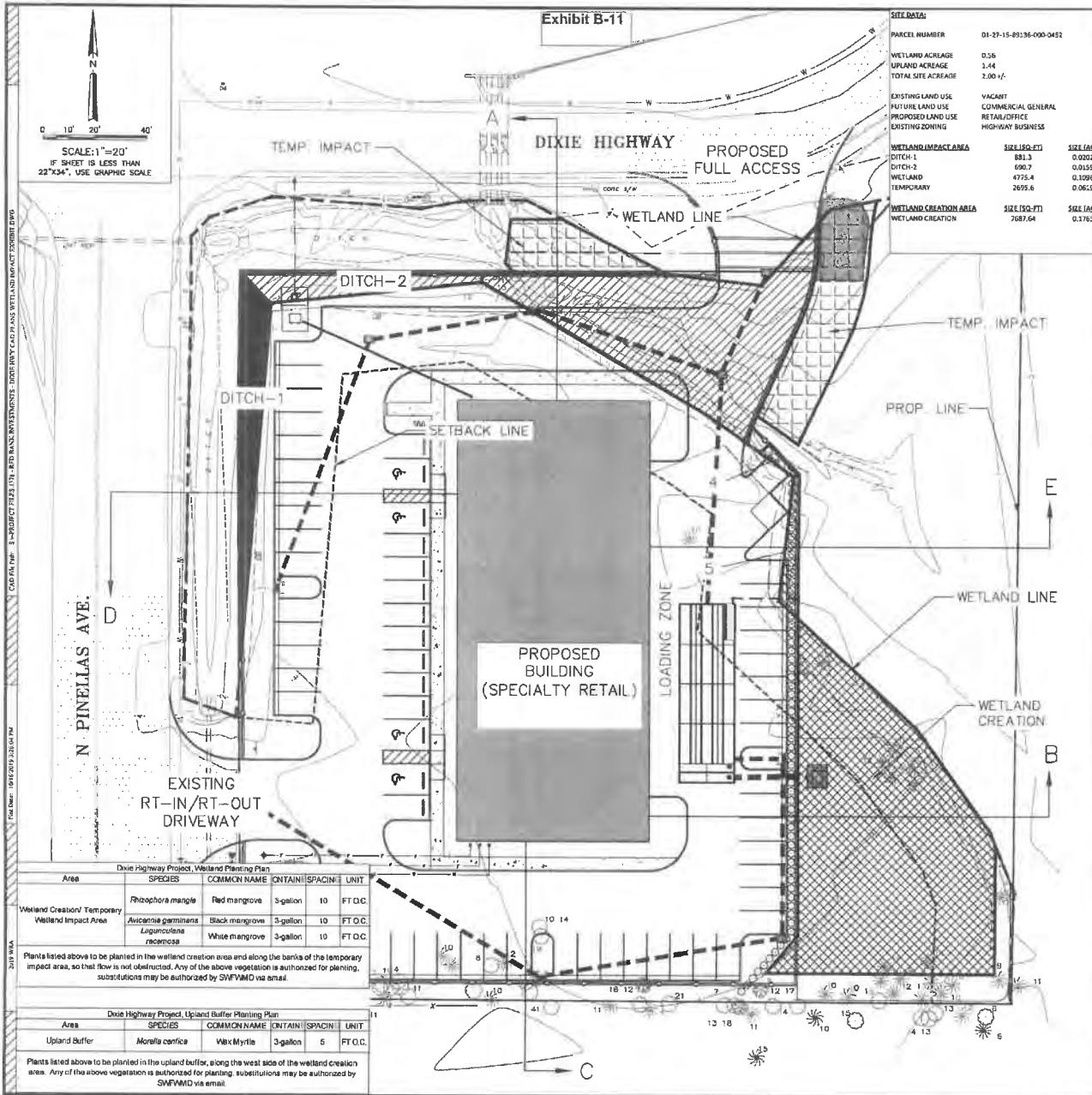
**Engineering - Environmental
Water Resource - Survey**
4200 W. Jackson Ave. • 79th Street, Suite 100
Tampa, Florida 33629
www.wraeng.com
Phone: 813.266.1130 • Fax: 813.275.9212

**EROSION CONTROL
DETAILS**

**DIXIE HIGHWAY
COMMERCIAL
DEVELOPMENT**

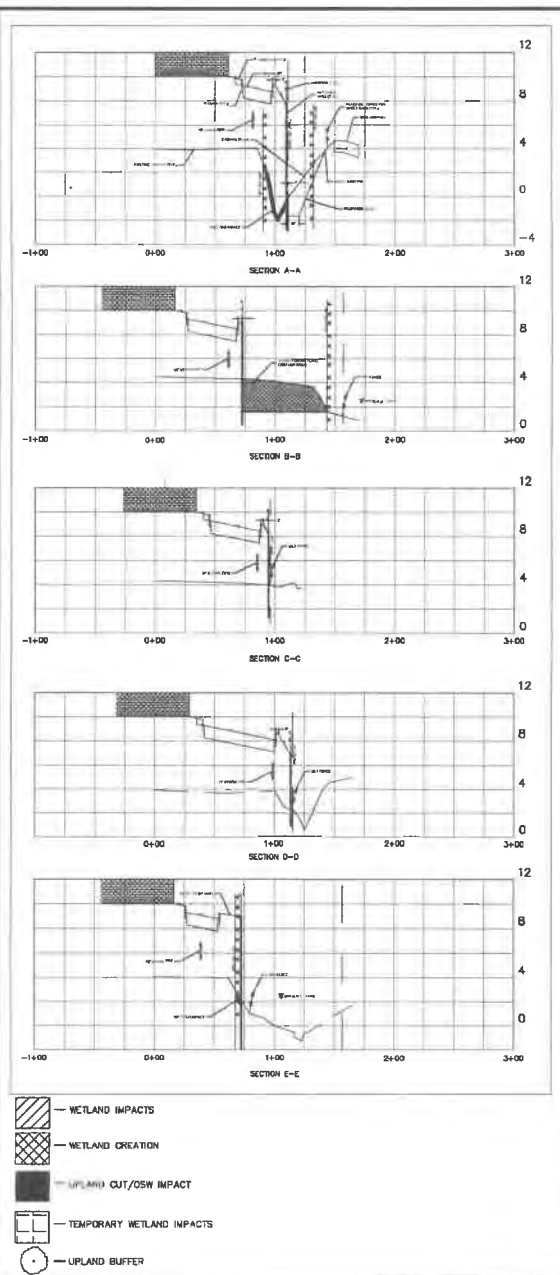
ISSUED FOR PERMITTING

Date: _____
G-006



WETLAND DATA

PARCEL NUMBER	01-27-15-83136-000-0452	
WETLAND ACREAGE	0.56	
UPLAND ACREAGE	1.44	
TOTAL SITE ACREAGE	2.00 +/-	
EXISTING LAND USE	VACANT COMMERCIAL GENERAL RETAIL/OFFICE HIGHWAY BUSINESS	
FUTURE LAND USE	VACANT COMMERCIAL GENERAL RETAIL/OFFICE HIGHWAY BUSINESS	
PROPOSED LAND USE	VACANT COMMERCIAL GENERAL RETAIL/OFFICE HIGHWAY BUSINESS	
EXISTING ZONING	VACANT COMMERCIAL GENERAL RETAIL/OFFICE HIGHWAY BUSINESS	
WETLAND IMPACT AREA	SIZE (SQ-FT)	SIZE (AC)
DITCH-1	881.3	0.0202
DITCH-2	690.7	0.0159
WETLAND TEMPORARY	4735.4	0.1096
	2655.6	0.0619
WETLAND CREATION AREA	SIZE (SQ-FT)	SIZE (AC)
WETLAND CREATION	7087.64	0.1765



- WETLAND IMPACTS
- WETLAND CREATION
- UPLAND CUT/OSW IMPACT
- TEMPORARY WETLAND IMPACTS
- UPLAND BUFFER

Dixie Highway Project, Wetland Planting Plan

Area	SPECIES	COMMON NAME	CONTAIN	SPACING	UNIT
Wetland Creation/ Temporary	<i>Rhizophora mangle</i>	Red mangrove	3-gallon	10	FT.O.C.
Wetland Impact Area	<i>Avicennia germinans</i>	Black mangrove	3-gallon	10	FT.O.C.
	<i>Laguncularia racemosa</i>	White mangrove	3-gallon	10	FT.O.C.

Plants listed above to be planted in the wetland creation area and along the banks of the temporary impact area, so that flow is not obstructed. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.

Dixie Highway Project, Upland Buffer Planting Plan

Area	SPECIES	COMMON NAME	CONTAIN	SPACING	UNIT
Upland Buffer	<i>Morrelia cerifera</i>	Wax Myrtle	3-gallon	5	FT.O.C.

Plants listed above to be planted in the upland buffer, along the west side of the wetland creation area. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.

WETLAND IMPACT AND MITIGATION PLAN

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

ISSUED FOR: PERMITTING

ANTHONY CLAUDIO
LICENSE NO. 67845
12/16/19
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Date: _____

C-005

**RESOLUTION NUMBER
REQUEST FORM**

TO: Irene Jacobs
FROM: Patricia L. McNeese, AICP
SUBJECT: Request for Resolution Number

RESOLUTION # 2019-XX

Type title in the space provided below, or attach a copy of the titled ordinance.

A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #19-63 REQUESTING SITE PLAN APPROVAL FOR RED BANK INVESTMENTS, LLC, TO CONSTRUCT A SPECIALTY RETAIL BUILDING OF 12,750 SQUARE FEET OF GROSS FLOOR AREA ON 2.01 ACRES (MORE OR LESS) LOCATED AT 1372 NORTH PINELLAS AVENUE ON THE SOUTHEAST CORNER OF NORTH PINELLAS AVENUE AND DIXIE HIGHWAY IN THE HIGHWAY BUSINESS (HB) ZONING DISTRICT; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

**P&Z BOARD MEETING DATE: November 18, 2019
BOC DATE/READING: December 3, 2019
OTHER COMMENTS:**

Patricia L. McNeese _____
Signature

P&Z _____
Department

10/31/2019 _____
Date