

# **RED BANK INVESTMENTS, LLC APPLICATION #21-11**

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Board of Commissioners – March 9, 2021



# LOCATION & CONTEXT



# REQUEST

- **21-11 – Site Plan Review – Red Bank Investments, LLC**
  - 12,750 square foot building on 2.01 acres
  - Specialty retail use
  - Wetland preservation and on-site mitigation
- **Applicant:** Nicholas Mavromatis
- **Owner:** Red Bank Investments, LLC

The project was approved by the Board of Commissioners on December 3, 2019 under Resolution 2019-40. The Site Plan approval has expired and the applicant is requesting a new approval.

- Proposed project matches that approved in 2019 with the exception that the Florida Department of Transportation has completed improvements to U.S. Alternate Highway 19 in this area that include sidewalks on both sides of the road.





# PRELIMINARY STAFF RECOMMENDATION

## Resolution 2021-11\*

- **APPROVAL** of site plan subject to recommended conditions addressing:
- Compliance with the minimum criteria of the land development code, and providing construction plans consistent with the approved site plans,
- Written confirmation of proposed roadway connections and traffic controls from the applicable agencies,
- Provision of appropriate driveway grades for fire equipment access, and,
- Provision of traffic control signage matching the City's specifications

\***Note:** These conditions match those previously approved under Resolution 2019-40 with the exception that sidewalks have been installed and are no longer required of the applicant.

# PLANNING AND ZONING BOARD RECOMMENDATION

- **App #21-11**

The Planning and Zoning Board reviewed this item at their regular meeting of February 22, 2021 and unanimously recommended approval of Resolution 2021-11 with the recommended conditions. There was no public comment.



**CITY OF TARPON SPRINGS**  
**PLANNING & ZONING BOARD / BOARD OF COMMISSIONERS**  
**[FEBRUARY 22, 2021 / MARCH 9, 2021]**

**STAFF REPORT – FEBRUARY 23, 2021**

**Application No. / Project Title:** #21-11 (Red Bank Investments, LLC)  
**Staff:** Patricia McNeese, Principal Planner  
**Applicant / Owner:** Nicholas Mavromatis / Red Bank Investments, LLC  
**Property Size:** 2.01 acres  
**Current Zoning:** Highway Business (HB)  
**Current Land Use:** Commercial General (CG)  
**Location / Parcel ID:** 1372 North Pinellas Avenue / 01-27-15-89136-000-0452

**BACKGROUND SUMMARY:**

The applicant, representing Redbank Investments, LLC, wishes to construct a commercial building for retail specialty use. Specialty retail is generally described as small strip shopping centers that contain a variety of retail shops. The proposed project includes a one-story building of 12,750 square feet in floor area and parking that serves the building. The project also includes wetlands preservation and mitigation area on site. This project was approved under Resolution 2019-40 on December 3, 2019. The project was never initiated and the Site Plan approval has lapsed. The applicant is requesting a new approval. There is no change to the project. Since the project was approved, the Florida Department of Transportation District 7 completed improvements to this area of North Pinellas Avenue which include sidewalks on both sides of the road, and along the front of this parcel, and, a crosswalk to the south of this parcel.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff finds the application for site plan approval consistent with the applicable review criteria and recommends **APPROVAL**, subject to the following:

1. The developer is responsible for meeting the minimum criteria of the Land Development Code and for acquiring all other jurisdictional permits and approvals.
2. Construction plans shall be consistent with the approved site plan. All requisite fees attendant to the project shall be paid in accordance with the Land Development Code.
3. Written confirmation of access approvals from Pinellas County for Dixie Highway and from the Florida Department of Transportation for North Pinellas Avenue shall be submitted with the building permit application.
4. Written confirmation from the Florida Department of Transportation for the left turn prevention configuration of the North Pinellas Avenue accessway shall be submitted with the building permit application.



5. Final grades for both access points (Dixie Highway and North Pinellas Avenue) shall be compliant with the City of Tarpon Springs Fire Marshal’s requirements for equipment access. Compliant grades shall be shown on the building permit application plans submittal.
6. Traffic control signage shall meet the City’s design standards for the Community Redevelopment Area.
7. The site plan shall expire at one year from the effective date unless an application has been filed for a building permit with construction plans signed and sealed by a registered engineer licensed in the State of Florida.

**PLANNING AND ZONING BOARD RECOMMENDATION:**

The Planning and Zoning Board reviewed this item at their regular meeting of February 22, 2021 and unanimously recommended approval of Resolution 2021-11 with the recommended conditions. There was no public comment.

**CURRENT PROPERTY INFORMATION:**

<b>Use of Property:</b>	Vacant
<b>Site Features:</b>	The site is cleared and partially filled.
<b>Flood Hazards:</b>	This property is located within flood zone AE.
<b>Vehicle Access:</b>	The property borders North Pinellas Avenue and Dixie Highway. The project proposes to use both roadways for access.

**SURROUNDING ZONING & USE:**

	<b>Zoning:</b>	<b>Use:</b>
<b>North:</b>	Land Conservation and General Business	Vacant
<b>South:</b>	General Commercial and Services – Pinellas County	Office
<b>East:</b>	General Commercial and Services – Pinellas County	Vacant
<b>West:</b>	Residential Office (RO)	Institutional (Church)

**REVIEW STANDARD – COMPREHENSIVE PLAN MAP:**

The project site is located in the Commercial General (CG) Future Land Use Category which designates “existing commercial areas which may be either highway or commercial oriented and include uses of varying degree and intensity” (Policy 2.4.3(a)). The site is situated along a strip of North Pinellas Avenue that is occupied by incorporated and unincorporated properties. The City’s Future Land Use Map indicates this strip from Dixie Highway south to the Anclote River in the Commercial General category on the east side and in the Residential/Office General category on the west side. City and County property zonings are consistent with these designations and indicate this area as a current and future commercial area. The applicant’s project is consistent with the City’s Comprehensive Plan.



**REVIEW STANDARD - ZONING:**

The property is located within the General Business (GB) zoning district. This district permits retail sales establishments as a use by right. The proposed site plan is consistent with the permitted uses and requirements of the GB zoning district. Property zoning districts in this area of North Pinellas Avenue include County zonings C-2 (Commercial General and Services) and GO (General Office) and City zonings GB (General Business) and RO (Residential Office). The proposed retail center is consistent with the GB zoning district and with the current and future planned character of this commercial corridor.

**SITE PLAN REVIEW PROCEDURES & STANDARDS:**

The process for site plan review is set forth in Section 210.03 of the Land Development Code (LDC) and calls for the Planning and Zoning Board to review the site plan for compliance with (1) the Comprehensive Plan, (2) the Comprehensive Zoning and Land Development Code, (3) the City's Concurrency Management System, and (4) the City's Building Codes to provide a written recommendation to the Board of Commissioners as enumerated in Section 210.03(C)(4) of the LDC. The Technical Review Committee has reviewed and determined the application for site plan approval to be complete and in compliance with the above cited standards for review:

1. The application is found to be consistent with the City's Comprehensive Plan,
2. The application is found to be compliant with the City's LDC,
3. The project proposes minimal new impacts to facilities and therefore meets the City's Concurrency Management standards (see below), and,
4. The project will be required to, and is expected to be able to, meet the standards of the City's Buildings Codes.

**LEVEL OF SERVICE ANALYSIS:**

Article VIII of the Land Development Code requires that public facilities be available concurrent with impacts from development. Facilities impacts are listed in the table below. They are not expected to degrade the levels of services for any of the listed facilities.

<b>Facility</b>	<b>Proposed Impacts</b>
Potable Water	2,500 gallons per day
Wastewater	1,912 gallons per day
Solid Waste	23 tons per year
Transportation	23 peak hour trips

**TECHNICAL REVIEW COMMITTEE:**

TRC reviewed this project on February 1, 2021 for completeness and conformance to the Comprehensive Zoning and Land Development Code and the Comprehensive Plan and had no objections to the request. Outstanding issues are addressed in the recommended conditions of approval.

**ATTACHMENTS:**

1. Location Map



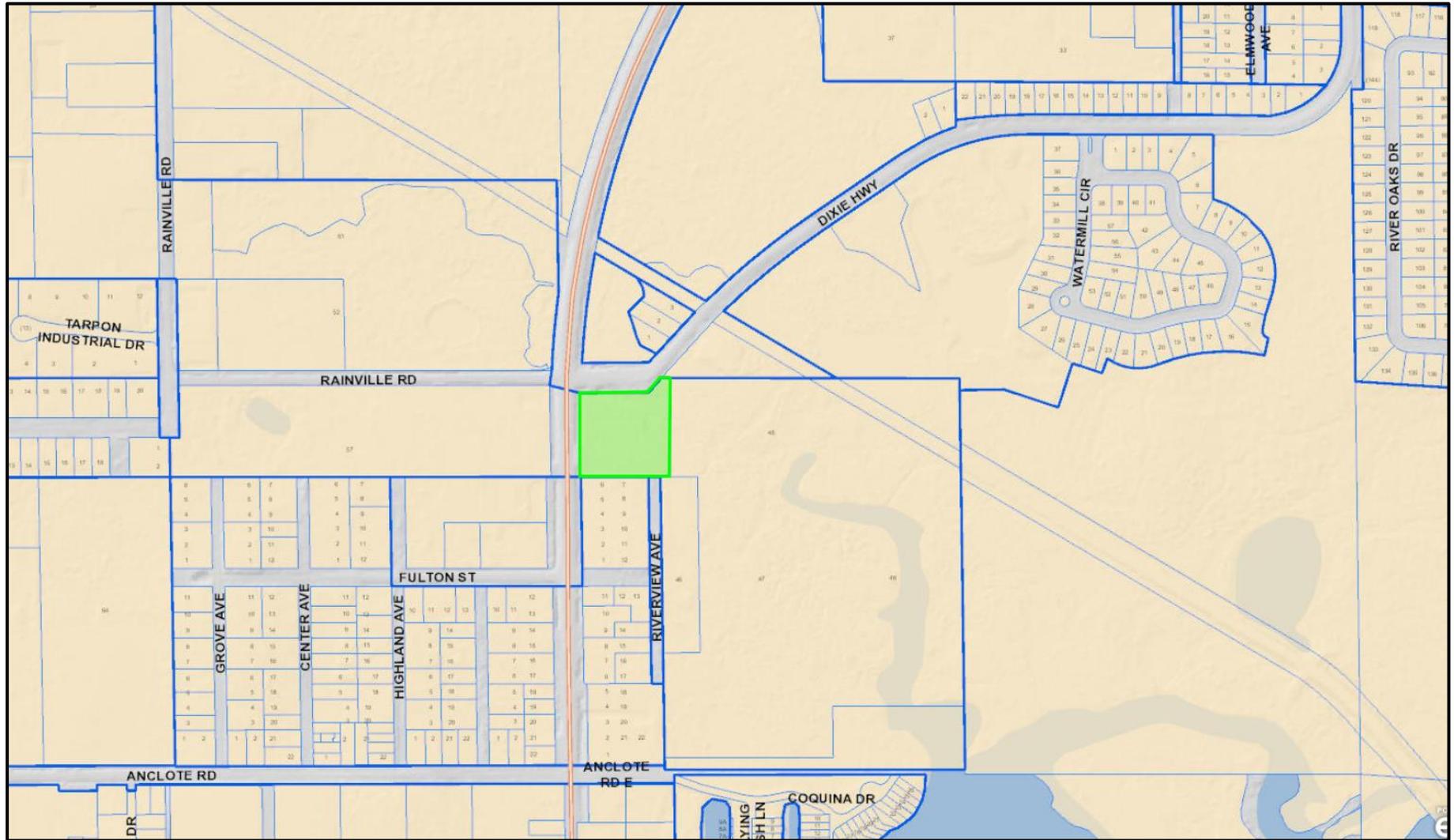
**CITY OF TARPON SPRINGS**  
**PLANNING & ZONING DEPARTMENT**

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2. Aerial Map
3. Resolution 2021-11
4. Legal Description (Exhibit A)
5. Survey and Site Plan (Exhibit B)
6. Signed Resolution 2019-40 adopted December 3, 2019

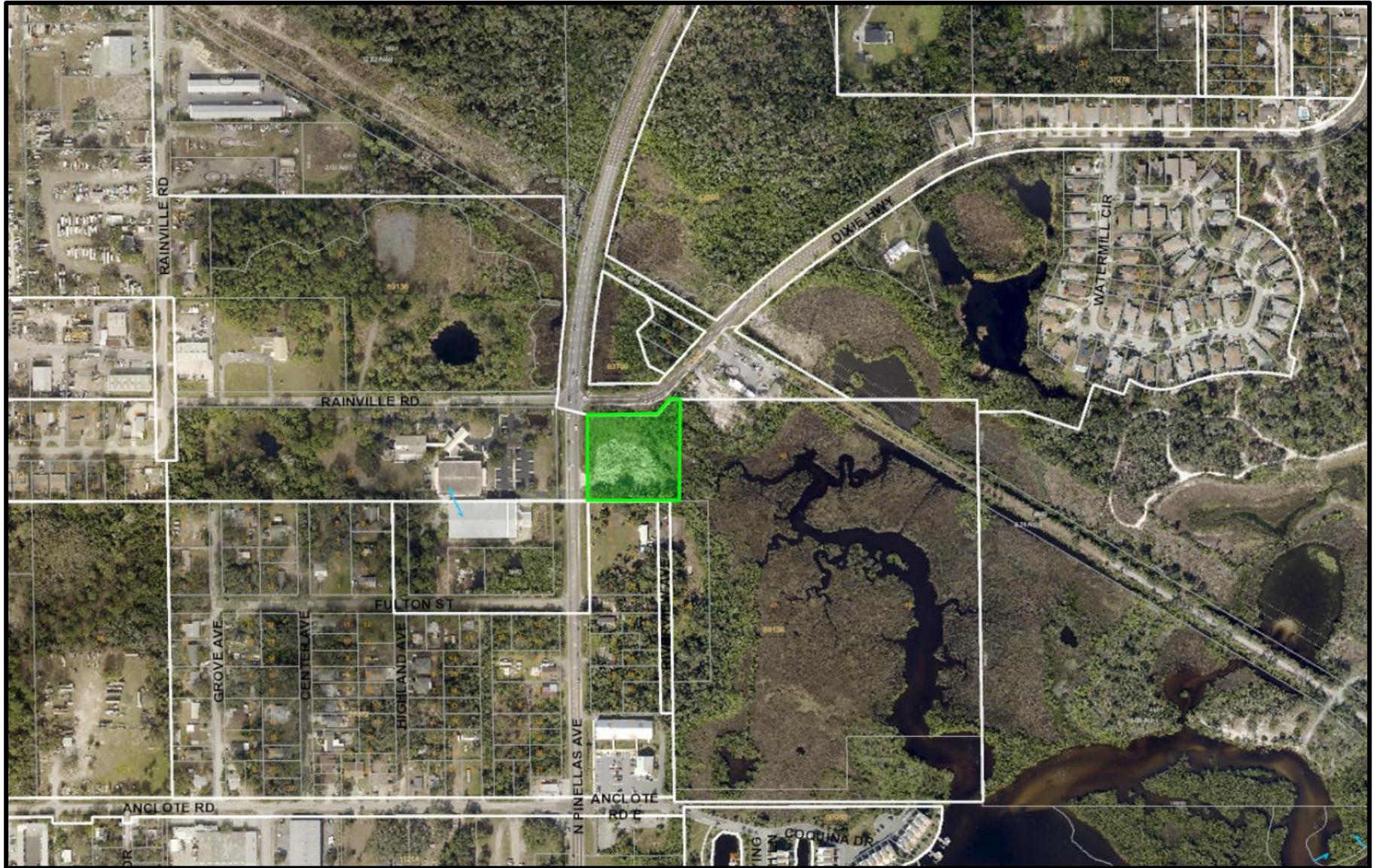


**21-11 Red Bank Investments – Location Map**





**21-11 Red Bank Investments – Aerial Map**



**RESOLUTION NO. 2021-11**

**A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #21-11 REQUESTING SITE PLAN APPROVAL FOR RED BANK INVESTMENTS, LLC, TO CONSTRUCT A SPECIALTY RETAIL BUILDING OF 12,750 SQUARE FEET OF GROSS FLOOR AREA ON 2.01 ACRES (MORE OR LESS) LOCATED AT 1372 NORTH PINELLAS AVENUE ON THE SOUTHEAST CORNER OF NORTH PINELLAS AVENUE AND DIXIE HIGHWAY IN THE HIGHWAY BUSINESS (HB) ZONING DISTRICT; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Tarpon Springs has received an application for site plan approval to develop a specialty retail center of 12,750 square feet of gross floor area located on 2.01 acres of land at 1372 North Pinellas Avenue in the Highway Business (HB) zoning district; and,

**WHEREAS**, the Planning and Zoning Board held a public hearing on this application at its meeting of February 22, 2021 and voted to recommend approval of the site plan with conditions; and,

**WHEREAS**, pursuant to Section 210.03(C)(4) of the Comprehensive Zoning and Land Development Code, the Board of Commissioners must approve, approve with conditions, or, deny the application.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA:**

**SECTION 1: FINDINGS**

1. That the site plan, as conditioned, meets the applicable sections of the Comprehensive Zoning and Land Development Code.
2. That the site plan, as conditioned, is consistent with the Tarpon Springs Comprehensive Plan.
3. That the site plan, as conditioned, demonstrates that required facilities and services will be available at the prescribed level of service standards concurrent with the impact of the development and may, subject to Section 3 of this resolution, during the term of this site plan approval, receive a Certificate of Concurrency pursuant to Section 122.00 et seq.

## **SECTION 2: SITE PLAN APPROVAL**

The site plan on a property parcel located at 1372 North Pinellas Avenue and legally described in Exhibit A was prepared and sealed by Joseph Anthony Cimino, P.E., on November 1, 2019, and is attached as Exhibit B-1 through B-15, is hereby approved.

## **SECTION 3: CONDITIONS**

1. The developer is responsible for meeting the minimum criteria of the Land Development Code and for acquiring all other jurisdictional permits and approvals.
2. Construction plans shall be consistent with the approved site plan. All requisite fees attendant to the project shall be paid in accordance with the Land Development Code.
3. Written confirmation of access approvals from Pinellas County for Dixie Highway and from the Florida Department of Transportation for North Pinellas Avenue shall be submitted with the building permit application.
4. Written confirmation from the Florida Department of Transportation for the left turn prevention configuration of the North Pinellas Avenue accessway shall be submitted with the building permit application.
5. Final grades for both access points (Dixie Highway and North Pinellas Avenue) shall be compliant with the City of Tarpon Springs Fire Marshal's requirements for equipment access. Compliant grades shall be shown on the building permit application plans submittal.
6. Traffic control signage shall match the City's design standards for the Community Redevelopment Area.
7. The site plan shall expire at one year from the effective date unless an application has been filed for a building permit with construction plans signed and sealed by a registered engineer licensed in the State of Florida.

## **SECTION 4: EFFECTIVE DATE**

This Resolution shall become effective upon adoption.

## EXHIBIT A. LEGAL DESCRIPTION

A portion of Lot 45, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part, and being more particularly described as followed: Commence at the Southwest corner of the Southwest 1/4 of the Southeast 1/4 of Section 1, Township 27 South, Range 15 East, Pinellas County, Florida, thence South  $89^{\circ} 15'35''$  East, along the South boundary line of said Southwest 1/4 for a distance of 317.79 feet to the point of intersection with a line 125.00 feet West of and parallel to the East boundary line of Lot 46, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part; thence North  $0^{\circ} 29'44''$  West, along said line for 403.69 feet to the point of intersection with a line 403.60 feet North of and parallel to the South boundary line of said Southwest 1/4; thence South  $89^{\circ} 15'38''$  East, for 125.03 feet to the point of intersection with the East boundary line of said Lot 46; thence North  $0^{\circ} 29'44''$  West, along said East boundary line of Lot 46 for 589.92 feet to the point of intersection with the South boundary line of said Lot 45; thence North  $89^{\circ} 21'29''$  West, along said South boundary line of Lot 45, for 91.56 feet to the Point of Beginning; thence continue North  $89^{\circ} 21'29''$  West, along said South boundary line of Lot 45, for 299.45 feet to the point of intersection with the East Right-of-Way line of U.S. Alternate 19, thence North  $0^{\circ} 25'04''$  West, along said Right-of-Way line 194.34 feet to the point of curvature of a curve concave to the East, thence along the arc of said curve, having a radius of 2814.79 feet, a central angle of  $1^{\circ} 42'54''$  an arc length of 84.25 feet and chord bearing North  $00^{\circ} 26'23''$  East, for 84.25 feet to the point of intersection with the South Right-of-Way line of State Road 595; thence along said South and Southeasterly Right-of-Way lines of State Road 595 the following two (2) courses: (1) North  $89^{\circ} 48'01''$  East for 228.84 feet; (2) North  $41^{\circ} 30'47''$  East, for 64.99 feet; thence leaving said South and Southeasterly Right-of-Way lines South  $89^{\circ} 23'26''$  East, along the North boundary line of said Southwest 1/4 and Lot 45 of said TAMPA AND TARPON SPRINGS LAND COMPANY a distance of 32.00 feet; thence South  $00^{\circ} 38'31''$  West, for 331.08 feet to the Point of Beginning.

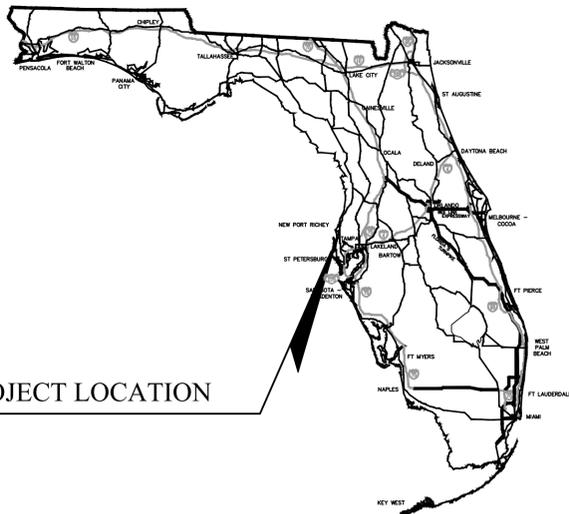
Parcel ID Number: 01-27-15-89136-000-0452

# CONSTRUCTION SITE PLAN FOR DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

SECTION 1, TOWNSHIP 27S, RANGE 15E  
PARCEL ID: 01-27-15-89136-000-0452  
PINELLAS COUNTY, FLORIDA

PREPARED FOR  
RED BANK INVESTMENTS LLC  
4114 WOODLANDS PARKWAY  
SUITE 401  
PALM HARBOR, FLORIDA 34685

**LEGAL DESCRIPTION**  
A PORTION OF LOT 45, TAMPA AND TARPON SPRINGS LAND COMPANY, AS RECORDED IN PLAT BOOK 1, PAGE 116, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMALLY A PART, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE SOUTHWEST CORNER OF THE SW 1/4 OF THE SE 1/4 OF SECTION 1, TOWNSHIP 27 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA; THENCE S89°15'35"E, ALONG THE SOUTH BOUNDARY LINE OF SAID SW 1/4 FOR A DISTANCE OF 317.79 FEET TO THE INTERSECTION WITH A LINE 125 FEET WEST OF AND PARALLEL TO THE EAST BOUNDARY OF LOT 46, TAMPA AND TARPON SPRINGS LAND COMPANY, AS RECORDED IN PLAT BOOK 1, PAGE 116, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS A PART; THENCE N0°29'44"W, ALONG SAID LINE FOR 403.69 FEET TO THE POINT OF INTERSECTION WITH A LINE 403.60 FEET NORTH OF AND PARALLEL TO THE SOUTH BOUNDARY LINE OF SAID SW 1/4; THENCE S89°15'38"E, FOR 125.03 FEET TO A POINT OF INTERSECTION WITH THE EAST BOUNDARY LINE OF SAID LOT 46; THENCE N0°29'44"W, ALONG SAID EAST BOUNDARY LINE OF LOT 46 FOR 589.92 FEET TO THE POINT OF INTERSECTION WITH THE SOUTH BOUNDARY LINE OF SAID LOT 45; THENCE N89°21'29"W, ALONG SAID SOUTH BOUNDARY LINE OF LOT 45, FOR 91.56 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N89°21'29"W, ALONG SAID SOUTH BOUNDARY LINE OF LOT 45 FOR 299.45 FEET TO THE POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF U.S. ALTERNATE 19, THENCE N0°25'04"W, ALONG SAID RIGHT-OF-WAY LINE 194.34 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST; THENCE ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 2814.79 FEET, A CENTRAL ANGLE OF 1°42'54" AN ARC LENGTH OF 84.25 FEET AND CHORD BEARING N00°26'23"E, FOR 84.25 FEET TO THE POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 595; THENCE ALONG SAID SOUTH AND SOUTHEASTERLY RIGHT-OF-WAY LINES OF STATE ROAD 595 THE FOLLOWING TWO COURSES: (1) N89°48'01"E FOR 228.84 FEET; (2) N41°30'47"E, FOR 64.99 FEET; THENCE LEAVING SAID SOUTH AND SOUTHEASTERLY RIGHT-OF-WAY LINES S89°23'26"E, ALONG THE NORTH BOUNDARY LINE OF SAID SW 1/4 AND LOT 45 OF SAID TAMPA AND TARPON SPRINGS LAND COMPANY A DISTANCE OF 32.00 FEET; THENCE S00°38'31"W, FOR 331.08 FEET TO THE POINT OF BEGINNING.



PROJECT LOCATION

## SITE DATA TABLE

<b>PROPERTY OWNER:</b> RED BANK INVESTMENTS LLC	<b>PROPERTY LOCATION:</b> 1372 N. PINELLAS AVENUE TARPON SPRINGS, FL																														
<b>LEGAL DESCRIPTION:</b> SEE LEGAL DESCRIPTION AT RIGHT	<b>PARCEL IDENTIFICATION NUMBER:</b> 01-27-15-89136-000-0452																														
<b>PROPERTY ZONING:</b> HB	<b>ADJACENT PROPERTY ZONING:</b> NORTH: LC SOUTH: C-2 EAST: C-2 WEST: RO																														
<b>PROPERTY USE:</b> EXISTING: VACANT PROPOSED: RETAIL	<b>ADJACENT PROPERTY USE:</b> NORTH: SEWAGE DISPOSAL, SOLID WASTE SOUTH: FLORIST/GREENHOUSE EAST: RAW ACREAGE WEST: CHURCH																														
<b>MAXIMUM BUILDING HEIGHT:</b> ALLOWED: 35 FEET PROPOSED: 18 FEET																															
<b>LOT COVERAGE CALCULATIONS:</b>																															
	<table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>EXISTING</th> <th>PROPOSED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>BUILDING AREA</td> <td>0 SF (0.00 AC)</td> <td>0 %</td> <td>12,750 SF (0.29 AC)</td> <td>15 %</td> </tr> <tr> <td>PARKING AND SIDEWALK AREA</td> <td>0 SF (0.00 AC)</td> <td>0 %</td> <td>39,529 SF (0.91 AC)</td> <td>45 %</td> </tr> <tr> <td>TOTAL IMPERVIOUS AREA</td> <td>0 SF (0.00 AC)</td> <td>0 %</td> <td>52,279 SF (1.20 AC)</td> <td>60 %</td> </tr> <tr> <td>TOTAL PERVIOUS AREA (OPEN SPACE)</td> <td>87,646 SF (2.01 AC)</td> <td>100 %</td> <td>35,367 SF (0.81 AC)</td> <td>40 %</td> </tr> <tr> <td>TOTAL SITE AREA</td> <td>87,646 SF (2.01 AC)</td> <td>100 %</td> <td>87,646 SF (2.01 AC)</td> <td>100 %</td> </tr> </tbody> </table>		EXISTING	EXISTING	PROPOSED	PROPOSED	BUILDING AREA	0 SF (0.00 AC)	0 %	12,750 SF (0.29 AC)	15 %	PARKING AND SIDEWALK AREA	0 SF (0.00 AC)	0 %	39,529 SF (0.91 AC)	45 %	TOTAL IMPERVIOUS AREA	0 SF (0.00 AC)	0 %	52,279 SF (1.20 AC)	60 %	TOTAL PERVIOUS AREA (OPEN SPACE)	87,646 SF (2.01 AC)	100 %	35,367 SF (0.81 AC)	40 %	TOTAL SITE AREA	87,646 SF (2.01 AC)	100 %	87,646 SF (2.01 AC)	100 %
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<b>VEHICULAR PARKING (REQUIRED):</b> RETAIL - 4 SPACES PER 1000 SF @ 12,750 SF = 51 SPACES																															
<b>VEHICULAR PARKING (PROPOSED):</b> STANDARD PARKING SPACES = 59 H/C SPACES = 4 (3 REQUIRED) TOTAL ONSITE PARKING SPACES PROVIDED = 63  BICYCLE PARKING PROVIDED AT A RATE OF 10% OF THE ONSITE PARKING SPACES REQUIRED. SEE SITE PLAN.																															
<b>FLOOD ZONE:</b> THE SUBJECT PROPERTY APPEARS TO LIE IN FLOOD ZONE "AE" BFE=9.0 PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0017H, MAP EFFECTIVE DATE OF JUNE 29, 2018.																															
<b>VERTICAL DATUM INFORMATION:</b> ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM, 1988 (NAVD'88).																															

## FACILITIES DATA TABLE

POTABLE WATER USAGE = 2,550 GALLONS PER DAY
WASTEWATER USAGE = 1,912 GALLONS PER DAY
SOLID WASTE DISPOSAL = 23 TONS PER YEAR
AVERAGE DAILY VEHICLE TRIPS = 23 PEAK HOUR TRIPS



VICINITY MAP

PREPARED BY

**WRA** Engineering ~ Environmental  
**Water Resource**  
8043 Cooper Creek Blvd., Suite 210  
University Park, Florida 34201  
Phone: 941.275.9721 Fax: 813.275.9729  
www.wraconsultants.com

**Sheet List Table**

Sheet Number	Sheet Title
G-001	COVER SHEET
G-002	GENERAL CONSTRUCTION NOTES
G-003	STORWATER POLLUTION PREVENTION PLAN
G-004	EXISTING CONDITIONS AND DEMOLITION PLAN
G-005	EROSION CONTROL PLAN
G-006	EROSION CONTROL DETAILS
C-001	PROPOSED SITE LAYOUT
C-002	SITE DETAILS
C-003	GRADING AND DRAINAGE PLAN
C-004	DRAINAGE DETAILS
C-005	WETLAND IMPACT AND MITIGATION PLAN
C-006	UTILITY PLAN
C-007	UTILITY DETAILS
C-008	LIFT STATION DETAIL
C-009	LANDSCAPE PLAN

- ENTRANCE AND EXIT GRADES ARE COMPLIANT WITH FIRE CODE FOR FIRE APPARATUS ACCESS. PER NFPA 1 CHAPTER 18.2.3.4.6
- THE GRADIENT FOR A FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED THE MAXIMUM APPROVED PER 18.2.3.4.6.1
- THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT (0.3 M DROP IN 6 M) OR THE DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT, AND SHALL BE SUBJECT TO APPROVAL BY THE AHJ. PER 18.2.3.4.6.2\*
- FIRE DEPARTMENT ACCESS ROADS CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FT (0.61 M) BEYOND EACH EDGE OF THE FIRE LANE PER 18.2.3.4.6.3

**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THAT THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL, COMPLIES WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION PURSUANT TO 334.044(10)(a) AND 336.045, FLORIDA STATUTE.

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DIAL 811  
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Call before you dig.  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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Water Resource ~ Survey  
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University Park, Florida 34201  
www.wraconsultants.com  
CA 00007652 TB 8274  
Phone: 813.265.3130 941.275.9721

**WRA**

COVER SHEET

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

ISSUED FOR: PERMITTING  
JOB# 1578 SEC. 01 TWP. 27  
RNG. 15  
DESIGNED: BAF DRAWN: BAF APPROVED: JAC

REVISIONS

NO.	DATE	DESCRIPTION
6		
5		
4		
3		
2		
1		

DATE: 11/1/2019 10:54:08 AM  
2019 WRA

NAV D  
Datum:  
G-001

GENERAL CONSTRUCTION NOTES

- 1. UNLESS OTHERWISE NOTED HEREIN, THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FOLLOWING DOCUMENTS:
A. PINELLAS COUNTY CODE OF ORDINANCES (LATEST EDITION)
B. FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, 2015 EDITION.
C. CURRENT WATER AND WASTEWATER STANDARDS OF PINELLAS COUNTY. THE WATER AND WASTEWATER SYSTEMS SHALL BE DEDICATED TO PINELLAS COUNTY FOR OWNERSHIP AND MAINTENANCE.
D. THE STORMWATER DRAINAGE COLLECTION SYSTEM AND PROPOSED ROADWAY SHALL MEET PINELLAS COUNTY CURRENT SPECIFICATION FOR DESIGN WHERE INDICATED ON THE PLANS. THE RIGHT-OF-WAY SHALL BE DEDICATED TO THE COUNTY FOR OWNERSHIP AND MAINTENANCE. ACCORDINGLY, THE ABOVE NOTED DOCUMENTS SHALL BE THE TECHNICAL SPECIFICATIONS FOR THE CONSTRUCTION OF THIS PROJECT AND THE CONTRACTOR SHALL OBTAIN AND FULLY FAMILIARIZE HIMSELF WITH THE CONTENTS OF SAID SPECIFICATIONS IN THE EVENT THAT A DISCREPANCY OCCURS BETWEEN THESE PLANS AND THE AFOREMENTIONED SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE UNLESS OTHERWISE DIRECTED BY THE ENGINEER IN WRITING. THE CONTRACTOR SHALL HAVE A SET OF THESE PLANS MARKED "APPROVED FOR CONSTRUCTION" ALONG WITH A COPY OF ALL THE DOCUMENTS NOTED ABOVE ON THE PROJECT SITE AT ALL TIMES.
2. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
3. PRIOR TO CONSTRUCTION COMMENCEMENT, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER AND/OR THE DEVELOPER COPIES OF ALL PERTINENT PERMITS AND APPROVALS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY POST ALL PERMITS, ON-SITE AND TO ASSURE ALL CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES WHETHER OR NOT THEY ARE INDICATED ON THESE PLANS AND SHALL NOTIFY ALL UTILITY OWNERS A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL UTILITY COMPANIES AND GOVERNING AGENCIES NECESSARY FOR CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PINELLAS COUNTY UTILITIES, TECO, FLORIDA POWER AND LIGHT, BRIGHTHOUSE NETWORKS, CALL SUNSHINE ONE (1-800-432-4770) PRIOR TO ANY EXCAVATION.
5. THE CONTRACTOR SHALL ASSURE AND BE RESPONSIBLE FOR THE PROPER PLACEMENT AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT.
6. THE CONTRACTOR SHALL ASSURE AND BE RESPONSIBLE FOR THE PROPER PLACEMENT OF TREE BARRICADES PRIOR TO COMMENCING CONSTRUCTION AND SHALL MAINTAIN THE TREE BARRICADES THROUGHOUT THE DURATION OF CONSTRUCTION. TREE BARRICADES SHALL BE PLACED IN ACCORDANCE WITH PINELLAS COUNTY REQUIREMENTS AND THE SITE SPECIFIC PERMIT ISSUED BY THE COUNTY.
7. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF TREES TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY PINELLAS COUNTY.
8. AREAS DISTURBED BY THE CONTRACTOR OUTSIDE OF THE CONSTRUCTION SITE SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THE PRE-CONSTRUCTION CONDITION, THIS INCLUDES LANDS OWNED BY THE DEVELOPER.
9. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO GUARD AGAINST FUGITIVE DUST DURING CONSTRUCTION.
10. ALL PRACTICAL AND NECESSARY EFFORTS SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT TO SURFACE DRAINS, SURFACE WATERS OR ONTO ADJACENT PROPERTIES. THESE EFFORTS SHALL INCLUDE THE PLACEMENT AND MAINTENANCE OF SILT SCREENS AS INDICATED ON THESE PLANS AND/OR AS REQUIRED BY CONSTRUCTION PERMITS AND APPROVALS. RE-VEGETATION AND STABILIZATION OF DISTURBED GROUND SURFACES SHALL BE ACCOMPLISHED AS RAPIDLY AS POSSIBLE TO PREVENT EROSION FROM OCCURRING AND TO REDUCE SEDIMENTATION IN RUN-OFF.
11. THE CONTRACTOR SHALL NOT UNDERTAKE ANY WORK HE FEELS WILL CONSTITUTE A CHANGE ORDER WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER AND THE DEVELOPER.
12. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER, FOR HIS REVIEW, ALL SHOP DRAWINGS A MINIMUM OF SEVEN (7) WORKING DAYS IN ADVANCE OF THE CONTRACTOR'S NEED FOR SAME.
13. ALL EXISTING WELLS TO BE ABANDONED SHALL BE PROPERLY ABANDONED BY A LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH SWFWMD RULES 40D-3 AND 17-014 F.A.C.
14. PRIOR TO BIDDING, CONTRACTOR SHALL VERIFY THE TOPOGRAPHICAL INFORMATION AS SHOWN ON THE CONSTRUCTION DRAWINGS AND ACCEPT THE SITE (ACCURATE TO 0.5 FEET OF THE CONTOUR INTERVAL AND 0.2 FEET OVERALL) AS REPRESENTED. COMMENCEMENT OF SITE IMPROVEMENTS SHALL BE INTERFERED AS ACCEPTANCE BY CONTRACTOR OF ALL REPRESENTATIONS IN CONTRACT DOCUMENTS.
15. CONTRACTOR SHALL PERFORM ALL CLEARING AND GRUBBING OPERATIONS IN ACCORDANCE WITH STANDARD CONSTRUCTION PROCEDURES AS REQUIRED TO CONSTRUCT ALL FACILITIES SHOWN ON THE CONSTRUCTION DRAWINGS.
16. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BY CONTRACTOR FROM STRUCTURAL AREAS AND PLACED ON SITE IN NON STRUCTURAL AREAS OR AS SPECIFIED BY THE DEVELOPER. ALL EXCESS FILL MATERIAL EXCAVATED FROM THE SITE SHALL BE STOCKPILED ON SITE AS DIRECTED BY THE DEVELOPER AND SHALL REMAIN THE PROPERTY OF THE DEVELOPER.
17. THE DEVELOPER SHALL PROVIDE A BENCH MARK AND A COORDINATE CONTROL SHEET FROM THE ENGINEER FOR THE CONTRACTOR'S USE. ALL FIELD SURVEY LAYOUT FOR THE FACILITIES SHOWN ON THE CONSTRUCTION DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN A SET OF FIELD "AS BUILT'S" FOR ALL IMPROVEMENTS NOTING ANY FIELD ADJUSTMENTS. THE "AS BUILT'S" SHALL ALSO INCLUDE LOT, POND AND MITIGATION AREA DRAWINGS. PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL BE RESPONSIBLE TO SUBMIT A CERTIFIED SET OF "AS BUILT'S" TO THE ENGINEER. EACH SHEET OF THE PLANS SHALL BE SIGNED, SEALED AND DATED BY A PROFESSIONAL LAND SURVEYOR LICENSED TO PERFORM LAND SURVEYING SERVICES IN THE STATE OF FLORIDA. THE ENGINEER SHALL REVIEW THE "AS BUILT'S" AND CONVERT THEM INTO RECORD DRAWINGS.
18. CONTRACTOR TO CONSTRUCT ALL BUILDING PADS IN A LINEAR GRADING FASHION AS SHOWN ON THE CONSTRUCTION DRAWINGS. ALL BUILDINGS SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR VALUE (ASTM D-1557). AS PART OF THE AS BUILT REQUIREMENTS UNDER #18 (ABOVE), THE CONTRACTOR SHALL ALSO AS BUILT THE BUILDING PADS AS SHOWN ON THE CONSTRUCTION DRAWINGS.
19. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FOR BURNING ON SITE.
20. DEVELOPER SHALL PROVIDE SOILS AND MATERIALS TESTING SERVICES FROM A LICENSED GEOTECHNICAL ENGINEER AT HIS OWN EXPENSE. CONTRACTOR SHALL COOPERATE WITH THE OWNER'S GEOTECHNICAL ENGINEER AND SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST 24 HOURS PRIOR TO ANY TESTING REQUIRED BY THE DEVELOPER, GOVERNMENTAL AGENCY OR AS RECOMMENDED BY GEOTECHNICAL ENGINEER. IF A FAILURE IN ANY OF THE CONTRACTOR'S ACTIVITIES RELATED TO SOILS OR MATERIALS TESTING OCCURS, THE CONTRACTOR SHALL IMMEDIATELY REMEDY THE FAILURE AT HIS OWN EXPENSE AND RE-SCHEDULE THE RE-TESTING AS NECESSARY. ALL RE-TESTING FEES FROM THE GEOTECHNICAL ENGINEER RESULTING FROM THE AFORESAID FAILURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
21. WORK PERFORMED BY THE CONTRACTOR SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE OR ADJACENT TO THE SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES, INCLUDING BUT NOT LIMITED TO PROGRESS ENERGY & VERIZON.
22. OVERALL CLEAN-UP SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN ACCORDANCE WITH PINELLAS COUNTY STANDARDS OR AS DIRECTED BY THE ENGINEER AND OWNER.
23. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ACCESS TO PRIVATE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR IN THE PERFORMANCE OF HIS WORK SHALL BE CORRECTED TO THE SATISFACTION OF THE ENGINEER AND THE OWNER AT THE CONTRACTOR'S EXPENSE.
24. ANY DAMAGE TO STATE, COUNTY, OR LOCAL ROADS CAUSED BY THE CONTRACTOR'S HAULING OR EXCAVATION EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER, THE OWNER, AND THE APPLICABLE GOVERNMENTAL AGENCY.
25. ANY U.S.C. & G.S. MONUMENT WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED BY THE CONTRACTOR.
26. GATED ENTRIES REQUIRE SIREN OPENING SYSTEM (SOS), OR 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.

CONSTRUCTION SEQUENCE & MAINTENANCE SCHEDULE OF EROSION CONTROL

- 1. SEE BMP PLAN FOR SILT SCREEN BARRIER DETAILS & NOTES.
2. ALL EROSION CONTROL DEVICES AS INDICATED ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION.
3. DAILY INSPECTION OF THE EROSION CONTROL WILL BE REQUIRED BY THE CONTRACTOR. ANY DISTURBANCE OF THESE DEVICES SHALL BE REPAIRED IMMEDIATELY.
4. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE HALF THE DEPTH OF THE SILTATION CONTROL BARRIER SHALL BE IMMEDIATELY REMOVED AND PLACED IN UPLAND AREAS. JURISDICTIONAL LINES SHALL BE MARKED IN THE FIELD FOR IDENTIFICATION AND LIMITS OF CONSTRUCTION.
5. MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR THE LIFE OF THE PROJECT OR UNTIL APPROVED FOR REMOVAL BY THE ENGINEER. SEE NOTE 9 & 10 OF THE GENERAL NOTES THIS DWG.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PLACEMENT AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT.
7. THE CONTRACTOR SHALL ASSURE AND BE RESPONSIBLE FOR THE PROPER PLACEMENT OF TREE BARRICADES PRIOR TO COMMENCING CONSTRUCTION AND SHALL MAINTAIN THE TREE BARRICADES THROUGHOUT THE DURATION OF CONSTRUCTION. TREE BARRICADES SHALL BE PLACED IN ACCORDANCE WITH PINELLAS COUNTY REQUIREMENTS AND THE SITE SPECIFIC PERMIT ISSUED BY THE COUNTY.

EROSION PROTECTION

THE CONTRACTOR IS RESPONSIBLE FOR SITE CONDITIONS FROM THE DATE OF NOTICE TO PROCEED, UNTIL THE PROJECT IS ACCEPTED BY THE OWNER, ENGINEER AND PINELLAS COUNTY. ACCORDINGLY, THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL FUGITIVE DUST AND EROSION. PROTECTION FROM EROSION INTO EXISTING WETLANDS, DRAINAGE WAYS, CONSERVATION AREAS, NATURAL AREAS AND OFFSITE AREAS, AS WELL AS NEWLY CONSTRUCTED ROADWAYS, STORMWATER FACILITIES AND MITIGATION AREAS, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN HIS WORK SO AS TO PREVENT EROSION. THIS MAY REQUIRE ADDITIONAL MEASURES FROM THOSE SHOWN ON THE CONSTRUCTION PLANS, SUCH AS WINDOWS, DIVERSION SWALES, SEED & MULCH, STAKED HAY BALES, OR OTHER EROSION CONTROL MEASURES NECESSARY TO REACT TO VARYING SITE CONDITIONS OR INCLEMENT WEATHER. IF EROSION OCCURS, THE CONTRACTOR SHALL IMMEDIATELY REMEDY THE DAMAGE CAUSED BY SUCH EROSION BY CONTROLLED REMOVAL OF SEDIMENTS, REPLANTING IF NECESSARY AND RE-ESTABLISHMENT OF EROSION PROTECTION DEVICES. AT THE CONTRACTOR'S SOLE EXPENSE.

STORMWATER MANAGEMENT SYSTEM MAINTENANCE

OPERATION/MAINTENANCE SCHEDULE

THE DEVELOPER OR HIS ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION AREA AND SUBSURFACE DRAINAGE SYSTEM. THIS WILL REQUIRE INSPECTION, ON AT LEAST AN ANNUAL BASIS, OF THE ON-SITE DRAINAGE SYSTEM, INCLUDING BUT NOT LIMITED TO, INLETS, STORM MANHOLES, DETENTION AREAS, AND CONTROL STRUCTURES, MAKING SURE THAT THE SYSTEM IS FREE FROM EXCESS SILT, DEBRIS AND SEDIMENTATION BUILD-UP. THIS MAY REQUIRE PERIODIC FLUSHING OF THE SUBSURFACE DRAINAGE SYSTEM, CUTTING AND REMOVAL OF VEGETATION FROM AND AROUND STRUCTURES, AND REMOVAL OF ACCUMULATED SEDIMENTS FROM THE BOTTOM OF THE DETENTION AREAS AND STRUCTURES AS NEEDED TO MAINTAIN THE VIABILITY OF THE ORIGINAL DESIGN INTENT. THE DESIGNATED LITZORNE ZONE SHALL BE MAINTAINED AS A FUNCTIONAL BIOLOGICAL FILTRATION AREA (I.E. VEGETATED ZONE) AND SHALL NOT BE LESS THAN 35% OF THE POND SURFACE.

GENERAL MAINTENANCE

- 1. ALL STORM WATER PIPES, INLETS, CATCH BASINS, MANHOLES, FLUMES, POND INFLOW AND OUTFALL STRUCTURES (INCLUDING GULL SKIMMERS), AND DISCHARGE PIPES SHOULD BE INSPECTED ON A REGULAR BASIS (MONTHLY OR QUARTERLY) AND AFTER MAJOR RAINFALLS. THEY SHOULD BE MAINTAINED BY REMOVING BUILT-UP DEBRIS AND VEGETATION AND REPAIRING DETERIORATING STRUCTURES.
2. CHEMICALS, OILS, GREASES, OR SIMILAR WASTES ARE NOT TO BE DISPOSED OF DIRECTLY TO THE STORMWATER FACILITY OR THROUGH STORM SEWERS. TREATMENT PONDS ARE DESIGNED TO TREAT NORMAL ROAD, PARKING LOT, ROOF AND YARD RUNOFF ONLY. SOME CHEMICALS MAY INTERFERE WITH A TREATMENT POND'S FUNCTIONS OR KILL VEGETATION AND WILDLIFE. DISPOSE OF THESE POTENTIALLY DANGEROUS MATERIALS PROPERLY BY TAKING THEM TO RECYCLING FACILITIES OR TO LOCAL MUNICIPALITY DESIGNATED BULK-UP. DO NOT DISPOSE OF THESE MATERIALS IN SWIMS, GRASS CLIPPINGS POSE PROBLEMS BY SMOTHERING DESIRABLE VEGETATION, CLOGGING OUTFALL STRUCTURES, AND WHEN THEY DECOMPOSE, MAY CAUSE UNSIGHTLY ALGAE BLOOMS THAT CAN KILL FISH.
3. ACCUMULATED POND SEDIMENTS MAY CONTAIN HEAVY METALS SUCH AS LEAD, CADMIUM AND MERCURY, AS WELL AS OTHER POTENTIALLY HAZAROUS MATERIALS. THEREFORE, SEDIMENTS REMOVED FROM STORM SEWERS, INLETS, PIPES AND PONDS SHOULD BE DISPOSED OF AT AN APPROVED FACILITY (CHECK WITH THE COUNTY SOLID WASTE DEPARTMENT OR THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR DISPOSAL FACILITIES APPROVED TO ACCEPT TREATMENT POND SEDIMENT).
4. DURING ANY REPAIR OR MAINTENANCE ACTIVITY USE CARE TO AVOID CAUSING EROSION OR SILTATION TO ADJACENT OR OFF-SITE AREAS.
5. REMEMBER, ALTERATIONS (FILLING, ENLARGING, ETC.) OF ANY PART OF THE STORMWATER FACILITY IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM ALL APPLICABLE GOVERNING AGENCIES.
6. THE APPROVED OPERATION AND MAINTENANCE PERMIT AND AS-BUILT DRAWINGS ARE AVAILABLE AT YOUR LOCAL DISTRICT SERVICE OFFICE. REFER TO THOSE PLANS AND PERMITS FOR ADDITIONAL RESTRICTIONS, INSTRUCTIONS AND CONDITIONS.
7. IT IS USUALLY MORE COST EFFECTIVE TO MONITOR AND PERFORM ROUTINE MAINTENANCE ON A SWMS, RATHER THAN LET IT FAIL AND HAVE TO RECONSTRUCT THE ENTIRE SYSTEM.
8. MOSQUITO GROWTH CAN BE MINIMIZED IN A SWMS BY THE FOLLOWING MEASURES:
A. DO NOT DUMP GRASS CLIPPINGS OR OTHER ORGANIC DEBRIS INTO SWMS - DECAYING GRASS CLIPPINGS AND OTHER DECOMPOSING VEGETATION CREATE IDEAL CONDITIONS FOR BREEDING MOSQUITOS.
B. CLEAN OUT ANY OBSTRUCTIONS WHICH GET INTO THE SYSTEM. DEBRIS CAN OBSTRUCT FLOW AND HARBOR MOSQUITO EGGS AND LARVAE.
C. REMOVE WATER LETTUCE AND WATER HYACINTH, WHICH NOURISH AND SHELTER MOSQUITO LARVAE.
D. STOCK PONDS WITH PREDATORY "MOSQUITOFISH" - GAMBUSIA MINNOWS.

DITCH & SWALE MAINTENANCE

SOME MSSW AND ERP PERMITS REQUIRE THAT THE VEGETATION IN SOME DITCHES BE PROTECTED TO OFFSET WETLAND IMPACTS PERMITTED DURING CONSTRUCTION OR FOR WATER QUALITY TREATMENT. THE PERMIT OR APPROVED CONSTRUCTION SHOULD CLEARLY IDENTIFY WHICH DITCH VEGETATION MUST BE PRESERVED. IF YOU'RE UNSURE, CONTACT THE LOCAL DISTRICT SERVICE OFFICE. IF VEGETATION IS NOT REQUIRED TO BE PROTECTED, DITCHES AND SWALES SHOULD BE PERIODICALLY MOWED AND CLEANED OF ACCUMULATED REFUSE. DURING THE MOWING OPERATIONS, DITCHES AND SWALES SHOULD BE INSPECTED FOR BARE SPOTS, DAMAGE OR EROSION. BARE AREAS SHOULD BE SODDED OR SEEDED TO REPLACE THE GRASS COVER. IN THE CASE OF EROSION, REPLACE THE MISSING SOILS AND BRING THE AREA BACK TO GRADE. SOME DITCHES ARE DESIGNED TO STORE RUNOFF FOR SHORT PERIODS OF TIME UTILIZING DITCH BLOCKS OR RAISED INLETS. THESE DITCH BLOCKS OR INLETS SHOULD NOT BE REMOVED OR ALTERED. IF YOU ARE UNABLE TO IDENTIFY WHAT TYPE OF TREATMENT METHOD SERVES YOUR DEVELOPMENT, CONTACT THE DISTRICT SERVICE OFFICE.

HOW TO OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM

YOUR STORMWATER MANAGEMENT SYSTEM (SWMS) IS DESIGNED AND CONSTRUCTED TO COMPLY WITH CERTAIN ENVIRONMENTAL PROTECTION CRITERIA. STORMWATER PONDS AND THEIR ASSOCIATED SURFACE WATER MANAGEMENT FACILITIES ARE DESIGNED TO CAPTURE AND REMOVE POLLUTANTS FROM SPECIFIC VOLUMES OF STORMWATER RUNOFF THROUGH PROCESSES SUCH AS PERCOLATION, FILTERING AND/OR DETENTION. AS LONG AS THEY ARE CONSTRUCTED PROPERLY AND MAINTAINED IN AN EFFECTIVE STATE, WATER QUALITY STANDARDS ARE PRESUMED TO BE MET. STORMWATER MANAGEMENT SYSTEMS SHOULD BE INSPECTED ON A ROUTINE BASIS TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. INSPECTIONS SHOULD BE SCHEDULED ON A MONTHLY OR QUARTERLY BASIS AND FOLLOWING ANY MAJOR RAIN EVENT. MORE FREQUENT INSPECTIONS MAY BE NECESSARY DURING THE RAINY SEASON. KEEPING DETAILED NOTES ON MAINTENANCE ACTIVITIES WILL HELP WHEN PROVIDING A REPORT TO THE DISTRICT AT THE TIME OF YOUR 18 OR 24 MONTH INSPECTION. YOUR MANAGEMENT AND STORAGE OF SURFACE WATERS (MSSW) PERMIT OR ENVIRONMENTAL RESOURCES PERMIT (ERP) INCLUDES A CONDITION THAT SPECIFICS HOW OFTEN THE INSPECTION REPORTS ARE DUE. IT WOULD BE WISE TO DESIGNATE ONE INDIVIDUAL AS THE PERSON RESPONSIBLE FOR OVERSEEING OPERATION AND MAINTENANCE ACTIVITIES, MONITORING AND REPORTING. THIS WILL ALLOW THAT INDIVIDUAL TO BECOME WELL-ACQUAINTED WITH THE SWMS. A COPY OF THE PERMIT AND DISTRICT-APPROVED CONSTRUCTION DRAWINGS SHOULD BE MADE AVAILABLE TO THE RESPONSIBLE PERSON IF QUESTIONS OR ISSUES DEVELOP.

DRAINAGE

- 1. STANDARD INDICES REFER TO THE LATEST EDITION OF PINELLAS COUNTY & FDOT SPECIFICATIONS.
2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM 6-76-72A) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH PINELLAS COUNTY AND FDOT DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURE WITH THE EXCEPTION OF MITERED AND FLARED END CONNECTIONS.
4. ALL DRAINAGE STRUCTURE TOPS AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
5. ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
6. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO CLEAN PIPES AND INLETS PRIOR TO FINAL ACCEPTANCE.

National Pollution Discharge Elimination System (NPDES) Requirements

THE ENGINEER WILL COMPLETE APPROPRIATE SECTIONS OF THE NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) APPLICATIONS AVAILABLE FROM FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). THE ENGINEER WILL SUBMIT THE NOI AND THE NOT TO THE OWNER OR THE CONTRACTOR FOR COMPLETION, SIGNATURE AND TRANSMITTAL TO THE FDEP. THE ENGINEER WILL ALSO PREPARE A SUGGESTED DRAFT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE SITE. THE ENGINEER WILL SUBMIT THE SUGGESTED DRAFT SWPPP TO THE OWNER OR THE CONTRACTOR FOR USE ONLY AS A GUIDE IN PREPARING THE FINAL SWPPP. THE FINAL SWPPP, AS PREPARED BY THE OWNER OR THE CONTRACTOR, WILL BE LOCATED ON SITE AND MONITORED AS DESCRIBED IN THE NOI.

THE OWNER OR THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE FOLLOWING:

- 1. SIGNING THE NOI, NOT, AND THE FINAL SWPPP AS THE "OPERATOR AND/OR RESPONSIBLE AUTHORITY" FOR THE PROJECT.
2. IMPLEMENTING THE "BEST MANAGEMENT PRACTICES" AS SHOWN IN THE FINAL SWPPP PREPARED BY OTHERS.
3. MAINTAINING THE "BEST MANAGEMENT PRACTICES" AS SHOWN IN THE SWPPP PREPARED BY OTHERS AS REQUIRED TO ACCOMMODATE CONDITIONS IN THE FIELD.
4. MONITORING THE SITE CONDITIONS AND PREPARING ALL REPORTS AS REQUIRED BY THE CONDITIONS OF THE GENERAL NPDES PERMIT.

CLEARING/DEMOLITION

- 1. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE COUNTY AND THE OWNER.
2. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS, NOT OTHERWISE STABILIZED, WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
3. REMAINING MATERIAL THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
4. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.

WATER, WASTEWATER & REUSE WATER SYSTEM NOTES

- 1. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS SHALL BE AS FOLLOWS:
A. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610.
B. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
C. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
D. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.
2. VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES SHALL BE AS FOLLOWS:
A. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAINS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
B. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
C. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL TO ADJACENT OR OFF-SITE AREAS. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.
A. NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE, STORM SEWER MANHOLE OR INLET STRUCTURE.
4. ALL UTILITY MATERIAL AND WORKMANSHIP MUST COMPLY WITH THE "PINELLAS COUNTY", LATEST EDITION.
5. ALL PVC WATER MAINS 4 - 12 INCHES SHALL BE IN ACCORDANCE WITH AWWA C-900. PIPE SHALL BE CLASS 200 AND MEET THE REQUIREMENTS OF DR-14.
6. ALL PVC WATER MAIN SMALLER THAN 4 INCHES SHALL BE CLASS 200 AND MEET THE REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D-2241.
7. ALL PVC CONSTRUCTION PERMITS THAT THE LATEST PINELLAS COUNTY UTILITY APPROVED MATERIAL SPECIFICATION MANUAL. THE REQUIREMENTS OF ASTM D-3034 SHALL HAVE A MINIMUM COVER OF 4" AND A MAXIMUM OF 8". FOR INVERTS DEEPER THAN 8' OR LESS THAN 4', CL-350 OR C900/C095 PIPE SHALL BE USED.
8. ALL DUCTILE IRON UTILITY WATER MAIN, SANITARY SEWER PIPE AND REUSE WATER MAINS SHALL BE CLASS 50 IN ACCORDANCE WITH ANSI A 21.52.
9. RECLAIMED WATER MAINS 4 - 12 INCHES SHALL BE IN ACCORDANCE WITH AWWA C-900, DR18. RECLAIMED WATER MAINS 14 - 24 INCHES SHALL BE IN ACCORDANCE WITH AWWA C-905, DR25. ALL PIPE SHALL BE CLASS 150.
10. ALL PVC REUSE WATER MAINS SMALLER THAN 4" SHALL BE CLASS 200 AND MEET THE REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D-2241.
11. ALL WATER MAINS, SANITARY SEWER MAINS AND RECLAIMED WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER, EXCEPT AS NOTED.
12. PRIOR TO COMMENCING NEW WORK WHICH REQUIRES CONNECTING TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY AND SHALL VERIFY THE LOCATION AND ELEVATION OF THE EXISTING CONNECTION POINT AND NOTIFY THE DEVELOPER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
13. CONNECTIONS INTO EXISTING COUNTY OWNED SYSTEMS SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY THE COUNTY UTILITIES SERVICES BRANCH AT THE OWNER'S EXPENSE. PINELLAS COUNTY WILL FURNISH AND INSTALL ALL WET TAPS REGARDLESS OF SIZE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
14. LOCATION OF THE SANITARY SEWER SERVICE LATERALS, IF INDICATED ON THE PLANS ARE A DISTANCE FROM THE DISTRICT MANHOLE.
15. LOCATION OF THE WATER SERVICE SLEEVE, IF INDICATED ON THE PLANS, ARE PER THE CENTERLINE ROAD STATIONING.
16. CONFLICTS BETWEEN REUSE WATER AND STORM, SANITARY SEWER OR WATER MAIN TO BE RESOLVED BY ADJUSTING THE REUSE WATER LINES AS NECESSARY.
17. JOINT RESTRICTIONS SHALL BE PROVIDED AT ALL FITTINGS, JOINTS AND BENDS AS SHOWN ON DETAILS.
18. ALL PIPE AND FITTINGS SHALL BE CLEARLY MARKED WITH THE NAME OF TRADEMARK OF THE MANUFACTURER, THE BATCH NUMBER, THE LOCATION OF THE PLANT AND STRENGTH DESIGNATION, AS APPLICABLE. ALL PIPE SHALL BE LAID WITH A TWO INCH METALLIC TAPE APPROPRIATELY COLOR CODED AND IMPRINTED WITH THE TYPE OF SERVICE 12 INCHES TO 18 INCHES BELOW FINAL GRADE, DIRECTLY ABOVE THE UTILITY FOR IDENTIFICATION AND EASE OF LOCATION. THE APPROPRIATE TAPE COLOR CODES ARE AS FOLLOWS:
GREEN SANITARY FORCE MAIN
BLUE POTABLE WATER
PURPLE TREATED EFFLUENT FOR REUSE
19. THE CONTRACTOR SHALL TEST ALL GRAVITY SEWERS IN ACCORDANCE WITH THE COUNTY REGULATIONS.
20. PIPE DEFLECTION SHALL BE IN ACCORDANCE WITH AWWA STANDARD C-600, LATEST EDITION.
21. THRUST BLOCKS ARE NOT ALLOWED! RESTRAINING JOINTS SHALL BE USED ON ALL PRESSURIZED PIPING.
22. FIRE HYDRANTS WILL REQUIRE FLOW TESTING AND COLOR-CODING BASED ON TEST RESULTS.

PAVING AND GRADING

- 1. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACK FILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
3. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
4. PROPOSED SPOT ELEVATIONS REPRESENT TOP OF FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
5. CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
6. CONCRETE CURBING WILL BE PLACED AS SHOWN ON THE PLANS.
7. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO PINELLAS COUNTY. UPON COMPLETION OF PROPOSED CONSTRUCTION, SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
9. ALL UNDERGROUND UTILITIES, INCLUDING UTILITY SLEEVES, AND CONDUITS SHALL BE INSTALLED PRIOR TO BASE & PAVEMENT CONSTRUCTION.

SAFETY

- 1. DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
3. CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND SUBCONTRACTORS' EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
4. ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
5. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
6. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED TO THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
7. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL SUNSHINE ONE (1-800-432-4770) TO ARRANGE FIELD LOCATIONS.

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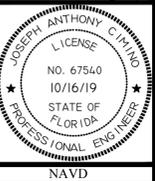
Table with columns: NO., DATE, DESCRIPTION

Engineering ~ Environmental Water Resource ~ Survey 4366 W. Litchfield Ave Tampa, Florida 33624 www.wraengineering.com CA 00007652 TB 8274 Phone: 813.265.3130 941.275.9721



GENERAL CONSTRUCTION NOTES

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT ISSUED FOR: PERMITTING JOB # E-1978



NAVD Datum: G-002

STORM WATER POLLUTION PREVENTION PLAN

Exhibit B-3

GENERAL EROSION AND TURBIDITY CONTROL NOTES

Contained on these plans and within the following notes is a Storm Water Pollution Prevention Plan (SWPPP) which has been developed by Water Resource Associates, Inc. in accordance with the Florida Department of Environmental Protection's (FDEP) "National Pollutant Discharge Elimination System" (NPDES) Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

The following entities are identified as team members of "SWPPP": Water Resource Associates, the Developer as identified in the title box of these plans, and the site contractor and his sub-contractors. Each team member has specific responsibilities and obligations. In general, all team members, with regard to their involvement and responsibilities on the project, are to implement all necessary storm water management controls to assure compliance with the NPDES Generic Permit for Storm Water Discharges from Construction Activities, the Southwest Florida Water Management District Permit, the applicable local governing agency (i.e. Manatee County, etc.) and the guidelines listed in the SWPPP. The duties and responsibilities of the team members as they pertain to the SWPPP are as follows.

Water Resource Associates, Inc.

- A. Develop SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria. This design is included within these construction plans and the following notes and instructions.
B. Submit and obtain the necessary design related storm water permits from the Florida Department of Environmental Protection, the Southwest Florida Water Management District and other applicable governmental bodies.
C. Upon notification by the developer of his intent to commence construction, submit a Notice of Intent to the FDEP on behalf of the developer and copy the contractor including SWPPP certification and copy of the permit.
D. Submit to SWFWMD and the operator of the municipal separate storm water system, if applicable, a letter of construction commencement.
E. Complete and submit a Notice of Termination and certification for developer.
The NOT's shall be submitted no more than 30 days after (a) completion of the project and final stabilization of the site or (b) when responsibility for the site has ended. Final stabilization as defined by EPA is when all soil disturbing activities at the site have been completed and a uniform (e.g. evenly distributed, without large bare areas) perennial vegetative cover with a density of 70% of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures. As an alternative, equivalent permanent stabilization measures (such as riprap, gabions, or geotextiles) may be employed. The client shall notify Water Resource Associates when one of these criteria has been met.

Contractor

- A. Sign and return to WRA a Contractors Certification Form certifying your understanding of and willingness to comply with the Storm Water Pollution Prevention Plan no later than 48 hours prior to commencement of construction. Also, each subcontractor affected by the SWPPP must certify to the contractor that they understand and shall comply with the NPDES permit and SWPPP. A record of these certifications shall be maintained by the contractor on site.
B. During construction, assure compliance with the designed Storm Water Pollution Prevention Plans prepared by Water Resource Associates and the NPDES Generic Permit for Storm Water Discharges from Large and Small Construction Activities.
C. Maintain a copy of the construction plans, which include the Storm Water Pollution Prevention Plan, the NOT, and all inspections reports and certifications on site.
D. Undertake all reasonable Best Management Practices (BMP's) to assure that sited or otherwise polluted storm water is not allowed to discharge from the site during all phases of construction. Stabilization BMP's that may be used include: straw bale dikes, silt fences, earth dikes, brush barriers, drainage swales, check dams, subsurface drain, pipe slope drain, level spreaders, storm drain inlet protection, outlet protection, sediment traps, and temporary sediment basins. Detention ponds may also be used as temporary sediment basins. Additional BMP's that may need to be implemented include: providing protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials. Providing waste receptacles at convenient locations and providing regular collection of sediments. Making adequate preparations, including training and equipment to contain spills of oil and hazardous materials. Complying with applicable state or local waste disposal, sanitary sewer or septic system regulations and the use of appropriate pollution prevention measures for allowable non-storm water components of discharge.
E. Notify Water Resource Associates and the developer in writing of any non-storm water pollution sources which are being stored, or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, other chemicals. The notification should be accompanied with the contractor's design and methods to prevent pollution run-off from these sources.
F. Develop a maintenance and inspection plan which includes, but is not limited to the following:
A. The specific areas to be inspected and maintained that includes all the disturbed areas and material storage areas of the site.
B. The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls that the contractor deems necessary.
C. Maintenance procedures.
D. The procedure to follow if additional work is required or whom to call.
E. Inspections and maintenance forms.
F. The personnel assigned to each task.

The following shall be inspected a minimum of once a week or within 24 hours after 0.50 inches of rainfall:
Stabilization measures (once a month if fully stabilized).
Structural controls.
Discharge points.
Construction entrances and exits.
Areas used for storage of exposed materials.

An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures shall be taken no later than 7 days after the inspection occurred. If revisions to the SWPPP are needed, a report form for changes in the SWPPP shall be completed and a copy sent to Water Resource Associates. The original shall be kept on-site as documentation of the change. If the inspection passes, a certification that the facility is in compliance with the SWPPP and the NPDES permit must be signed by a duly authorized representative of the principal executive official of the operator of the SWPPP with one of the following qualifications:

- 1. Has successfully completed the Florida Stormwater, Erosion and Sediment Control Inspector Training Program.
2. Successfully completed a similar training program.
3. Has enough practical on the job training to be qualified to perform the inspections.
Retain inspection reports and certifications for at least three years.
G. Site stabilization measures shall be initiated as soon as practical but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.

- H. Releases in Excess of Reportable Quantities.
1. The discharge of hazardous substances or oil in the stormwater discharge(s) from a facility or activity shall be prevented or minimized in accordance with the applicable stormwater pollution prevention plan for the facility or activity. This permit does not relieve the operator of the reporting requirements of 40 CFR part 117 and 40 CFR part 302. Where a release containing a hazardous substance in amount equal to or in excess of a reporting quantity established under either 40 CFR 117 or 40 CFR 302, occurs during a 24 hour period:
a. The operator is required to notify the State Warning Point (800-210-0519 or 850-413-9911) as soon as he or she has knowledge of the discharge;
b. The operator shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and remedial steps to be taken, to the Florida Department of Environmental Protection, NPDES Stormwater Section, Mail Station 2500, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and
c. The stormwater pollution prevention plan required under Part V of this permit must be modified within 14 calendar days of knowledge of the release: to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the recurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.
2. This permit does not authorize the discharge of hazardous substances or oil resulting from an on-site spill.

Developer

- A. Notify WRA of your intent to commence construction. Sign the Notice of Intent form as operator of the storm water discharge facility and permittee and return to Water Resource Associates, Inc.
B. Sign a Certification of Storm Water Pollution Prevention Plan and return it to Water Resource Associates, Inc.
C. Notify WRA when it is time to submit a Notice of Termination as defined under Part E of the Water Resource Associates section of the SWPPP. Sign and return to Water Resource Associates, Inc. for submittal to FDEP a Notice of Termination form and certification.

PRE-DEVELOPED SITE INFORMATION:

- 1. Total project acreage: 2.01 AC.
2. Land use: VACANT
3. Vegetation:
4. Receiving waters or municipal separate storm water system:
5. 25 Year/24 Hour rainfall depth:
6. Soil types:

PROJECT INFORMATION:

- 1. Project type: RETAIL
2. Anticipated construction sequence is as follows:
1. Complete erosion control installation
2. Clearing and grubbing
3. Earthwork activities
4. Storm water system construction
5. Utility construction
6. Base and pavement construction
7. Final stabilization

- The BMP's listed in Part D of the Contractor section of the SWPPP shall be considered during all phases of construction.
3. Anticipated start date: NOVEMBER 2019
4. Anticipated completion date: MAY 2020
5. Total acres disturbed: 1.60
6. Pre-developed "CN" number: 80
7. Post-developed "CN" number: 98
8. The storm water management system, upon completion and appropriate certification and as-built submittals will be operated and maintained by:
9. The potential source of pollution from this project is on-site development and construction activity.

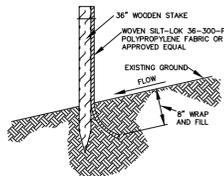
AS REQUIRED UNDER FAC 400, PART B, SECTION 2.8.1(c) THE OWNER/PERMITEE "SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL". THE "PLAN" INCLUDES THE NOTES, DETAILS AND INSTRUCTIONS FOR STORMWATER MANAGEMENT PRESENTED THROUGH OUT THE PLAN SET. THE OWNER/PERMITEE HEREBY AGREES TO COMPLY WITH ALL STORMWATER MANAGEMENT ITEMS CONTAINED WITHIN THE PLANS AS SUBMITTED FOR DISTRICT APPROVAL.

- 1. The Site Subcontractor shall be responsible for installation and maintenance of all erosion and turbidity controls and the quality and quantity of offsite or wetland discharges.
2. Prior to construction, the Site Subcontractor is responsible for having his dewatering plan and turbidity control plan approved by the applicable reviewing agencies. Refer to the project's permit approvals and permit conditions for agencies requiring such review and approval. Questions concerning appropriate techniques should be addressed to those agencies and/or discussed with the project engineer and owner.
3. The appropriate turbidity and erosion control methodologies selected by the Site Subcontractor for the this project should be made following assessment of the plans and project site specific factors and after consultations as needed with the project engineer and appropriate agencies. The Site Subcontractor will be responsible for obtaining any and all necessary permits for such activity; several factors to consider are listed below:
A. Clay content in excavated materials and/or permeabilities rates
B. Depth of cut in ponds, trenches, or utility lines
C. Ambient ground water levels
D. Actual rainfall amounts and time of year relative to normal rainy seasons
E. Proximity to wetlands, water bodies or offsite properties
F. 'Class' designation of receiving water bodies (i.e., Outstanding Florida Waters, shellfish harvest areas, etc.)
G. Density, type, and proximity of upland vegetation to be retained during construction (for use as possible filtration areas)
H. Fill height relative to natural grade and length and steepness of the proposed slopes
I. Existing topography and directions of surface flow
J. Type of equipment used
K. Project type
L. Duration of construction activities
M. Separation distance of onsite ponds
N. Ambient quality of surface and groundwater
O. Temporary stockpile locations and heights
4. At the onset of construction, the Site Subcontractor, as the party responsible for implementation of the erosion and sediment control plan, shall assess the above described conditions and factors with respect to relative cost effectiveness and select the appropriate methods of protection. A fairly extensive list of techniques are presented below but it must be stressed that any or all of the following may be necessary to maintain water quality and quantity standards. The construction sequencing should be thought out in advance of initiation to provide adequate protection of water quality.
5. Discharges which exceed 0 (O.F.W.) N.T.U.'s over the background levels are in violation of state water quality standards. Discharges of water quantities which affect offsite properties or may damage wetlands are also prohibited by regulating agencies.
6. The erosion and turbidity control measures shown hereon are the minimum required for agency approval. Additional control and measures may be required due to the Site Subcontractor's construction sequence & unforeseen weather conditions. Any additional measures deemed necessary by the Site Subcontractor shall be included in the lump sum bid with no extras for materials and labor allowed.
7. Hay bales or silt screens shall be installed prior to land clearing to protect water quality and to identify areas to be protected from clearing activities and maintained for the duration of the project until all soil is stabilized.
8. Floating turbidity barriers shall be in place in flowing systems or in open water lake edges prior to initiation of earthwork and maintained for the duration of the project until all soil is stabilized.
9. No clay material shall be left exposed in any stormwater facility. If clay or sandy-clays are encountered during stormwater storage excavation, the Site Subcontractor shall notify the Engineer immediately before proceeding with further excavation. If the Engineer of Record has determined that such soils are non-confining and must be excavated to meet permit and design conditions, excavation may proceed after obtaining written authorization from the appropriate governing agency. If said soils are left exposed at the permitted and designed depth, the Site Subcontractor shall over-excavate the pond's bottom and side slopes by a minimum of twelve (12") inches and backfill with clean sands to help prevent suspension of fine particles in the water column.
10. The installation of temporary erosion control barriers shall be coordinated with the construction of the permanent erosion control features to the extent necessary to assure effective and continuous control of erosion and water pollution throughout the life of the construction phase.
11. The type of erosion control barriers used shall be governed by the nature of the construction operation and soil type that will be exposed. Silty and clayey material may require solid sediment barriers to prevent turbid water discharge, while sandy material may need only silt screens or hay bales to prevent erosion. Floating turbidity curtains should generally be used in open water situations. Diversion ditches or swales may be required to prevent turbid stormwater runoff from being discharged to wetlands or other water bodies. It may be necessary to employ a combination of barriers, ditches and other erosion/turbidity control measures if conditions warrant.
12. Where pumps are to be used to remove turbid waters from construction areas, the water shall be treated prior to discharge to the wetlands. Treatment methods include, for example, turbid water being pumped into grassed swales or appropriate upland vegetated areas (other than upland preservation areas and wetland buffers), sediment basins, or confined by an appropriate enclosure such as turbidity barriers or low berms, and kept confined until turbidity levels meet State Water Quality Standards.
13. The Permittee shall schedule his operations such that the are unprotected erodible earth exposed at any one time is not larger than the minimum area necessary for efficient construction operation, and the duration of exposed, uncompleted construction to the elements shall be as short as practicable. Clearing and grubbing shall be so scheduled and performed such that grading operations can follow immediately thereafter. Grading operations shall be so scheduled and performed that permanent erosion control features can follow immediately thereafter if conditions on the project permit.
14. Water derived from various dewatering methods should be passed through sufficiently wide areas of existing upland vegetation to filter out excess turbidity. If this is not sufficient, the water shall be retained in previously constructed permanent stormwater ponds or else retained in temporary sedimentation basins until clarity is suitable to allow for its discharge. Plugging the outfalls from completed stormwater ponds may be needed to avoid discharge. However, such situations should be monitored closely to preclude berm failure if water levels rise too high.
15. Water can be transported around the site by the use of internal swales or by pumps and pipes.
16. Sheet flow of newly filled or scraped areas may be controlled or contained by the use of brush barriers, diversion swales, interceptor ditches or low berms. Flow should be directed toward areas where sediments can sufficiently settle out.
17. Exposed soils shall be stabilized as soon as possible, especially slopes leading to wetlands. Stabilization methods include solid sod, seeding and mulching or hydromulching to provide a temporary or permanent grass cover such as blankets, filter fabrics, etc., can be employed to provide vegetative cover.
18. Energy dissipaters (such as rip rap, a gravel bed, hay bales, etc.) shall be installed at the discharge point of pipes or swales if scouring is observed.
19. Attempt to install roadway curb and gutters as soon as possible to reduce the surface area for erosion to occur.
20. Implement storm drain inlet protection (hay bales or gravel) to limit sedimentation within the stormwater system. Perform inspections and periodic cleaning of sediments which wash out into the streets until all soil is stabilized.

- 21. Water discharge velocities from impounded areas and temporary sedimentation basins shall be restricted to avoid scouring in receiving areas.
22. If water clarity does not reduce to state standards rapidly enough in holding ponds, it may be possible to use chemical agents such as alum to flocculate or coagulate the sediment particles.
23. Hay bales, silt screens, or gravel beds can be added around the pipe or swale discharge points to help clarify discharges. Spreader swales may help dissipate cloudy water prior to contact with wetlands.
24. All fuel storage areas or other hazardous storage areas shall conform to accepted state or federal criteria for such containment areas.
25. Vehicle or equipment washdown areas will be sufficiently removed from wetlands or offsite areas.
26. Fugitive dust controls (primarily by using water spray trucks) shall be employed as needed to control windborn emissions.
27. If the above controls remain ineffective in preventing release of turbid water, especially during pond or utility line dewatering, then the well points or sock drains to withdraw groundwater which may already be clear enough to allow for direct discharge to wetlands.
28. Ongoing inspections and periodic maintenance by the Site Subcontractor shall occur throughout construction as necessary to insure the above methods are working suitably. This may be needed daily, if conditions so warrant. Site Subcontractors are encouraged to obtain and thoroughly review The Florida Development Manual: A Guide to Sound Land and Water Management, which was developed by the State of Florida Department of Environmental Protection in 1988. This provides fairly in-depth discussions of recommended techniques and also provides specific design and technical standards. A copy of this document is available for review at Water Resource Associates, Inc.
29. Fill stockpiles are to be located outside of all surface water lines and buffer lines shown on the plan to be saved. Fill stockpiles must be self-contained, in that erosion control measures such as silt fence and/or hay bails must be installed and maintained around each stockpile to prevent sediment runoff beyond the limits of construction.

Pond/Lake Excavation Note

No excavation shall extend below the permitted design depths/elevations shown on the drawings, unless additional testing supports otherwise; and no lower semi-confining unit clayey soil material and/or no limestone materials shall be excavated, regardless if these materials are encountered within the permitted excavation depths/elevations. If any lower semi-confining unit clayey soil materials or limestone materials are encountered above the permitted depths/elevations, then excavation operations shall cease in the general area and the Engineer of Record shall be notified immediately.



STAKED SILT FENCE

EROSION CONTROL NOTES:

- 1. TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT SCREENS OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLET LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SITUATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
2. CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT TO A MINIMUM AT OUTFALL LOCATIONS WHICH DISCHARGE TO WETLANDS. JURISDICTIONAL AREAS, FLOATING OR STAKED TURBIDITY BARRIERS MAY BE USED IN LIEU OF STAKED HAYBALES/SILT SCREENS WHERE WARRANTED.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN-PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
4. CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104-6 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS.
o) JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
5. SILT SCREENS MAY ALSO REPRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE ERRECTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, BUFFER AREAS AND ANY OTHER AREAS SHOWN AS PRESERVED OR PROTECTED FROM CONSTRUCTION ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS/SILT SCREENS SHALL BE CAUSE FOR FINANCIAL, FINANCIAL, FINANCIAL, FINANCIAL, FINANCIAL (PUNITIVE AND REGULATORY), CONSULTING FEES AND ESTIMATED COST OF RESTORATION WILL BE DEDUCTED FROM SUBSEQUENT PAYMENT REQUESTS.

EROSION CONTROL DETAIL

N.T.S.

NON-STORMWATER DISCHARGE:

Allowable (Potential) Non-Stormwater Discharges at the site: Waterline Flushing, Dust Control Water, External Building Washdown where no detergents are used, etc.
Prohibited Non-Stormwater Discharges at the site: Discharges from Dewatering, Vehicle washing with detergents, etc.

RESPONSIBILITIES:

The Contractor(s) and/or Sub-Contractor(s) that will implement this Stormwater Pollution Prevention Plan:

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER"

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:



Table with 2 columns: NO., DATE. Rows 1-6.

Engineering ~ Environmental Water Resource ~ Survey
4266 W. Linebaugh Ave.
Tampa, Florida 33624
www.wraengineering.com
CA 00007052 LIB 8274
Phone: 813.265.3130 941.275.9721



STOR WATER POLLUTION PREVENTION PLAN

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT



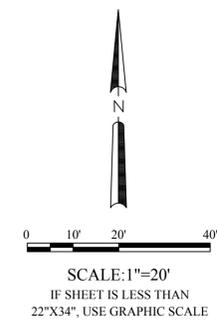
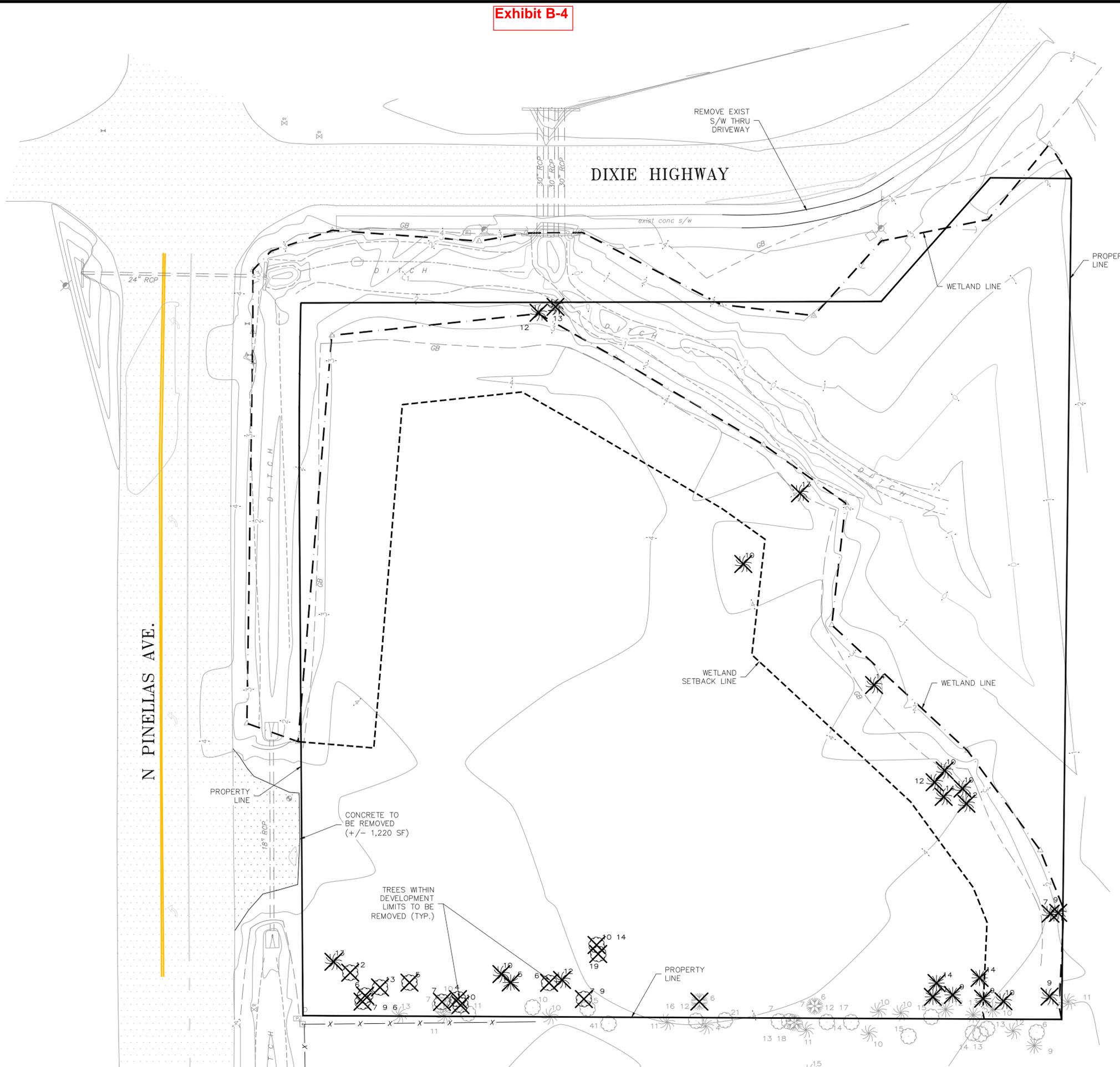
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ISSUED FOR: PERMITTING
JOB #: 178
SEC. 01
TWN: 27
RNG: 15
DESIGNED: BAF
DRAWN: BAF
APPROVED: JAC

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Print Date: 10/16/2019 3:23:29 PM  
2019 WRA



**FLOOD DATA:**  
 COMMUNITY NO. 12103C  
 PANEL NO. 0017 H  
 FLOOD ZONE: "AE"  
 REVISED: 06/29/2018  
 BASE FLOOD ELEV: 8 FEET

**LEGEND:**

- FIRE HYDRANT
  - WATER VALVE
  - CONCRETE POWER POLE
  - GUY WIRE
  - TELEPHONE BOX
  - BOLLARD
  - WELL
  - SIGN
  - GRATE INLET
  - OAK TREE
  - STORM MANHOLE
  - LIGHT POLE
  - ELECTRICAL BOX
  - WATER METER
  - BACKFLOW PREVENTER
  - WOOD POWER POLE
  - SANITARY MANHOLE
  - SANITARY CLEAN OUT
  - UG WATER LINE
  - UG SANITARY SEWER LINE
  - UG TELEPHONE LINE
  - BENCHMARK
  - SPOT ELEVATION
- EXISTING TREE
- TREE TO BE REMOVED

**SURVEY NOTES:**

SEE LEGEND FOR SYMBOLS AND/OR ABBREVIATIONS USED HEREON.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.

NO INSTRUMENTS OF RECORD REFLECTING OWNERSHIP, EASEMENT OR RIGHT-OF-WAY WERE FURNISHED TO THE UNDERSIGNED, UNLESS OTHERWISE SHOWN HEREON.

NO UNDERGROUND FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN HEREON.

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

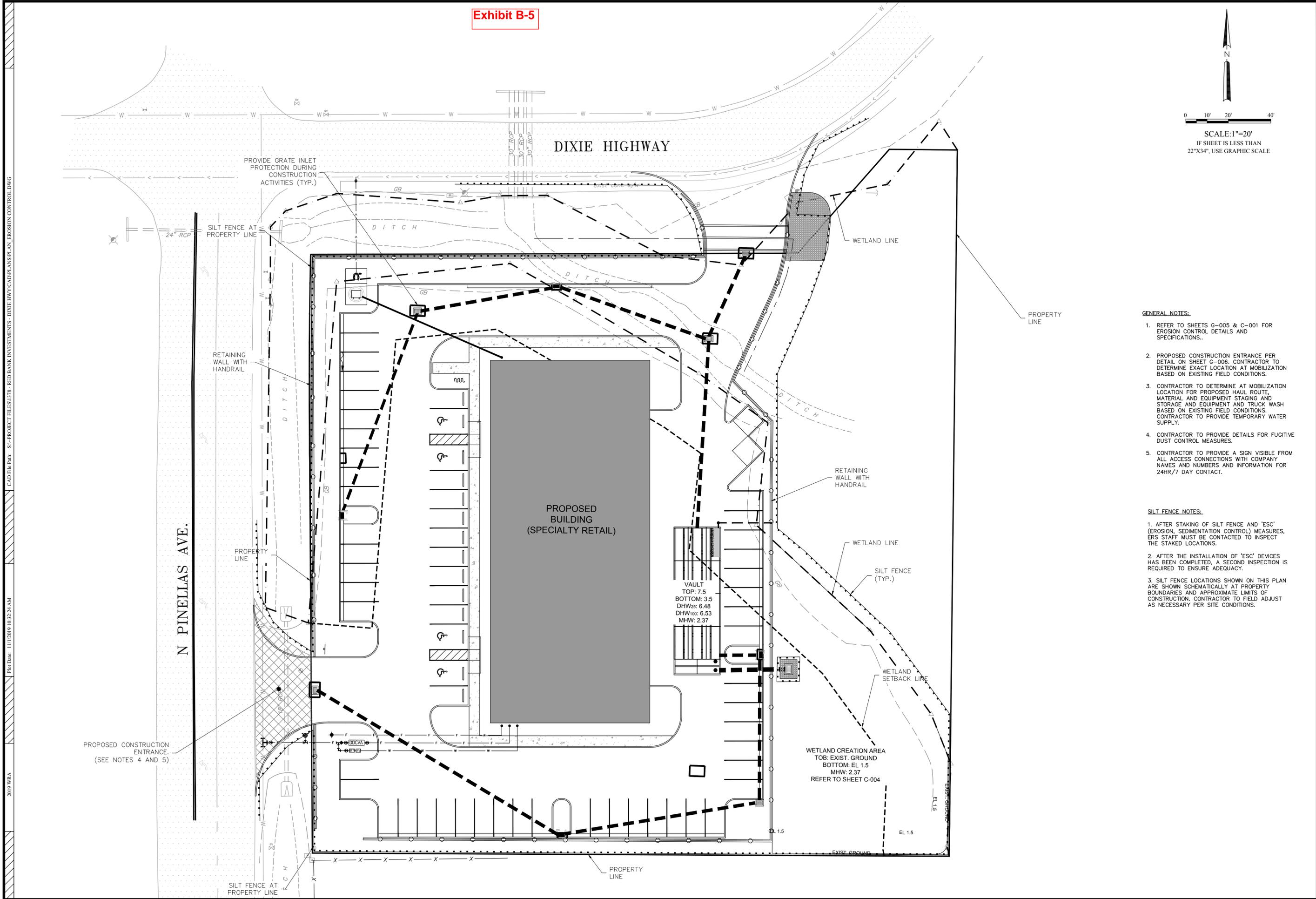
VERTICAL INFORMATION REFERENCE TO NGS "Y 145 RESET" EL: 3.42' N.A.V.D 88

EPC LINES DELINEATION AS FLAGGED BY WRA ENVIRONMENTAL SCIENCE, DATED 11/22/16, JOB NO. 1362

**DEMOLITION NOTES:**

1. The existing features shown are based on the boundary survey provided by Ayuso Surveying, Inc., dated 12-09-2016,
2. Contractor shall be responsible to coordinate with the utility companies and owners to disconnect existing services to the site prior to construction.
3. Contractor shall be responsible for obtaining all the required permits and approval prior to any activity.
4. All existing storm inlets are to be protected and maintained in working condition. Refer to sheet C-005 for details and specifications.
5. Contractor shall maintain all existing parking, sidewalks, drives, etc. clear and free from any construction activity and/or material to ensure easy and safe pedestrian and vehicular traffic to and from the site.
6. The Contractor will follow all the guidelines and regulations as set forth by OSHA and other agencies having jurisdiction over the job site. The owner, owner's representative, and the Engineer will not be responsible for job site safety procedures and implementation.
7. All work shall be performed in accordance with the applicable permits and approval. The Contractor shall be responsible for any fines resulting from violation of any regulations.
8. During demolition the Contractor shall be responsible for preventing erosion and transport of sediments to inlets, surface drains, and off site area. The Contractor shall be responsible for all restoration efforts that may be required.
9. Damage to all existing conditions to remain will be replaced at the Contractor's expense.
10. A Tree Permit may be required prior to any construction, native vegetative removal within the dripline of a tree, and / or tree removal.
11. Refer to sheet C-005 for typical inlet protection details during demolition and proposed improvements. "gutter buddy" product or approved equal to be used.

 <b>WRA</b> Environmental Science & Surveying 4366 W. Littlehigh Ave Tampa, Florida 33624 www.wraengineering.com CA 00007652 LB 8274 Phone: 813.265.3130 941.275.9721	
<b>EXISTING CONDITIONS AND DEMOLITION PLAN</b>	<b>DIXIE HIGHWAY COMMERCIAL DEVELOPMENT</b>
ISSUED FOR: PERMITTING JOB # 1378	DESIGNED: BAF DRAWN: BAF APPROVED: JAC RAG: 15 TUN: 27 SEC: 01
PROFESSIONAL ENGINEER LICENSE NO. 67540 10/16/19 STATE OF FLORIDA JOSEPH ANTHONY C. INYANO	
NAVD Datum:	
<b>G-004</b>	



- GENERAL NOTES:**
- REFER TO SHEETS G-005 & C-001 FOR EROSION CONTROL DETAILS AND SPECIFICATIONS.
  - PROPOSED CONSTRUCTION ENTRANCE PER DETAIL ON SHEET G-006. CONTRACTOR TO DETERMINE EXACT LOCATION AT MOBILIZATION BASED ON EXISTING FIELD CONDITIONS.
  - CONTRACTOR TO DETERMINE AT MOBILIZATION LOCATION FOR PROPOSED HAUL ROUTE, MATERIAL AND EQUIPMENT STAGING AND STORAGE AND EQUIPMENT AND TRUCK WASH BASED ON EXISTING FIELD CONDITIONS. CONTRACTOR TO PROVIDE TEMPORARY WATER SUPPLY.
  - CONTRACTOR TO PROVIDE DETAILS FOR FUGITIVE DUST CONTROL MEASURES.
  - CONTRACTOR TO PROVIDE A SIGN VISIBLE FROM ALL ACCESS CONNECTIONS WITH COMPANY NAMES AND NUMBERS AND INFORMATION FOR 24HR/7 DAY CONTACT.
- SILT FENCE NOTES:**
- AFTER STAKING OF SILT FENCE AND 'ESC' (EROSION, SEDIMENTATION CONTROL) MEASURES, ERS STAFF MUST BE CONTACTED TO INSPECT THE STAKED LOCATIONS.
  - AFTER THE INSTALLATION OF 'ESC' DEVICES HAS BEEN COMPLETED, A SECOND INSPECTION IS REQUIRED TO ENSURE ADEQUACY.
  - SILT FENCE LOCATIONS SHOWN ON THIS PLAN ARE SHOWN SCHEMATICALLY AT PROPERTY BOUNDARIES AND APPROXIMATE LIMITS OF CONSTRUCTION. CONTRACTOR TO FIELD ADJUST AS NECESSARY PER SITE CONDITIONS.

REVISIONS	
NO.	DESCRIPTION
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 Phone: 813.265.3130 941.275.9721

**WRA**

**DIXIE HIGHWAY COMMERCIAL DEVELOPMENT**  
 EROSION CONTROL PLAN

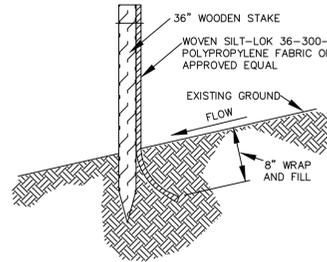
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 JOB# 1378 SEC. 01 TOWN-27

NAVD  
 Datum:

G-005

**EROSION CONTROL NOTES:**

- TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT SCREENS OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
- CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT TO A MINIMUM AT OUTFALL LOCATIONS WHICH DISCHARGE TO EXISTING JURISDICTIONAL AREAS. FLOATING OR STAKED TURBIDITY BARRIERS MAY BE USED IN LIEU OF STAKED HAYBALES/SILT SCREENS WHERE WARRANTED.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN-PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
- CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104-6 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS.
  - JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
- SILT SCREENS MAY ALSO REPRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE ERECTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, BUFFER AREAS AND ANY OTHER AREAS SHOWN AS PRESERVED OR PROTECTED FROM CONSTRUCTION ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS/SILT SCREENS SHALL BE CAUSE FOR PUNITIVE FINANCIAL PENALTIES. FINANCIAL PENALTIES (PUNITIVE AND REGULATORY), CONSULTING FEES AND ESTIMATED COST OF RESTORATION WILL BE DEDUCTED FROM SUBSEQUENT PAYMENT REQUESTS.

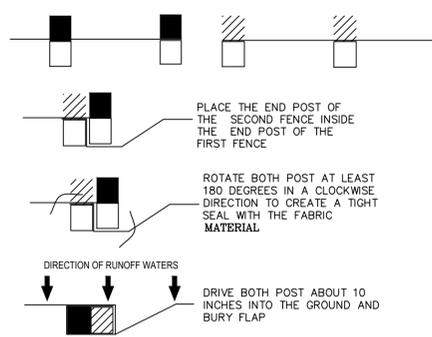


**STAKED SILT FENCE**

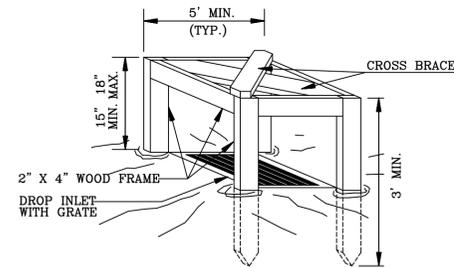
2 STAKED SILT FENCE N.T.S.

**Exhibit B-6**

SECURELY FASTEN FENCE MATERIAL TO BOTH STAKES WITH WIRE TIES OR OTHER FASTENERS (TYPICAL IN 3 EVENLY SPACED VERTICAL LOCATIONS)

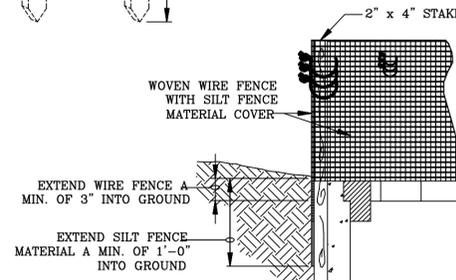


2A ATTACHING 2 SILT FENCES N.T.S.



ATTACH THE WOVEN WIRE FENCE TO EACH POST WITH THREE WIRE TIES OR OTHER FASTENERS (SEE NOTE 1)

SILT FENCE MATERIAL TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH THREE TIES SPACED AT 30" ON CENTER (SEE NOTE 1)



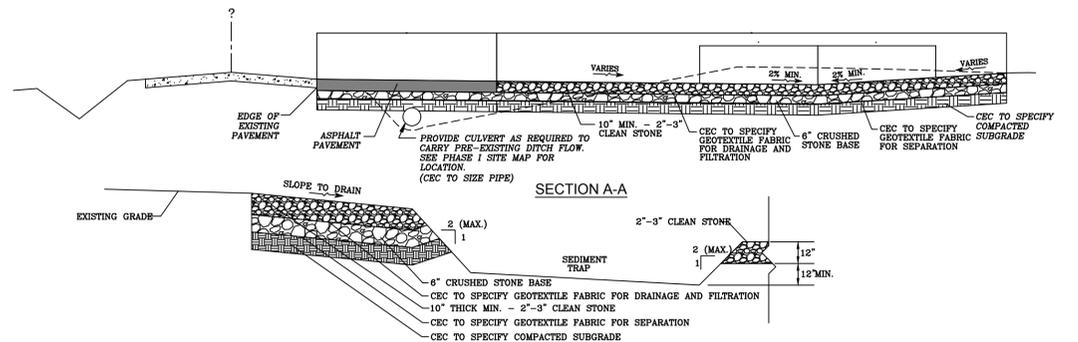
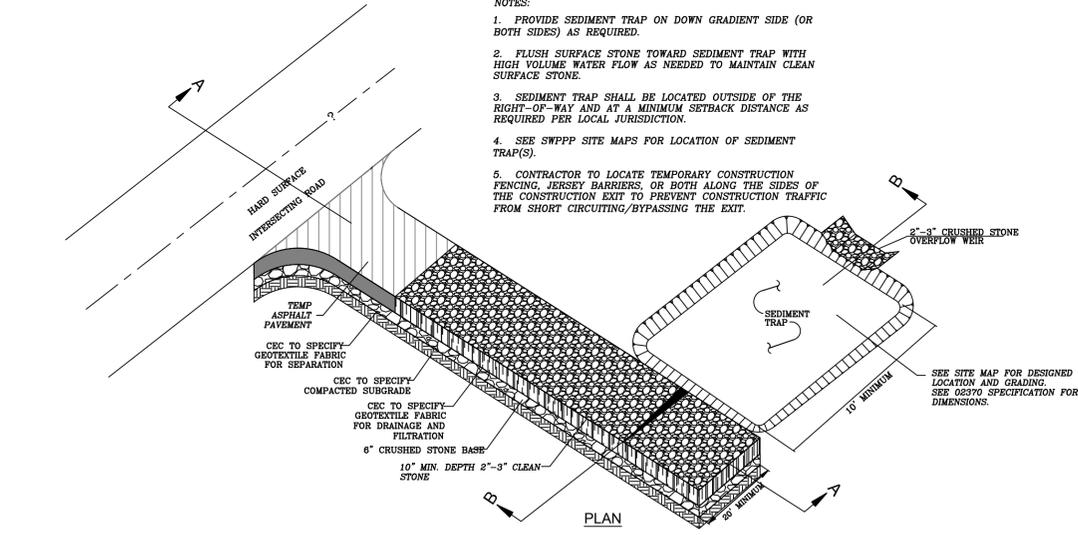
POSTS: 2 X 4 WOODEN STAKE  
 FENCE: WOVEN WIRE, 14-1/2 GA., 6" MAX. MESH OPENING  
 FABRIC: IN ACCORDANCE WITH ASTM D 6461 LATEST EDITION.

- ATTACH THE WOVEN WIRE FENCE TO EACH POST GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
- WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
- MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
- ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

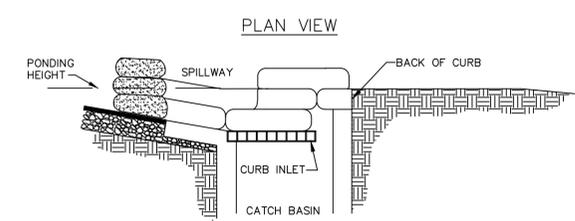
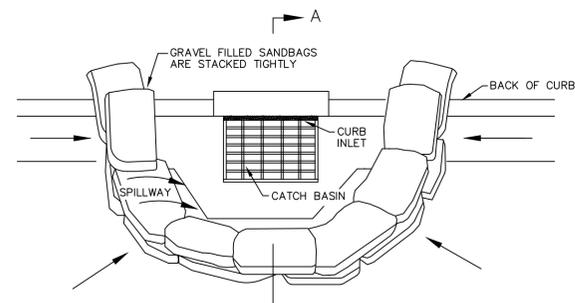
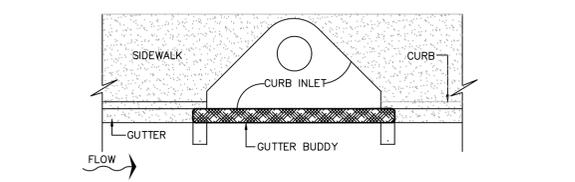
4 TYPICAL SILT FENCE INLET PROTECTION N.T.S.

**NOTES:**

- PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
- FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
- SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
- SEE SWPPP SITE MAPS FOR LOCATION OF SEDIMENT TRAP(S).
- CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CIRCUITING/BYPASSING THE EXIT.



1 TYPICAL CONSTRUCTION ACCESS N.T.S.



- NOTES:**
- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF
  - SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY
  - LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW
  - INSPECT BARRIERS AND REMOVE SEDIMENT AS NECESSARY. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY

3 TYPICAL CURB INLET PROTECTION DETAILS N.T.S.

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 Water Resource ~ Survey  
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 Tampa, Florida 33624  
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**WRA**

EROSION CONTROL DETAILS

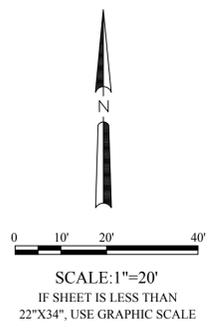
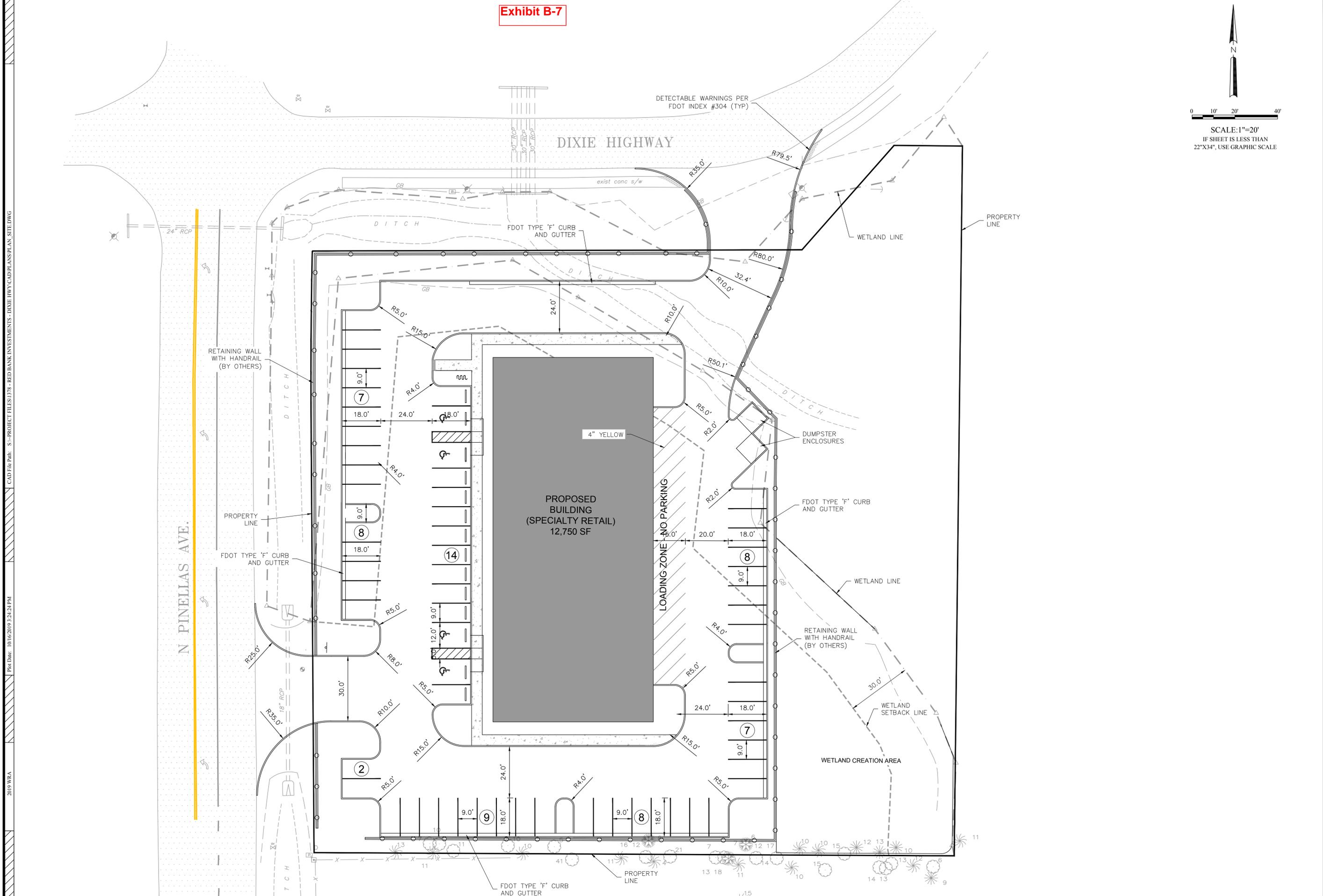
DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

ISSUED FOR: PERMITTING SEC. 01 TOWN-27  
 RING-15 DESIGNED:BAF DRAWN:BAF APPROVED:JAC

JOSEPH ANTHONY C. JUNG  
 LICENSE  
 NO. 67540  
 10/16/19  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

NAVD  
 Datum:  
 G-006

**Exhibit B-7**



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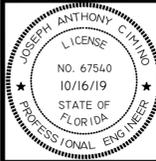
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 Tampa, Florida 33624  
 Phone: 813.265.3130 941.275.9721

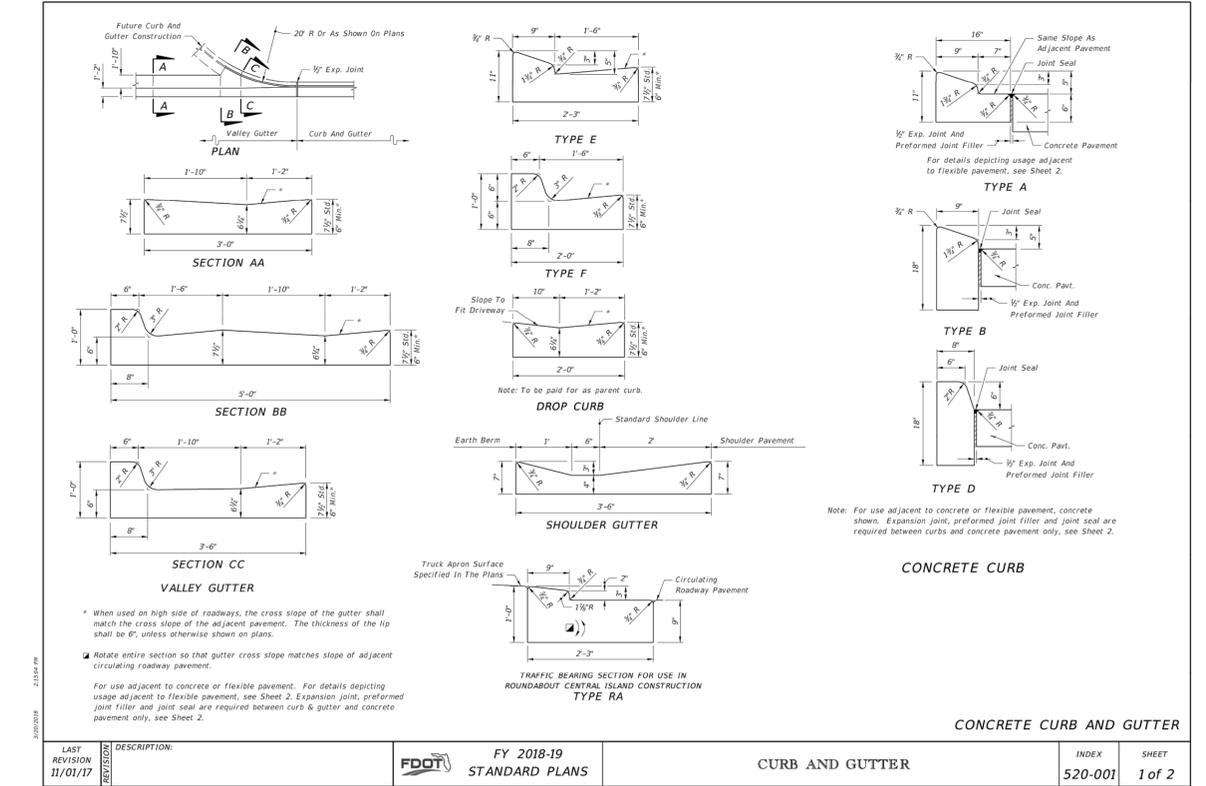
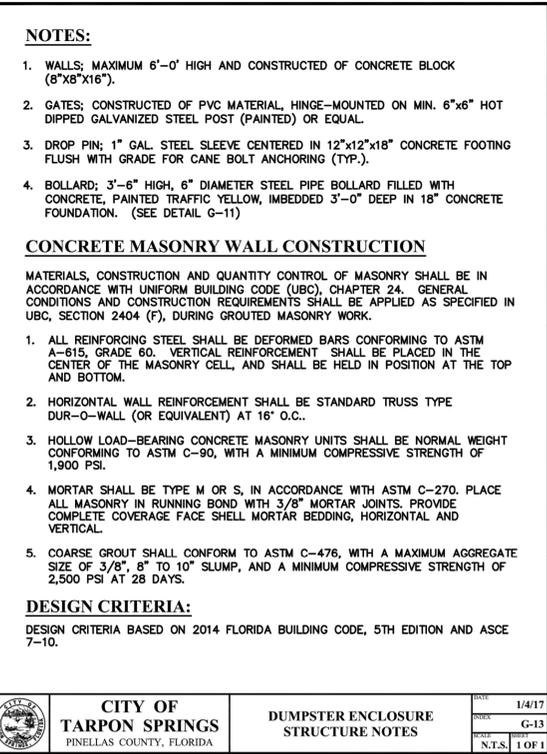
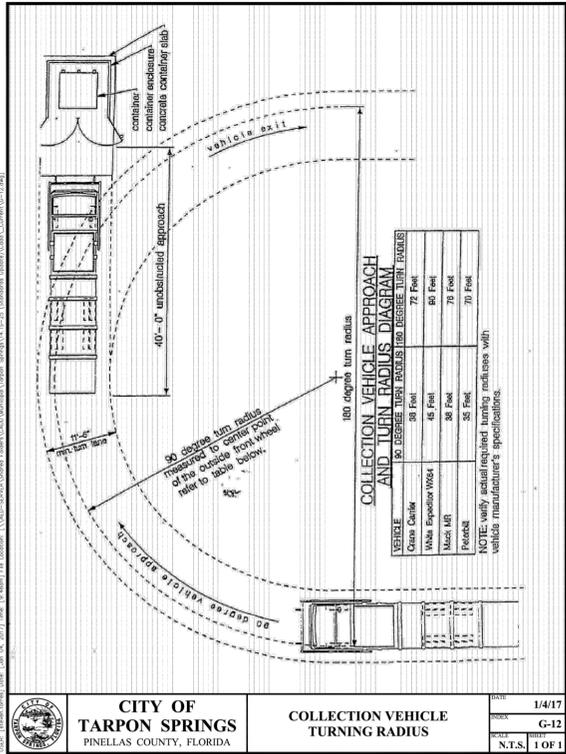
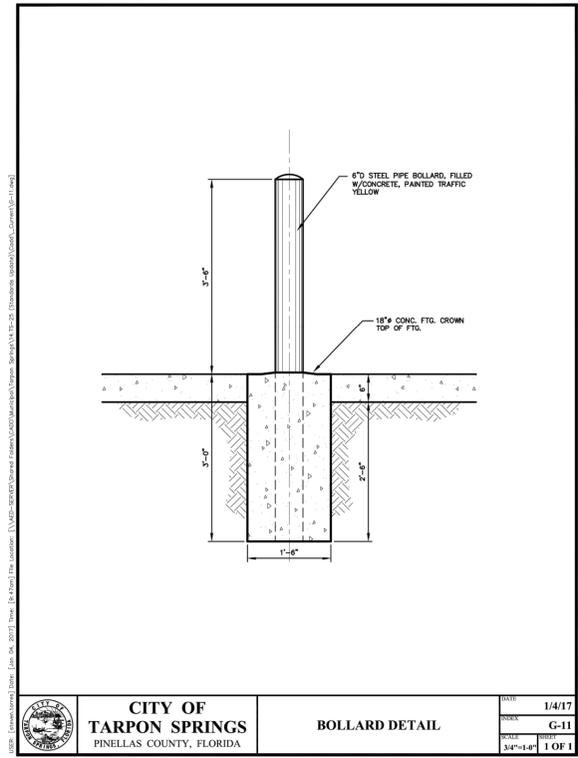
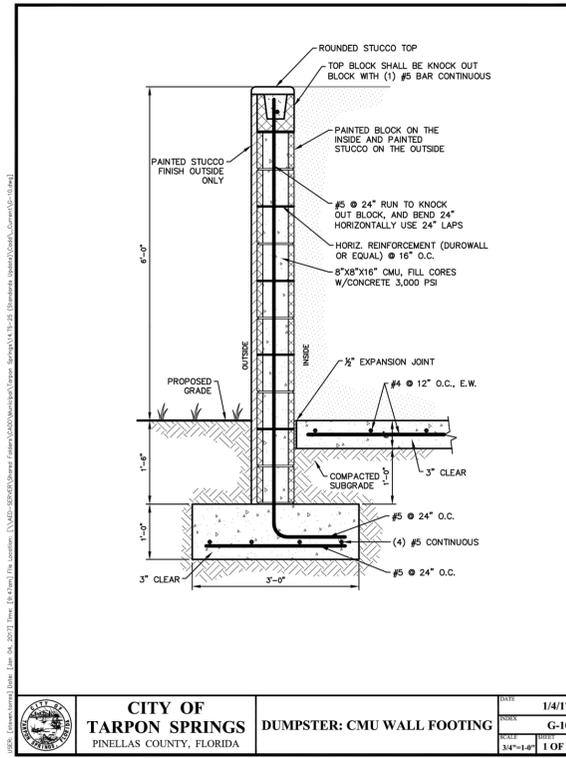
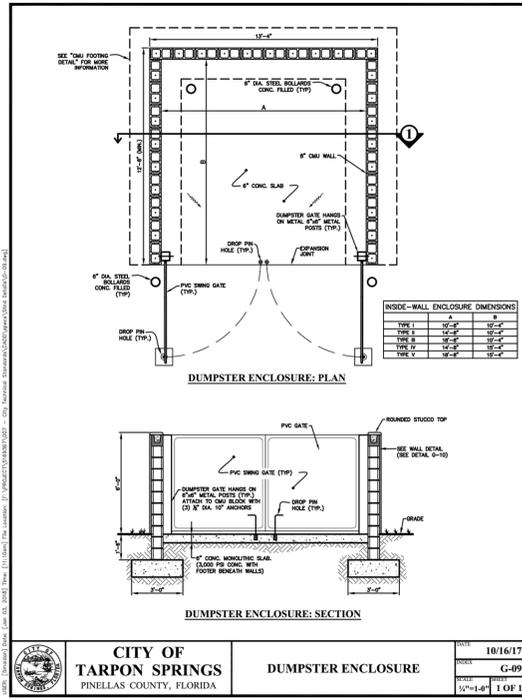
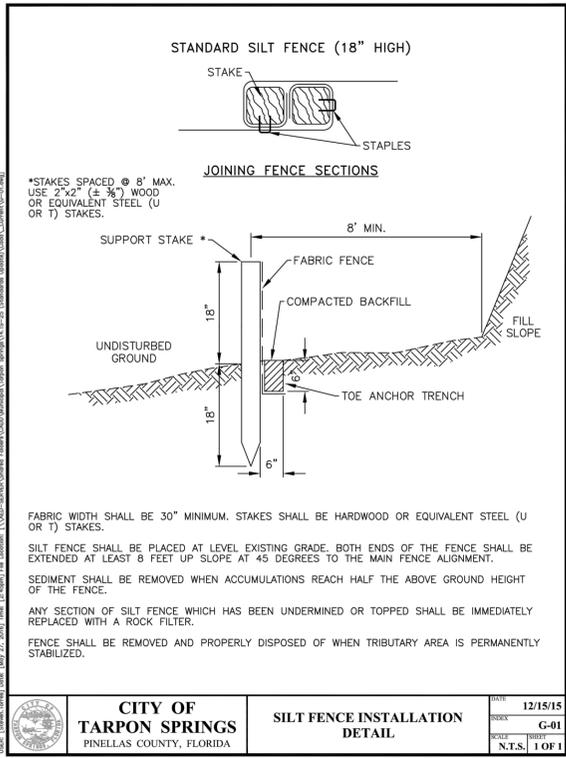


DIXIE HIGHWAY  
 COMMERCIAL  
 DEVELOPMENT  
 PROPOSED SITE LAYOUT

ISSUED FOR: PERMITTING  
 JOB # 1378 SEC. 01 TOWN 27  
 RING 15 DESIGNED: BAF DRAWN: BAF APPROVED: JAC



Datum:  
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 C-001



REVISIONS	
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Water Resource ~ Survey

7978 Cooper Creek Blvd.  
Tampa, Florida 33624

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CA 00007652 TB 8274  
Phone: 813.265.3130 941.275.9721

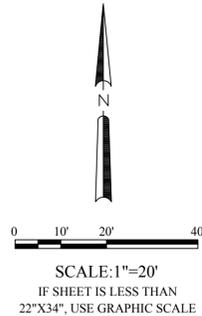
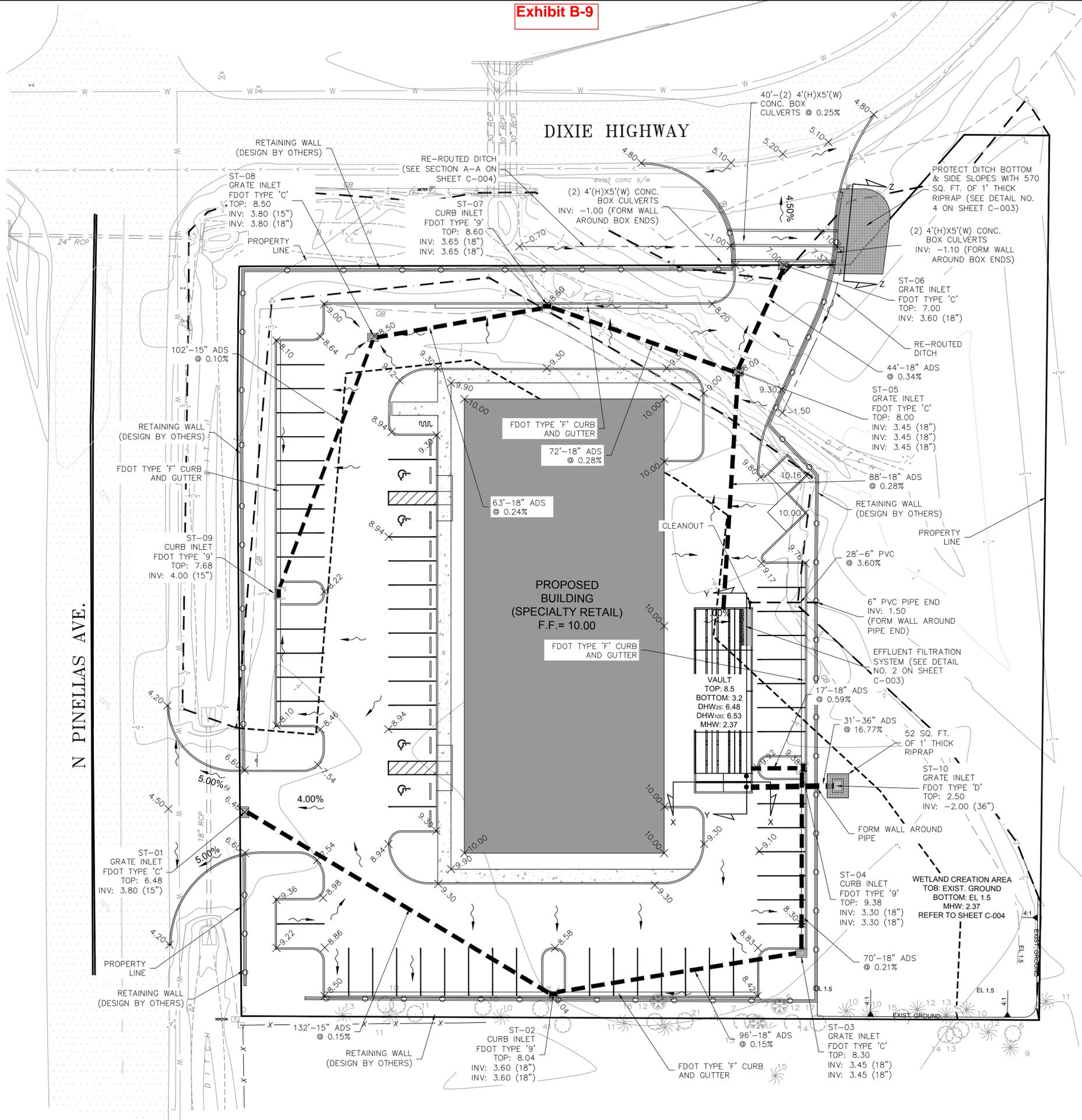


SITE DETAILS

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT



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Datum:  
C-002

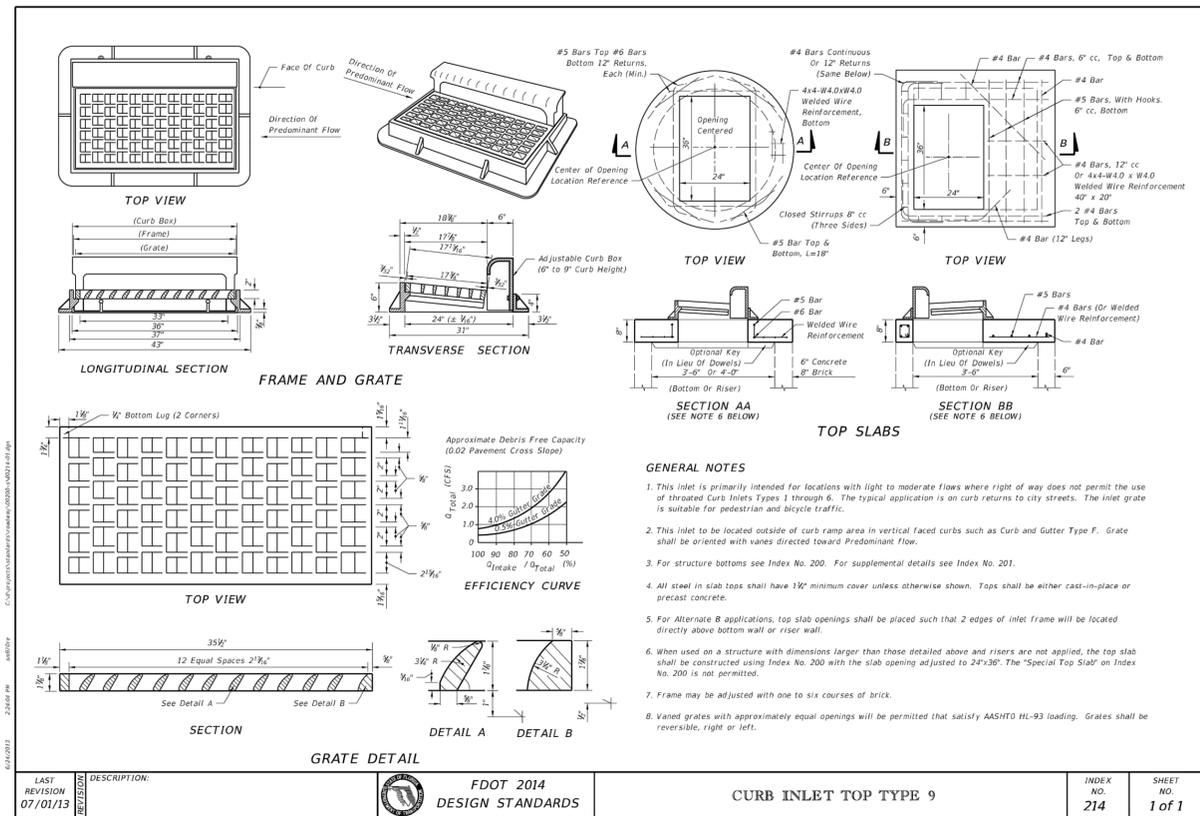


VERTICAL DATUM: NAVD 1988  
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 COMMUNITY NO. 12013C0017H  
 FLOOD ZONE: "AE" BFE: 9.0  
 DATED: 6/29/2018

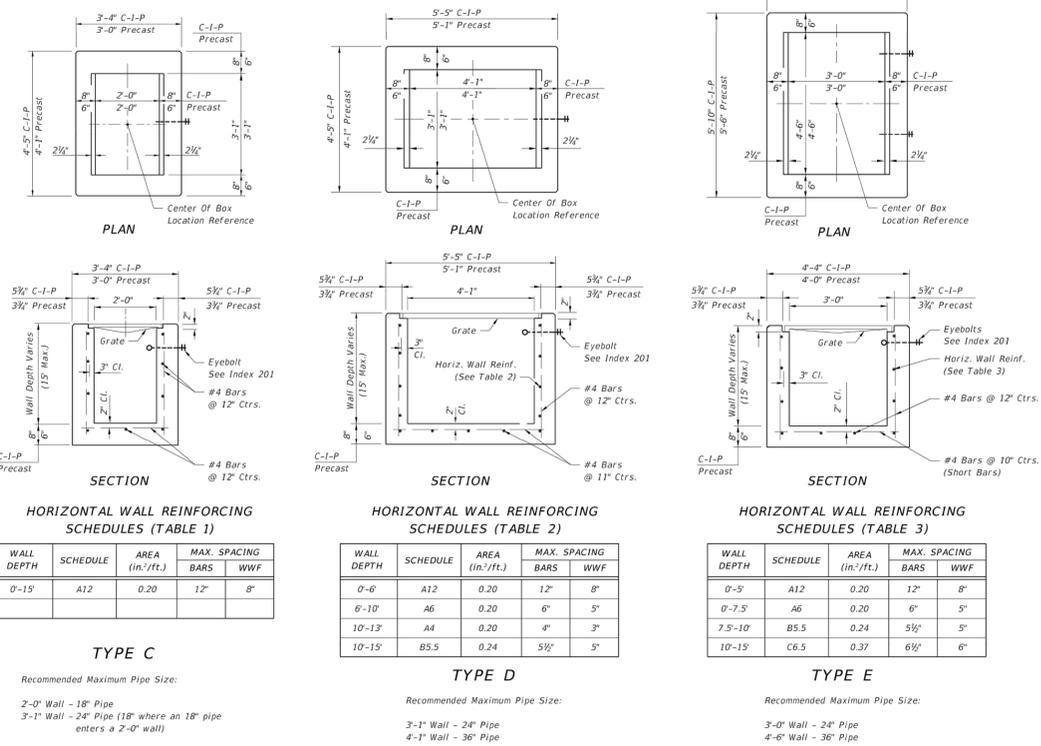
- GENERAL NOTES:
- REFER TO SHEETS C-003 AND C-004 FOR DRAINAGE DETAILS AND SITE CROSS-SECTIONS
  - THE CONTRACTOR SHALL PROVIDE A DEWATER SEQUENCING PLAN TO SWFWMD FOR APPROVAL PRIOR TO ANY DEWATERING ACTIVITIES

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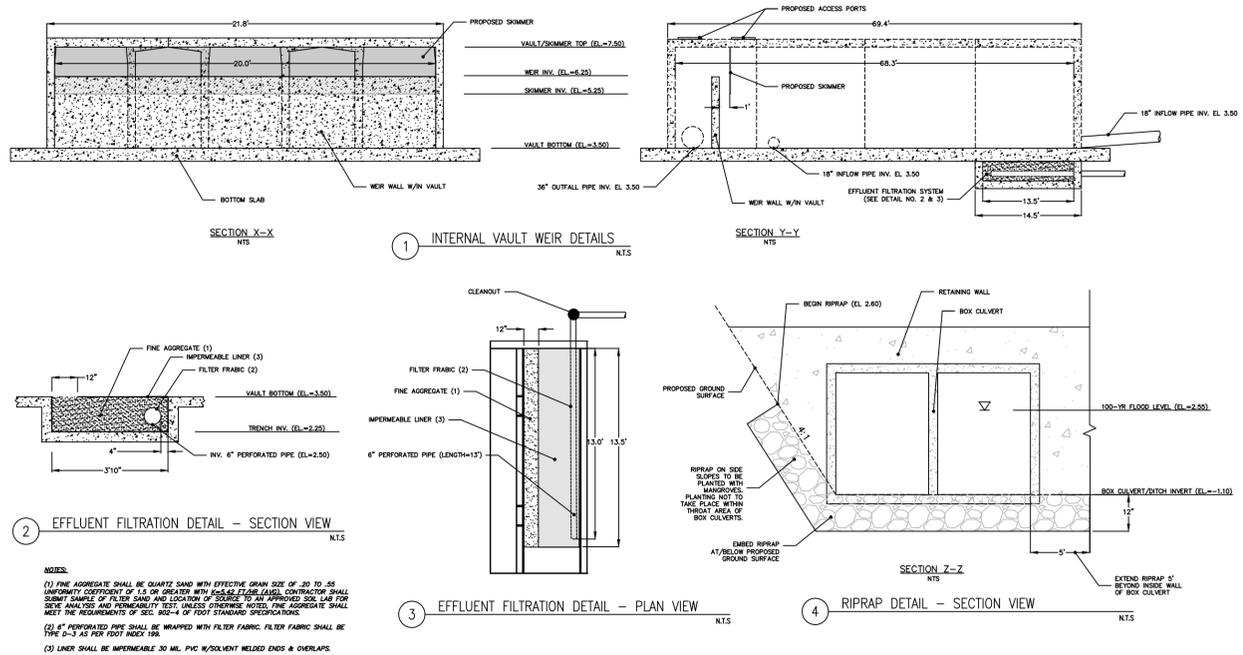
	<b>GRADING AND DRAINAGE PLAN</b>	<b>DIXIE HIGHWAY COMMERCIAL DEVELOPMENT</b>
Engineering ~ Environmental Water Resource ~ Survey 7978 Cooper Creek Blvd University Park, Florida 32024 www.wraengineering.com CA 00007652 LB 8274 Phone: 813.265.3130 941.275.9721	DESIGNED: BAF DRAWN: BAF APPROVED: JAC	ISSUED FOR: PERMITTING JOB #: 1378 SEC: 01 TOWN: 27
NAVD Datum:	NAVD	NAVD
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LAST REVISION	DESCRIPTION:	FDOT 2014 DESIGN STANDARDS	INDEX NO.	SHEET NO.
07/01/19			214	1 of 1

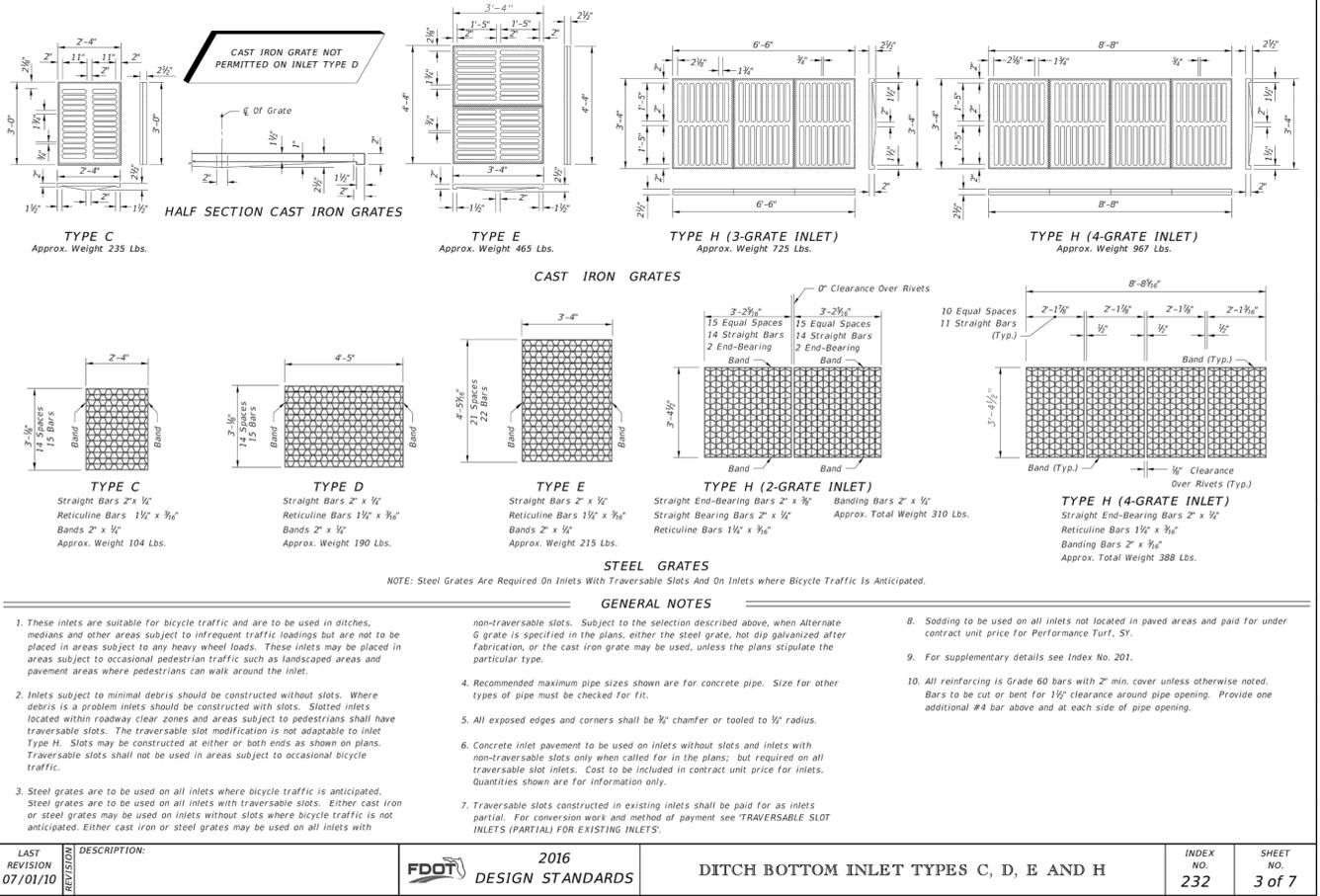


LAST REVISION	DESCRIPTION:	FDOT 2016 DESIGN STANDARDS	INDEX NO.	SHEET NO.
07/01/05			232	1 of 7



**NOTES**

- FINE AGGREGATE SHALL BE QUARTZ SAND WITH EFFECTIVE GRAIN SIZE OF .30 TO .45 UNIFORMITY COEFFICIENT OF 1.5 OR GREATER WITH FINE FILLER. CONSTRUCTION SHALL SUBMIT SAMPLE TO FIELD SAND AND LOCATION OF SOURCE. AN APPROPRIATE SOIL LAB FOR SIZE ANALYSIS AND PERMEABILITY TEST, UNLESS OTHERWISE NOTED, FINE AGGREGATE SHALL MEET THE REQUIREMENTS OF SEC. 102-4 OF FDOT STANDARD SPECIFICATIONS.
- 6" PERFORATED PIPE SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE TYPE D-3 AS PER FOOT INDEX 199.
- LINER SHALL BE IMPERMEABLE 30 MIL PVC W/SOLVENT WELDED ENDS & OVERLAPS.



LAST REVISION	DESCRIPTION:	FDOT 2016 DESIGN STANDARDS	INDEX NO.	SHEET NO.
07/01/10			232	3 of 7

REVISIONS	NO.	DATE	DESCRIPTION
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	NO.		

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DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

ISSUED FOR: PERMITTING JOB # 1378 SEC. 01 TOWN 27 RING 15 DESIGNED: BAF DRAWN: BAF APPROVED: JAC

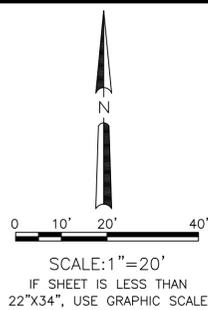
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Exhibit B-11

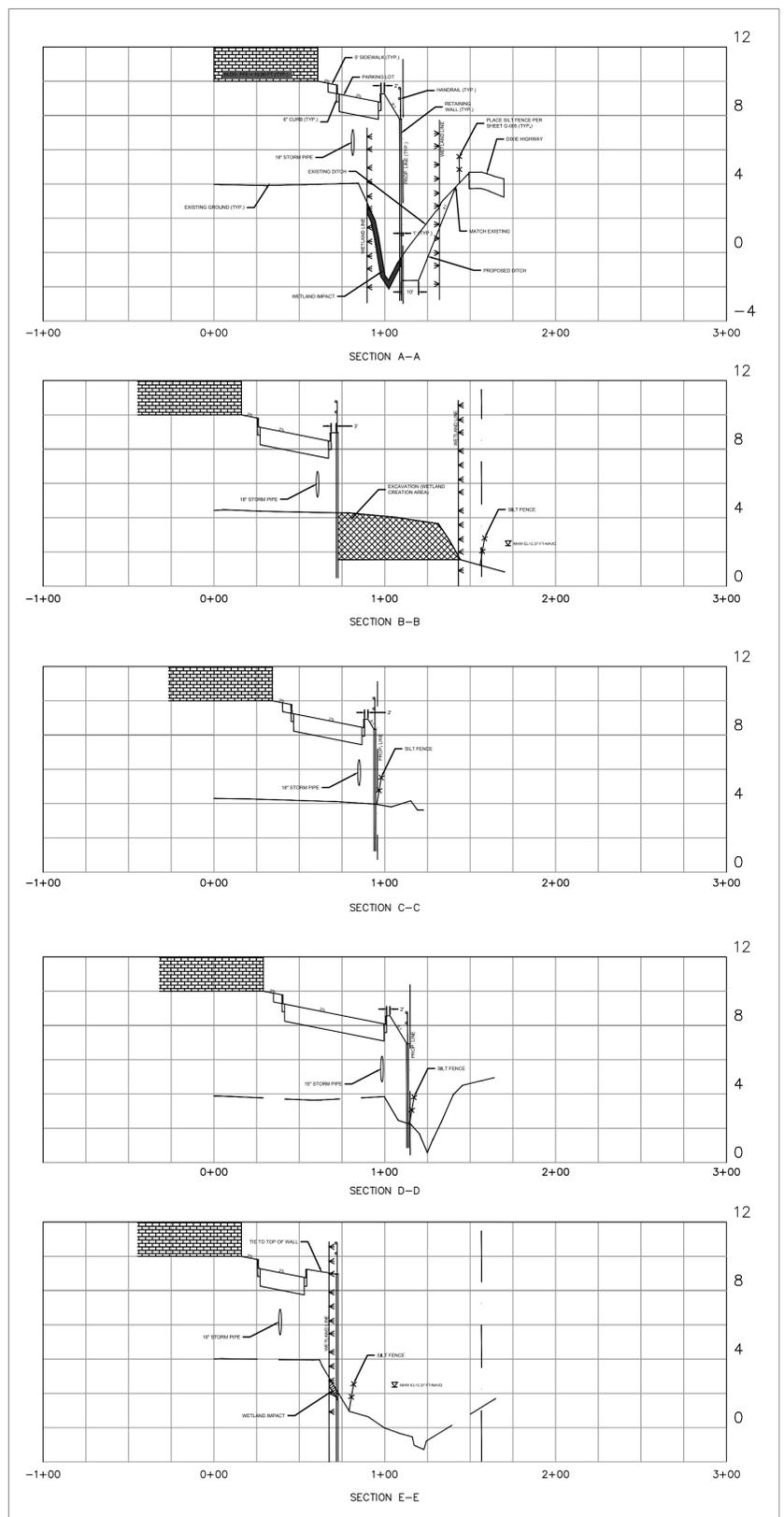
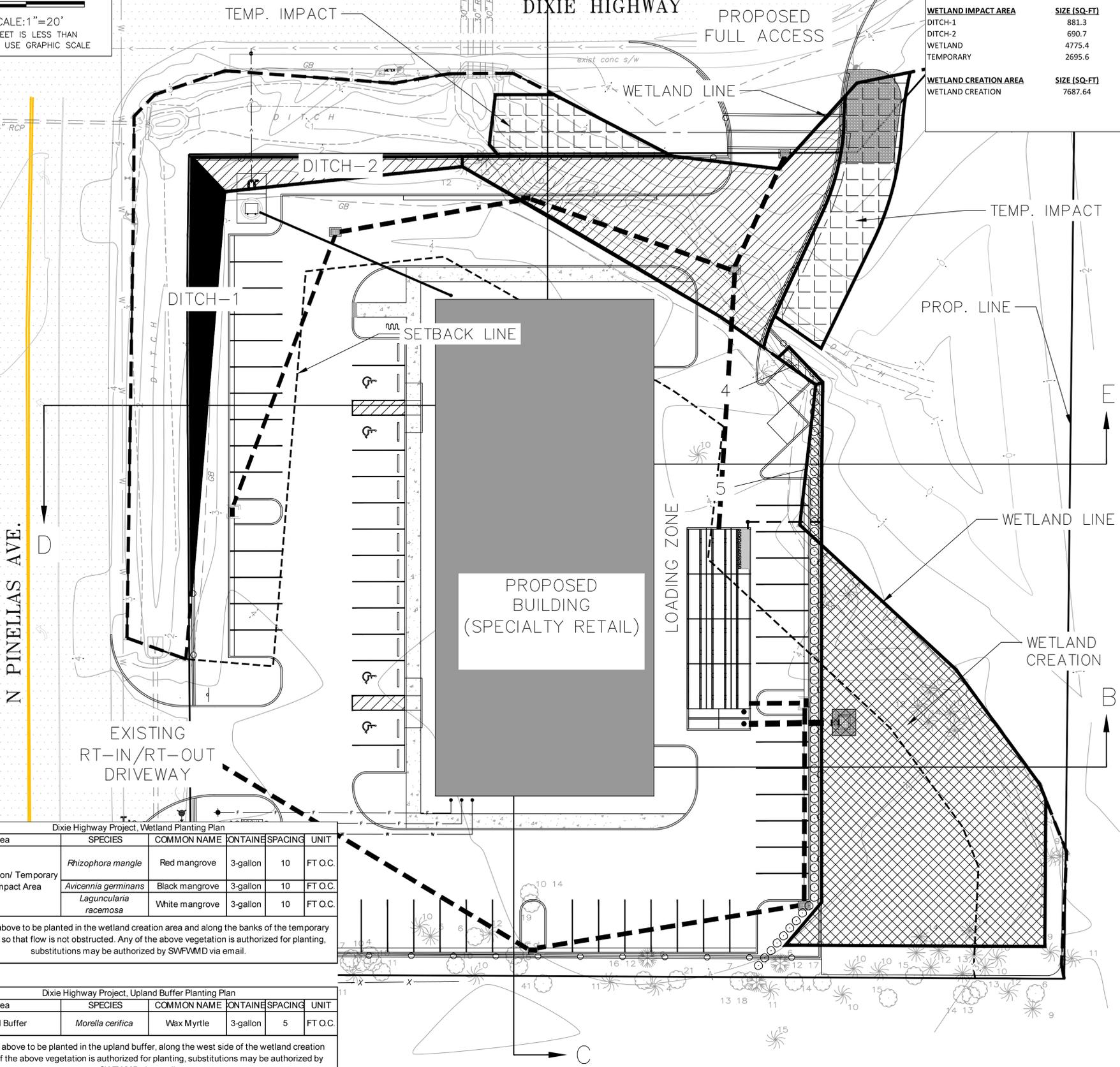


**SITE DATA:**

PARCEL NUMBER	01-27-15-89136-000-0452	
WETLAND ACREAGE	0.56	
UPLAND ACREAGE	1.44	
TOTAL SITE ACREAGE	2.00 +/-	
EXISTING LAND USE	VACANT	
FUTURE LAND USE	COMMERCIAL GENERAL	
PROPOSED LAND USE	RETAIL/OFFICE	
EXISTING ZONING	HIGHWAY BUSINESS	

<b>WETLAND IMPACT AREA</b>	<b>SIZE (SQ-FT)</b>	<b>SIZE (AC)</b>
DITCH-1	881.3	0.0202
DITCH-2	690.7	0.0159
WETLAND	4775.4	0.1096
TEMPORARY	2695.6	0.0619

<b>WETLAND CREATION AREA</b>	<b>SIZE (SQ-FT)</b>	<b>SIZE (AC)</b>
WETLAND CREATION	7687.64	0.1765



- WETLAND IMPACTS
- WETLAND CREATION
- UPLAND CUT/OSW IMPACT
- TEMPORARY WETLAND IMPACTS
- UPLAND BUFFER

Dixie Highway Project, Wetland Planting Plan

Area	SPECIES	COMMON NAME	CONTAINER	SPACING	UNIT
Wetland Creation/ Temporary Wetland Impact Area	<i>Rhizophora mangle</i>	Red mangrove	3-gallon	10	FT O.C.
	<i>Avicennia germinans</i>	Black mangrove	3-gallon	10	FT O.C.
	<i>Laguncularia racemosa</i>	White mangrove	3-gallon	10	FT O.C.

Plants listed above to be planted in the wetland creation area and along the banks of the temporary impact area, so that flow is not obstructed. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.

Dixie Highway Project, Upland Buffer Planting Plan

Area	SPECIES	COMMON NAME	CONTAINER	SPACING	UNIT
Upland Buffer	<i>Morella cerifera</i>	Wax Myrtle	3-gallon	5	FT O.C.

Plants listed above to be planted in the upland buffer, along the west side of the wetland creation area. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.

REVISIONS

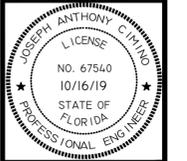
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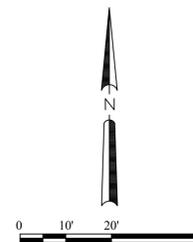
WETLAND IMPACT AND MITIGATION PLAN

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

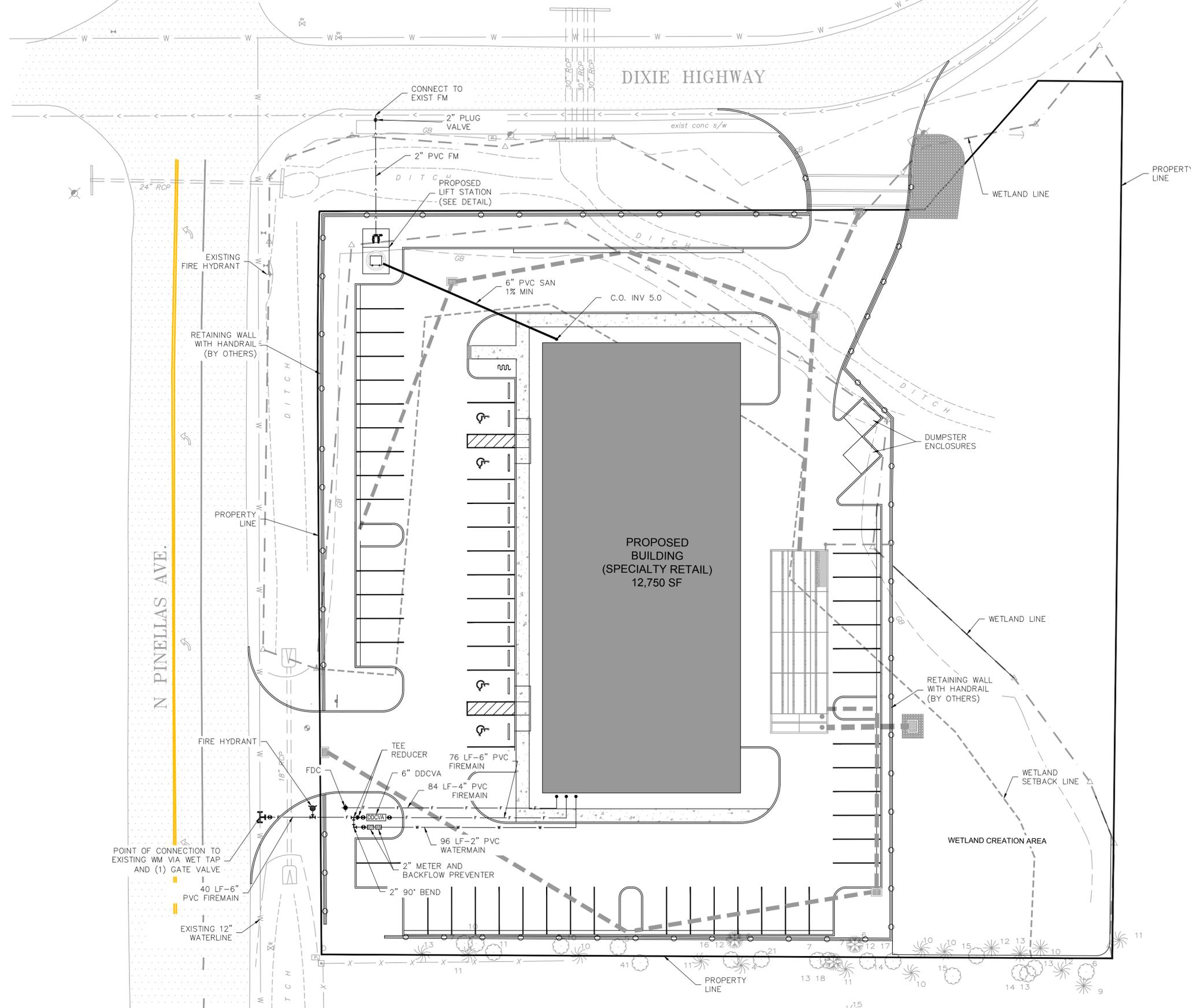


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RNG. 15 DESIGNED:BAF DRAWN:BAF APPROVED:IAC  
NAVD  
Datum:  
C-005

Exhibit B-12



SCALE: 1"=20'  
IF SHEET IS LESS THAN  
22"x34", USE GRAPHIC SCALE



2019 WRA  
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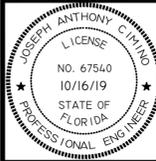
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Tampa, Florida 33624  
CA 00007652 TB 8274  
Phone: 813.265.3130 941.275.9721



UTILITY PLAN

DIXIE HIGHWAY  
COMMERCIAL  
DEVELOPMENT

ISSUED FOR: PERMITTING  
JOB# 1378 SEC. 01 TOWN-27  
RNG. 15 DESIGNED:BAF DRAWN:BAF APPROVED:IAC



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Datum:  
C-006

2019 WRA CAD FILE PATH: S:\PROJECT FILES\1978 - RED BANK INVESTMENTS - DIXIE HWY CAD PLANS DETAILS UTILITIES.DWG

**Exhibit B-13**

1. ALL PRESSURE PIPE MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AS SHOWN HEREIN, OR AS DIRECTED BY THE ENGINEER.

2. PIPE JOINT DEFLECTION SHALL NOT EXCEED 75% OF THE PIPE MANUFACTURE REQUIREMENTS.

3. THE CONTRACTOR SHALL ADJUST PIPELINE ALIGNMENTS HORIZONTALLY AND/OR VERTICALLY AS REQUIRED TO AVOID CONFLICTS WITH ACTUAL FIELD CONDITIONS AS UNCOVERED DURING CONSTRUCTION. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

4. PRESSURE PIPE CLEARANCES SHALL BE AS FOLLOWS:  
 A) POTABLE WATER MAINS IN PARALLEL INSTALLATIONS SHALL MAINTAIN A MINIMUM 10 FEET OUTSIDE TO OUTSIDE HORIZONTAL CLEARANCE FROM ALL SANITARY SEWERS, STORM DRAINS, AND FORCE MAINS.  
 B) POTABLE WATER MAINS WHERE CROSSING SHALL MAINTAIN A MINIMUM OF 18 INCHES OUTSIDE TO OUTSIDE VERTICAL CLEARANCE FROM ALL SANITARY SEWERS, STORM DRAINS, AND FORCE MAINS.  
 C) POTABLE WATER MAINS SHALL MAINTAIN A MINIMUM OF 5 FOOT CENTER TO CENTER HORIZONTAL CLEARANCE OR 3 FOOT OUTSIDE TO OUTSIDE HORIZONTAL CLEARANCE AND 18 INCHES OUTSIDE TO OUTSIDE VERTICAL CLEARANCE FROM RECLAIMED WATER MAINS.

5. THE CONTRACTOR SHALL PROVIDE ALL DEWATERING EQUIPMENT NECESSARY TO KEEP EXCAVATIONS DRY AND SHALL PROVIDE ALL SHORING, SHEETING, AND BRACING NECESSARY TO PROTECT WORKMEN, ADJACENT STRUCTURES, UTILITIES, EXISTING PAVEMENT, OR TO MINIMIZE TRENCH WIDTH AT NO ADDITIONAL COST TO THE CITY.

6. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER REGARDING SHUTTING DOWN WATER MAINS. PROPER AND ADEQUATE NOTIFICATION MUST BE MADE TO PROPERTY OWNERS, BUT IN NO CASE SHALL LESS THAN 24 HOURS WRITTEN NOTICE BE GIVEN.

7. THE OPENING AND/OR CLOSING OF EXISTING VALVES OR NEW VALVES INSTALLED IN PRESSURE PIPE SYSTEMS SHALL BE BY A CITY SANITARIAN AFTER COORDINATION WITH THE ENGINEER.

8. THE CONTRACTOR SHALL PROVIDE NECESSARY EQUIPMENT AND LABOR TO MAKE TAPS IN PRESSURE PIPE MAINS WHERE TAPPING SLEEVES AND VALVES ARE SHOWN ON THE PLANS.

9. ALL NEW DUCTILE IRON PRESSURE PIPE, FITTINGS, AND VALVE BODIES SHALL BE WRAPPED IN POLYETHYLENE IN ACCORDANCE WITH ANSI/AWWA C105.

10. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING POTABLE AND RECLAIMED SERVICE LINES UNDER PAVEMENT OR ELSEWHERE IN THE CONSTRUCTION ZONE. REPLACE SERVICE LINES WHERE SHOWN OR DIRECTED BY THE ENGINEER. ALL RELOCATED SERVICE LINES SHALL BE RELOCATED SO THAT THE METER ASSEMBLY WILL NOT BE IN AN ALLEY, DRIVEWAY, OR OTHER VEHICULAR TRAVEL PATH.

11. ALL EXISTING POTABLE AND/OR RECLAIMED WATER SERVICE LINES SHALL BE TRANSFERRED TO THE NEW MAIN, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

12. MAINTAIN A MINIMUM COVER OF 36 INCHES UNDER ROADWAYS, ALLEYS, AND DRIVEWAYS. MAINTAIN A MINIMUM OF 30 INCHES OF COVER IN SODDED AND LANDSCAPED AREAS.

13. THRUST BLOCKING SHALL NOT BE USED, UNLESS ORDERED BY THE ENGINEER. HARNESS PIPE JOINTS SHALL BE USED. THE LENGTH OF HARNESS JOINTS SHALL BE AS SHOWN ON THE PLANS.

14. SANITARY SEWER FORCE MAINS SHALL NOT USE GREATER THAN 45° BENDS FOR OFFSETS OR REALIGNMENT OF THE FORCE MAIN. THE 45° BENDS SHALL HAVE A MINIMUM OF 5 FEET BETWEEN THEM, WHEN POSSIBLE.

**CITY OF  
TARPON SPRINGS**  
PINELLAS COUNTY, FLORIDA

**NOTES FOR PRESSURE PIPE**

DATE: 12/15/15  
 INDEX: W-01  
 SCALE: N.T.S. | 1 OF 1

18" x 18" x 6" CONCRETE COLLAR  
 (2) #4 BARS CONTINUOUS AND  
 (4) #4 BARS DIAGONAL  
 (2" MINIMUM COVER FOR REINFORCING STEEL)

SPECIFY LETTERING AS "RR", "SEWER", OR "WATER" DEPENDING ON USE

PROVIDE A 3" DIAMETER BRASS DISC ANCHORED IN CONCRETE COLLAR

PLAN VIEW

16" MIN. SIZE OF MAIN OR BYPASS

51 TURNS TO OPEN - C.W. NUMBER OF TURNS TO OPEN

DARLING CO. DIRECTION TO TURN TO OPEN

1994 YEAR VALVE INSTALLED

FINISHED GRADE

FINISHED PAVEMENT

NON PAVED AREAS

PAVED AREAS

VARIES

30" MINIMUM

TWO PIECE CAST IRON VALVE BOX WITH OR 18 PVC PIPE EXTENSION IF NEEDED (C-900 OR 14" PVC PIPE IN PAVED AREAS). VALVE BOX OR PIPE SHALL NOT BEAR ON VALVE OR PRESSURE MAIN

PRESSURE MAIN

ALL VALVES USED IN WATER DISTRIBUTION SYSTEMS SHALL BE OF THE RESILIENT SEAT TYPE IN ACCORDANCE WITH AWWA C-509

**CITY OF  
TARPON SPRINGS**  
PINELLAS COUNTY, FLORIDA

**TYPICAL VALVE SETTING DETAIL**

DATE: 12/15/15  
 INDEX: W-11  
 SCALE: N.T.S. | 1 OF 1

REFER TO STANDARD DETAIL W-09 FOR VALVE BOX TRACER WIRE INSTALLATION

2" WITH CAP

12" MIN.

2-#14 GAUGE SOLID STRAND COPPER WIRES

DUCT TAPE

TAPPING SLEEVE OR TEE

NOTES:  
 1. USE 2, #14 GAUGE, SOLID COPPER STRAND WIRE WITH COLOR CODED INSULATION PER SERVICE.  
 2. THERE IS TO BE SUFFICIENT SLACK IN TRACER WIRE TO EXTEND A MIN. OF 12" ABOVE VALVE BOX.  
 3. WIRE IS TO CONTINUE THROUGH TEES ON MAIN LINE WHERE NO VALVES EXIST. ATTACH WIRE TO TOP CENTER LINE OF MAIN USING DUCT TAPE OR APPROVED EQUAL @ 5'-0" INTERVALS.  
 4. DUMMY BOXES ARE TO BE INSTALLED WHERE NEW CONSTRUCTION TIES INTO EXISTING, AND ON FIRE LINES WITH DOUBLE CHECK VALVE ASSEMBLIES WHERE MAIN ENTERS BUILDING IF NO VALVE IS INSTALLED.  
 5. DUMMY BOXES ARE TO BE INSTALLED WHERE NEW CONSTRUCTION TIES INTO EXISTING, AND ON FIRE LINES WITH DOUBLE CHECK VALVE ASSEMBLIES WHERE MAIN ENTERS BUILDING IF NO VALVE IS INSTALLED.  
 6. DUMMY BOXES ARE TO BE INSTALLED WHERE NEW CONSTRUCTION TIES INTO EXISTING, AND ON FIRE LINES WITH DOUBLE CHECK VALVE ASSEMBLIES WHERE MAIN ENTERS BUILDING IF NO VALVE IS INSTALLED.

**CITY OF  
TARPON SPRINGS**  
PINELLAS COUNTY, FLORIDA

**TRACER WIRE INSTALLATION**

DATE: 12/15/15  
 INDEX: W-13  
 SCALE: N.T.S. | 1 OF 1

LOCK RING 6" PVC (SDR 35) OR APPROVED EQUAL. 1"-3" WIDE BAND w/3" SECTION CUT OUT. 2 REQUIRED FOR EACH VALVE BOX

2" CAP

CONCRETE SLAB

VALVE BOX TOP SECTION

LOAD FROM VALVE BOX IS NOT TO BE TRANSFERRED TO RISER

ADJUSTABLE VALVE BOX BOTTOM SECTION

6" C-900 OR DIP VALVE BOX RISER COLOR CODED PER SERVICE RISER REQUIRED (EVEN IF VALVE DEPTH DOES NOT REQUIRE IT.) IN ORDER TO KEEP TRACER WIRE AWAY FROM VALVE OPERATION NUT.

1" TO 1-1/2" NOTCH IN LINE w/PIPE DIRECTION (UP TO 4 REQUIRED)

3" MIN.

2-#14 GAUGE SOLID COPPER STRAND WIRES

3"

12" MIN.

DUCT TAPE

JOINT RESTRAINERS

FILTER FABRIC VALVE DRAPE SECURED TO PVC RISER

**CITY OF  
TARPON SPRINGS**  
PINELLAS COUNTY, FLORIDA

**VALVE BOX/TRACER WIRE INSTALLATION**

DATE: 12/15/15  
 INDEX: W-14  
 SCALE: N.T.S. | 1 OF 1

REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER ASSEMBLY (PROVIDED BY CONTRACTOR) SUPPLIED WITH AMMONIA AND CHLORINE RESISTANT SEALS AND SILICONE RUBBER SEALS. INSTALLATION AS REQUIRED BY ORDINANCE.

TEMPORARY METER TO BE PROVIDED BY CITY OF TARPON SPRINGS WITH A 48 HOUR NOTIFICATION. CERTIFIED BACKFLOW TESTER TO BE ON SITE AT THE TIME THAT THE METER IS SET

SCHEDULE 90 PVC (TYP)

SEE INDEX W-05

FLOW

1/2" MINIMUM CLEARANCE FROM BOTTOM OF DUMP PORT

MJ TAPPED CAP WITH 2" THREADED TAP

MJ RETAINER GLANDS (TYP)

NEW MAIN

4"-0" MINIMUM/6"-0" MAXIMUM

STAINLESS STEEL OR CAST IRON TAPPING SADDLE

THRUST BLOCK

GATE VALVE (MAIN LINE HOT TAP)

EXISTING MAIN

NOTES:  
 1. FINAL CONNECTION TO BE WITNESSED BY CITY OF TARPON SPRINGS WATER DISTRIBUTION.  
 2. MJ TAPPED CAPS TO BE PROPERLY RESTRAINED.  
 3. INSTALL JUMPER TAP SYSTEM FOR TEMPORARY METER DOWNSTREAM OF BLIND FLANGE FOR CONSTRUCTION WATER.  
 4. TAPPING SADDLES SHALL BE STAINLESS STEEL. ALL TAPPING SADDLES FOR ASBESTOS CEMENT PIPE SHALL BE STAINLESS STEEL.  
 5. JUMPER ASSEMBLY MUST BE MINIMUM OF 18" ABOVE FINISHED GRADE.  
 6. BACKFLOW ASSEMBLY REQUIRES INITIAL CERTIFICATION BY CERTIFIED BACKFLOW TESTER.  
 7. THIS ASSEMBLY SHALL ONLY BE USED IF NO COMBUSTIBLES WILL BE ON SITE. IF COMBUSTIBLES ARE BROUGHT ON SITE, THEN THE TEMPORARY BACKFLOW PREVENTERS AND FIRE PROTECTION METER TIE-IN ASSEMBLY SHALL BE USED.  
 8. THIS ASSEMBLY IS NOT APPROVED TO PROVIDE FIRE PROTECTION WATER TO THE SITE DURING CONSTRUCTION. ASSEMBLY NOT TO BE REMOVED AND SPOOL PIECE INSTALLED FOR FINAL CONNECTION UNTIL AFTER TESTING, BACTERIAL CLEARANCE, FINAL INSPECTION AND COUNTY ACCEPTANCE.  
 9. GAP CONFIGURATION TO BE INSTALLED WITHIN 24 HOURS OR LESS AT THE DISCRETION OF THE WATER DISTRIBUTION DEPARTMENT.  
 10. ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.

**CITY OF  
TARPON SPRINGS**  
PINELLAS COUNTY, FLORIDA

**CONNECTION TO EXISTING WATER MAIN DETAIL (GAP CONFIGURATION)**

DATE: 12/15/15  
 INDEX: W-23  
 SCALE: N.T.S. | 1 OF 1

INSTALL INLINE GATE VALVE AT PROPERTY LINE OR RIGHT-OF-WAY LINE

CONCRETE FOUNDATION (TYP) FULL LENGTH OF METER ASSEMBLY. 4" WIDE, 6" THICK REINFORCED 6 x 6 10/10 WELDED WIRE MESH

AR VALVE WITH CORPORATION STOP

3/4" BYPASS METER AND BACKFLOW DEVICE

DOUBLE CHECK DETECTOR BACKFLOW PREVENTER ASSEMBLY SUPPLIED WITH AMMONIA AND CHLORINE RESISTANT SEALS AND SILICONE RUBBER SEALS. UL/FM APPROVED FOR FIRE SERVICE INSTALLATION. INSTALLATION AS REQUIRED BY AWWA M-14.

FLANGED GATE VALVE WITH RISING STEM AND RESILIENT SEAT (TYP)

12" SPOOL PIECE

BRASS NIPPLE

12" SPOOL PIECE

MINIMUM ABOVE SLAB

ADJUSTABLE STAINLESS STEEL PIPE SUPPORT STANDS AS REQUIRED ANCHORED TO PAD (TYP)

MJ 45 OR 90 DEGREE BEND WITH MJ RETAINING GLANDS (TYP)

MAN SIZE PER UTILITY PLAN

MAN SIZE PER UTILITY PLAN

NOTES:  
 1. ALL ABOVE GROUND PIPE WILL HAVE FLANGED END DUCTILE IRON PIPE, PRESSURE CLASS 350. ALL NUTS AND BOLTS SHALL BE STAINLESS STEEL.  
 2. (4) VEHICULAR GUARD POSTS TO BE INSTALLED AROUND ASSEMBLY. CONFIGURATION TO BE ILLUSTRATED ON CONSTRUCTION DOCUMENTS SUBMITTED FOR REVIEW AND APPROVAL.  
 3. AS THIS UNIT WILL REQUIRE PERIODIC TESTING, FACILITIES REQUIRING CONTINUOUS WATER SERVICE MAY WISH TO INSTALL PARALLEL UNITS TO PREVENT SERVICE INTERRUPTIONS.  
 4. ASSEMBLY WILL BE OWNED AND MAINTAINED BY PROPERTY OWNER, STARTING AFTER THE INLINE GATE VALVE AT THE PROPERTY LINE OR RIGHT-OF-WAY LINE.  
 5. CITY OF TARPON SPRINGS WILL REQUIRE DEDICATION OF MATERIAL UP TO AND INCLUDING THE INLINE GATE VALVE FROM THE FROM THE CITY'S WATER MAIN.  
 6. BACKFLOW DEVICE REQUIRES INITIAL CERTIFICATION BY AN APPROVED CERTIFIED TESTER.  
 7. ALL PLANTING SHALL BE A MINIMUM OF 1.5' FROM THE EDGE OF SLAB, AND SHALL PROVIDE A 3" ACCESS OPENING.  
 8. THIS ASSEMBLY SHALL BE PAINTED WITH RED EPOXY PAINT.  
 9. ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.  
 10. A REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY SHALL BE USED WHEN HIGH HAZARDOUS, AS DEFINED BY AWWA M-14 (e.g., RISK OF CHEMICAL ADDITION, MEDICAL FACILITIES, INDUSTRIAL FACILITIES, PROPERTIES USING RECLAIMED WATER, ETC.), EXIST.

**CITY OF  
TARPON SPRINGS**  
PINELLAS COUNTY, FLORIDA

**FIRE SYSTEM ASSEMBLY DETAIL**

DATE: 12/15/15  
 INDEX: W-27  
 SCALE: N.T.S. | 1 OF 1

NO.	DATE	DESCRIPTION
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7978 Cooper Creek Blvd  
Tampa, Florida 33624

www.wraengineering.com  
 CA 00007652 LB 8274  
 Phone: 813.265.3130 941.275.9721

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

ISSUED FOR: PERMITTING

DESIGNED: BAF DRAWN: BAF APPROVED: JAC

NAVD

Datum:

C-007

GENERAL NOTES

FURNISH AND INSTALL EBARA SUBMERSIBLE GRINDER PUMPS:

DESIGN CONDITION:

MODEL	50DVU6.75S2	1 HP	HP
GPM	20	46.8	FT/TDH
VOLTAGE	208/230	SINGLE	PHASE
DISCHARGE	2"	132MM	IMPELLER

SEWAGE GRINDER PUMP: RATED FOR TWENTY (20) STARTS PER HOUR.

- AIR FILLED MOTOR DESIGNED FOR SEWAGE APPLICATION WITH CLASS F INSULATION.
- DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE) LOCATED OUT OF THE PUMPAGE, IN A SEPARATE OIL FILLED CHAMBER.
- HIGH TEMPERATURE BALL BEARINGS B-10 RATING OF 60,000 HOURS, UPPER BEARING - SINGLE ROW AND LOWER BEARINGS - DOUBLE ROW TYPE.
- PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.
- SINGLE PHASE MOTORS SHALL BE DUAL WOUND, CAPACITOR START-RUN AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260). THREE PHASE MOTORS SHALL BE DUAL WOUND AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260) OR OPERATE ON 460 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.

**FIBERGLASS WET WELL:** SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WET WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THE TEST PROCEDURE. ASTM D 3753 & H-20 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.

**ALUMINUM HATCH:** TSC MODEL-54R (54") ROUND WITH 24" X 36" LOCKABLE HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM, LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

**VALVE BOX:** FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM. (FOR 1 1/4" AND 2" DISCHARGE PIPING SXS HEADER SYSTEM) SHALL BE 26" X 38" X 18" WITH 17" X 30" LIMITED ACCESS LID

**ACCESSORIES:** #304 S/S - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.

**VALVES:** SHALL BE SEWAGE SERVICE DESIGN BRASS SWING CHECK VALVES WITH TOP ENTRY CLEAN-OUT PORT AND BRASS WEDGE GATE VALVES OPEN 100%.

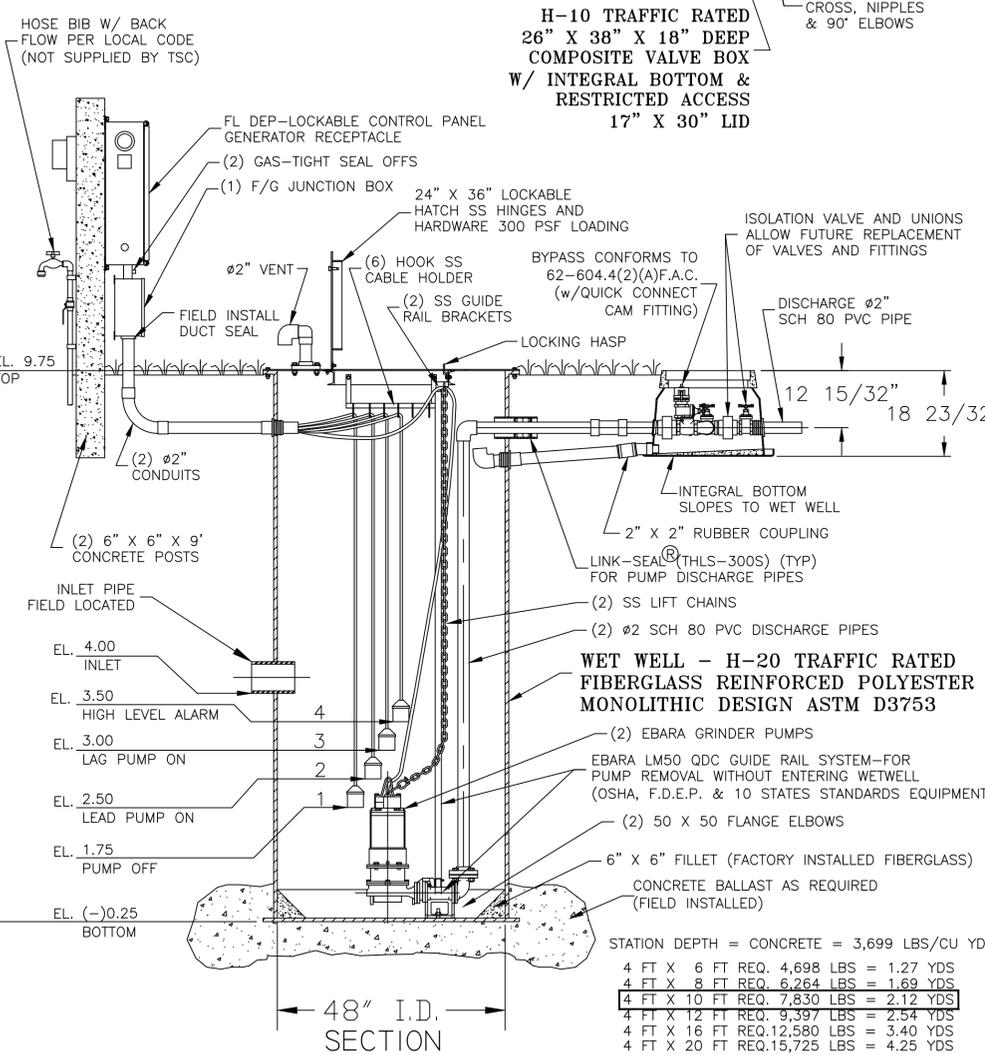
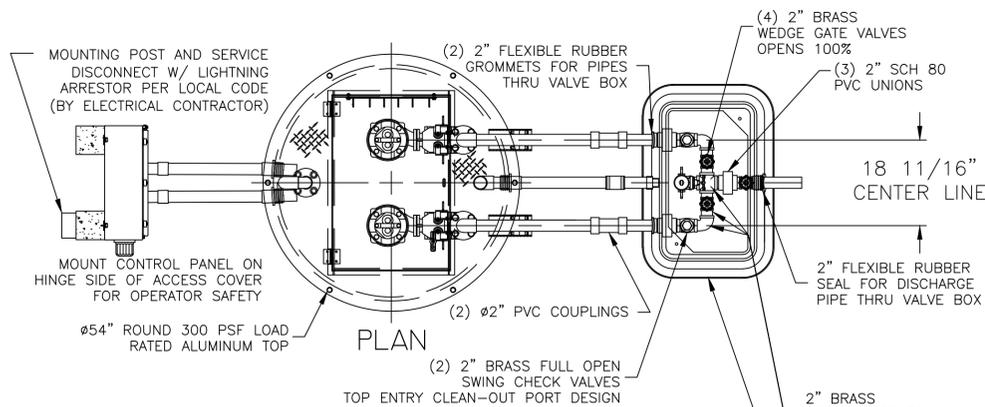
**PIPING:** 2" SCHEDULE 80 PVC.

**FLOAT SWITCHES:** UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO).

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, ALUMINUM HATCH AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.

THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, SLIDE RAIL ASSEMBLIES AND DISCHARGE PIPING ASSEMBLED BY TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION. THE MANUFACTURER OF PRE-FAB PUMP SOLUTIONS®.

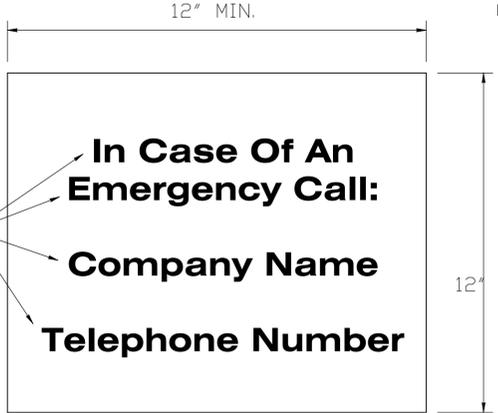
TECHNICAL SALES CORPORATION, 4621 N. HALE AVE TAMPA, FL 33614 (813)876-9256



EBARA SEWAGE GRINDER PUMP  
48" DUPLEX STATION - 2" PIPING  
WITH SLIDE RAIL SYSTEM, V.B. AND F.D.E.P. PANEL  
TSC PRE-FAB PUMP SOLUTIONS®

MODEL  
TSC2-48.0 R9.dwg ©

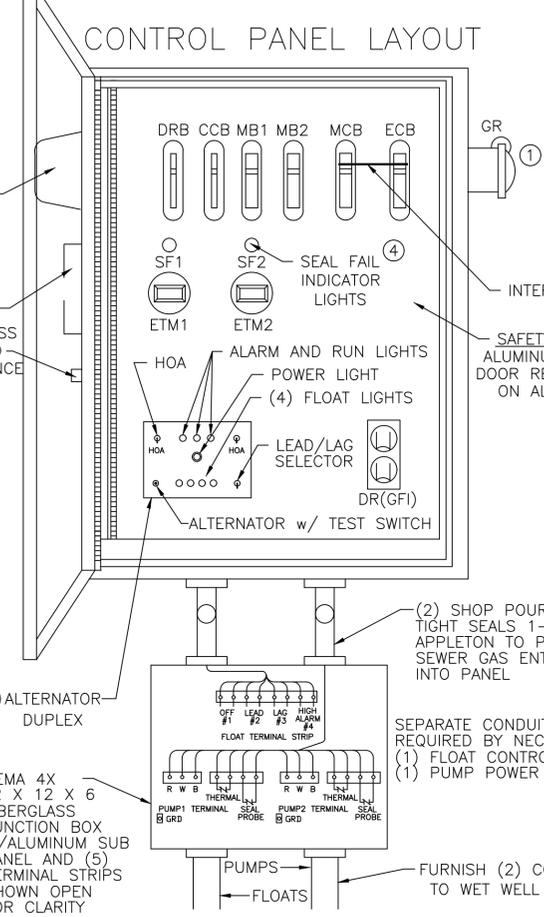
2. GROUT FILLET (1 TO 1 SLOPE TO "HOPPER" BOTTOM) JOB: \_\_\_\_\_
1. HOSE BIBB WITH REDUCED PRESSURE BACK FLOW PREVENTER FIELD INSTALL BY CONTRACTOR QS: \_\_\_\_\_



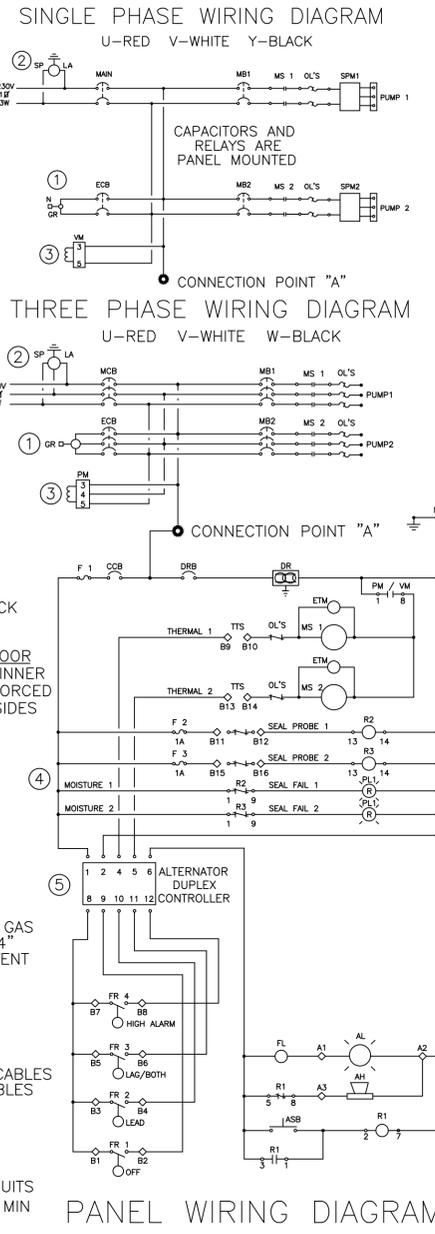
TYPICAL PUMP STATION EMERGENCY ADVISORY SIGN DETAIL

NOT TO SCALE  
SIGN TO BE POSTED CONSPICUOUSLY ON PUMP STATION WALL OR GATE OR ON THE CONTROL PANEL IF NO WALL OR GATE.

**CONTROL PANEL** - SHALL CONFORM TO FL DEP 64-604.42(A)  
CONTROL PANEL SHALL BE TSC MODEL # 38-D IN NEMA 4X FIBERGLASS ENCLOSURE. THE PANEL SHALL MEET STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP), ENVIRONMENTAL PROTECTION COMMISSION (EPC) AND LOCAL CODE REQUIREMENTS GOVERNING PRIVATE LIFT STATIONS.  
FLOAT SWITCHES AND CONTROL SYSTEM SHALL BE UL LISTED AND INTRINSICALLY SAFE. ALL COMPONENTS SHALL BE UL LISTED.  
A JUNCTION BOX IS REQUIRED, WITH SHOP POURED SEALS BETWEEN BOX AND CONTROL PANEL TO PREVENT SEWER GAS ENTRY INTO CONTROL PANEL.  
ELECTRICAL CONTRACTOR TO PROVIDE SERVICE DISCONNECT WITH LIGHTNING ARRESTOR MOUNTED PER LOCAL CODES.  
THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.



- LEGEND**
- AH ALARM HORN
  - AL ALARM LIGHT
  - ASB ALARM SILENCE BUTTON
  - ATS ALTERNATOR W/ TEST SWITCH
  - CCB CONTROL CIRCUIT BREAKER
  - DR DUPLEX RECEPTACLE
  - DRB DUPLEX RECEPTACLE BREAKER
  - ECB EMERGENCY CIRCUIT BREAKER
  - ELAPSED TIME METER
  - F FUSE
  - FL FLASHER
  - FS FLOAT SWITCH (REGULATOR)
  - GR GENERATOR RECEPTACLE
  - GRD GROUND
  - HOA HAND-OFF-AUTOMATIC SELECTOR
  - LA LIGHTNING ARRESTOR
  - MB MOTOR BREAKER
  - MCB MAIN CIRCUIT BREAKER
  - MS MOTOR STARTER
  - N NEUTRAL
  - OL'S OVERLOAD HEATERS
  - PM PHASE MONITOR
  - PTS PUMP TERMINAL STRIP
  - R RELAY
  - RC RUN CAPACITOR
  - RD DISCHARGE RESISTOR
  - RL PUMP RUN INDICATORS
  - RTS REGULATOR TERMINAL STRIP
  - SC START CAPACITOR
  - SF SEAL FAIL (SHAFT)
  - SR START RELAY
  - SP SURGE PROTECTOR
  - TTS THERMAL TERMINAL STRIP



PANELS SHALL CONFORM TO FLORIDA DEP 64-604.400

- GENERATOR RECEPTACLE FOR EMERGENCY POWER CONNECTION WITH INTERLOCK
- SURGE PROTECTION AND LIGHTNING PROTECTION ON ALL INCOMING LEGS
- PHASE PROTECTION SHALL BE PROVIDED
- SHAFT SEAL FAIL DETECTION
- ALTERNATOR W/ TEST SWITCH

PANEL MANUFACTURER SHALL BE A "UL" LISTED SHOP.

TSC DUPLEX GRINDER PUMP STATION  
FIBERGLASS WET WELL

**TECHNICAL SALES CORPORATION**  
CORPORATION  
TSC PRE-FAB PUMP SOLUTIONS®  
WATERWORKS & WASTEWATER SPECIALTIES

Representing Innovative Manufacturers  
MODEL TSC2-48.0 ©

4621 N. HALE AVENUE PH (813)876-9256  
TAMPA, FL 33614 FAX (813)874-1194

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

Engineering ~ Environmental Water Resource ~ Survey

4260 W. Littlefield Ave. Tampa, Florida 33613  
7978 Cooper Creek Blvd. University Park, Florida 34101  
www.wraengineering.com  
CA 00007652 LB 8374  
Phone: 813.265.3130 941.275.9721

**WRA**

LIFT STATION DETAILS

DIXIE HIGHWAY COMMERCIAL DEVELOPMENT

ISSUED FOR: PERMITTING SEC-01 TOWN-27 RING-15 DESIGNED-BAE DRAWN-BAE APPROVED-JAC

JOE B. JENKINS LICENSE NO. 67540 8/28/19 STATE OF FLORIDA PROFESSIONAL ENGINEER

NAVD

Datum: C-008



P & Z

**RESOLUTION NO. 2019-40**

**A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #19-63 REQUESTING SITE PLAN APPROVAL FOR RED BANK INVESTMENTS, LLC, TO CONSTRUCT A SPECIALTY RETAIL BUILDING OF 12,750 SQUARE FEET OF GROSS FLOOR AREA ON 2.01 ACRES (MORE OR LESS) LOCATED AT 1372 NORTH PINELLAS AVENUE ON THE SOUTHEAST CORNER OF NORTH PINELLAS AVENUE AND DIXIE HIGHWAY IN THE HIGHWAY BUSINESS (HB) ZONING DISTRICT; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Tarpon Springs has received an application for site plan approval to develop a specialty retail center of 12,750 square feet of gross floor area located on 2.01 acres of land at 1372 North Pinellas Avenue in the Highway Business (HB) zoning district; and,

**WHEREAS**, the Planning and Zoning Board held a public hearing on this application at its meeting of November 18, 2019 and voted to recommend approval of the site plan with conditions; and,

**WHEREAS**, pursuant to Section 210.03(C)(4) of the Comprehensive Zoning and Land Development Code, the Board of Commissioners must approve, approve with conditions, or, deny the application.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA:**

**SECTION 1: FINDINGS**

1. That the site plan, as conditioned, meets the applicable sections of the Comprehensive Zoning and Land Development Code.
2. That the site plan, as conditioned, is consistent with the Tarpon Springs Comprehensive Plan.
3. That the site plan, as conditioned, demonstrates that required facilities and services will be available at the prescribed level of service standards concurrent with the impact of the development and may, subject to Section 3 of this resolution, during the term of this site plan approval, receive a Certificate of Concurrence pursuant to Section 122.00 et seq.

## **SECTION 2: SITE PLAN APPROVAL**

The site plan on a property parcel located at 1372 North Pinellas Avenue and legally described in Exhibit A was prepared and sealed by Joseph Anthony Cimino, P.E., on November 1, 2019, and is attached as Exhibit B-1 through B-15, is hereby approved.

## **SECTION 3: CONDITIONS**

1. The developer is responsible for meeting the minimum criteria of the Land Development Code and for acquiring all other jurisdictional permits and approvals.
2. Construction plans shall be consistent with the approved site plan. All requisite fees attendant to the project shall be paid in accordance with the Land Development Code. This includes payment of a fee in lieu of constructing a sidewalk for deposit into the City's Sidewalk Trust Fund.
3. Written confirmation of access approvals from Pinellas County for Dixie Highway and from the Florida Department of Transportation for North Pinellas Avenue shall be submitted with the building permit application.
4. Written confirmation from the Florida Department of Transportation for the left turn prevention configuration of the North Pinellas Avenue accessway shall be submitted with the building permit application.
5. Final grades for both access points (Dixie Highway and North Pinellas Avenue) shall be compliant with the City of Tarpon Springs Fire Marshal's requirements for equipment access. Compliant grades shall be shown on the building permit application plans submittal.
6. The site plan shall expire at one year from the effective date unless an application has been filed for a building permit with construction plans signed and sealed by a registered engineer licensed in the State of Florida.

## **SECTION 4: EFFECTIVE DATE**

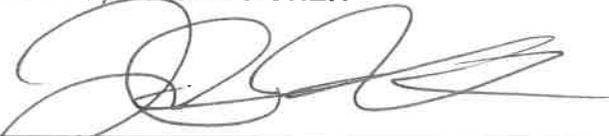
This Resolution shall become effective upon adoption.

PASSED and ADOPTED this 3rd day of December, 2019.

  
CHRIS ALAHOUZOS, MAYOR

TOWNSEND TARAPANI, VICE MAYOR

  
REA SIEBER, COMMISSIONER

  
JACOB KARR, COMMISSIONER

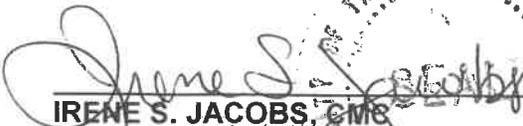
  
CONNOR DONOVAN, COMMISSIONER

MOTION BY: COMMISSIONER SIEBER  
SECOND BY: COMMISSIONER KARR

VOTE ON MOTION

COMMISSIONER DONOVAN	<u>Yes</u>
COMMISSIONER KARR	<u>Yes</u>
COMMISSIONER SIEBER	<u>Yes</u>
VICE MAYOR TARAPANI	<u>Absent</u>
MAYOR ALAHOUZOS	<u>Yes</u>

ATTEST:

  
IRENE S. JACOBS, CMC  
CITY CLERK & COLLECTOR

APPROVED AS TO FORM:

 / for  
THOMAS J. TRASK, B.C.S  
CITY ATTORNEY

## EXHIBIT A. LEGAL DESCRIPTION

A portion of Lot 45, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part, and being more particularly described as followed: Commence at the Southwest corner of the Southwest 1/4 of the Southeast 1/4 of Section 1, Township 27 South, Range 15 East, Pinellas County, Florida, thence South  $89^{\circ} 15'35''$  East, along the South boundary line of said Southwest 1/4 for a distance of 317.79 feet to the point of intersection with a line 125.00 feet West of and parallel to the East boundary line of Lot 46, TAMPA AND TARPON SPRINGS LAND COMPANY, as recorded in Plat Book 1, Page 116, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part; thence North  $0^{\circ} 29'44''$  West, along said line for 403.69 feet to the point of intersection with a line 403.60 feet North of and parallel to the South boundary line of said Southwest 1/4; thence South  $89^{\circ} 15'38''$  East, for 125.03 feet to the point of intersection with the East boundary line of said Lot 46; thence North  $0^{\circ} 29'44''$  West, along said East boundary line of Lot 46 for 589.92 feet to the point of intersection with the South boundary line of said Lot 45; thence North  $89^{\circ} 21'29''$  West, along said South boundary line of Lot 45, for 91.56 feet to the Point of Beginning; thence continue North  $89^{\circ} 21'29''$  West, along said South boundary line of Lot 45, for 299.45 feet to the point of intersection with the East Right-of-Way line of U.S. Alternate 19, thence North  $0^{\circ} 25'04''$  West, along said Right-of-Way line 194.34 feet to the point of curvature of a curve concave to the East, thence along the arc of said curve, having a radius of 2814.79 feet, a central angle of  $1^{\circ} 42'54''$  an arc length of 84.25 feet and chord bearing North  $00^{\circ} 26'23''$  East, for 84.25 feet to the point of intersection with the South Right-of-Way line of State Road 595; thence along said South and Southeasterly Right-of-Way lines of State Road 595 the following two (2) courses: (1) North  $89^{\circ} 48'01''$  East for 228.84 feet; (2) North  $41^{\circ} 30'47''$  East, for 64.99 feet; thence leaving said South and Southeasterly Right-of-Way lines South  $89^{\circ} 23'26''$  East, along the North boundary line of said Southwest 1/4 and Lot 45 of said TAMPA AND TARPON SPRINGS LAND COMPANY a distance of 32.00 feet; thence South  $00^{\circ} 38'31''$  West, for 331.08 feet to the Point of Beginning.

Parcel ID Number: 01-27-15-89136-000-0452



STORM WATER POLLUTION PREVENTION PLAN

Exhibit B-3

GENERAL EROSION AND TURBIDITY CONTROL NOTES

Contained on these plans and within the following notes is a Storm Water Pollution Prevention Plan (SWPPP) which has been developed by Water Resource Associates, Inc. in accordance with the Florida Department of Environmental Protection's (FDEP) "National Pollutant Discharge Elimination System" (NPDES) Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

The following entities are identified as team members of "SWPPP": Water Resource Associates, the Developer as identified in the title block of these plans, and the site contractor and his sub-contractors. Each team member has specific responsibilities and obligations. In general, all team members will have the responsibility and obligations to ensure compliance with the NPDES Generic Permit for Storm Water Discharge from Construction Activities, the Southwest Florida Water Management District Permit, the applicable local governing agency (i.e. Manatee County, etc.) and the guidelines listed in the SWPPP. The duties and responsibilities of the team members as they pertain to the SWPPP are as follows:

Water Resource Associates, Inc.

- A. Develop SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria. This design is included within these construction plans and the following notes and instructions.
B. Submit and obtain the necessary design related storm water permits from the Florida Department of Environmental Protection, the Southwest Florida Water Management District and other applicable governing bodies.
C. Upon notification by the developer of his intent to commence construction, submit a Notice of Intent to the FDEP on behalf of the developer and copy the contractor including SWPPP certification and copy of the permit.
D. Submit to SWPPP and the operator of the municipal separate storm water system, if applicable, a letter of construction commitment.
E. Complete and submit a Notice of Termination and certification for developer. The NOTs shall be submitted no more than 30 days after (a) completion of the project and final stabilization of the site or (b) when responsibility for the site has ended. Final stabilization as defined by EPA is when all soil disturbing activities at the site have been completed and a uniform (e.g. evenly distributed, without large bare areas) permanent vegetative cover with a density of 70% of the native background vegetative cover for the area has been established on all unvegetated areas and areas not covered by permanent structures. As an alternative, equivalent permanent stabilization measures (such as grass, sedges, or potatoes) may be employed. The client shall notify Water Resource Associates when use of these criteria has been met.

Contractor

- A. Sign and return to WRA a Contractor Certification Form certifying your understanding of and willingness to comply with the Storm Water Pollution Prevention Plan no later than 48 hours prior to commencement of construction. Also, each subcontractor affected by the SWPPP must certify to sign and return to Water Resource Associates, Inc. the NPDES permit and SWPPP. A record of these certifications shall be maintained by the contractor on site.
D. During construction, assure compliance with the designed Storm Water Pollution Prevention Plan prepared by Water Resource Associates and the NPDES Generic Permit for Storm Water Discharge from Large and Small Construction Activities.
E. Maintain a copy of the construction plans, which include the Storm Water Pollution Prevention Plan, the NOT, and all inspection reports and certifications on file.
F. Undertake all reasonable Best Management Practices (BMPs) to assure that silted or otherwise polluted storm water is not allowed to discharge from the site during all phases of construction. Stabilization BMPs that may be used include: straw bale check dams, silt fences, earth dikes, brush barriers, drainage swales, check dams, subsurface ditches, pipe edge ditches, silt spreaders, storm drain inlet protection, outlet protection, sediment traps, and temporary sediment basins. Detention ponds may also be used as temporary sediment basins. Additional BMPs that may need to be implemented include: providing protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials. Providing waste receptacles at convenient locations and providing regular collection of wastes, including building material wastes. Minimizing on-site loading of materials. Making adequate preparations, including training and equipment to contain spills of all hazardous materials. Consulting with applicable state or local waste disposal, sanitary sewer or septic system regulations and the use of appropriate pollution prevention measures for disposable non-storm water components of discharge.
E. Notify Water Resource Associates and the developer in writing of any non-storm water pollution sources which are being stored, or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, other chemicals. This notification should be accompanied with the contractor's design and methods to prevent pollution run-off from these sources.
F. Develop a maintenance and inspection plan which includes, but is not limited to the following:
A. The specific areas to be inspected and maintained that includes all of the disturbed areas and material storage areas of the site.
B. The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls that the contractor deems necessary.
C. Maintenance procedures.
D. The procedure to follow if additional work is required or whom to call.
E. Inspections and maintenance forms.
F. The personnel assigned to each task.
The following shall be inspected a minimum of once a week or within 24 hours after 0.30 inches of rainfall.
Stabilization measures (once a month if fully stabilized).
Structural controls.
Discharge points.
Construction entrances and exits.
Areas used for storage of exposed materials.

An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures shall be taken no later than 7 days after the inspection occurred. If violations to the SWPPP are noted, a report form for changes in the SWPPP shall be completed and a copy sent to Water Resource Associates. The original shall be kept on-site as documentation of the changes. If the inspection passes, a certification that the facility is in compliance with the SWPPP and the permit shall be signed by a duly authorized representative of the principal executive officer of the operator of the SWPPP with one of the following qualifications:

- 1. Has successfully completed the Florida Stormwater, Erosion and Sediment Control Inspector Training Program.
2. Successfully completed a similar training program.
3. Has enough practical on the job training to be qualified to perform the inspections.
Retain inspection reports and certifications for at least three years.

Stabilization measures shall be initiated as soon as practical but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.

H. Releases in Excess of Reportable Quantities.

- 1. The discharge of hazardous substances or of in the stormwater discharges from a facility or facility shall be prevented or minimized in accordance with the applicable stormwater pollution prevention plan for the facility or facility. This permit does not relieve the operator of the reporting requirements of 40 CFR part 117 and 40 CFR part 302. Where a release involving a hazardous substance in amount equal to or in excess of a reporting quantity specified under either 40 CFR 117 or 40 CFR 302, occurs during a 24 hour period:
A. The operator is required to notify the State Warning Point (800-210-0018 or 850-413-9911) as soon as he or she has knowledge of the discharge.
B. The operator shall submit within 14 calendar days of knowledge of the release a written description of the release (including the type and estimated amount of material released), the date that such release occurred, the circumstances leading to the release, and remedial steps to be taken, to the Florida Department of Environmental Protection, NPDES Stormwater Section, Mail Station 2000, 2000 Bob Stone Road, Tallahassee, Florida 32399-2400; and
C. The stormwater pollution prevention plan required under Part V of this permit shall be modified within 14 calendar days of knowledge of the release to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the recurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.
2. This permit does not authorize the discharge of hazardous substances or of resulting from an on-site spill.

Developer

- A. Notify WRA of your intent to commence construction. Sign the Notice of Intent form as operator of the storm water discharge facility and permittee and return to Water Resource Associates, Inc.
B. Sign a Certification of Storm Water Pollution Prevention Plan and return it to Water Resource Associates, Inc.
C. Notify WRA when it is time to submit a Notice of Termination as defined under Part E of the Water Resource Associates section of the SWPPP. Sign and return to Water Resource Associates, Inc. for submission to FDEP a Notice of Termination form and certification.

PRE-DEVELOPED SITE INFORMATION:

- 1. Total project acreage: 2.01 AC.
2. Land use: VACANT
3. Vegetation:
4. Receiving waters or municipal separate storm water system:
5. 24 Hour/24 Hour rainfall depth:
6. Soil types:

PROJECT INFORMATION:

- 1. Project type: RETAIL
2. Anticipated construction sequence is as follows:
a. Complete erosion control installation
b. Clearing and grubbing
c. Earthwork activities
d. Storm water system construction
e. Utility construction
f. Stone and pavement construction
g. Final stabilization
The BMPs listed in Part D of the Contractor section of the SWPPP shall be considered during all phases of construction.
3. Anticipated start date: NOVEMBER 2019
4. Anticipated completion date: MAY 2020
5. Total acres disturbed: 1.80
6. Pre-developed "CN" number: SE
7. Post-developed "CN" number: SE
8. The storm water management system, upon completion and appropriate certification and as-built submittals will be operated and maintained in accordance with the STORM WATER MANAGEMENT PLAN. THROUGHOUT THE PLAN PERIOD, THE OWNER/PERMITEE AGREES TO COMPLY WITH ALL OTHER REGULATIONS CONTAINED WITHIN THE PLANS AS SUBMITTED FOR DISTRICT APPROVAL.

AS REQUIRED UNDER FAC 60D, PART 6, SECTION 3.8(1)(C) THE OWNER/PERMITEE SHALL ASSURE THAT THE STORM WATER MANAGEMENT PLAN AND ALL ATTACHMENTS MEASURED PROPOSED IN THE PLAN ARE EFFECTIVELY MAINTAINED UNTIL THE STORM WATER MANAGEMENT PLAN PERIOD ENDS. THE PERMITS AND THE STORM WATER MANAGEMENT SYSTEM IS OPERATIONAL. THE PLAN INCLUDES THE NOTES THROUGHOUT THE PLAN PERIOD. THE OWNER/PERMITEE AGREES TO COMPLY WITH ALL OTHER REGULATIONS CONTAINED WITHIN THE PLANS AS SUBMITTED FOR DISTRICT APPROVAL.

- 1. The Site Subcontractor shall be responsible for installation and maintenance of all erosion and turbidity controls on the quality and quantity of siltate or sediment discharges.
2. During construction, the Site Subcontractor is responsible for having his dewatering plan and turbidity control plan approved by the applicable reviewing agencies. Refer to the project's permit approval and permit conditions for details regarding such reviews and approvals. Questions concerning appropriate techniques should be addressed to those agencies and/or discussed with the project engineer and owner.
3. The appropriate turbidity and erosion control methodologies selected by the Site Subcontractor for this project should be based on following assessment of the project and project site specific factors and after consultation as needed with the project engineer and appropriate agencies. The Site Subcontractor will be responsible for obtaining any and all necessary permits for such activities, several factors to consider are listed below:
A. Clay content in excavated materials and/or permeability rates
B. Depth of cut in ponds, trenches, or utility lines
C. Ambient ground water levels
D. Initial rainfall amounts and time of year relative to normal rainy seasons
E. Proximity to waterways, water bodies or offsite properties
F. Gens' designation of receiving water bodies (i.e., Outstanding Florida Waters, shallow harvest areas, etc.)
G. Density, type, and proximity of upland vegetation to be retained during construction (for use as possible filtration areas)
H. Fill height relative to natural grade and length and steepness of the proposed slope
I. Existing topography and directions of surface flow
J. Type of equipment used
K. Project type
L. Duration of construction activities
M. Separation distance of eroded ponds
N. Ambient quality of receiving water body
O. Temporary stockpile locations and heights
4. At the onset of construction, the Site Subcontractor, as the party responsible for implementation of the erosion and turbidity control measures, shall assess the above described conditions and factors with respect to relative cut, stockpiles and select the appropriate method of protection. A fully complete list of techniques are enumerated below but it must be stressed that any one or all of the following may be necessary to maintain water quality and sediment control. The construction engineer has determined that such an advance of initiation to provide adequate protection of water quality.
5. Discharges which exceed 0.05% TSS over the background levels are in violation of state water quality standards. Discharges of water quantities which affect: siltate properties or may damage wetlands are also prohibited by regulatory agencies.
6. The erosion and turbidity control measures shown herein are the minimum required for agency approval. Additional control and measures may be required due to site specific conditions, storage sequences & unforeseen weather conditions. Any additional measures deemed necessary by the Site Subcontractor and included in the lump sum bid with no retrofits for materials and labor allowed.
7. Hay bales or silt screens shall be installed prior to land clearing to protect soil quality and to identify areas to be protected from clearing activities and maintained for the duration of the project until all soil is stabilized.
8. Flooding turbidity barriers shall be in place in flowing streams or in open water (like edges prior to initiation of earthwork and mobilized for the duration of the project until all soil is stabilized.
9. No clay material shall be left exposed in any stormwater facility. If clay or earthy clays are encountered during stormwater storage excavation, the Site Subcontractor shall notify the Engineer immediately before proceeding with further excavation. If the Engineer of Record has determined that such soils are non-confining and must be excavated to meet permit and design conditions, excavation shall be undertaken with written authorization from the appropriate governing agency. If soil solids are left exposed at the permitted and designed depth, the Site Subcontractor shall over-excavate the portion bottom and sides to a minimum of 12 inches and backfill with clean sand to help prevent suspension of fine particles in the water column.
10. The installation of temporary erosion control barriers shall be coordinated with the construction of the permanent erosion control features to the extent necessary to ensure effective and continuous control of erosion and water pollution throughout the life of the construction phase.
11. The type of erosion control barriers used shall be covered by the nature of the construction operation and soil types that will be exposed. Silt and clay material may require solid sediment barriers to prevent turbid water discharge, while sandy material may need only silt fences or hay bales to prevent erosion. Flooding turbidity barriers shall generally be used in open water situations. Diversion ditches or swales may be required to prevent turbid stormwater runoff from being discharged to wetlands or other water bodies. It may be necessary to employ a combination of barriers, ditches and other erosion/turbidity control measures if conditions occur.
12. Where pumps are to be used to remove turbid waters from construction areas, the water shall be treated prior to discharge to the wetlands. Treatment methods include, for example, turbid water being pumped into grassed swales or appropriate upland vegetated areas (other than upland preservation area and wetland buffers), sediment basins, or confined by an appropriate enclosure such as turbidity barriers or low berms, and kept beneath until turbidity levels meet State Water Quality Standards.
13. The Permittee shall schedule his operations such that the are unprotected eroded earth exposed at any one time is not larger than the minimum area necessary for efficient construction operation, and the duration of exposed, unprotected construction to the elements shall be as short as practicable. Clearing and grubbing shall be so scheduled and performed such that grading operations can follow immediately thereafter. Grading operations shall be so scheduled and performed that permanent erosion control features can follow immediately thereafter if conditions on the project permit.
14. Water derived from various dewatering methods should be passed through sufficiently wide areas of existing upland vegetation to filter out silt and turbidity. If this is not sufficient, the water shall be retained in previously constructed permanent stormwater ponds or else retained in temporary sedimentation basins until clarity is sufficient to allow for its discharge. Plugging the outlets from completed stormwater ponds may be needed to avoid discharge. However, such situations should be monitored closely to preclude berm failure if water levels rise too high.
15. Water can be transported around the site by the use of internal roads or by pumps and pipes.
16. Sheet flow of newly filled or scraped areas may be controlled or contained by the use of brush barriers, diversion trench intercepter ditches or low berms. This should be done to direct clean areas of siltate sediments out of the work area.
17. Exposed soils shall be stabilized as soon as possible, especially slopes leading to wetlands. Stabilization methods include soil aeration, seeding and mulching or hydroseeding to provide a temporary or permanent grass cover which prevents water runoff, etc., can be employed to provide vegetative cover.
18. Energy dissipaters (such as rip rap, a gravel bed, hay bales, etc.) shall be installed at the discharge points of stormwater ponds or other structures.
19. Attempt to install roadway curb and gutters as soon as possible to reduce the surface area for erosion to occur.
20. Implement storm drain inlet protection (hay bales or gravel) to limit sedimentation within the stormwater system. Perform inspections one periodic cleaning of sediments which wash out into the streets until all soil is stabilized.

- 21. Water discharge velocities from impounded areas and temporary sedimentation basins shall be restricted to avoid scouring in receiving areas.
22. If water clarity does not reduce to siltate standards rapidly enough in holding ponds, it may be possible to use chemical agents such as alum to flocculate or coagulate the sediment particles.
23. Hay bales, silt screens, or gravel beds can be added around the pipe or swale discharge points to help clarify discharges. Spreader wheels may help disperse cloudy water prior to contact with wetlands.
24. All fuel storage areas or other hazardous storage areas shall conform to completed state or federal criteria for such containment areas.
25. Fuel or equipment wetlands areas will be sufficiently removed from wetlands or offsite areas.
26. Volatile dust controls (primarily by using water spray trucks) shall be employed as needed to control windborne emissions.
27. If the above controls remain ineffective in precluding release of turbid water, especially during pond or utility line dewatering, then the well points or sump drains to withdraw groundwater which may already be clear enough to allow for direct discharge to wetlands.
28. Ongoing inspections and periodic maintenance by the Site Subcontractor shall occur throughout construction as necessary to insure the above methods are working properly. This may be needed daily, if conditions so warrant. Site Subcontractors are encouraged to select and thoroughly review the Florida Department Manual: A Guide to Sound Land and Water Management, which was developed by the State of Florida Department of Environmental Protection in 1988. This provides forty 8-inch chapters of recommended techniques and also provides specific design and technical standards. A copy of this document is available for review at Water Resource Associates, Inc.
29. Fill stockpiles are to be located outside of all surface water lines and buffer lines shown on the plan to be saved. Fill stockpiles must be self-contained. In that erosion control measures such as silt fences and/or hay bales must be installed and maintained around each stockpile to prevent sediment runoff beyond the limits of construction.

Pond/Lake Excavation Note: No excavation shall exceed below the permitted design depth/width/length shown on the drawings, unless additional testing supports otherwise; and no lower semi-confined unit clay or no limestone materials shall be excavated, regardless if these materials are encountered within the permitted excavation depth/width/length. If any lower semi-confined unit clay or limestone materials are encountered above the permitted depth/width/length, then excavation operations shall cease in the general area and the Engineer of Record shall be notified immediately.



EROSION CONTROL NOTES:

- 1. All erosion control features shall be installed and maintained in accordance with the design and construction specifications.
2. All erosion control features shall be inspected and maintained at least once a week or within 24 hours after 0.30 inches of rainfall.
3. All erosion control features shall be inspected and maintained at least once a month if fully stabilized.
4. All erosion control features shall be inspected and maintained at least once a week or within 24 hours after 0.30 inches of rainfall.
5. All erosion control features shall be inspected and maintained at least once a month if fully stabilized.

EROSION CONTROL DETAIL

NON-STORMWATER DISCHARGE:

Allowable (Potential) Non-Stormwater Discharges at the site: Waterline Flushing, Dust Control Water, External Building Washdown where no detergents are used, etc.
Prohibited Non-Stormwater Discharges at the site: Discharges from Dewatering, Vehicle washing with detergents, etc.

RESPONSIBILITIES:

The Contractor(s) and/or Sub-Contractor(s) shall implement this Stormwater Pollution Prevention Plan:
7. CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:

7. CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY OBTAIN AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) SIGNATURE:



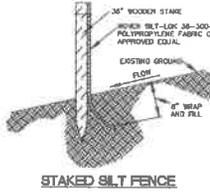
Vertical sidebar containing project information and contact details. Includes 'STORM WATER POLLUTION PREVENTION PLAN', 'DIXIE HIGHWAY COMMERCIAL DEVELOPMENT', 'ISSUED FOR PERMITTING', 'NAVIG', 'DATE: 11/26/19', 'SCALE: AS SHOWN', 'DRAWN BY: J. B. BROWN', 'CHECKED BY: J. B. BROWN', 'APPROVED BY: J. B. BROWN', 'PROJECT NO.: 19-001', 'SHEET NO.: 1 OF 1', 'DATE: 11/26/19', 'SCALE: AS SHOWN', 'DRAWN BY: J. B. BROWN', 'CHECKED BY: J. B. BROWN', 'APPROVED BY: J. B. BROWN', 'PROJECT NO.: 19-001', 'SHEET NO.: 1 OF 1'. Also includes a 'REVISIONS' table with columns for 'NO.', 'DATE', 'DESCRIPTION', and 'BY'. The table is currently empty. At the bottom, it says 'DATE: 11/26/19' and 'SCALE: AS SHOWN'.





**EROSION CONTROL NOTES:**

- TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT SCREENS OR INLET CURB CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SLITATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES ON ONE-HALF OF THE CORN OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL. IMMEDIATELY STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
- CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT TO A MINIMUM AT OUTFALL LOCATIONS WHICH DISCHARGE TO EXISTING JURISDICTIONAL AREAS. FLOATING OR STAKED TURBIDITY BARRIERS MAY BE USED IN LIEU OF STAKED HAYBALES/SILT SCREENS WHERE WARRANTED.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN-PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
- CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 101-4 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS.
  - JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
- SILT SCREENS MAY ALSO REPRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE ERECTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, GARDEN AREAS AND ANY OTHER AREAS SHOWN AS PRESERVED OR PROTECTED FROM CONSTRUCTION ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS/SILT SCREENS SHALL BE CAUSE FOR PUNITIVE FINANCIAL PENALTIES. FINANCIAL PENALTIES (PUNITIVE AND REGULATORY), CONSULTING FEES AND ESTIMATED COST OF RESTORATION WILL BE DEDUCTED FROM SUBSEQUENT PAYMENT REQUESTS.



STAKED SILT FENCE

2 STAKED SILT FENCE N.T.S.

**Exhibit B-6**

SECURELY FASTEN FENCE MATERIAL TO BOTH STAKES WITH WIRE TIES OR OTHER FASTENERS (TYPICAL IN 3' EVENLY SPACED VERTICAL LOCATIONS)



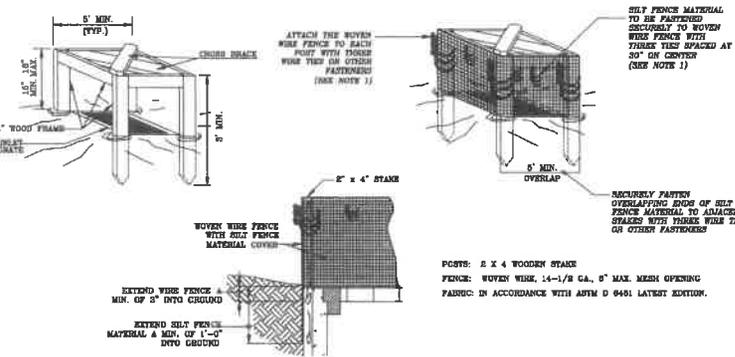
PLACE THE END POST OF THE SECOND FENCE BEFORE THE END POST OF THE FIRST FENCE



ROTATE BOTH POST AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL



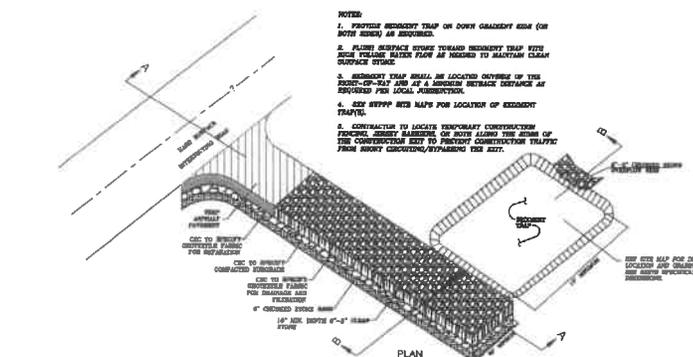
2A ATTACHING 2 SILT FENCES N.T.S.



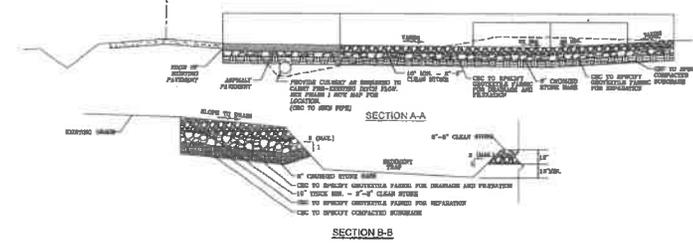
- ATTACH THE WOVEN WIRE FENCE TO EACH FENCE GIOTTOLETTA TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH THE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
- WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS. MAINTENANCE CLEARANCE MUST BE COMPLETED REGULARLY TO PREVENT ACCUMULATED SEDIMENT FROM PRELACING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
- ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

4 TYPICAL SILT FENCE INLET PROTECTION N.T.S.

- NOTES:**
- PROVIDE SEDIMENT TRAP OR DOWN GRADIENT EDGE (OR BOTH) BEHIND AND DOWNSTREAM.
  - FLUSH SANDSACKS TOWARD SEDIMENT TRAP WITH SOME FLOWING WATER FLOW AS NEEDED TO MAINTAIN CLEAR SANDSACK STRUCTURE.
  - SEDIMENT TRAP SHALL BE LOCATED DOWNSTREAM OF THE DOWN-GRADIENT END AS A MINIMUM RETRAKE DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
  - SEE SHEET #123 FOR LOCATION OF SEDIMENT TRAP.
  - CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION PERIOD TURBIDITY BARRIERS OR NOTS ALONG THE CORN OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION TRAFFIC FROM BLOCKING CURBWAYS/STAIRWAYS THE EASY.



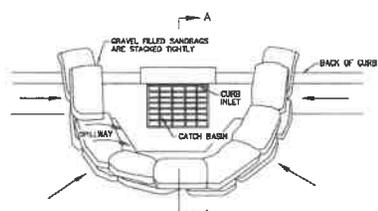
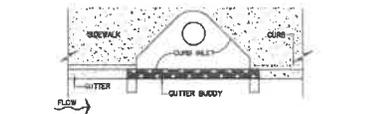
PLAN



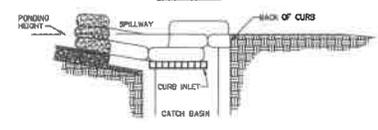
SECTION A-A

SECTION B-B

1 TYPICAL CONSTRUCTION ACCESS N.T.S.



PLAN VIEW



SECTION A-A

- NOTES:**
- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
  - SANDSACKS OF OTHER BURLAP OR WOVEN COTTON/CELLULOSE FABRIC ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
  - LEAVE ONE SANDSACK GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
  - INSPECT BARRIERS AND REMOVE SEDIMENT AS NECESSARY. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

3 TYPICAL CURB INLET PROTECTION DETAILS N.T.S.

NO.	DATE	BY	DESCRIPTION

Engineering - Environmental  
Water Resource - Survey  
4200 W. Lough Ave.  
Tampa, Florida 33629  
www.wra.com  
Phone: 813.262.3130 FAX: 813.271.9712

**WRA**  
EROSION CONTROL  
DETAILS

DIXIE HIGHWAY  
COMMERCIAL  
DEVELOPMENT  
ISSUED FOR PERMITTING

ANTHONY CANTO  
LICENSE  
NO. 07540  
10/16/99  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

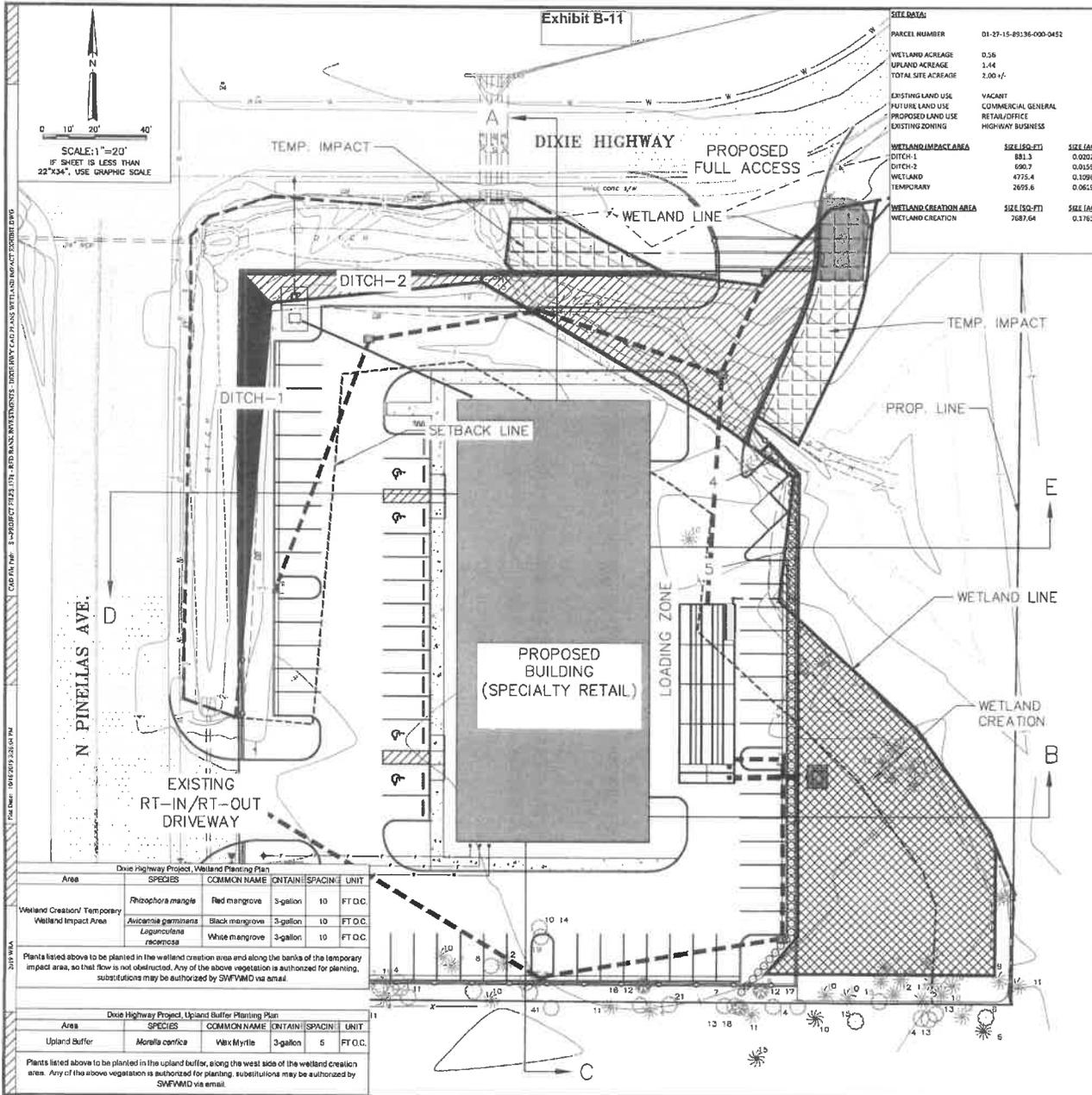
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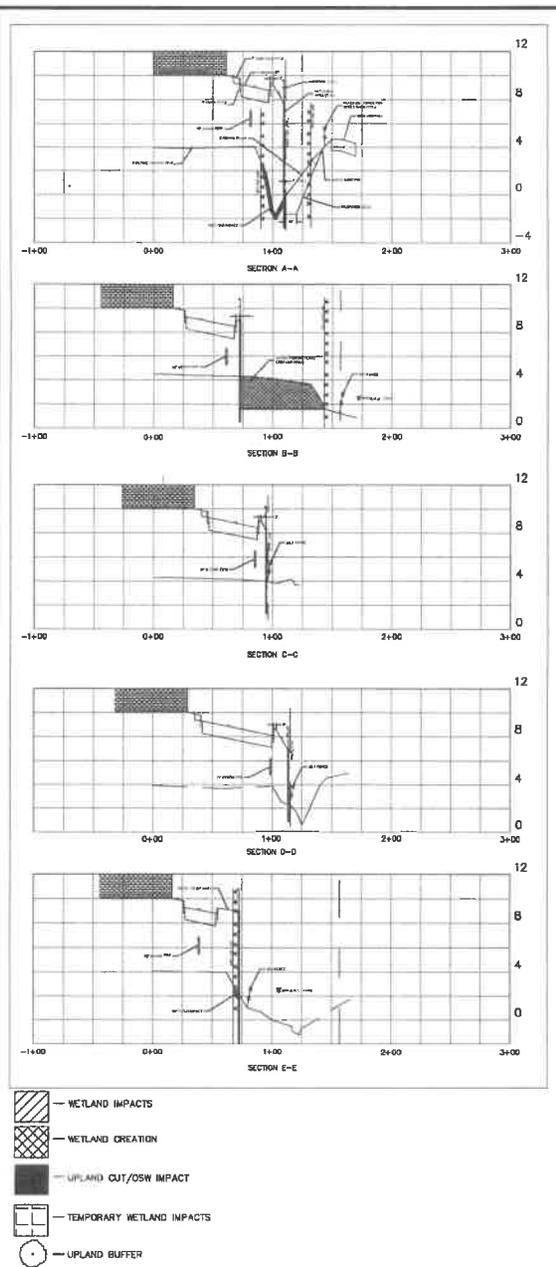






**SITE DATA**

PARCEL NUMBER	01-27-15-83136-000-0452	
WETLAND ACREAGE	0.56	
UPLAND ACREAGE	1.44	
TOTAL SITE ACREAGE	2.00 +/-	
EXISTING LAND USE	VACANT	
FUTURE LAND USE	COMMERCIAL GENERAL RETAIL/OFFICE	
PROPOSED LAND USE	HIGHWAY BUSINESS	
EXISTING ZONING		
<b>WETLAND IMPACT AREA</b>	<b>SIZE (SQ-FT)</b>	<b>SIZE (AC)</b>
DITCH-1	881.3	0.0202
DITCH-2	690.7	0.0159
WETLAND TEMPORARY	4735.4	0.1096
	2655.6	0.0619
<b>WETLAND CREATION AREA</b>	<b>SIZE (SQ-FT)</b>	<b>SIZE (AC)</b>
WETLAND CREATION	7087.64	0.1765



**Dixie Highway Project, Wetland Planting Plan**

Area	SPECIES	COMMON NAME	CONTAIN	SPACING	UNIT
Wetland Creation/ Temporary	<i>Rhizophora mangle</i>	Red mangrove	3-gallon	10	FT.O.C.
Wetland Impact Area	<i>Avicennia germinans</i>	Black mangrove	3-gallon	10	FT.O.C.
	<i>Laguncularia racemosa</i>	White mangrove	3-gallon	10	FT.O.C.

Plants listed above to be planted in the wetland creation area and along the banks of the temporary impact area, so that flow is not obstructed. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.

**Dixie Highway Project, Upland Buffer Planting Plan**

Area	SPECIES	COMMON NAME	CONTAIN	SPACING	UNIT
Upland Buffer	<i>Morrellia cerifera</i>	Wax Myrtle	3-gallon	5	FT.O.C.

Plants listed above to be planted in the upland buffer, along the west side of the wetland creation area. Any of the above vegetation is authorized for planting, substitutions may be authorized by SWFWMD via email.

**REVISIONS**

NO.	DATE	DESCRIPTION

**Engineering ~ Environmental Water Resource ~ Survey**  
 4200 W. Lusk Rd. Suite 100  
 Tampa, Florida 33629  
 www.wra-engineering.com  
 Phone: 813.263.1130 Fax: 813.271.9721

**WRA**

**WETLAND IMPACT AND MITIGATION PLAN**

**DIXIE HIGHWAY COMMERCIAL DEVELOPMENT**

ISSUED FOR: PERMITTING

**JACOB ANTHONY CLAUDIO**  
 LICENSE NO. 67845  
 12/16/19  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

Date: \_\_\_\_\_

**C-005**



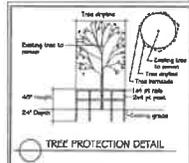
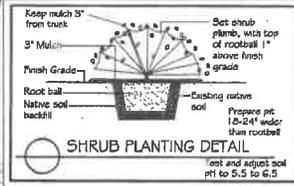
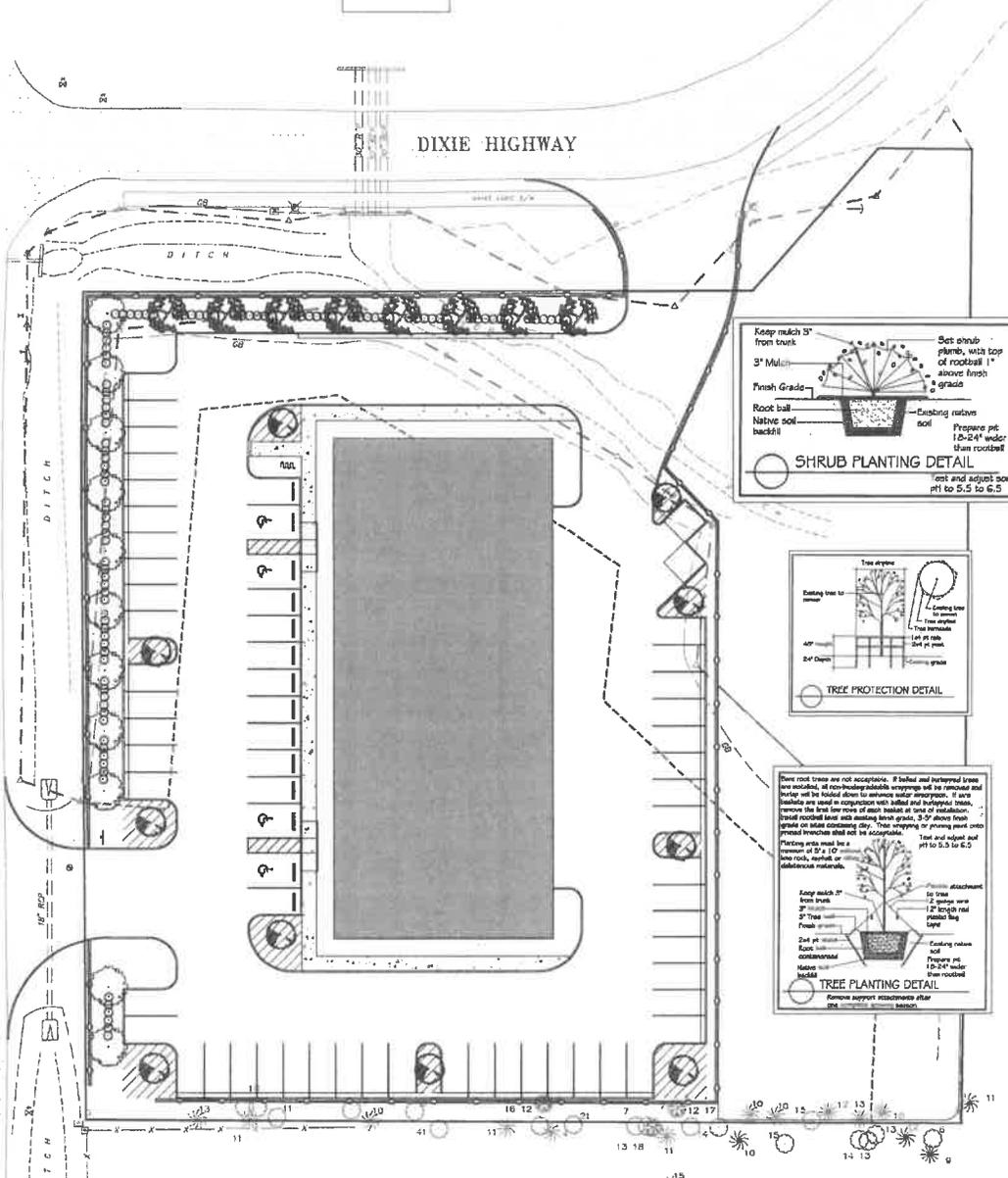
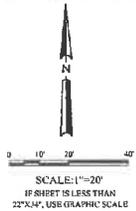




Exhibit B-15

DIXIE HIGHWAY

N PINELLAS AVE.



- IRRIGATION SYSTEM REQUIREMENTS**
1. Shallow wells, open surface water bodies, or reclaimed water must be used as a source of irrigation water. The distribution system for irrigation must not be connected to county or municipal water sources, unless it can be demonstrated that those sources are not available.
  2. Irrigation systems must utilize low volume designs such as low trajectory heads or soaker hoses to provide direct application and low evaporation. Systems that overirrigate areas that do not require irrigation, such as paved areas will not be acceptable. High emitter head areas must not overirrigate low need areas.
  3. High water demand landscape areas such as turf must be served by a separate irrigation zone than low water need areas, such as planter beds, or mulched areas with trees. In no case, shall any planted vegetation area be more than 50' from a water supply hose bib.
  4. Automatic irrigation systems must operate by an irrigation controller capable of differentiating between schedules of high and low water demands areas. Controllers must have multiple cycle start capacity and a flexible scheduling program able to be set to comply with local or water management district imposed restrictions.
  5. Automatic irrigation systems must be equipped with a rain sensor device or switch which will override the irrigation cycle of the sprinkler system when appropriate rainfall has occurred.
  6. For the new Florida Building Code, all irrigation lines and heads must be maintained at a minimum distance of one foot away from all structures.

**LANDSCAPE NOTES:**

All trees shall be grade Florida #1 or better, in a 15 gallon pot, and have a minimum 1 and 1/2 inch diameter measured 12 inches above ground, with a minimum crown of 2 feet and minimum height of 6 feet upon planting.

All shrubs shall have a minimum height of 24 inches and minimum 12 inch spread with a 3 gallon pot size upon planting, being grade Florida #1 or better. Hedges, where required, shall form a continuous, unbroken, solid visual screen within 1 year of planting, being maintained thereafter to specification.

The property owner shall be solely responsible for the continued maintenance of all landscape areas in accordance with the approved site plan so as to present a healthy, neat, and orderly appearance, and all landscaped areas are to be kept free from refuse and debris. For required landscape areas which die from lack of maintenance, disease, or other natural occurrence, the City Staff shall require re-landscaping. This shall be applicable to all required landscaping, whether installed under the terms of this Code or a previous ordinance.

No Final Certificate of Occupancy shall be issued until all required landscaping is installed in accordance with the approved plan.

- TREE PLANTING REQUIREMENTS:**
- LOT SIZE: 87,646SF  
 8 TREES REQUIRED FOR FIRST 15,000SF; ONE TREE REQUIRED FOR EACH ADDITIONAL 2,000SF  
 87,646SF-15,000SF = 72,646SF / 2,000SF = 36 TREES  
 26 TREES + 8 TREES = 44 TREES  
 44 TREES - 15 EXISTING TREES TO BE RETAINED ON SITE = 29 TREES

29 TREES REQUIRED  
 29 TREES PROVIDED (SEE PLANTING SCHEDULE BELOW)

**PLANTING SCHEDULE**

SYMBOL	NAME	QT	SIZE	HT
IA	Ilex x Atenuata East Palatka Holly	10	1.5" cal	6'
JS	Juniperus Silicicola Southern Red Cedar	8	1.5" cal	6'
NV	Magnolia Virginiana L. Sweet Bay Magnolia	11	1.5" cal	6'
VA	Viburnum Awabuki Sweet Viburnum	102	3 GAL	24"

**INTERIOR LANDSCAPING REQUIREMENTS:**

INTERIOR LANDSCAPE AREA - 2,004 SF (PROVIDED)  
 63 PARKING SPACES / 5 x 100 = 1,260 SF (REQUIRED)

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Engineering ~ Environmental  
 Water Resource ~ Survey  
 WRA  
 4200 W. Lakemead Ave.  
 Tampa, Florida 33618  
 www.wraenvironmental.com  
 Phone 813.263.1100 Fax 813.275.9721



LANDSCAPE PLAN

DIXIE HIGHWAY  
 COMMERCIAL  
 DEVELOPMENT



ISSUED FOR: PERMITTING  
 DATE: 11/11/11  
 DRAWN BY: JAD  
 CHECKED BY: JAD  
 SCALE: AS SHOWN  
 NAVD  
 C-009

**RESOLUTION NUMBER  
REQUEST FORM**

**TO:** Irene Jacobs  
**FROM:** Patricia L. McNeese, AICP  
**SUBJECT:** Request for Resolution Number

**RESOLUTION # 2019-XX**

Type title in the space provided below, or attach a copy of the titled ordinance.

**A RESOLUTION OF THE CITY OF TARPON SPRINGS, FLORIDA, APPROVING APPLICATION #19-63 REQUESTING SITE PLAN APPROVAL FOR RED BANK INVESTMENTS, LLC, TO CONSTRUCT A SPECIALTY RETAIL BUILDING OF 12,750 SQUARE FEET OF GROSS FLOOR AREA ON 2.01 ACRES (MORE OR LESS) LOCATED AT 1372 NORTH PINELLAS AVENUE ON THE SOUTHEAST CORNER OF NORTH PINELLAS AVENUE AND DIXIE HIGHWAY IN THE HIGHWAY BUSINESS (HB) ZONING DISTRICT; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**P&Z BOARD MEETING DATE: November 18, 2019  
BOC DATE/READING: December 3, 2019  
OTHER COMMENTS:**

*Patricia L. McNeese* \_\_\_\_\_  
**Signature**

**P&Z** \_\_\_\_\_  
**Department**

**10/31/2019** \_\_\_\_\_  
**Date**