



City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT
324 EAST PINE STREET
P.O. BOX 5004
TARPON SPRINGS, FLORIDA 34688-5004
(727) 942-5611
FAX (727) 943-4651

**TECHNICAL REVIEW COMMITTEE (TRC) AGENDA
THURSDAY, APRIL 1, 2021
CITY AUDITORIUM
324 EAST PINE STREET, TARPON SPRINGS, FLORIDA**

TO:

Karen Lemmons, Economic Dev. Manager	Tom Funcheon, Public Works Director
Pat McNeese, Principal Planner	Anthony Mannello, Streets & Stormwater Sup.
Renea Vincent, Planning & Zoning Director	Bob Robertson, Project Admin. Director
Kevin Powell, Building Development	Paul Smith, Public Services Director
David Gilson, Building Development	Nick Makris, Projects Supervisor
Shannon Brewer, Horticulturalist	Jevon Miller, Project Administration Department
Lisa Godwin, Building Development	Ray Page, Public Services
Anthony Boone, Police Department	Francisco Pavez, Public Services
Sargent Robert Faugno, Police Department	Judy Staley, Research & Information Officer
Captain Rick Kinney, Fire Rescue	Trish Hickey, Executive Secretary
Officer Steve Gassen, Code Enforcement	Megan Araya, Floodplain Coordinator

FROM: Kimberly Yothers, Planning and Zoning Coordinator

NOTE: Pursuant to current City protocols, we will meet in the City Auditorium. Please send comments via email to pmcneese@ctsfl.us; kyothers@ctsfl.us

DATE: 3/23/2021

1) PREVIOUSLY HEARD APPLICATIONS

- a) 20-150 - GEMINI STORAGE - SITE PLAN REVIEW - NW CORNER OF SAFFORD AVENUE AND MERES BLVD

2) NEW APPLICATIONS

- a) 21-37 – TIEGUYS - TEMPORARY USE FOR CONSTRUCTION TRAILER - 338 E LEMON STREET
- b) 21-26 - FLAGSHIP BANK - SITE PLAN REVIEW - SE CORNER OF MERES BLVD AND PINELLAS AVE
- c) 21-32 - FERMAN VOLVO - MINOR SITE PLAN - 43520 US HIGHWAY 19 N
- d) 21-33 - MARC ANTONIO - MINOR SITE PLAN - 428 N PINELLAS AVE
- e) 21-34 - LIVE EDGE SLABS - REZONING AND LUA - 526 E LEMON STREET
- f) 21-35 - ELSTEPHMAR LLC - CONDITIONAL USE FOR TOURIST HOME - 12 W ORANGE STREET

3) VARIANCES

- a) 21-30 - NANCY S. WHITE - VARIANCE TO FRONT SETBACK FOR POOL - 533 DORIC COURT
- b) 21-36 – GIANESKIS - NON-CONFORMING LOT AND SETBACK VARIANCE - CENTER LOT ON WHITCOMB BLVD BETWEEN CAROLINA AND BAYOU AVE

4) DISCUSSION ITEMS

- a) 21-28 - TARPON SPRINGS PLAZA - DISCUSSION ITEM - 41522 US HWY 19 N
- b) 21-31 - City of Tarpon Springs - Discussion Item for Pickle Ball Court - 530 E Live Oak Blvd
- c) 21-37 - Leslie Hale Ministries - Discussion Item - 1355 Rainville Road

All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611.

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **20-150 - GEMINI STORAGE - NW CORNER OF SAFFORD AVENUE
AND MERES BLVD**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Mark Moen of Breeze Treasures, LLC		Email markmoen@protonmail.com	
Address 1716 Eagle Trace Blvd. W.			
City Coral Springs		State FL	Zip 33071
Phone (954) 821-4353	Fax		Cellular

Applicant

Name Mark Moen of Breeze Treasures, LLC		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

Agent (if applicable)

Name		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

General Information

Project Name Gemini Storage
Property Location or Address NE corner of Safford and Meres
Legal Description (attach additional sheets as necessary) See survey provided
Tax Parcel Number(s) 13-24-15-21348-0131 and -0132

Existing Land Use & Zoning Information

Present Designations of Property		Current Use of Property
Land Use Category	Zoning District	
		Vacant

Site Acreage:

Upland 1.23 Wetland .33 Submerged _____ TOTAL 1.56

Flood Information: [please check all that apply]

Zone X Zone X Shaded Zone AE Zone VE

Base Flood Elevation (BFE): [please list all elevations] 10

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Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	GPD	GPD	GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis / Review by Engineering Division		
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day
 TPD = trips per day

The following MUST be furnished with this application: [incomplete applications will not be accepted]

Completed original application with digital copies of all application documents

Application fee (based on site acreage)

- 0 – 5 acres; \$ 500.00
- 5.01 – 10 acres; \$ 750.00
- 10.01 – 15 acres; \$1,000.00
- 15.01 – 20 acres; \$1,500.00
- 20.01 acres or more; \$2,000.00

Proof of ownership (warranty deed, title certification, etc.)

Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC

Traffic Impact Study, if required by Section 122.11, LDC

Endangered/Threatened Species Study, if required by Section 144.00, LDC

Acknowledge compliance with the City's Public Art Ordinance (see criteria below)

Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)

Five (5) complete sets of plans including all the following items.

- A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
- B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
 1. All required information shall be submitted on standard sheets (24" x 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

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5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
8. Existing contours and proposed grades at one foot intervals.
9. Flood zone and required first floor elevation(s).
10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
12. Lot dimensions including curve data.
13. Proposed setback dimensions.
14. Gross floor area by type for non-residential uses.
15. Gross density for residential uses and number and types of units.
16. The proposed architectural elevations and floor plans with accurate dimensions.
17. Proposed private and public streets with right-of-way dimensions.
18. Proposed phasing plan by anticipated commencement and completion date.
19. Dumpster location and screening.
20. Required parking calculations (parking provided and required).
21. Size and location of required loading zones.
22. Required (proposed) sidewalks and internal walkways.
23. Driveways and access improvements.
24. Location and type of site lighting including pole height and fixture type.
25. Description of the maintenance of common facilities for residential projects.
26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

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water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

1. Projects with an aggregate job value under \$1,000,000.00.

2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

APPLICANT'S AKNOWLEDGEMENT:

Type of Public Art Activity [please initial only one]

_____ This project is exempt from the Public Art Program requirements.

Please state exemption: _____

_____ I will contract with a professional artist to create a permanent, public artwork as part of the development.

_____ In lieu of an on-site project, I will contribute .75 percent of the aggregate job value* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

**Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.*

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

(A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.

(B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.

(C) Design Requirements for all non-residential site plans.

1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

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- c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.
 - d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.
 - e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.
2. Sidewalks and private frontages (the area between the building and right- of-way)
- a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.
3. Landscaping
- a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.
4. Elevation of buildings
- a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.
5. Pedestrian promenades on waterfront lots
- a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.
6. All site plans and building plans shall adhere to the additional building design requirements set out below;
- a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.
 - b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.
 - c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.
 - d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.
 - e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

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- f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.
- g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.
- h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.
- i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.
- j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.
- k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

- a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.
- b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.
- c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.
- d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.
- e. Multiple connections shall be required between the structure and the public right-of-way.
- f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

(D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.



March 10, 2021

Ms. Patricia L. McNeese, AICP
Principal Planner
City of Tarpon Springs
324 East Pine Street
P.O. Box 5004
Tarpon Springs, FL 34688-5004

Re: **Gemini Storage**
Application 20-150

Dear Ms. McNeese:

This letter is in response to the Technical Review Comments dated December 11, 2020 and your clarification letter dated January 22, 2021. My responses are as follows:

PLANNING & ZONING REVIEW COMMENTS

1. The revised plans depict a 6' chain link fence with 3 strand barbed wire on top of the fence. Vines will be added along Safford, and wetland buffer plants will be installed along the south side of the parking area. These measures will preclude the need to buffer the storage spaces with a canopy structure.
2. There is insufficient space to provide wetland mitigation onsite. Refer to the attached updated environmental narrative on the mitigation approach.
3. The Facilities Impact Table has been added to the right side of plan Sheet 2.
4. Refer to the attached soils report. The last paragraph on Page 3 of the soils report states "The existing ground surface was very hard and hand augering was very difficult. We have employed a pickaxe and a core drill machine in order to evaluate the subsurface soils/debris." The surficial soils are virtually impervious, durable, and provide an all-weather surface. The site was used by previous owners for storage of semi-trailers, and the existing surface is strong enough to support fire trucks. Asphalt pavement is not necessary for the intended use. The proposed storage parking use should not require treatment nor attenuation.
5. Attached is the updated Operations Narrative. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.
6. The internal drives have been revised to improve the site circulation. The driveway onto Safford Avenue will support fire trucks. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.

7. The city code for mini warehouses requires 1 parking space per 10 units plus 2 parking spaces for the office. Based on this standard, this project would have to provide 9 parking spaces, compared to the 3 proposed parking spaces shown on the site plan. Based on the developer's experience in the boat and RV storage market, 3 parking spaces are more than adequate.
8. See Response Number 4 above.
9. Chains laid on the ground, posts, and wheel stops will be used to delineate the storage spaces. Curb is not necessary.
10. Curbside pick-up using a 60 gallon trash can will be used for solid waste removal.
11. The spaces have been adjusted in the southwest corner of the site as requested. SWFWMD allow a minimum 15' setback line with an average 25' setback line; the project complies with this criteria.
12. The buffer has been adjusted, and the plant specifications are on plan Sheet 4.
13. The revised plans depict a 6' chain link fence with 3 strand barbed wire on top of the fence. Vines will be added along Safford, and wetland buffer plants will be installed along the south side of the parking area.
14. The onsite light fixture at the Safford entrance will match the city preferred fixtures for this area. However, the light pole will be wooden since wooden poles are more durable than the city preferred light poles and since the pole will not be readily visible from the surrounding streets.
15. There are now two proposed hose bibbs, which will be within locked enclosures.
16. One stop sign will be required at the Safford entrance.
17. The developer will negotiate the agreement to maintain the driveway and storm sewer through the city's pond tract.
18. Pinellas County has issued an intent to approve the road connection and water connection at Safford Avenue. I will complete the permitting process soon with the county.
19. The developer is willing to grant the conservation easement to the city, and to negotiate on the removal of any Brazilian Pepper.
20. The developer will soon provide the documentation that the total project cost does not exceed \$1 million, obviate the Public Art requirement.

FIRE DEPARTMENT

1. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.

PUBLIC SERVICES

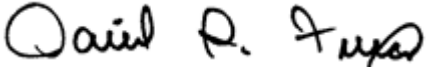
1. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.
2. The Facilities Impact Table has been added to the right side of plan Sheet 2.
3. No temporary water nor sewer connections are proposed.
4. The plans demonstrate compliance with the city utility specifications and code.
5. The Utility Availability Statement has been approved by the city.
6. The developer will negotiate the agreement to maintain the driveway and storm sewer through the city's pond tract.
7. The plans now depict the irrigation system.

Attached are 5 sets of revised site construction plans, soils report, Utility Availability Statement, and Operations Narrative.

I trust you can now issue the construction permit.

Sincerely,

FUXAN ENGINEERING, INC.

A handwritten signature in black ink that reads "David G. Fuxan". The signature is written in a cursive style with a large initial 'D' and a stylized 'F'.

David G. Fuxan, PE
President

Encls.

OPERATION NARRATIVE

The storage spaces will be delineated by a combination of chains laid on the ground and posts with numbered designation for each space. A number spot will be assigned to each customer. Drop off and pick up will be the only allowed activity on the property.

The irregular storage spaces will be used for small boats or small RV's.

Locked enclosures will be installed to keep unauthorized use of the two hose bibbs.

Cameras will be mounted on poles at the entrance to record all activity on the lot.

The storage facility will be a drop off and pick up only storage area. There will be a code provided to those who contract to store their boats and RV's to open an automated gate with an SOS emergency vehicle sensor.

Thomas Rice will be available daily to manage the facility, to greet new customers and to assign them their space. Thomas Rice lives 3 minutes from the property and will be reachable by phone.

The sole access will be from Safford Avenue, which will include a gate with lock box for emergency vehicles.

CITY OF TARPON SPRINGS, FLORIDA
Utility Availability Statement

Please complete this form for confirmation from the City if public utilities such as potable water, sanitary sewer or reclaimed water are available at a specific parcel or property. Please complete Sections A and B of this form and return to the email address provided. Attach a survey of the property if it is available. **RESPONSES WILL BE TRANSMITTED VIA EMAIL ONLY** to the email provided.

Please print clearly or type

A. Applicant

Name David Fuxan	Phone 813-244-6194	Email dfuxan@fuxaneng.com
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B. Subject Property

Street address (if available)	Parcel # 13-27-15-21348-005-0131	City Limits <input checked="" type="checkbox"/> Inside <input type="checkbox"/> Outside
Utility Service Availability Requested [check all that apply]		
<input checked="" type="checkbox"/> Potable Water	<input checked="" type="checkbox"/> Sanitary Sewer	<input type="checkbox"/> Reclaimed Water <input type="checkbox"/> Irrigation (using potable water)
<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> Commercial	Service Line Requested: 3/4" <input type="checkbox"/> * 1" <input type="checkbox"/> 2" or larger <input checked="" type="checkbox"/>

*note: most single family residential properties are served by a 3/4" service line.

To Be Completed By the City

Utilities Availability: It has been determined that the following public utility service(s) are available through the City of Tarpon Springs for the property described above subject to the following: [check all that apply]

- Potable Water Service** Yes* No is property served by master meter?
- Sanitary Sewer Service** Yes* No
- Reclaimed (Effluent) Water Service** Yes* No

*If utilities are determined to be available by the City, certain fees and charges will apply as a condition for obtaining service. These fees and charges are outlined in the City Code of Ordinances, **Chapter 20 – Water and Sewers**.

Property in City Limits – property owners requesting or required to have either water or sewer service from the City of Tarpon Springs public sewer system or public water system will be provided such services conditioned upon and subsequent to compliance with Section 20-23 of the Tarpon Springs Code of Ordinances (Ordinance 2006-03), which requires annexation. ***If your property is not currently in City limits, please see the Planning and Zoning Department for a determination of the applicable required steps.***

If irrigation or reclaimed water service is available and you wish to connect please contact the Utility Billing Division at 727-942-5609. You will be required to provide this completed form to Utility Billing.

Remarks:

Potable water and sanitary sewer are NOT available for direct connections. Please see the City Ordinances below. The owner will need to extend the services to the property.

§ 136.01 - Potable water (A) The issuance of all development orders where the site is within 1/4 mile of an adequately sized potable water distribution line shall require connection to the public water supply. **§ 136.02 - Sanitary sewer (B)** The issuance of all development orders where the site is within 300 feet of a public sewer line shall require connection to the public sanitary sewer system. The distance shall be measured by following the most direct route along an easement or public right-of-way from the closest point of the property to the point of connection to the public sewer line.

Prepared by:

Public Services Department, Water Conveyance Division
 Department

2/18/21

Date

13-27-15-21348-005-0131



Date: 2/17/2021
Created By: City of Tarpon Springs GIS

Users are strongly encouraged to field-verify asset locations and attributes

Legend

- Reclaimed Water Pressure Mains
- Wastewater Gravity Mains
- + Potable Water Fittings
- Potable Water Mains
- Wastewater Manholes
- Wastewater Pressure Mains
- Potable Water System Valves
- Tarpon Springs EMS Grids

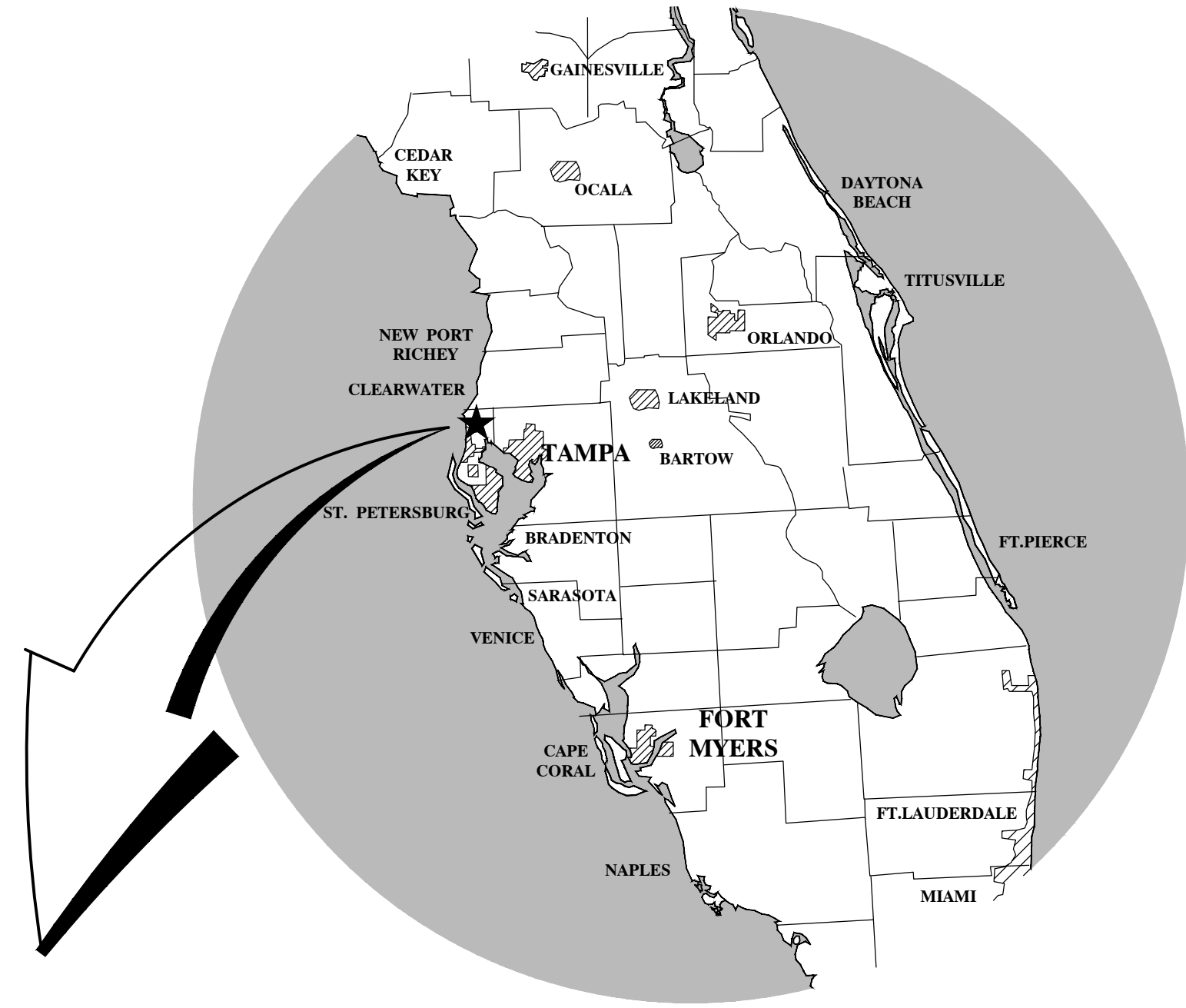
Heather Freundel

From: David Fuxan <noreply@jotform.com>
Sent: Saturday, February 13, 2021 3:59 PM
To: Judy Staley; Heather Freundel; Howard Matthews
Subject: Re: Utility Availability Statement

External Email - Use caution with links and attachments

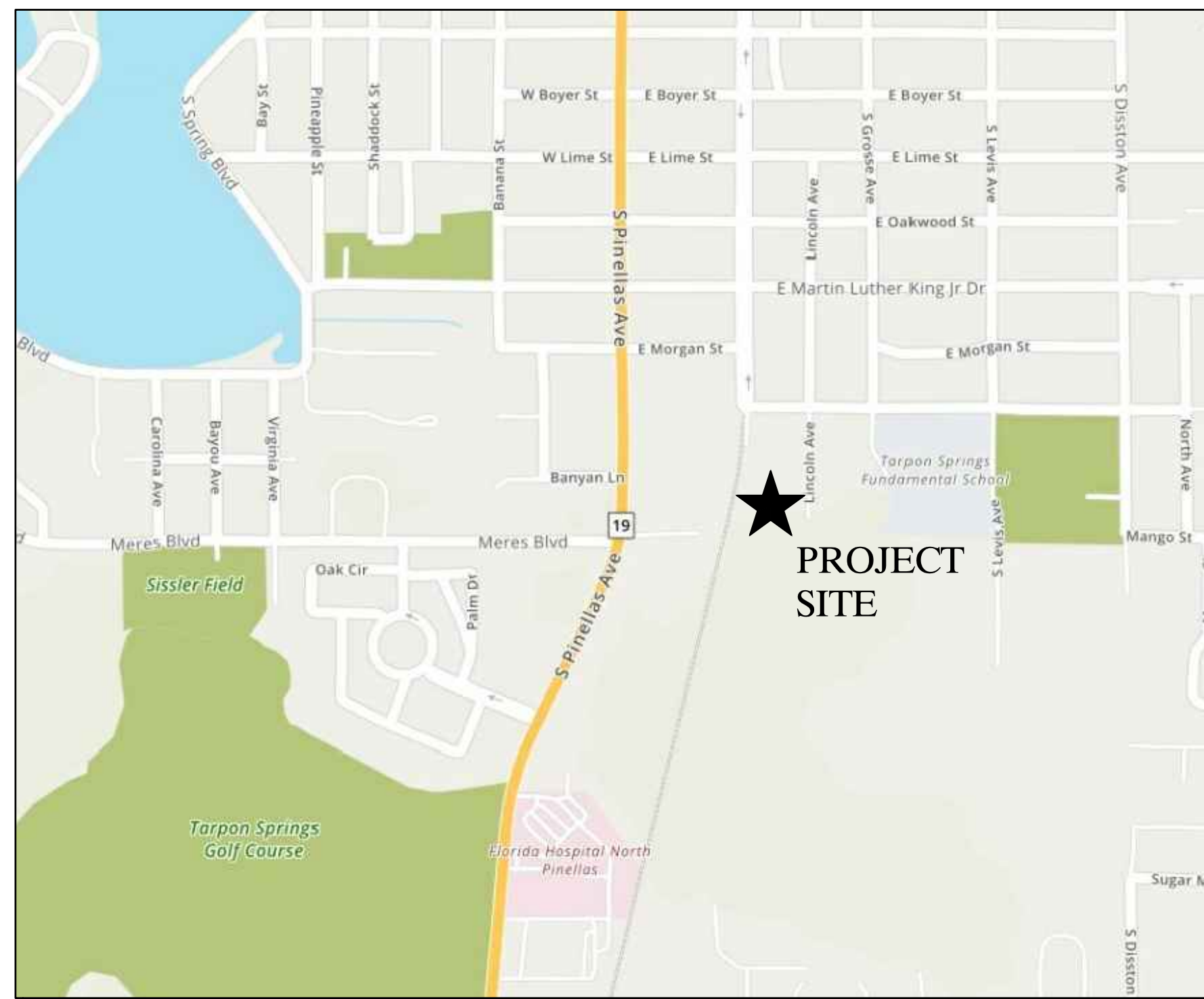
Utility Availability Statement

Applicant Name	David Fuxan
Contact Phone	(813) 2446194
E-mail	dfuxan@fuxaneng.com
Subject Property Address (if available)	State: Florida
Parcel Number	13-27-15-21348-005-0131
Utility Service Availability Requested (check all that apply)	Potable Water Sanitary Sewer Irrigation (using potable water)
Property Type	Commercial
Service Line Requested	2" or larger
Attach Survey if Available	LOT 13 - 140166F.pdf



GEMINI STORAGE

Construction Plans



VICINITY MAP
SECTION 13, TOWNSHIP 27 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

LEGAL DESCRIPTION:
Lot 13, Block 5, Disston & Keeney's Subdivision, less and except the North 150 feet of the West one-half thereof, together with the South 55 feet of the North 200 feet of the East one-half of Lot 13, Block 5, Disston & Keeney Subdivision, according to the Map or Plat thereof as recorded in Plat Book 1, Page 31, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part.

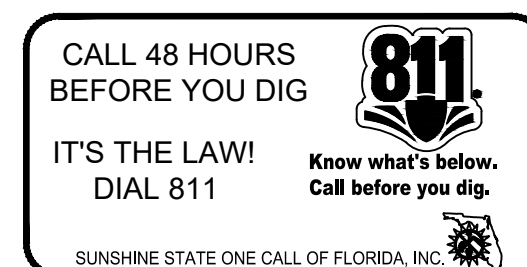
BENCH MARK:
The elevations shown hereon are based on the North American Vertical Datum 1988 (N.A.V.D. 1988) as established from N.G.S. Continuously Operating Reference Stations (C.O.R.S.) "BARTOW CORS ARP", "DUNNELLON CORS ARP" and "ZEPHYRHILLS CORS ARP" using the Online Positioning User Service (O.P.U.S.) on April 25, 2017.

SURVEY DATA:
Boundary survey, topographic survey, tree survey, improvement location and associated survey work shown hereon and used for design purposes is based upon information provided by George A. Shimp II & Assoc., Inc., Job # 140166E. Fuxan Engineering, Inc. has reviewed, but not certified the data provided. This data is the basis for design and Fuxan Engineering, Inc. makes no certifications or representations as to the accuracy of the survey data.

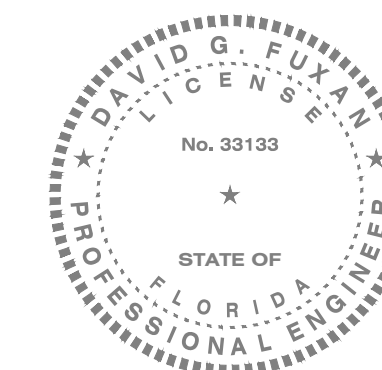
INDEX OF CONSTRUCTION PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	AERIAL SITE PLAN
4	GRADING & DRAINAGE PLAN
5	UTILITY PLAN
6	OFF-SITE UTILITY PLAN
7-9	DRAINAGE AND UTILITY DETAILS
1 of 1	PRE-DEVELOPMENT DRAINAGE AREA MAP
1 of 1	POST-DEVELOPMENT DRAINAGE AREA MAP

PERMIT / FILE NOS.	
SITE ADDRESS	LINCOLN AVE., TARPON SPRINGS, FL.
WATER COMMITMENT	
SEWER COMMITMENT	
SWFWMD	
WATER DEP	
SEWER DEP	
PARCEL ID NO.	13-27-15-21348-005-0131 and 13-27-15-21348-005-0132
RZ#	



Prepared For:
Breeze Treasures, LLC.
1716 Eagle Trace Blvd. W.
Coral Springs, FL. 33071-5400



David G. Fuxan, State of Florida Professional Engineer, License No. 33133
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DATE	SHEET NO.	BY
03-07-2021	2,4,5,8	DM
02-22-2021	2,4,5,6, Added Pre & Post DRA Maps	DM
11-03-2020	4	DM
10-16-2020	2,4,5,6	DM

REVISIONS

Fuxan Engineering, Inc.

15018 Maurine Cove Ln.
Odessa, Florida 33556
Phone: 813-244-6194
email: dfuxan@fuxaneng.com
Engineering Business Certificate of Authorization No.: 26548

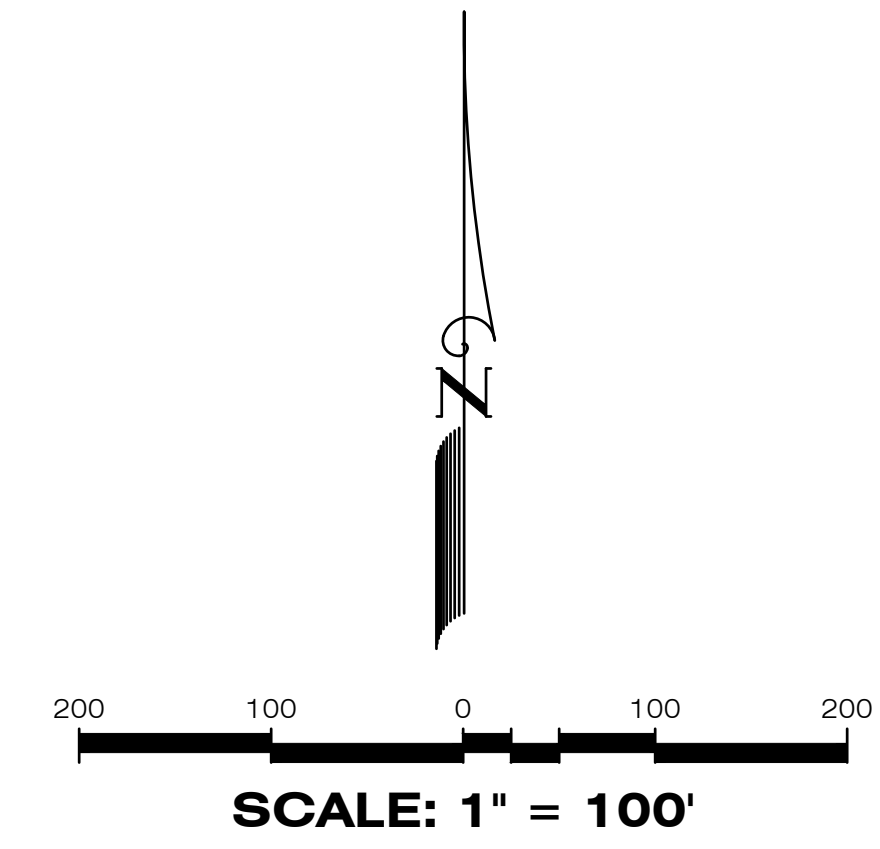
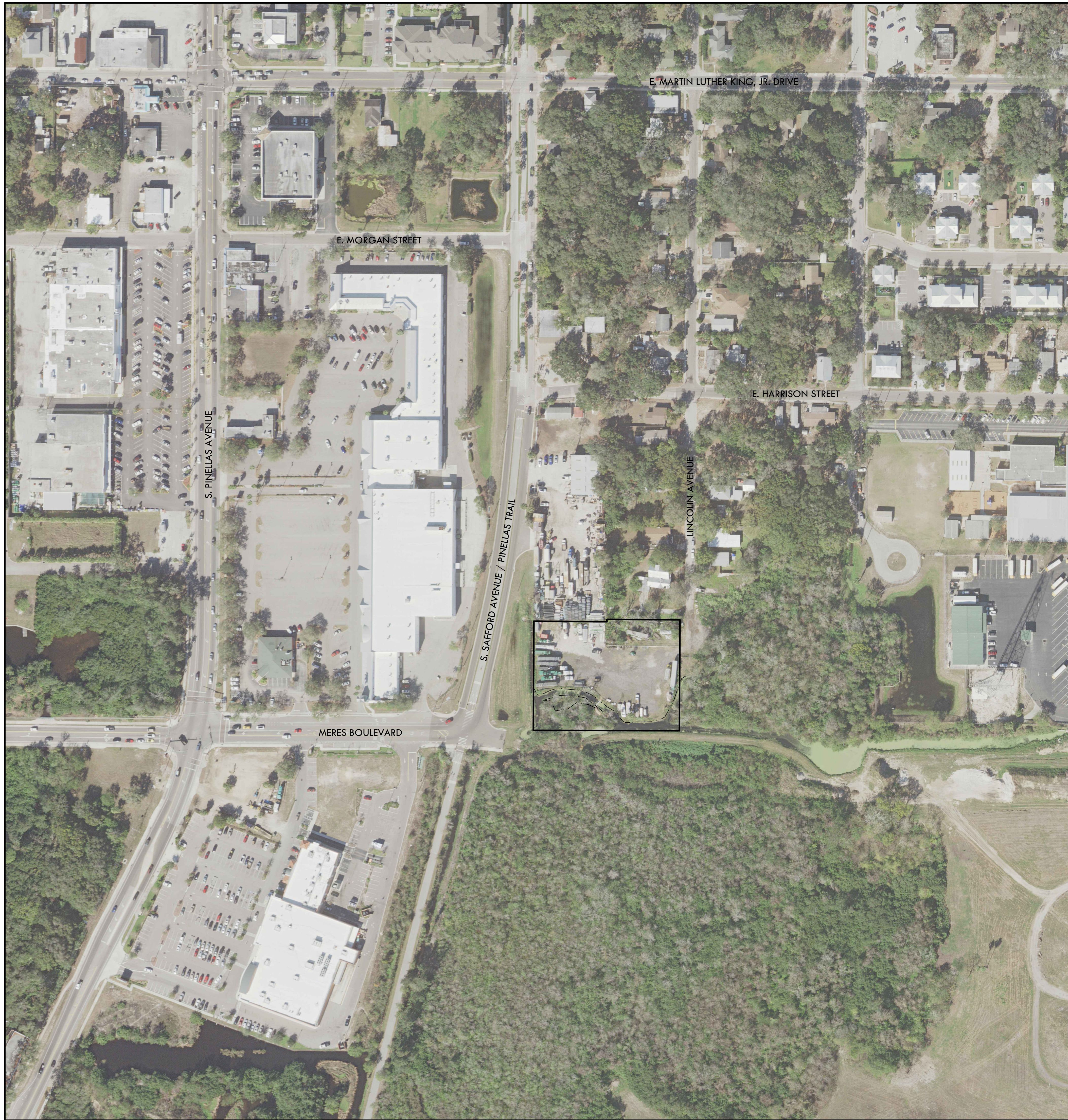
DAVID G. FUXAN FLORIDA PROFESSIONAL ENGINEER 33133

DATE: 7-31-2020 JOB NO. 2020-RV-01

Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +0.85 Feet

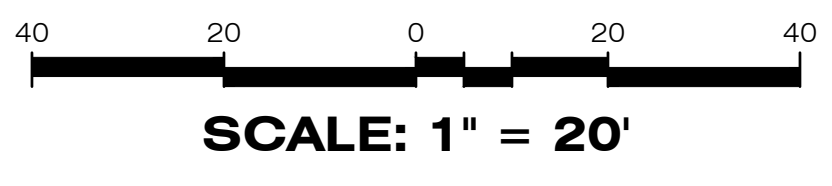
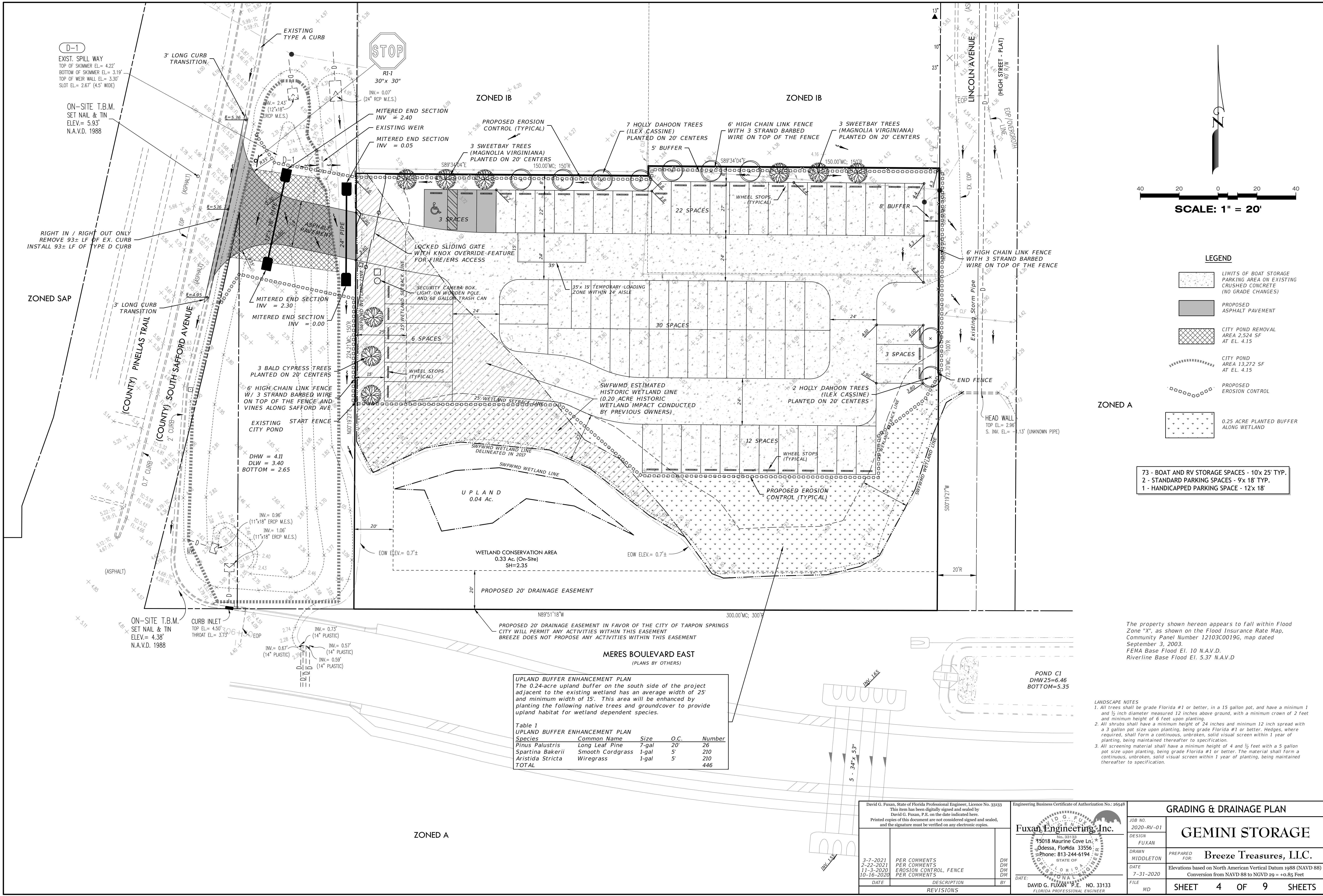
DESIGNED BY: FUXAN DRAWN BY: MIDDLETON

FILE: CV SHEET 1 OF 9



NOTES:
 1. This Aerial Exhibit has been prepared for illustrative purposes only and is consequently not sufficiently accurate for planning, design or construction.
 2. Photo Date: 2017

David G. Fuxan, State of Florida Professional Engineer, License No. 33133 This item has been digitally signed and sealed by David G. Fuxan, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.		Engineering Business Certificate of Authorization No.: 26548 		AERIAL SITE PLAN GEMINI STORAGE	
		JOB NO. 2020-RV-01		PREPARED FOR: Breeze Treasures, LLC.	
		DESIGN FUXAN			
		DRAWN MIDDLETON		ELEVATIONS based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet	
		DATE 7-31-2020			
		FILE ASP		SHEET 3 OF 9 SHEETS	
		DATE: DAVID G. FUXAN , P.E., NO. 33133 FLORIDA PROFESSIONAL ENGINEER			



LEGEND

- LIMITS OF BOAT STORAGE PARKING AREA ON EXISTING CRUSHED CONCRETE (NO GRADE CHANGES)
- PROPOSED ASPHALT PAVEMENT
- CITY POND REMOVAL AREA 2,524 SF AT EL. 4.15
- CITY POND AREA 13,272 SF AT EL. 4.15
- PROPOSED EROSION CONTROL
- 0.25 ACRE PLANTED BUFFER ALONG WETLAND

73 - BOAT AND RV STORAGE SPACES - 10x25' TYP.
 2 - STANDARD PARKING SPACES - 9x18' TYP.
 1 - HANDICAPPED PARKING SPACE - 12x18'

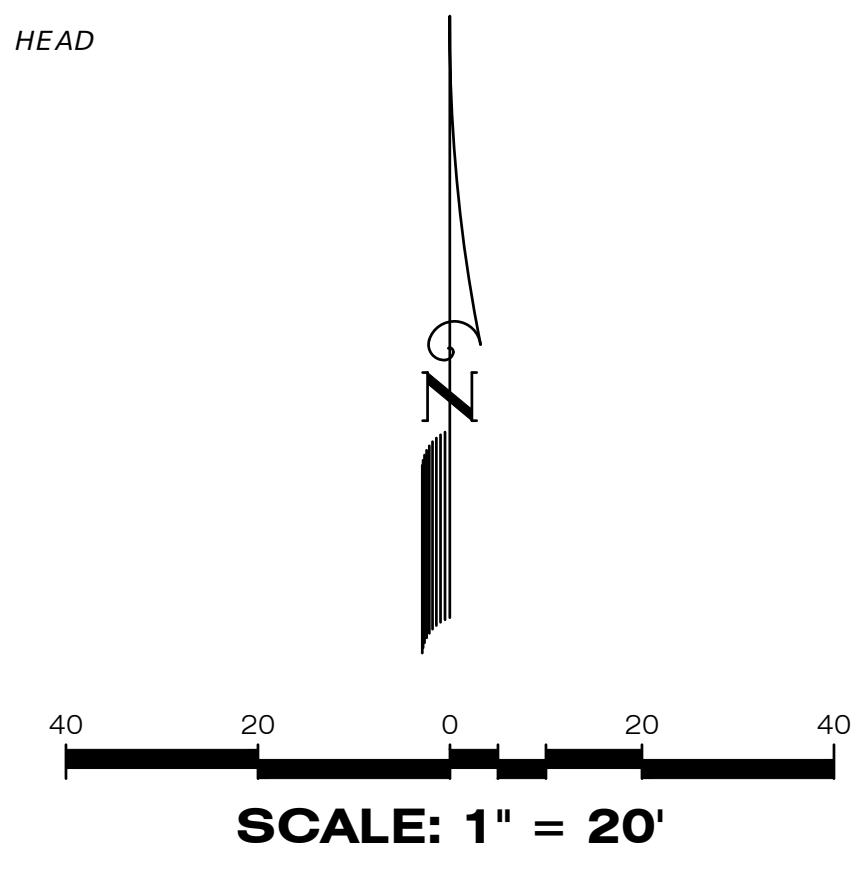
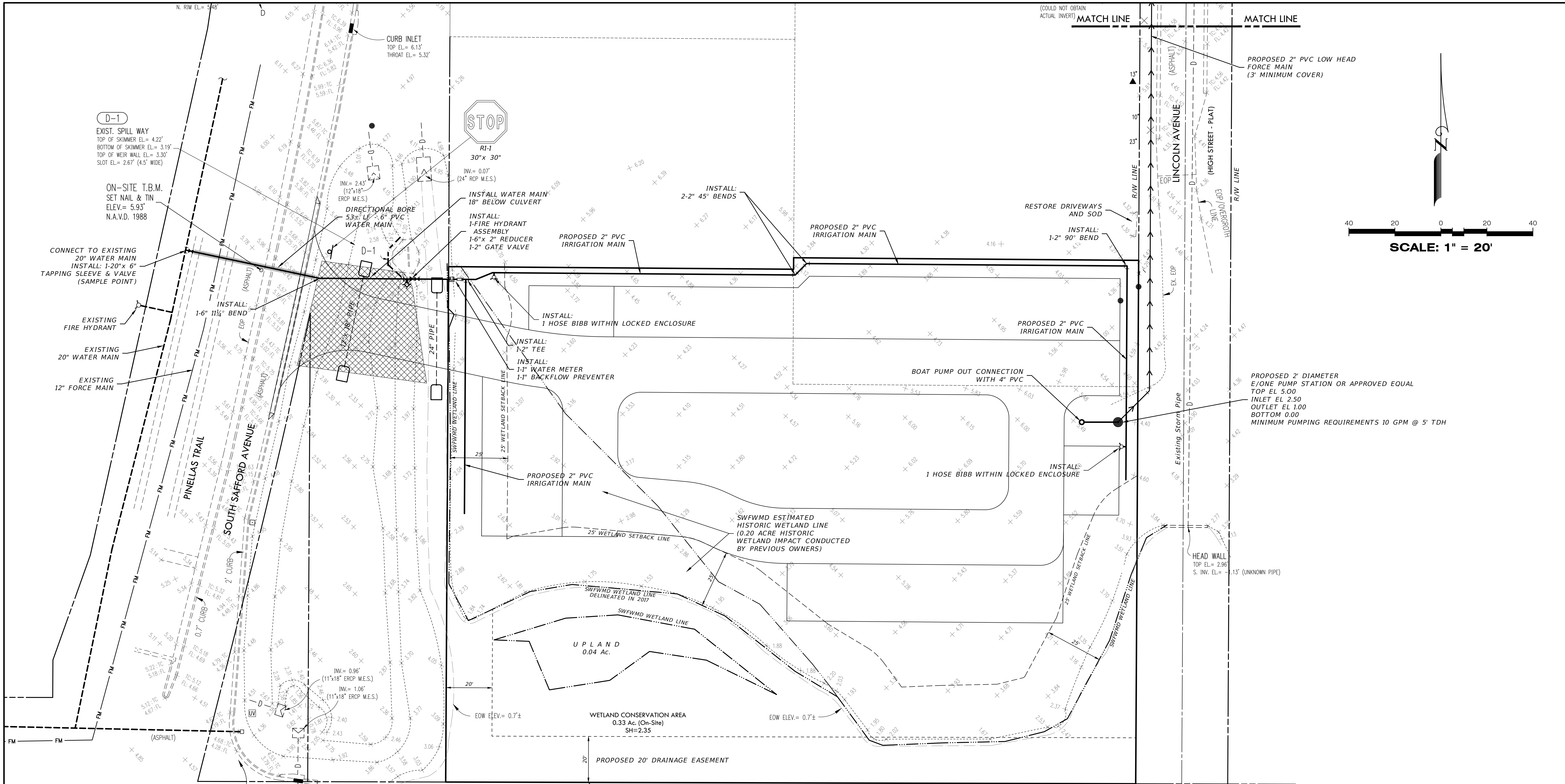
The property shown hereon appears to fall within Flood Zone "X", as shown on the Flood Insurance Rate Map, Community Panel Number 12103C00196, map dated September 3, 2003.
 FEMA Base Flood El. 10 N.A.V.D.
 Riverline Base Flood El. 5.37 N.A.V.D.

- LANDSCAPE NOTES**
1. All trees shall be grade Florida #1 or better, in a 15 gallon pot, and have a minimum 1 and 1/2 inch diameter measured 12 inches above ground, with a minimum crown of 2 feet and minimum height of 6 feet upon planting.
 2. All shrubs shall have a minimum height of 24 inches and minimum 12 inch spread with a 3 gallon pot size upon planting, being grade Florida #1 or better. Hedges, where required, shall form a continuous, unbroken, solid visual screen within 1 year of planting, being maintained thereafter to specification.
 3. All screening material shall have a minimum height of 4 and 1/2 feet with a 5 gallon pot size upon planting, being grade Florida #1 or better. The material shall form a continuous, unbroken, solid visual screen within 1 year of planting, being maintained thereafter to specification.

UPLAND BUFFER ENHANCEMENT PLAN
 The 0.24-acre upland buffer on the south side of the project adjacent to the existing wetland has an average width of 25' and minimum width of 15'. This area will be enhanced by planting the following native trees and groundcover to provide upland habitat for wetland dependent species.

Species	Common Name	Size	O.C.	Number
Pinus Palustris	Long Leaf Pine	7-gal	20'	26
Spartina Bakerii	Smooth Cordgrass	1-gal	5'	210
Aristida Stricta	Wiregrass	1-gal	5'	210
TOTAL				446

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Fuxan Engineering, Inc.		GRADING & DRAINAGE PLAN	
15018 Maurine Cove Ln., Odessa, Florida 33556 Phone: 813-244-6194		JOB NO. 2020-RV-01	
STATE OF FLORIDA PROFESSIONAL ENGINEER		DESIGN FUXAN	
DATE: DAVID G. FUXAN, P.E. NO. 33133 FLORIDA PROFESSIONAL ENGINEER		DRAWN MIDDLETON	
DATE: 3-7-2021 PER COMMENTS 2-22-2021 PER COMMENTS 11-3-2020 EROSION CONTROL, FENCE 10-16-2020 PER COMMENTS		PREPARED FOR: Breeze Treasures, LLC.	
DATE: 7-31-2020		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet	
FILE: MD		SHEET 4 OF 9 SHEETS	



D-1
 EXIST. SPILL WAY
 TOP OF SKIMMER EL= 4.22'
 BOTTOM OF SKIMMER EL= 3.19'
 TOP OF WEIR WALL EL= 3.30'
 SLOT EL= 2.67' (4.5' WIDE)

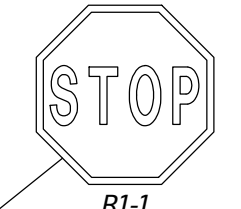
ON-SITE T.B.M.
 SET NAIL & TIN
 ELEV.= 5.93'
 N.A.V.D. 1988

CONNECT TO EXISTING
 20" WATER MAIN
 INSTALL: 1-20" x 6"
 TAPPING SLEEVE & VALVE
 (SAMPLE POINT)

EXISTING
 FIRE HYDRANT

EXISTING
 20" WATER MAIN

EXISTING
 12" FORCE MAIN



RI-1
 30" x 30"

INSTALL WATER MAIN
 18" BELOW CULVERT

INSTALL:
 1-FIRE HYDRANT
 ASSEMBLY
 1-6" x 2" REDUCER
 1-2" GATE VALVE

INSTALL:
 2-2" 45° BENDS

RESTORE DRIVEWAYS
 AND SOD

INSTALL:
 1-2" 90° BEND

INSTALL:
 1 HOSE BIBB WITHIN LOCKED ENCLOSURE

INSTALL:
 1-2" TEE

INSTALL:
 1-1" WATER METER
 1-1" BACKFLOW PREVENTER

BOAT PUMP OUT CONNECTION
 WITH 4" PVC

INSTALL:
 1 HOSE BIBB WITHIN LOCKED ENCLOSURE

HEAD WALL
 TOP EL= 2.96'
 S. INV. EL= -1.13' (UNKNOWN PIPE)

SWFWMD ESTIMATED
 HISTORIC WETLAND LINE
 (0.20 ACRE HISTORIC
 WETLAND IMPACT CONDUCTED
 BY PREVIOUS OWNERS)

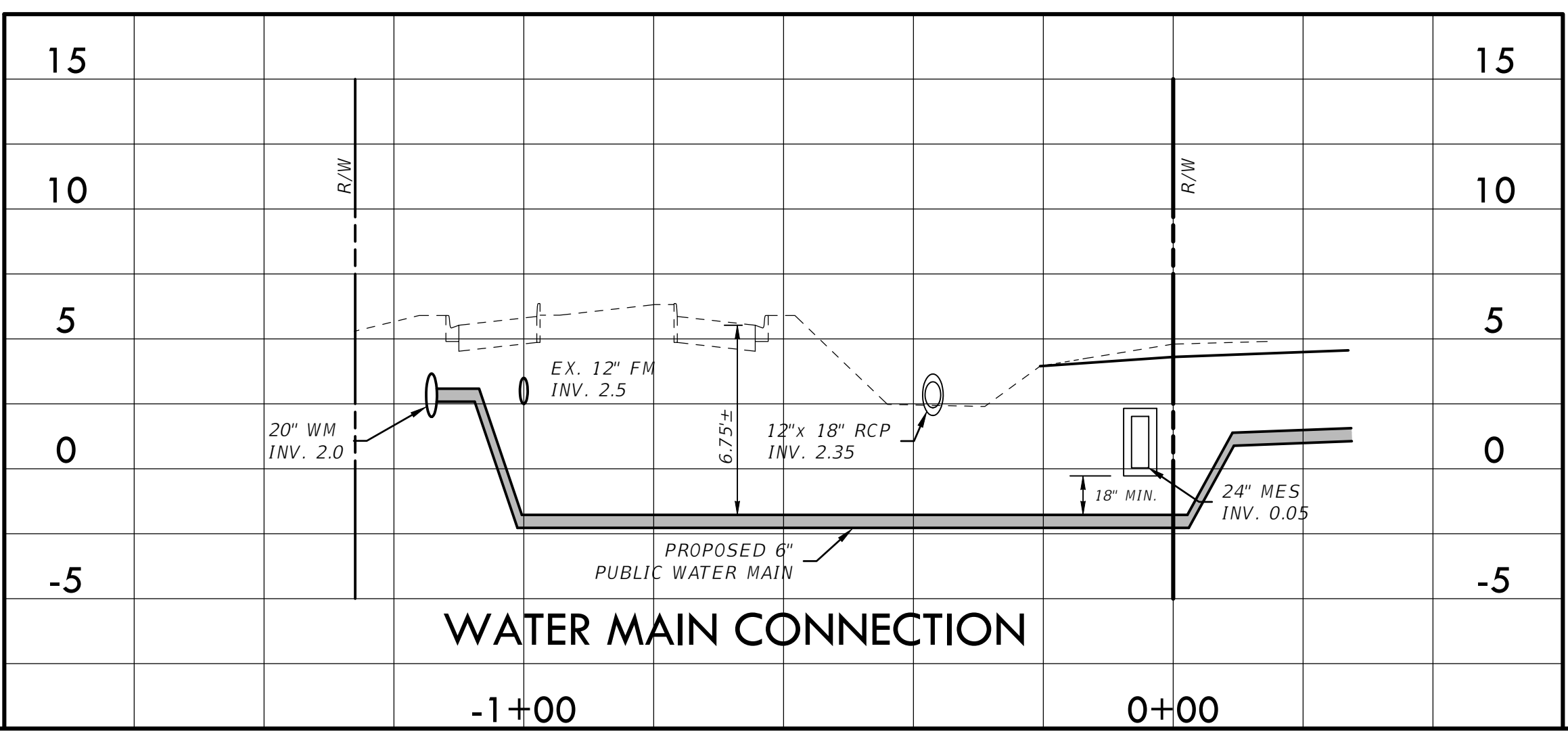
UPLAND
 0.04 Ac.

WETLAND CONSERVATION AREA
 0.33 Ac. (On-Site)
 SH=2.35

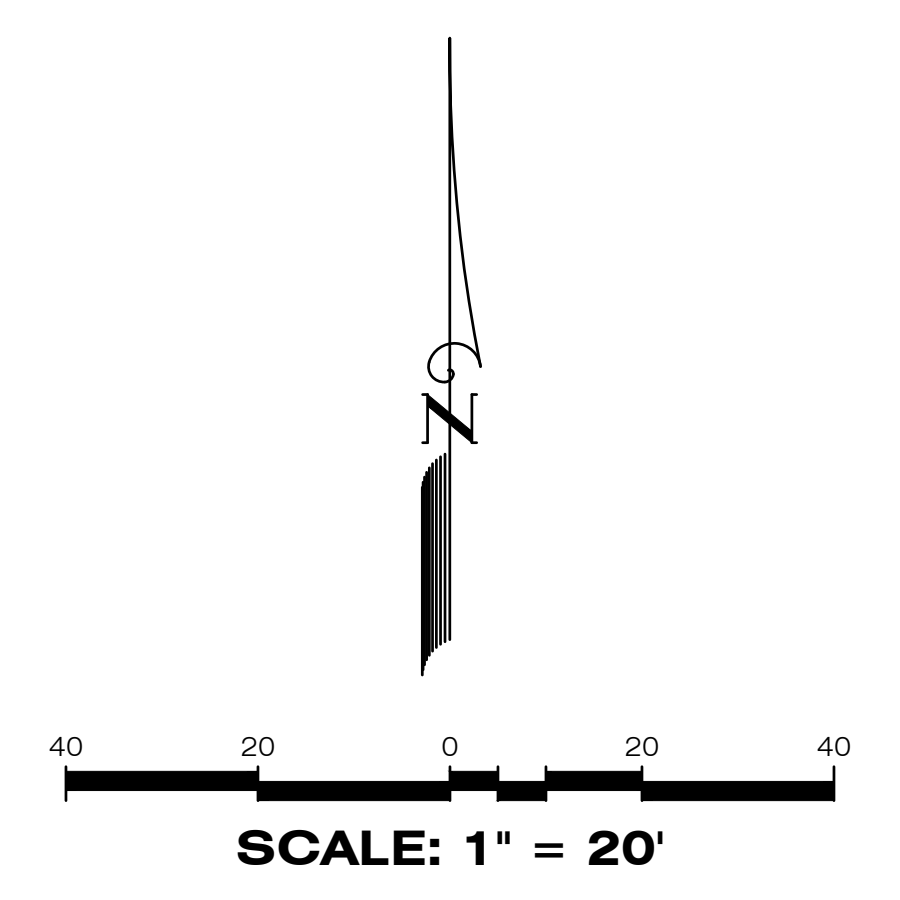
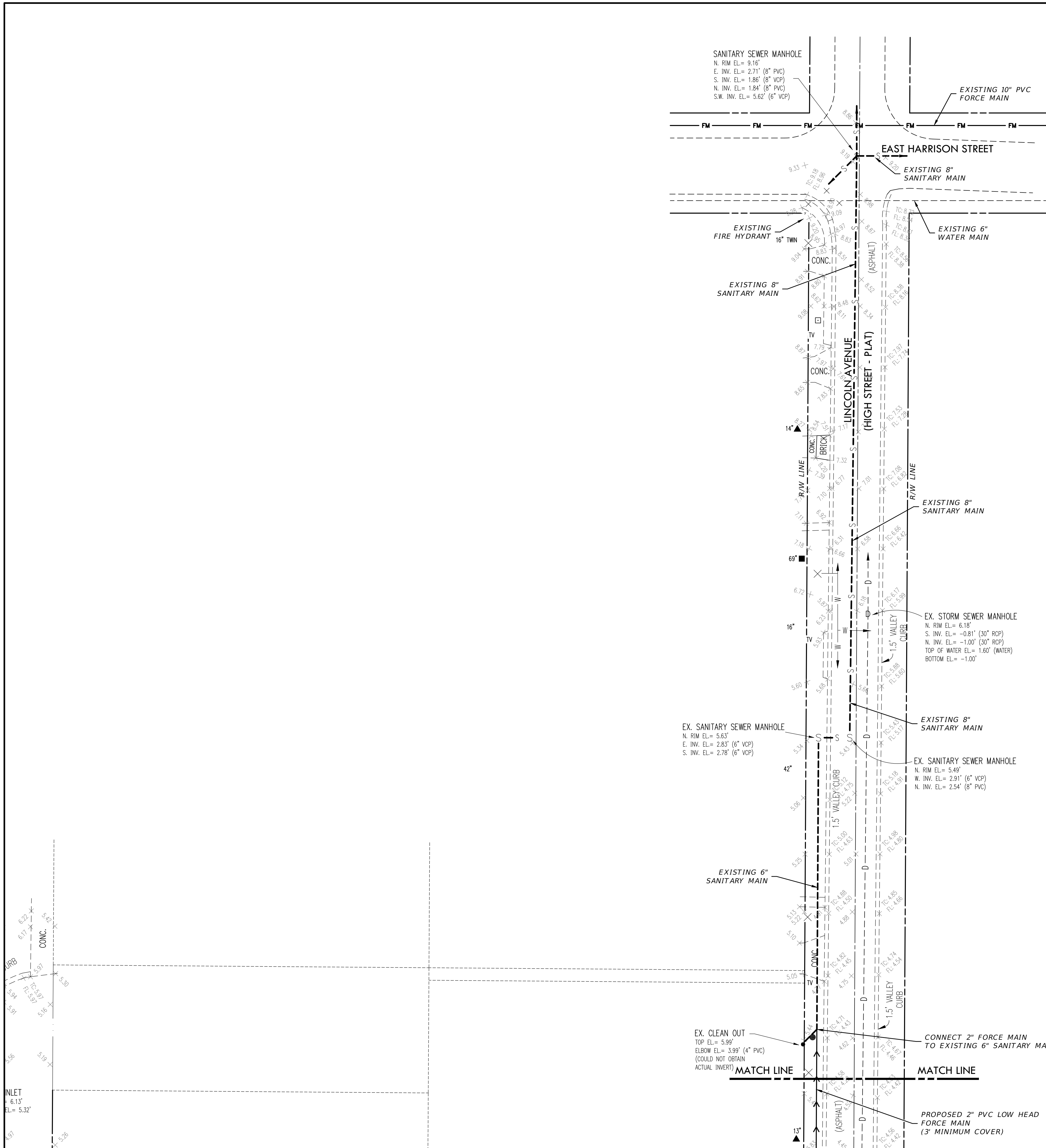
PROPOSED 20' DRAINAGE EASEMENT

PROPOSED 20' DRAINAGE EASEMENT IN FAVOR OF THE CITY OF TARPON SPRINGS
 CITY WILL PERMIT ANY ACTIVITIES WITHIN THIS EASEMENT
 BREEZE DOES NOT PROPOSE ANY ACTIVITIES WITHIN THIS EASEMENT

MERES BOULEVARD EAST
 (PLANS BY OTHERS)



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3-7-2021 PER COMMENTS 2-22-2021 PER COMMENTS 10-16-2020 ADDED OFF SITE TOPO, COMMENTS		DATE DESCRIPTION BY REVISIONS		JOB NO. 2020-RV-01 DESIGN FUXAN DRAWN MIDDLETON PREPARED FOR: Breeze Treasures, LLC.	
DATE: 7-31-2020 FILE: WS		DATE: 7-31-2020 FILE: WS		SHEET 5 OF 9 SHEETS Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet	



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2-22-2021 OFFSITE WATER, COMMENTS DM 10-16-2020 ADDED OFF SITE TOPO, COMMENTS DM		JOB NO. 2020-RV-01 DESIGN FUXAN DRAWN MIDDLETON PREPARED FOR: Breeze Treasures, LLC.		DATE 7-31-2020 Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet	
DATE DESCRIPTION BY REVISIONS		DATE: DAVID G. FUXAN P.E. NO. 33133 FLORIDA PROFESSIONAL ENGINEER		FILE WS SHEET 6 OF 9 SHEETS	

NOTES FOR STORM STRUCTURES

- ALL PIPE STUBS FROM STRUCTURES FOR FUTURE CONNECTIONS, SHALL BE INSTALLED WITH REMOVABLE WATERTIGHT PLUGS, PLACED FROM WITHIN THE STRUCTURE.
- FOR APPLICABLE RING AND COVER, SEE STANDARD DETAIL-MANHOLE RING AND COVER CASTING.
- STORM STRUCTURES SHALL NOT HAVE OUTSIDE DROP CONNECTIONS.
- PROVIDE MINIMUM 8" SOLID WALL BETWEEN ALL OPENINGS FOR PIPES. SEAL BETWEEN PIPE AND STRUCTURE WITH NON SHRINK GROUT.
- ALL BRICK SHALL BE CONCRETE OR CLAY BRICK AND SHALL HAVE A MINIMUM 3/4" CEMENT PLASTER COATING ON ALL SURFACES.
- BENCH SHALL SLOPE @ 1:12 MINIMUM.
- PRECAST AND CAST-IN-PLACE MANHOLES, CATCH BASINS, AND GRATE INLETS ARE DESIGNED FOR A MAXIMUM DEPTH OF 12 FEET. STRUCTURES IN EXCESS OF 12 FEET, AS MEASURED FROM THE FINISHED GRADE TO THE INSIDE OF THE BASE SLAB, SHALL REQUIRE VERIFICATION OF THE STRUCTURAL DESIGN AND SPECIFIC MODIFICATIONS TO THE REINFORCING REQUIREMENTS FOR THE DEPTH REQUIRED.
- PRIOR TO PRECASTING STRUCTURES THE PRECASTER SHALL SUBMIT SITE SPECIFIC INDIVIDUAL SHOP DRAWINGS FOR APPROVAL. SHOP DRAWINGS SUBMITTED FOR NON-STANDARD STRUCTURES OR STRUCTURES THAT DEVIATE FROM THE STANDARD DETAILS MUST BE DESIGNED AND CERTIFIED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- PRECAST MANHOLES SHALL CONSIST OF A LIMITED NUMBER OF SECTIONS, AS APPROVED BY THE ENGINEER.
- ALL PRECAST STRUCTURES SHALL HAVE AN INTEGRAL FLOOR AND BASE RISER SECTION.
- SEE STANDARD DETAIL-PRECAST STRUCTURE JOINT ASSEMBLY AND STRUCTURE SEALING.
- ALL EXPOSED EDGES TO HAVE 3/4" CHAMFER.
- ALL REINFORCING STEEL SHALL HAVE A MINIMUM 2" CONCRETE COVER, UNLESS NOTED ELSEWHERE.
- ADDITIONAL REINFORCEMENT IS REQUIRED IN ALL TYPE CATCH BASIN WALLS, GRATE INLETS, AND TYPE III, IV, AND TYPE V MANHOLE WALLS WITH OPENINGS FOR PIPE OR CULVERT. THE VERTICAL AND HORIZONTAL WALL REINFORCEMENT DISPLACED DUE TO OPENINGS SHALL BE REPLACED WITH ADDITIONAL REINFORCEMENT BARS ABOVE, BELOW, AND ON BOTH SIDES OF OPENING, EQUAL IN AREA TO THOSE DISPLACED. REPLACEMENT REINFORCEMENT SHALL BE PLACED WITH 3" CLEARANCE TO THE EDGES OF OPENINGS.

CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	STORM STRUCTURE NOTES	DATE: 12/15/15 INDEX: D-01 SCALE: AS SHOWN N.T.S. 1 OF 1
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STANDARD SILT FENCE (18" HIGH)

JOINING FENCE SECTIONS

*STAKES SPACED @ 8' MAX. USE 2"x2" (± 3/4") WOOD OR EQUIVALENT STEEL (U OR T) STAKES.

FABRIC WIDTH SHALL BE 30" MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.

SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER.

FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	SILT FENCE INSTALLATION DETAIL	DATE: 12/15/15 INDEX: G-01 SCALE: AS SHOWN N.T.S. 1 OF 1
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UNPAVED AREA TRENCH BACKFILL DETAIL

WHERE ANY TRENCH OCCURS IN AN UNSURFACED AREA, THE THIRD STAGE OF BACKFILLING SHALL EXTEND TO THE FINISHED GRADE.

TRENCH BACKFILL TO LEVEL OF ONE FOOT ABOVE TOP OF PIPE IN 6" COMPACTION LIFTS

TRENCH BACKFILL IN COMPACTED MAXIMUM 12" LIFTS TO A 98% REQUIRED DENSITY

DOUBLE LOCATOR WIRE

18" LOCATOR TAPE

THIRD STAGE

SECOND STAGE

FIRST STAGE

PIPE BEDDING (SEE NOTE 2)

1'-0" MIN. DIA. 1'-0" MIN. DIA.

NOTES:

- BACKFILL SHALL BE OF SUITABLE MATERIAL REMOVED FROM EXCAVATION EXCEPT WHERE OTHER MATERIAL IS SPECIFIED. BACKFILL MATERIAL SHALL CONSIST OF EARTH, LOAM, SANDY CLAY, GRAVEL OR OTHER APPROVED MATERIAL.
- IF TRENCH BOTTOM CONTAINS ROCK, THEN A MINIMUM OF A 6" PIPE BEDDING SHALL BE USED.

CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	UNPAVED AREA TRENCH BACKFILL DETAIL	DATE: 12/15/15 INDEX: G-04 SCALE: AS SHOWN N.T.S. 1 OF 1
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PAVED AREA TRENCH RESTORATION DETAIL FOR PRIVATE ROADS

ASPHALTIC CONCRETE 1 1/2" TYPE S OVERLAY

4' MINIMUM TAPER

TRENCH WIDTH PLUS 3 FEET

ASPHALTIC CONCRETE THICKNESS TO BE THE SAME AS ADJACENT ROADWAY. (MINIMUM THICKNESS 1")

SAWCUT EXISTING PAVEMENT

EXISTING BASE (DEPTH VARIES)

CRUSHED CONCRETE BASE IN 6" MAXIMUM LIFTS, 98% DENSITY IS REQUIRED. MINIMUM ON ONE TEST PER LIFT PER LANE REQUIRED

1'-6" 1'-6"

LOCATOR TAPE

THIRD STAGE

SECOND STAGE

FIRST STAGE

PIPE BEDDING

PAVED AREA TRENCH RESTORATION DETAIL FOR PRIVATE ROADS

LOCATOR WIRE

1'-0" MIN. DIA. 1'-0" MIN. DIA.

NOTES:

- BACKFILL SHALL BE OF SUITABLE MATERIAL REMOVED FROM EXCAVATION EXCEPT WHERE OTHER MATERIAL IS SPECIFIED. BACKFILL MATERIAL SHALL CONSIST OF EARTH, LOAM, SANDY CLAY, GRAVEL OR OTHER APPROVED MATERIAL. REFER TO TECHNICAL SPECIFICATIONS FOR DETAIL REQUIREMENTS.
- IF TRENCH BOTTOM CONTAINS ROCK, THEN A MINIMUM OF A 6" PIPE BEDDING SHALL BE USED.
- R.O.W. PERMIT STIPULATIONS OVERRIDE THIS DETAIL WHERE TRENCH IS LOCATED WITHIN A COUNTY R.O.W.

CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	PAVED AREA TRENCH RESTORATION DETAIL FOR PRIVATE ROADS	DATE: 12/15/15 INDEX: G-05 SCALE: AS SHOWN N.T.S. 1 OF 1
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ROAD & TRENCH RESTORATION FOR LOCAL ROADS

1 1/2" ASPHALT OVERLAY TYPE S

25'-0" MINIMUM TAPER UNLESS OTHERWISE SPECIFIED (TYP)

TRENCH WIDTH PLUS 3'-0"

25'-0" MINIMUM TAPER

SAWCUT

EXISTING BASE

4" MINIMUM

1'-6" 1'-6"

CRUSHED CONCRETE BASE IN 6" LIFTS 98% DENSITY REQUIRED (MINIMUM OF ONE [1] TEST REQUIRED FOR EACH LIFT PER LANE). ASPHALTIC BASE MAY BE SUBSTITUTED FOR LIMEROCK BASE (1/2" ASPHALT BASE EQUAL TO 1" LIMEROCK BASE). USE ASPHALT BASE COURSE TYPE I (FLORIDA D.O.T. SECTION 280). MAXIMUM COMPACTED THICKNESS SHALL NOT EXCEED 3 INCHES PER LIFT.

TRENCH BACKFILLED IN 9" COMPACTED LIFTS 98% DENSITY REQUIRED. MINIMUM OF ONE (1) TEST REQUIRED PER LIFT PER LANE (MINIMUM LBR 40)

LOCATOR TAPE

LOCATOR WIRE

PIPE, CABLE, OR CONDUIT

COMPACTED GRANULAR MATERIAL

TRENCH BACKFILLED TO LEVEL ONE (1) FOOT ABOVE PIPE, CABLE, OR CONDUIT IN 6" COMPACTED LIFTS (CLASS B - BEDDING REQUIRED)

TRENCH WIDTH VARIES*

*TRENCH WIDTH = PIPE OUTSIDE DIAMETER PLUS 2 FEET

NOTES:

- ALL MODIFIED PROCTOR AND DENSITY TESTS SHALL BE TAKEN BY A CERTIFIED LABORATORY.
- ALL TESTS SHALL BE COMPLETED AND SHALL MEET MINIMUM DENSITY REQUIREMENTS PRIOR TO ADDITIONAL BACKFILLING.
- RIGHT-OF-WAY PERMIT STIPULATIONS OVERRIDE THIS DETAIL WHERE TRENCH IS LOCATED WITHIN A COUNTY RIGHT-OF-WAY.

CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	ROAD & TRENCH RESTORATION FOR LOCAL ROADS	DATE: 1/28/2015 INDEX: G-06 SCALE: AS SHOWN N.T.S. 1 OF 1
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STATE ROAD, MAJOR COUNTY ROAD, AND NUMBERED COUNTY ROAD FLOWABLE FILL ROAD AND TRENCH RESTORATION

ASPHALTIC CONCRETE THICKNESS TO BE THE SAME AS ADJACENT ROADWAY.

MINIMUM 1-1/2" OF ASPHALT OVERLAY (SUPER PAVE, SP3 (9.5))

25' MINIMUM TAPER

25' MINIMUM TAPER

EXISTING BASE

1'-6" 1'-6"

ASPHALT BASE COURSE TYPE 3 (ABC-3)

FLOWABLE FILL FLORIDA D.O.T. SECTION 121 STANDARD SPECIFICATIONS.

STEEL PIPE CASING (SEE STANDARD DETAIL G-5)

PIPE, CABLE OR CONDUIT

COMPACTED GRANULAR MATERIAL

TRENCH WIDTH VARIES*

*TRENCH WIDTH = PIPE OUTSIDE DIAMETER PLUS 2 FEET

NOTES:

- FLOWABLE REQUIRED AT CITY OF TARPON SPRINGS'S DISCRETION.
- WRAP PIPE JOINTS WITH FILTER FABRIC.
- ALL PIPES SHALL BE CONSTRUCTED WITHIN STEEL CASING PIPE IF INSTALLED ON A ROAD TO BE WIDENED.
- RIGHT-OF-WAY PERMIT STIPULATIONS OVERRIDE THIS DETAIL WHERE TRENCH IS LOCATED WITHIN A CITY RIGHT-OF-WAY.

CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	STATE ROAD, MAJOR COUNTY ROAD, AND NUMBERED COUNTY ROAD FLOWABLE FILL ROAD AND TRENCH RESTORATION	DATE: 12/15/15 INDEX: G-07 SCALE: AS SHOWN N.T.S. 1 OF 1
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JACK AND BORE DETAIL

ASPHALTIC PAVEMENT

SWALE

LIMEROCK BASE

STABILIZED SUBGRADE

SEAL END WITH BRICK AND MORTAR OR RUBBER SEAL (TYPICAL)

CARRIER PIPE

PIPE CASING

CASING SPACER (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F)

SECTION A-A

PIPE CASING

CARRIER PIPE

CASING SPACER (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F)

SPACER

RIBBED FLANGE

LINER

SHELL

RUNNER

STANDARD NUMBER OF RUNNERS REQUIRED

UP TO 14" CARRIER PIPE - 4 REQUIRED

OVER 14" THROUGH 36" CARRIER PIPE - 6 REQUIRED

OVER 36" THROUGH 48" CARRIER PIPE - 7 REQUIRED

NOTES:

- UNDERGROUND CROSSINGS REQUIRE A MINIMUM VERTICAL CLEARANCE OF 48" BELOW PAVEMENT SURFACE FOR FREEWAYS, 36" FOR OTHER HIGHWAYS AND SUBGRADE CROSSINGS OR 30" BELOW UNPAVED GROUND INCLUDING DITCH GRADE PER FLORIDA D.O.T.
- SEE TECHNICAL SPECIFICATIONS FOR CARRIER PIPE AND CASING PIPE REQUIREMENTS.

STAINLESS STEEL SPACERS:

- SPACERS SHALL BE BOLT-ON STYLE WITH A TWO PIECE SOLID SHELL MADE FROM T-304 STAINLESS STEEL OF A MINIMUM 14 GAUGE THICKNESS. THE SHELL SHALL BE LINED WITH A RIBBED PVC SHEET OF A 0.090" THICKNESS THAT OVERLAPS THE EDGES. RUNNERS MADE FROM LHMW POLYMER SHALL BE ATTACHED TO RISERS AT APPROPRIATE POSITIONS TO PROPERLY LOCATE THE CARRIER WITHIN THE CASING AND TO EASE INSTALLATION. RISERS SHALL BE MADE FROM T-304 STAINLESS STEEL OF A MINIMUM 14 GAUGE THICKNESS AND SHALL BE ATTACHED TO THE SHELL BY WELDING. ALL WELDS SHALL BE FULLY PASSWATER. ALL FASTENERS SHALL BE MADE FROM T-304 STAINLESS STEEL. CASING SPACERS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).

PLACEMENT OF SPACERS ON CARRIER PIPE:

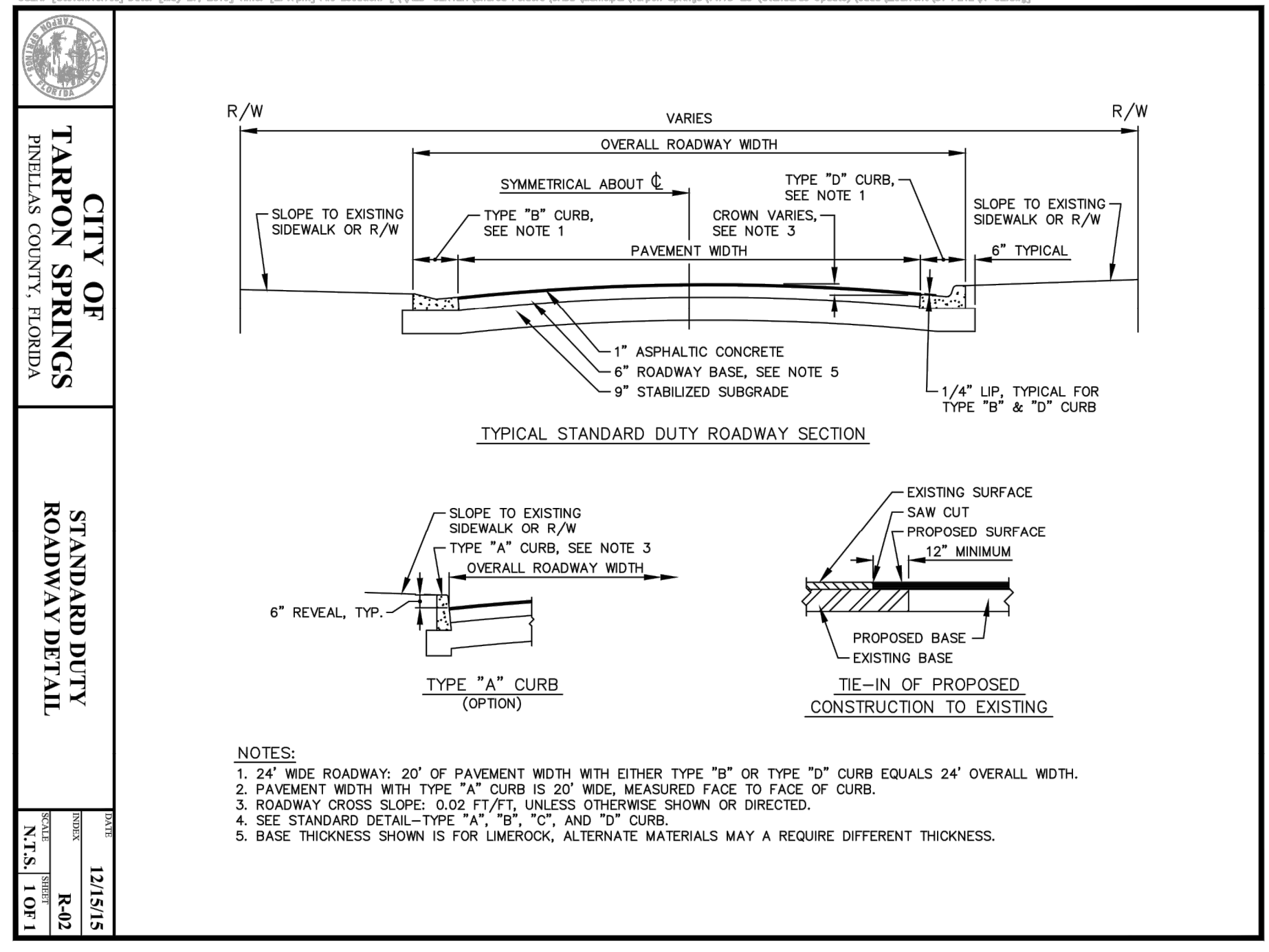
- GENERAL - ONE SPACER SHALL BE PLACED NOT MORE THAN TWO FEET FROM EACH END OF CASING. SUBSEQUENT SPACERS SHALL BE PLACED AT 6' TO 10' INTERVALS WITHIN THE CASING, OR IN ACCORDANCE WITH PIPE MANUFACTURER'S RECOMMENDATIONS.
- PVC CARRIER - ONE SPACER SHALL BE PLACED ON THE SPIGOT END OF EACH SEGMENT AT THE LINE MARKING THE LIMIT OF INSERTION INTO THE BELL. WHEN THE JOINT IS COMPLETE, THE SPACER SHALL BE IN CONTACT WITH THE BELL OF THE JOINT SO THAT THE SPACER PUSHES THE JOINT AND RELIEVES COMPRESSION WITHIN THE JOINT. SUBSEQUENT SPACERS SHALL BE PLACED AT 6' TO 10' INTERVALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

CARRIER PIPE:

- CARRIER PIPE SHALL BE CENTERED WITHIN CASING BY USE OF STAINLESS STEEL CASING SPACERS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).

CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	JACK AND BORE DETAIL	DATE: 12/15/15 INDEX: G-08 SCALE: AS SHOWN N.T.S. 1 OF 1
---	-----------------------------	---

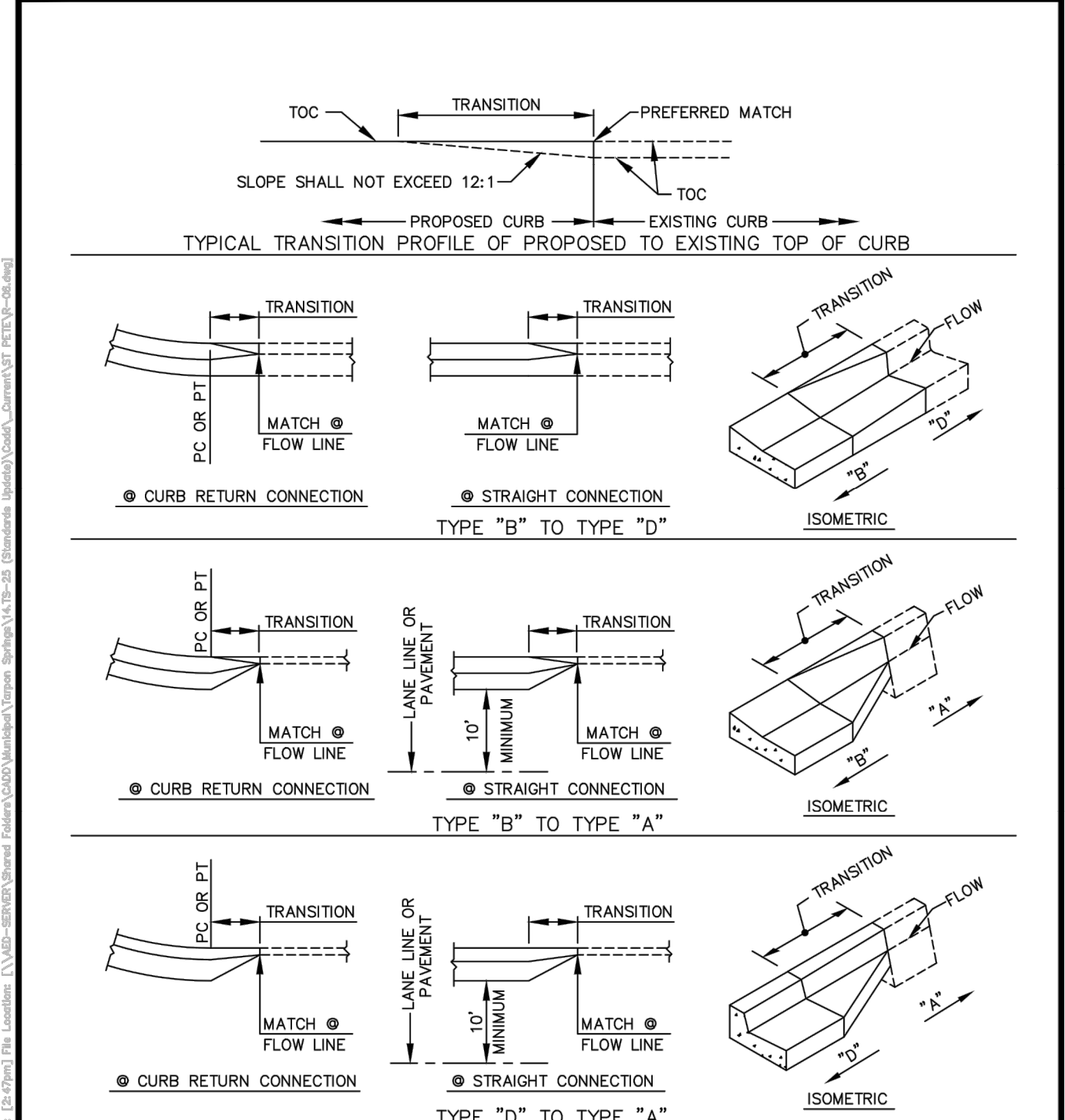
David G. Fuxan, State of Florida Professional Engineer, License No. 23133 This item has been digitally signed and sealed by David G. Fuxan, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.		Engineering Business Certificate of Authorization No. 26548
Fuxan Engineering, Inc. No. 33125 15018 Maurine Cove Ln., Odessa, Florida 33556 Phone: 813-244-6194 STATE OF FLORIDA PROFESSIONAL ENGINEER		DRAINAGE AND UTILITY DETAILS
DATE: 7-31-2020		JOB NO: 2020-RV-01
DESCRIPTION: REVISIONS		DESIGN: FUXAN
BY: _____		DRAWN: MIDDLETON
DATE: _____		PREPARED FOR: Breeze Treasures, LLC.
DATE: _____		DATE: 7-31-2020
DATE: _____		FILE: _____
DATE: _____		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet
DATE: _____		SHEET 7 OF 9 SHEETS



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA

STANDARD DUTY ROADWAY DETAIL

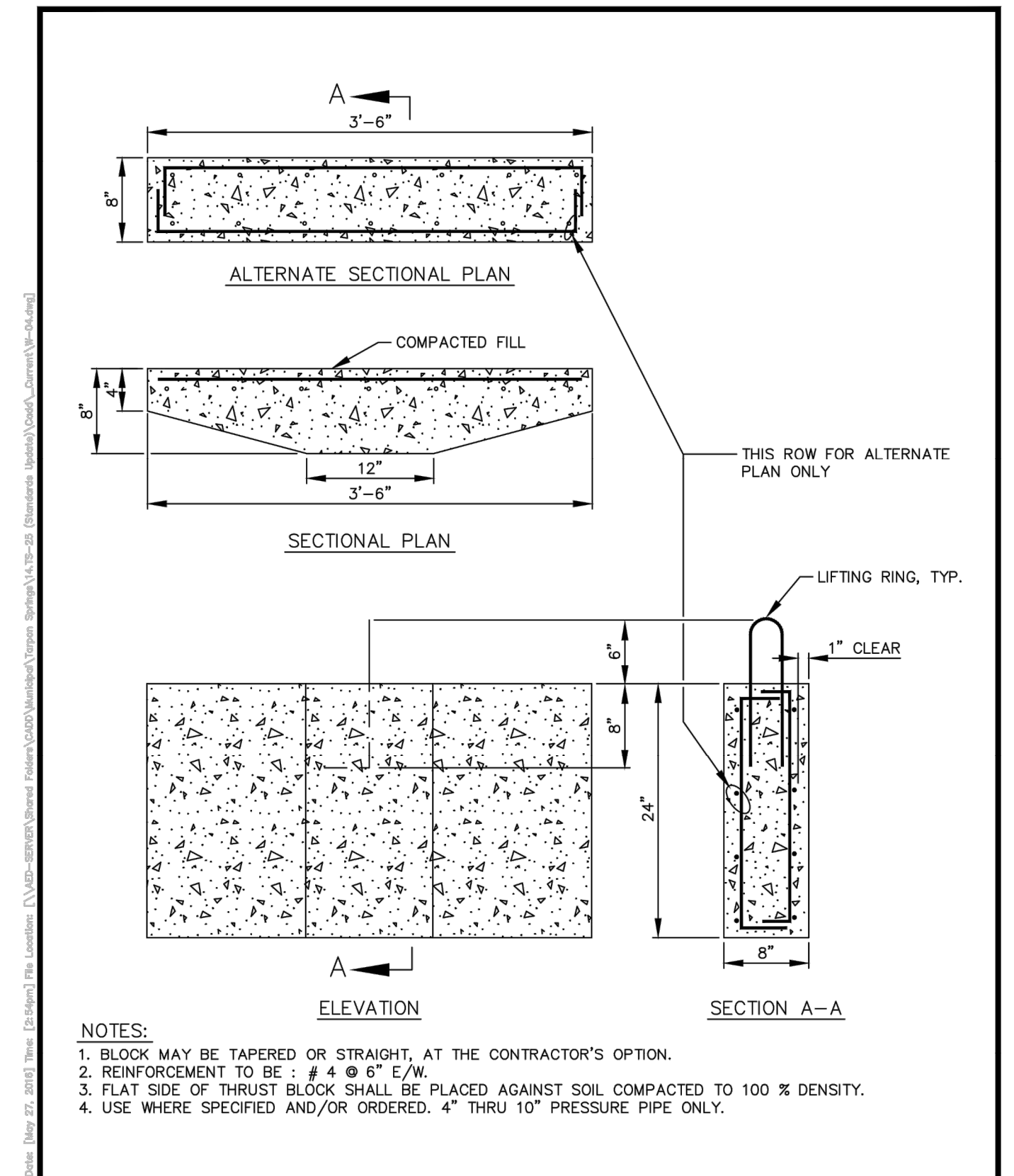
DATE: 12/15/15
INDEX: R-06
SCALE: N.T.S.
SHEET: 1 OF 1



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA

CURB TRANSITIONS DETAIL

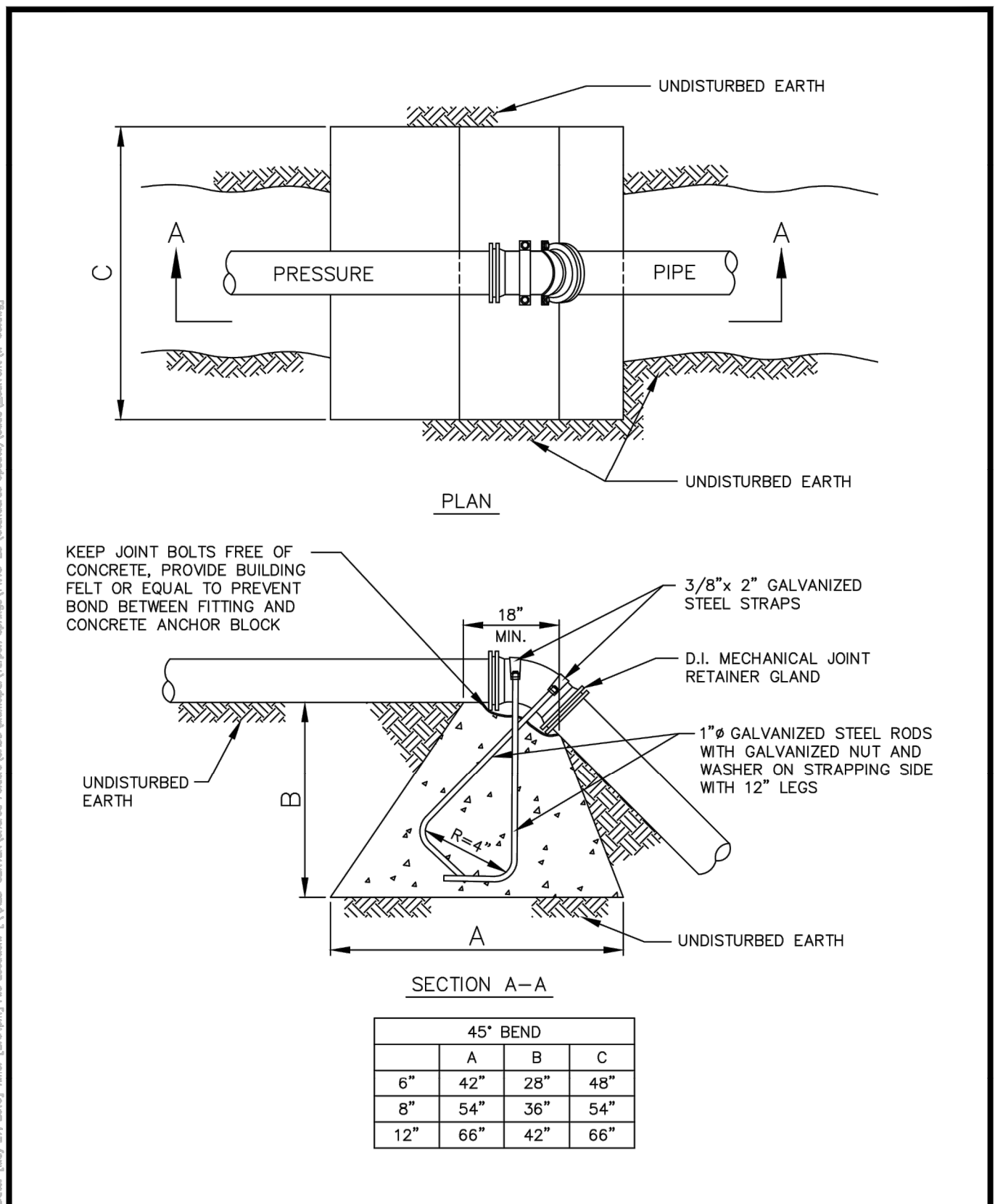
DATE: 12/15/15
INDEX: R-06
SCALE: N.T.S.
SHEET: 1 OF 1



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA

PRECAST CONCRETE THRUST BLOCK DETAIL

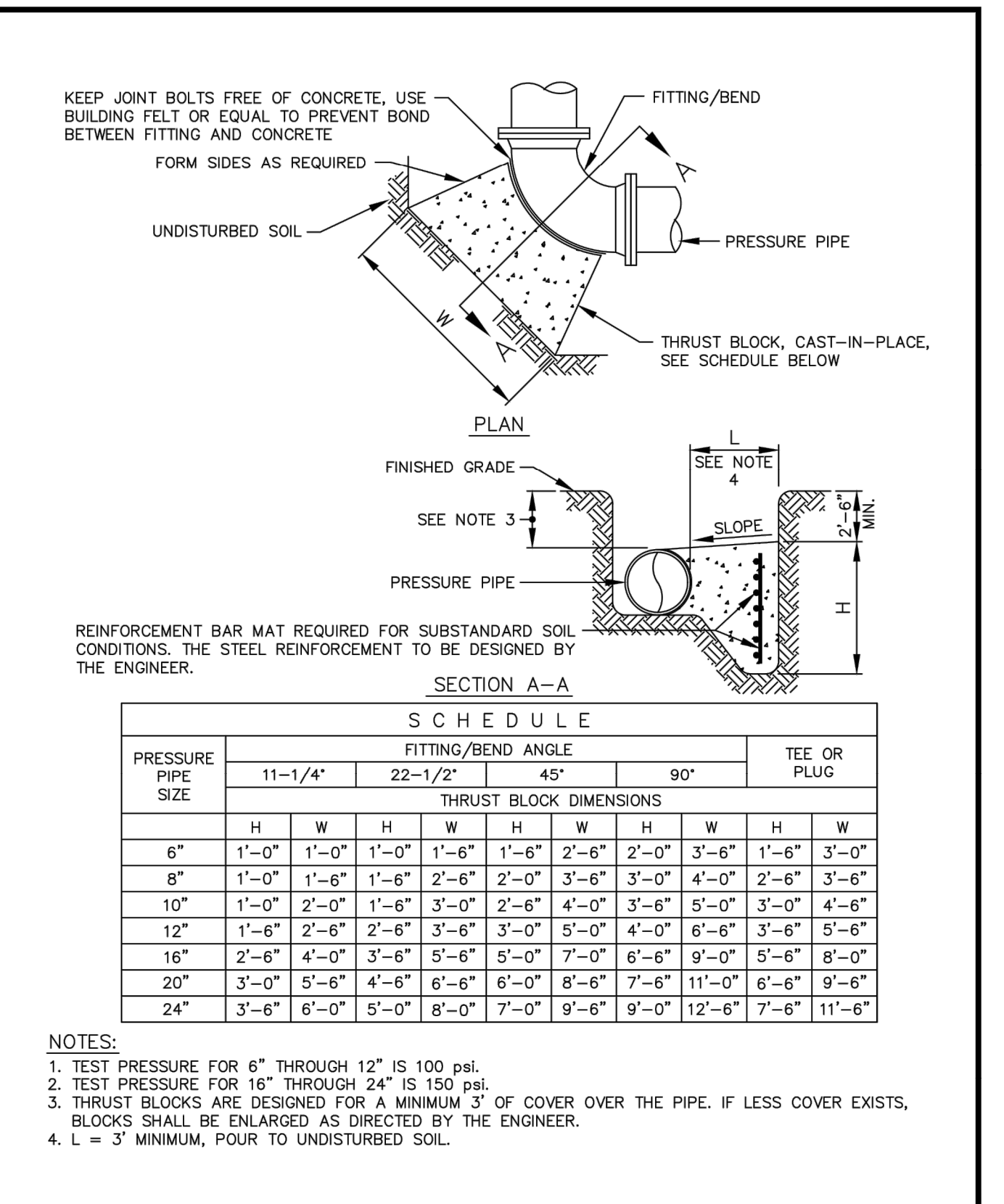
DATE: 12/15/15
INDEX: W-04
SCALE: N.T.S.
SHEET: 1 OF 1



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA

CAST-IN-PLACE VERTICAL THRUST ANCHOR DETAIL

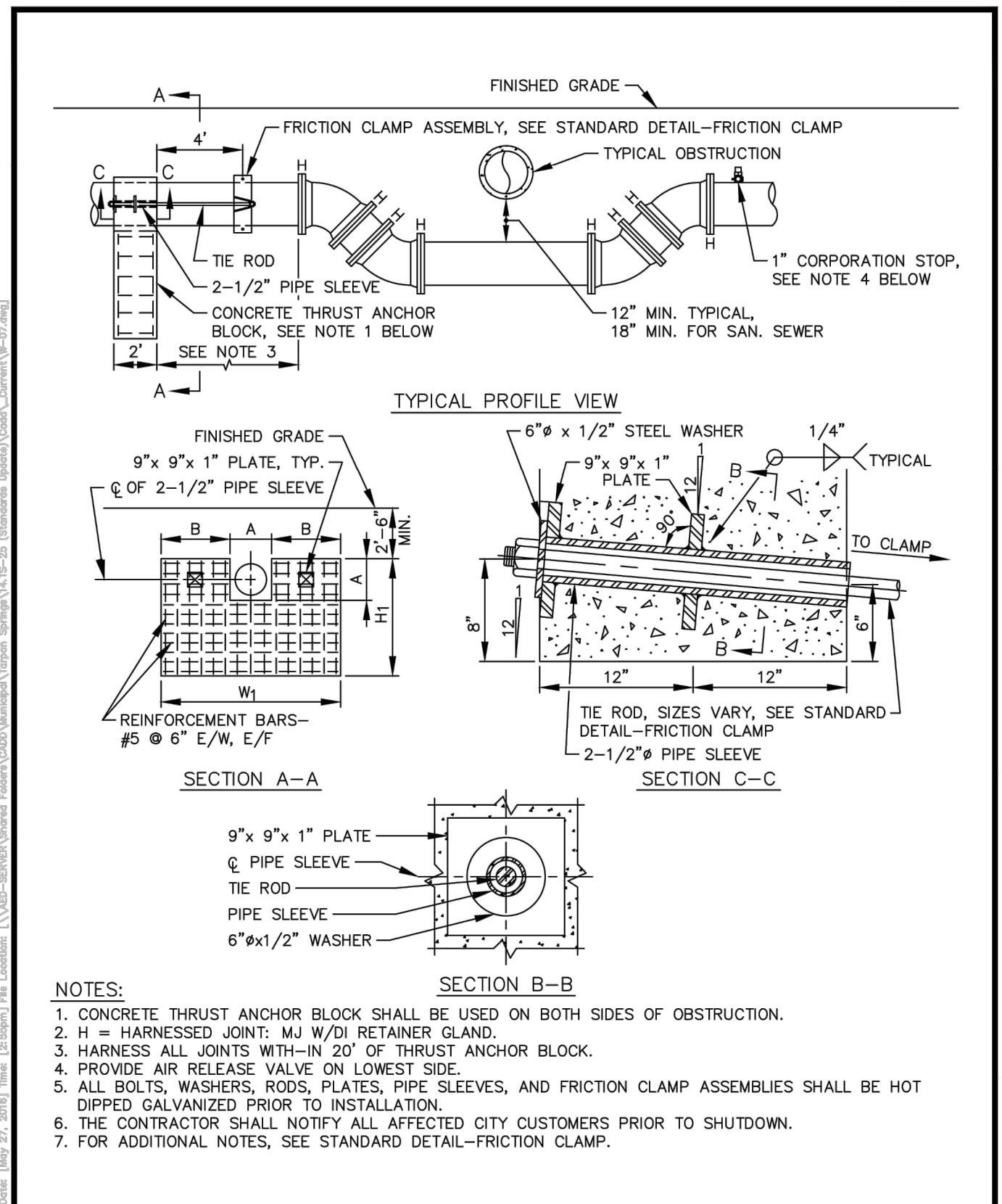
DATE: 12/15/15
INDEX: W-05
SCALE: N.T.S.
SHEET: 1 OF 1



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA

CAST-IN-PLACE HORIZONTAL THRUST BLOCK DETAIL

DATE: 12/15/15
INDEX: W-06
SCALE: N.T.S.
SHEET: 1 OF 1



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA

THRUST ANCHOR BLOCK FOR VERTICAL BENDS DETAIL

DATE: 12/15/15
INDEX: W-07
SCALE: N.T.S.
SHEET: 1 OF 1

David G. Fuxan, State of Florida Professional Engineer, License No. 23133
This item has been digitally signed and sealed by David G. Fuxan, P.E. on the date indicated here.
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Engineering Business Certificate of Authorization No. 26548

Fuxan Engineering, Inc.
15018 Maurine Cove Ln., Odessa, Florida 33556
Phone: 813-244-6194

DRAINAGE AND UTILITY DETAILS

JOB NO: 2020-RV-01
DESIGN: FUXAN
DRAWN: MIDDLETON
DATE: 7-31-2020
FILE: DETAILS

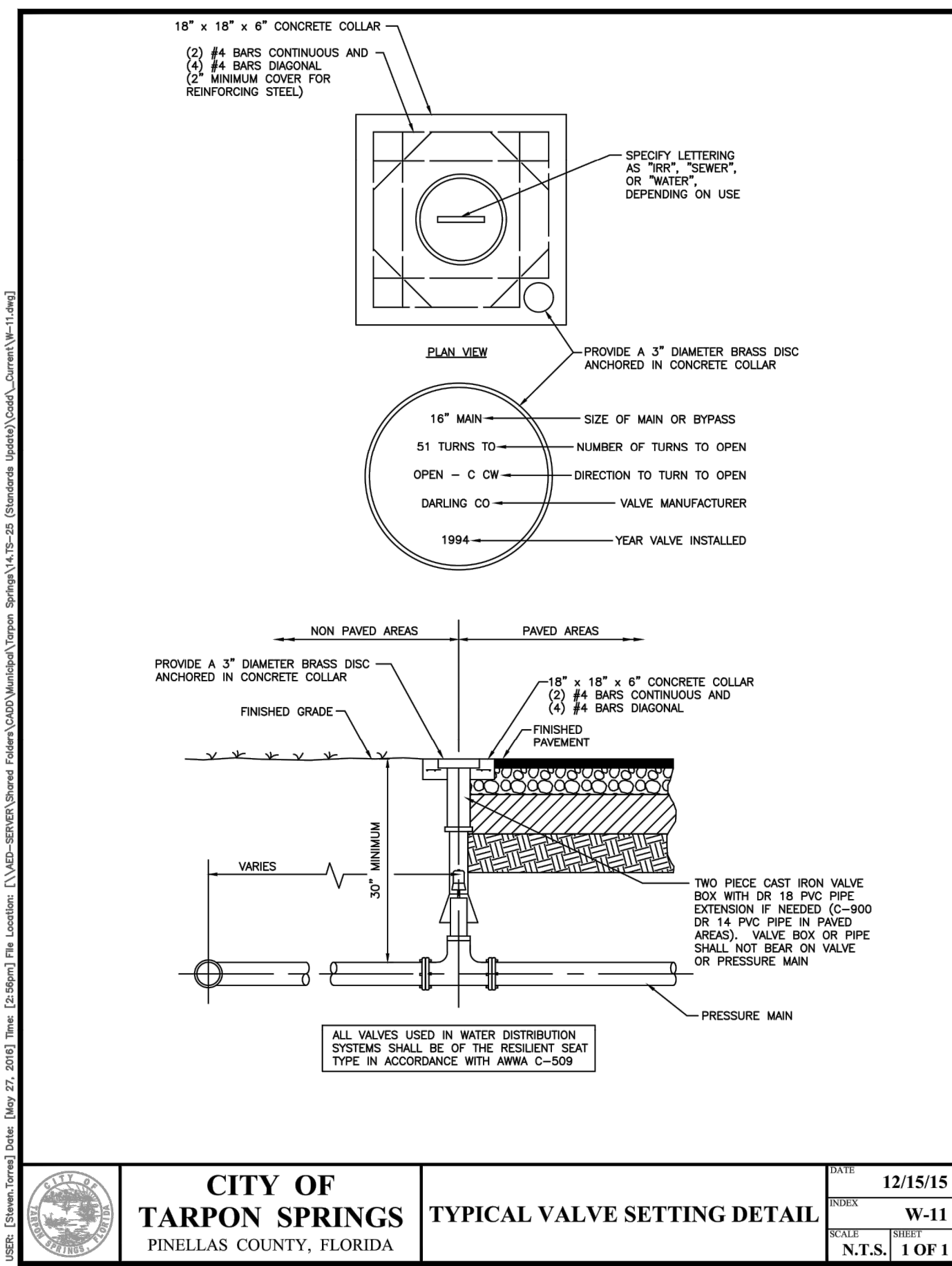
GEMINI STORAGE

PREPARED FOR: Breeze Treasures, LLC.
Elevations based on North American Vertical Datum 1988 (NAVD 88)
Conversion from NAVD 88 to NGVD 29 = +0.85 Feet

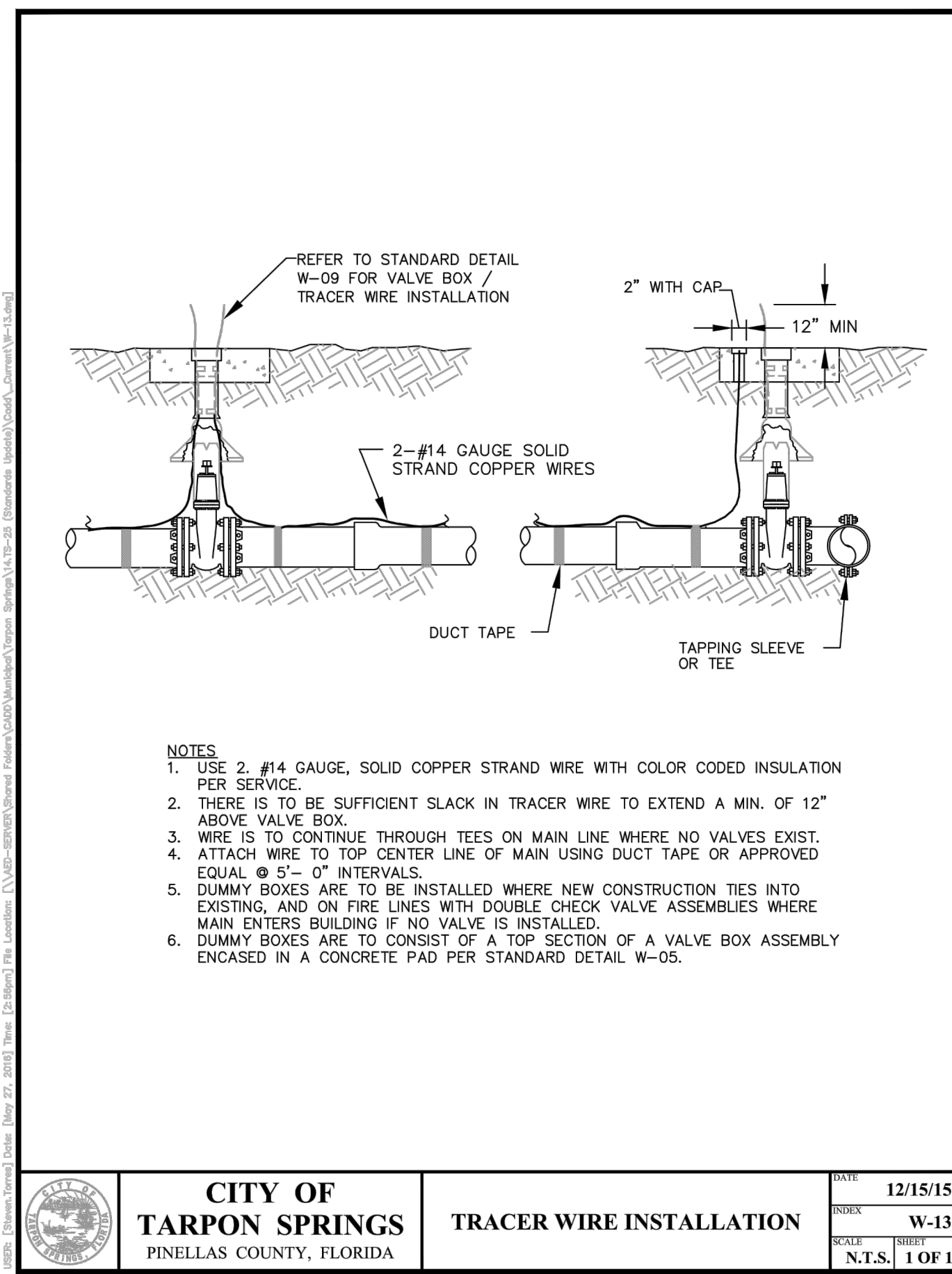
DATE: 3-7-2021
REMOVED DETAIL R19
DATE: 7-31-2020
DESCRIPTION: REVISIONS
BY: DM

DAVID G. FUXAN, P.E. NO. 23133
FLORIDA PROFESSIONAL ENGINEER

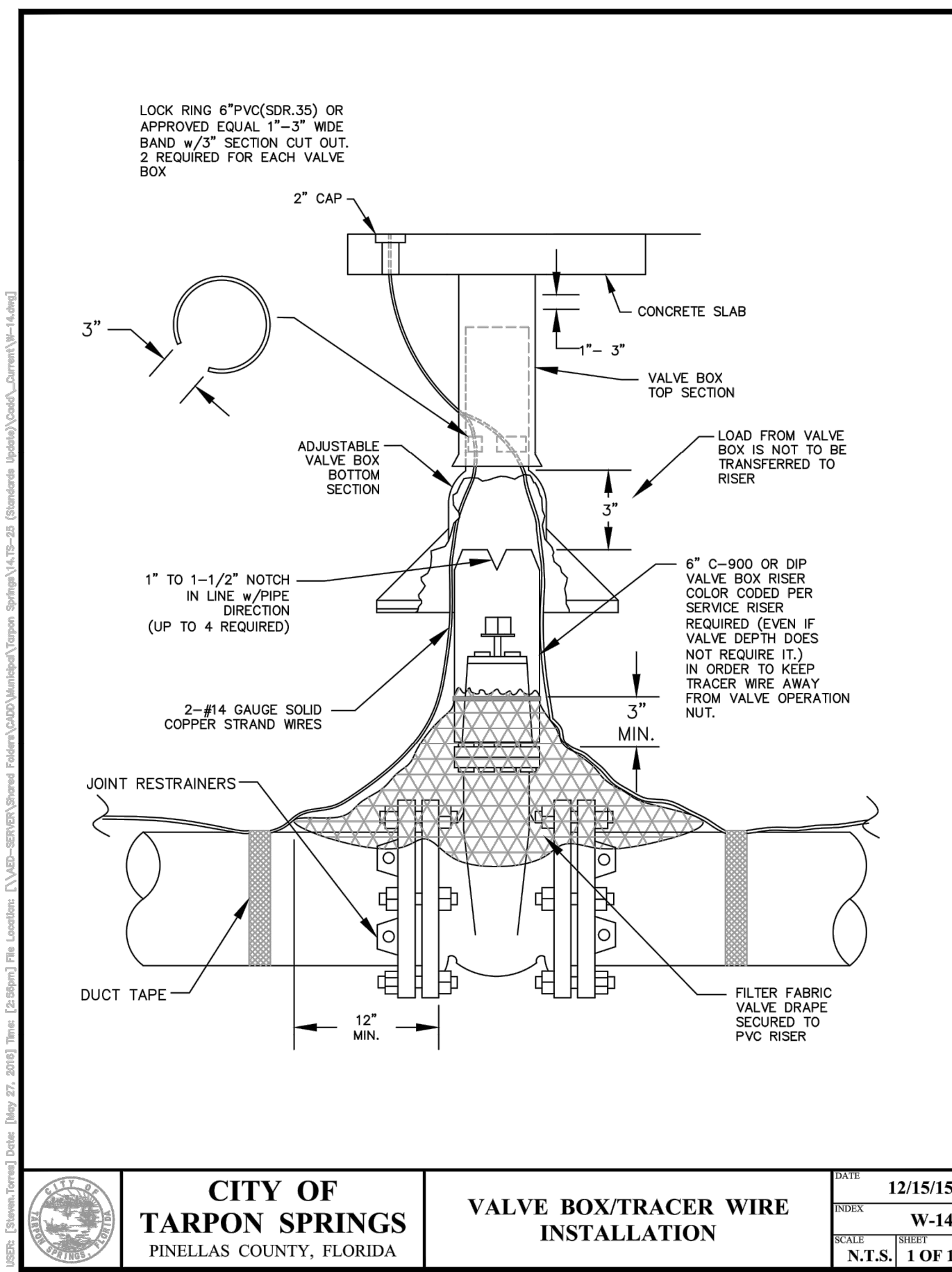
SHEET 8 OF 9 SHEETS



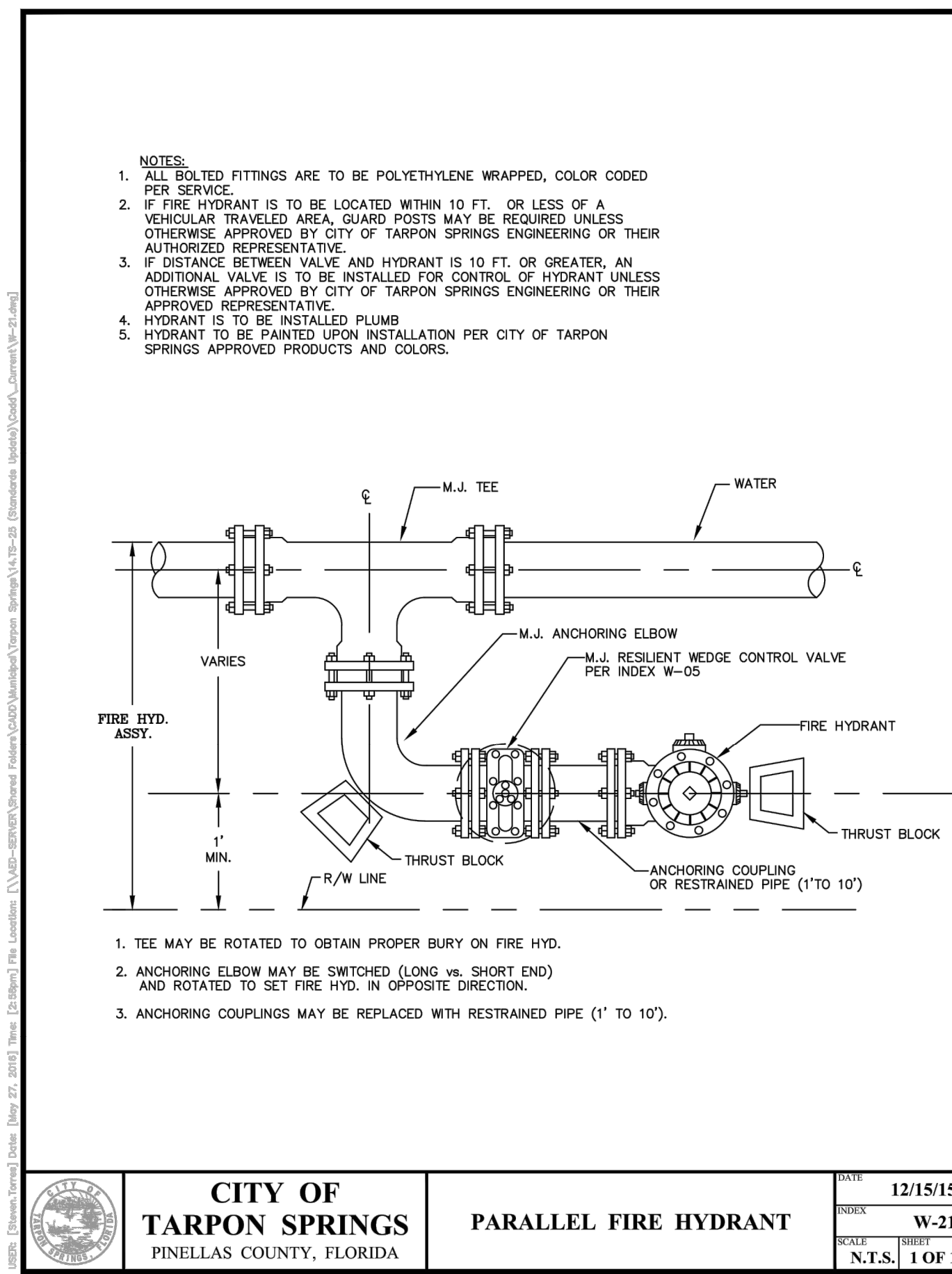
	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	TYPICAL VALVE SETTING DETAIL	DATE	12/15/15
			NO. OF SHEETS	W-11
			NO. OF SHEETS	1 OF 1
			SCALE	N.T.S.



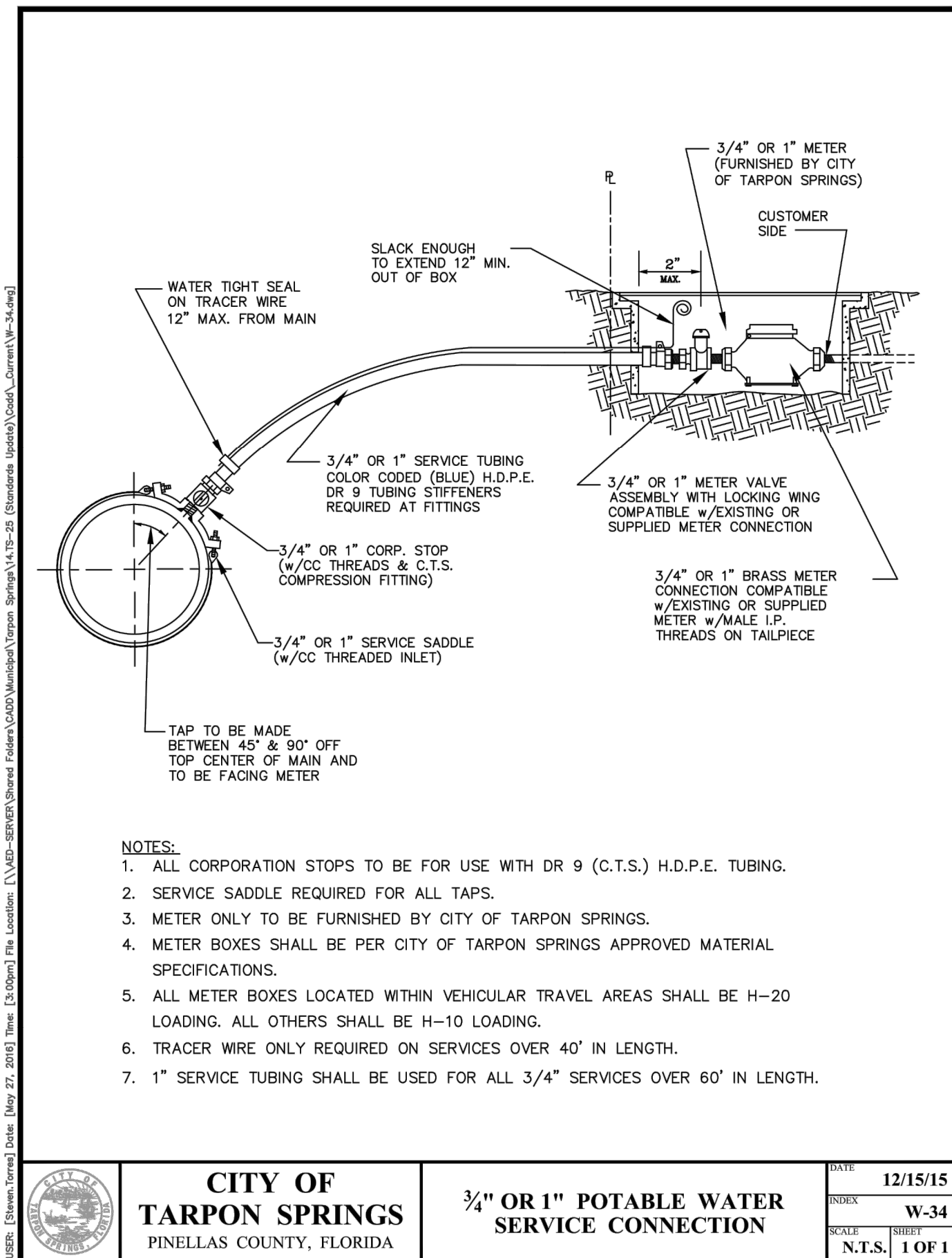
	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	TRACER WIRE INSTALLATION	DATE	12/15/15
			NO. OF SHEETS	W-13
			NO. OF SHEETS	1 OF 1
			SCALE	N.T.S.



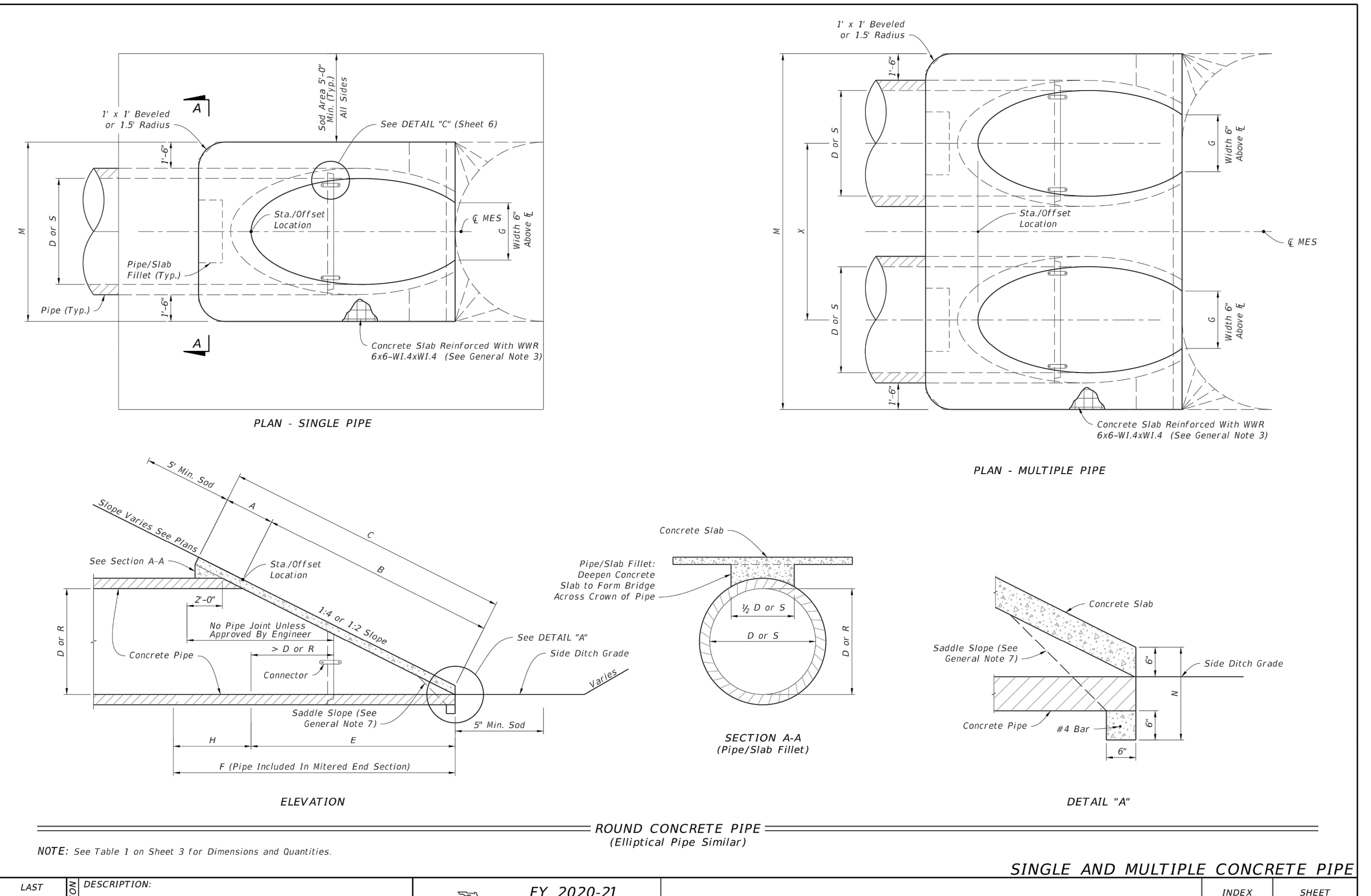
	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	VALVE BOX/TRACER WIRE INSTALLATION	DATE	12/15/15
			NO. OF SHEETS	W-14
			NO. OF SHEETS	1 OF 1
			SCALE	N.T.S.



	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	PARALLEL FIRE HYDRANT	DATE	12/15/15
			NO. OF SHEETS	W-21
			NO. OF SHEETS	1 OF 1
			SCALE	N.T.S.



	CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA	3/4" OR 1" POTABLE WATER SERVICE CONNECTION	DATE	12/15/15
			NO. OF SHEETS	W-34
			NO. OF SHEETS	1 OF 1
			SCALE	N.T.S.



LAST REVISION	DESCRIPTION:	FY 2020-21 STANDARD PLANS	CROSS DRAIN MITERED END SECTION	INDEX	SHEET
11/01/19				430-021	2 of 6

David G. Fuxan, State of Florida Professional Engineer, License No. 23123 This item has been digitally signed and sealed by David G. Fuxan, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.	Engineering Business Certificate of Authorization No.: 26548		DRAINAGE AND UTILITY DETAILS
		JOB NO. 2020-RV-01	GEMINI STORAGE
		DESIGN FUXAN	
		DRAWN MIDDLETON	PREPARED FOR: Breeze Treasures, LLC.
		DATE 7-31-2020	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet
		FILE DETAILS	SHEET 9 OF 9 SHEETS

D-1
 EXIST. SPILL WAY
 TOP OF SKIMMER EL= 4.22'
 BOTTOM OF SKIMMER EL= 3.19'
 TOP OF WEIR WALL EL= 3.30'
 SLOT EL= 2.67' (4.5' WIDE)

ON-SITE T.B.M.
 SET NAIL & TIN
 ELEV.= 5.93'
 N.A.V.D. 1988

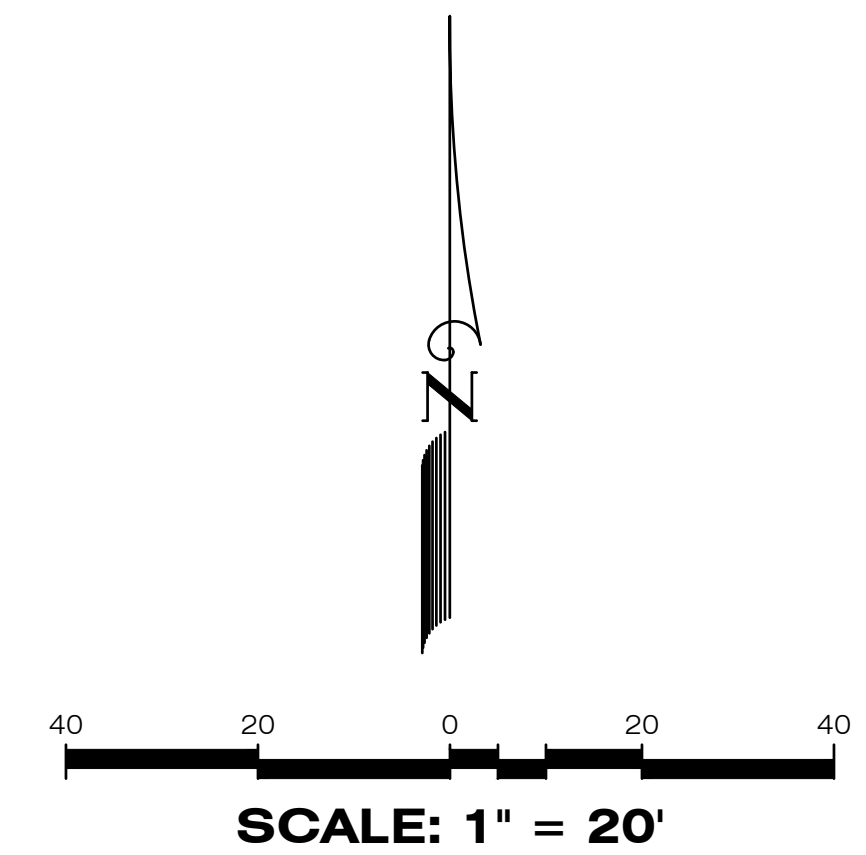
ON-SITE T.B.M.
 SET NAIL & TIN
 ELEV.= 4.38'
 N.A.V.D. 1988

CURB INLET
 TOP EL= 4.50'
 THROAT EL= 3.75'

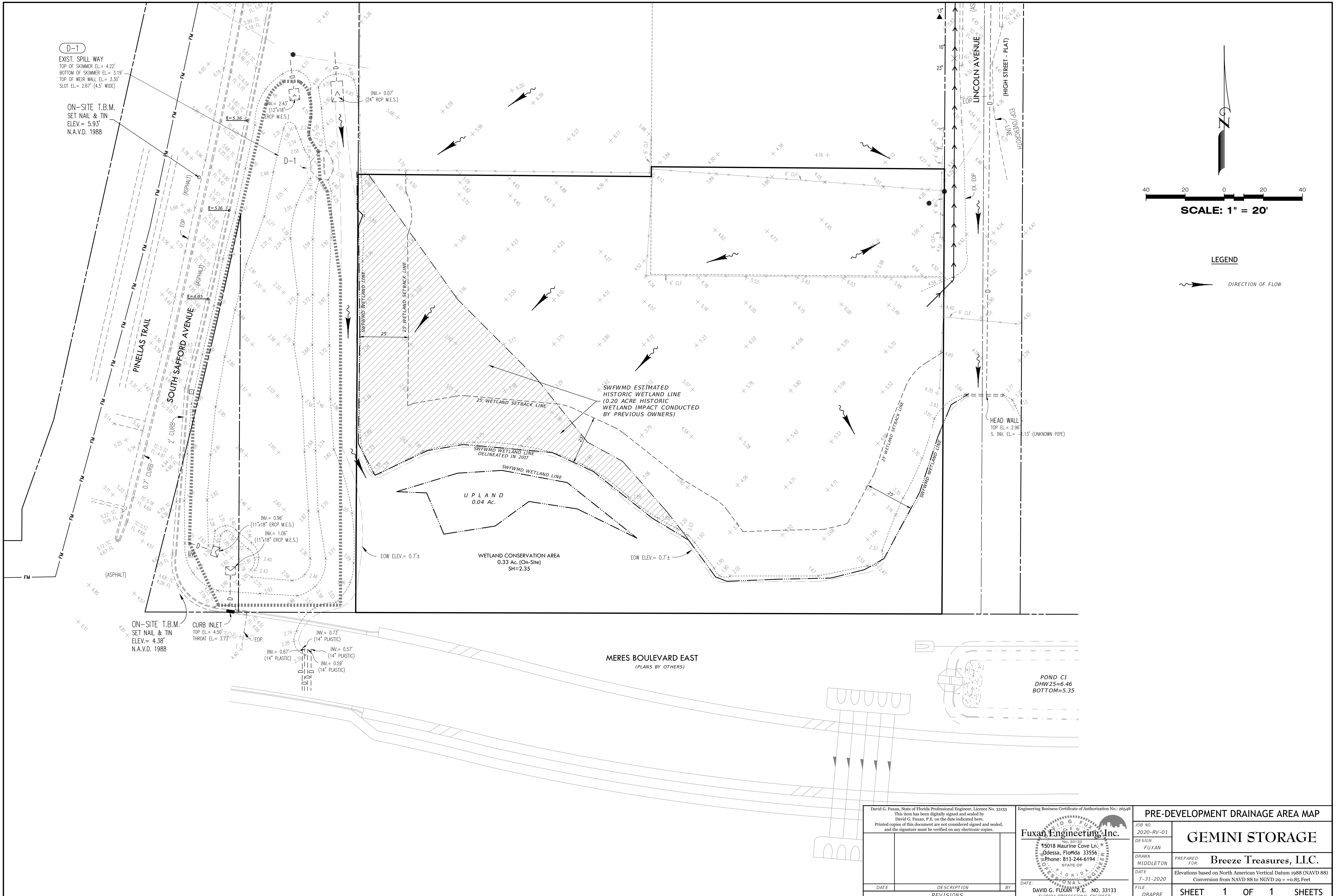
INV= 0.73'
 (14" PLASTIC)
 INV= 0.67'
 (14" PLASTIC)
 INV= 0.57'
 (14" PLASTIC)
 INV= 0.59'
 (14" PLASTIC)

MERES BOULEVARD EAST
 (PLANS BY OTHERS)

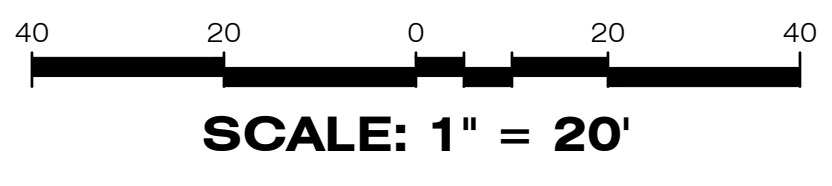
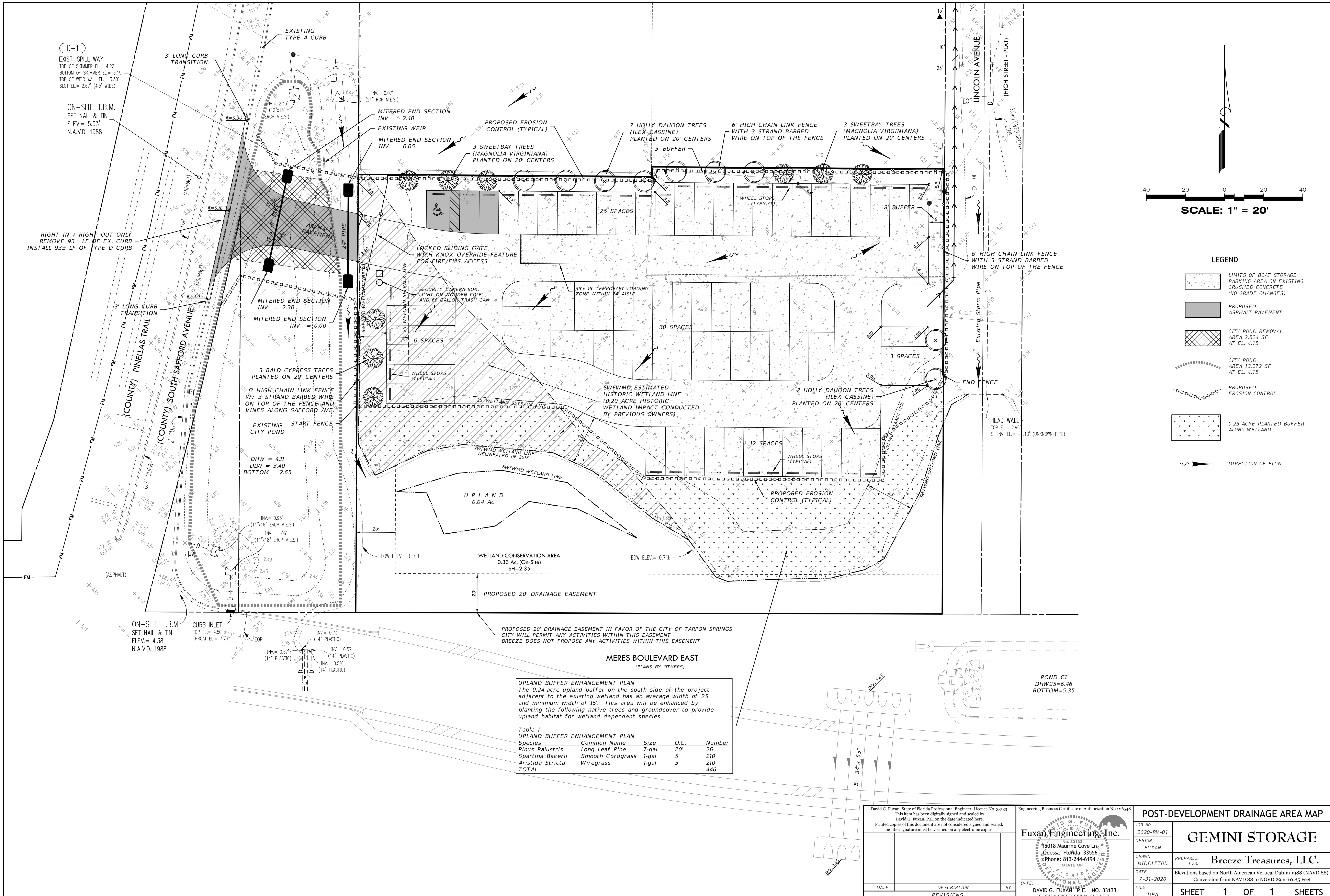
POND C1
 DHW25=6.46
 BOTTOM=5.35



LEGEND



David G. Fuxan, State of Florida Professional Engineer, Licence No. 23133 This item has been digitally signed and sealed by David G. Fuxan, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.			Engineering Business Certificate of Authorization No. 26548 Fuxan Engineering, Inc. 15018 Maurine Cove Ln., Odessa, Florida 33556 Phone: 813-244-6194			PRE-DEVELOPMENT DRAINAGE AREA MAP JOB NO. 2020-RV-01 GEMINI STORAGE DESIGN: FUXAN DRAWN: MIDDLETON DATE: 7-31-2020 FILE: DRAPRE			PREPARED FOR: Breeze Treasures, LLC. Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet SHEET 1 OF 1 SHEETS		
DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY			
	REVISIONS										



LEGEND

- LIMITS OF BOAT STORAGE PARKING AREA ON EXISTING CRUSHED CONCRETE (NO GRADE CHANGES)
- PROPOSED ASPHALT PAVEMENT
- CITY POND REMOVAL AREA 2,524 SF AT EL. 4.15
- CITY POND AREA 13,272 SF AT EL. 4.15
- PROPOSED EROSION CONTROL
- 0.25 ACRE PLANTED BUFFER ALONG WETLAND
- DIRECTION OF FLOW

UPLAND BUFFER ENHANCEMENT PLAN
 The 0.24-acre upland buffer on the south side of the project adjacent to the existing wetland has an average width of 25' and minimum width of 15'. This area will be enhanced by planting the following native trees and groundcover to provide upland habitat for wetland dependent species.

Species	Common Name	Size	O.C.	Number
Pinus Palustris	Long Leaf Pine	7-gal	20'	26
Spartina Bakerii	Smooth Cordgrass	1-gal	5'	210
Aristida Stricta	Wiregrass	1-gal	5'	210
TOTAL				446

David G. Fuxan, State of Florida Professional Engineer, License No. 23133 This item has been digitally signed and sealed by David G. Fuxan, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.		Engineering Business Certificate of Authorization No. 26548	
 15018 Maurine Cove Ln., Odessa, Florida 33556 Phone: 813-244-6194		POST-DEVELOPMENT DRAINAGE AREA MAP JOB NO. 2020-RV-01 GEMINI STORAGE DESIGN: FUXAN DRAWN: MIDDLETON PREPARED FOR: Breeze Treasures, LLC. DATE: 7-31-2020 ELEVATIONS based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet FILE: DRA SHEET 1 OF 1 SHEETS	
		DATE: DAVID G. FUXAN, P.E. NO. 33133 FLORIDA PROFESSIONAL ENGINEER	
DATE	DESCRIPTION	BY	
	REVISIONS		

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-37 – TIEGUYS - TEMPORARY USE FOR CONSTRUCTION TRAILER
- 338 E LEMON STREET**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Temporary Use Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name ASKR Enterprises, LLC		Email alex@tieguys.com	
Address 338 E. Lemon St.			
City Tarpon Springs		State FL	Zip 34689
Phone 727-475-4452	Fax	Cellular 727-515-6026	

Applicant

Name Alex Jarmolych		Email alex@tieguys.com	
Address 338 E. Lemon St.			
City Tarpon Springs		State FL	Zip 34689
Phone 727-475-4452 x103	Fax	Cellular 727-515-6026	

Agent (if applicable)

Name		Email	
Address			
City		State	Zip
Phone	Fax	Cellular	

General Information

Project Name Tieguys.com - Lemon St.
Property Location or Address 338 E. Lemon St
Legal Description (attach additional sheets as necessary) Edmondson's Sub Lots 1 and 2
Tax Parcel Number(s) 13-27-15-25272-000-0010

Land Use & Zoning Information

Existing Designations of Property

Land Use Category: _____ Zoning District: _____

General Information

Temporary Use Requested: (briefly describe)

Two temporary use construction trailers, for secure storage during renovations and construction. The containers will be approximately 4 feet from the rear property line and 6 feet from the side property line.

Length of Time Requested: (90 days max.) 90 Days from: 4 / 1 / 21 to: 7 / 1 / 21
mm dd yy mm dd yy

CITY OF TARPON SPRINGS, FLORIDA
Temporary Use Application

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding temporary use applications.

§ 56.00 TEMPORARY USES.

- (A) All requests for temporary use permits shall require prior approval from the Technical Review Committee (TRC) prior to the issuance of a building permit.
- (B) All temporary structures shall comply with the requirements of the applicable building codes.
- (C) Temporary structures are not required to comply with the district setback requirements.
- (D) All requests for temporary use permits shall be accompanied by a plot plan or survey showing the nature of the activity and temporary improvements involved, and a time period for which the permit is requested.
- (E) Adequate utility, drainage, refuse management, emergency services and access, parking, and similar necessary facilities and services shall be available for the use. Sanitary facilities shall be approved by the Pinellas County Health Department in writing.
- (F) Special Events on public property or right-of-way shall be processed in accordance with the requirements of Chapter 12.5 Article II of the City of Tarpon Springs Code of Ordinances.
- (G) Unless specified otherwise by this Code, no temporary use permit shall be issued for more than a 90-day period.
- (H) Upon a showing of unusual circumstances, the City Manager or his/her designee may grant one extension of the original approval period. No further extensions will be permitted.

The following MUST be furnished with this application: [incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents**
- \$100.00 application fee
- Property survey including legal description, signed and sealed by a professional land surveyor
- Proof of ownership (warranty deed, title certification, etc.)
- Site or Sketch Plan showing the nature of the activity and temporary improvements involved and their relationship to existing uses and structures on the property
- Approval of sanitary facilities from the Pinellas County Health Department, if applicable
- Flame spread certification (for tents only)
- If for Construction Trailer, please note above whether there will be plumbing or electrical service used in the trailer.

Boundary Survey



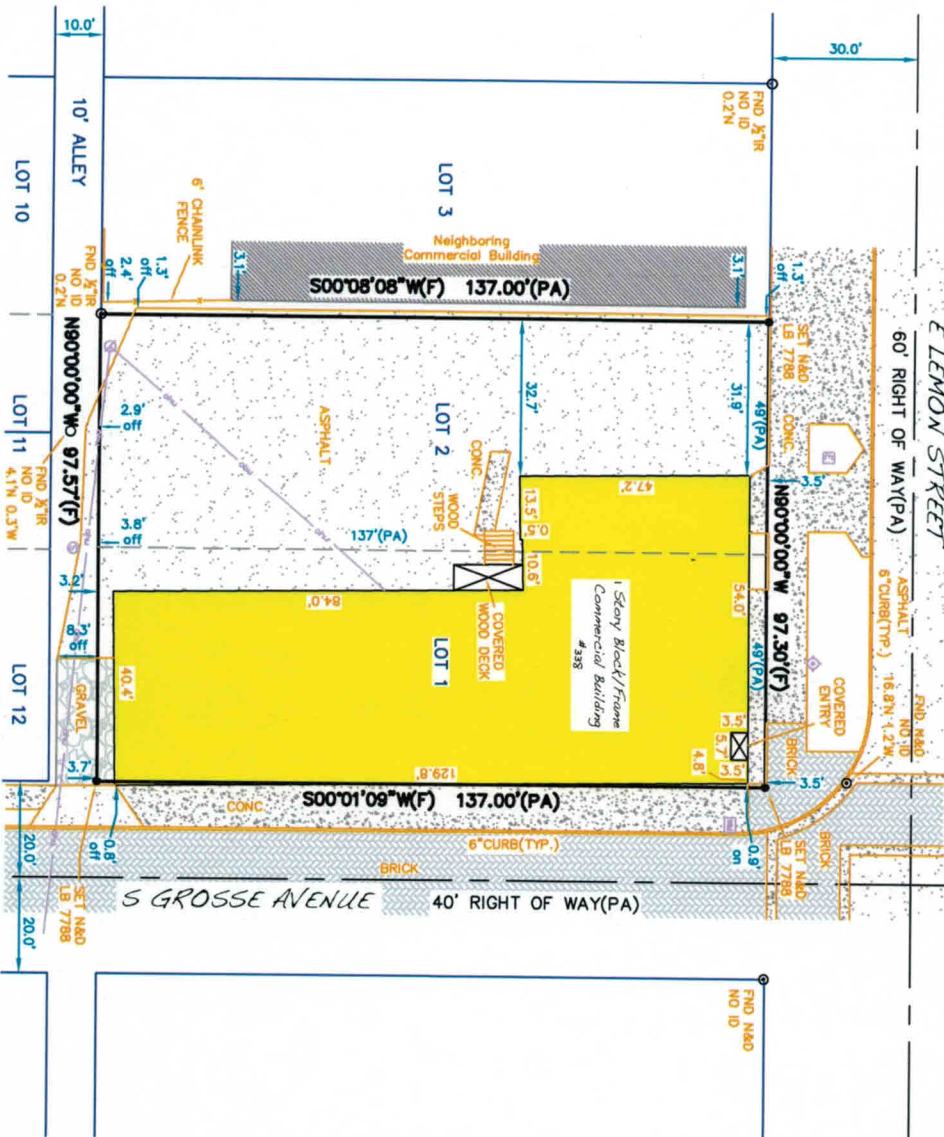
ADDRESS
338 E Lemon Street
Tampa Springs, FL 34689

- LEGEND**
- O = Iron Rod & Cap (IR)
 - ⊗ = Nail & Disk (N&D)
 - OR Book = Official Record Book
 - Pg = Plat Book
 - Pg = Page
 - CONC. = Concrete
 - FND = Found
 - ID = Identification
 - LB = Licensed Business
 - LS = Licensed Surveyor
 - TYPE =
 - AP = Apical Box
 - EL = Electrical
 - EH = Fire Hydrant
 - SM = Sanitary Manhole
 - OP = Overhead Utilities
 - WM = Water Meter
 - (C) = Calculated Distance
 - (F) = Field Measurement
 - (PA) = Property Appraisal
 - on/off = On Site/off Site

COPYRIGHT 2011

JOB #:	VL5R17-21844
CLIENT #:	17-0407
FIELD DATE:	07-10-17
DRAFTER:	BT
APPROVED:	JEW
SCALE:	1" = 30'

Borrower's Acknowledgment and Acceptance



CERTIFIED TO: (AS FURNISHED)
2 RJ Investments, Inc.
Courtland Title Services, Inc.
Old Republic National Title Insurance Company

FLOOD ZONE
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE SPECIAL FLOOD HAZARD PER F.I.R.M. PANEL NUMBER xxxxxxxxxx. LAST REVISION DATE xxxxxx. PER MAPWISE WEBSITE, THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

LIST OF POSSIBLE ENCROACHMENTS:
CONC., ASPHALT AND BUILDING GROSS PROPERTY LINES OWNERSHIP OF FENCES, CONC. AND ASPHALT NOT DETERMINED SOME UTILITIES LIE WITHIN THE SUBJECT PROPERTY

BASIS OF BEARING
BEARINGS ARE ASSUMED AND BASED ON THE SOUTH RIGHT-OF-WAY OF E LEMON STREET WHICH HAS A BEARING OF N 90°00'00" W.

- NOTES**
- Underground utility installations, underground improvements, foundations and/or other underground structures were not located by this survey.
 - The surveyor has not conducted this insurance and bonding and should not be used for construction purposes.
 - Additions or deletions to this survey by anyone other than the signing party or parties is prohibited without the written consent of the signing party or parties.
 - The property shown hereon is subject to all assessments, restrictions and reservations which may be shown or noted on the record plat and within the jurisdiction of any other local property is located. This survey only depicts survey related information and does not show other records that are shown on a record plat or have been furnished to the Surveyor.
 - Building lines and dimensions for improvements should not be used to reconstruct boundary lines.

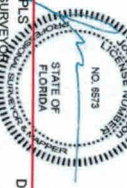
THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

LB 7788



941 S Pennsylvania Ave, Winter Park, FL 32789 | (888) 399-8474

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY IS A TRUE AND ACCURATE REPRESENTATION OF A SURVEY MADE UNDER MY DIRECTION.



Joseph E. Williamson, F.L.S.
PROFESSIONAL LAND SURVEYOR NO. 6573
NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND/OR ORIGINAL MASSSED SEAL OF THE LISTED FLORIDA LICENSED SURVEYOR AND NUMBER

DATE	REVISION	DATE	REVISION

DATED: 07-12-17

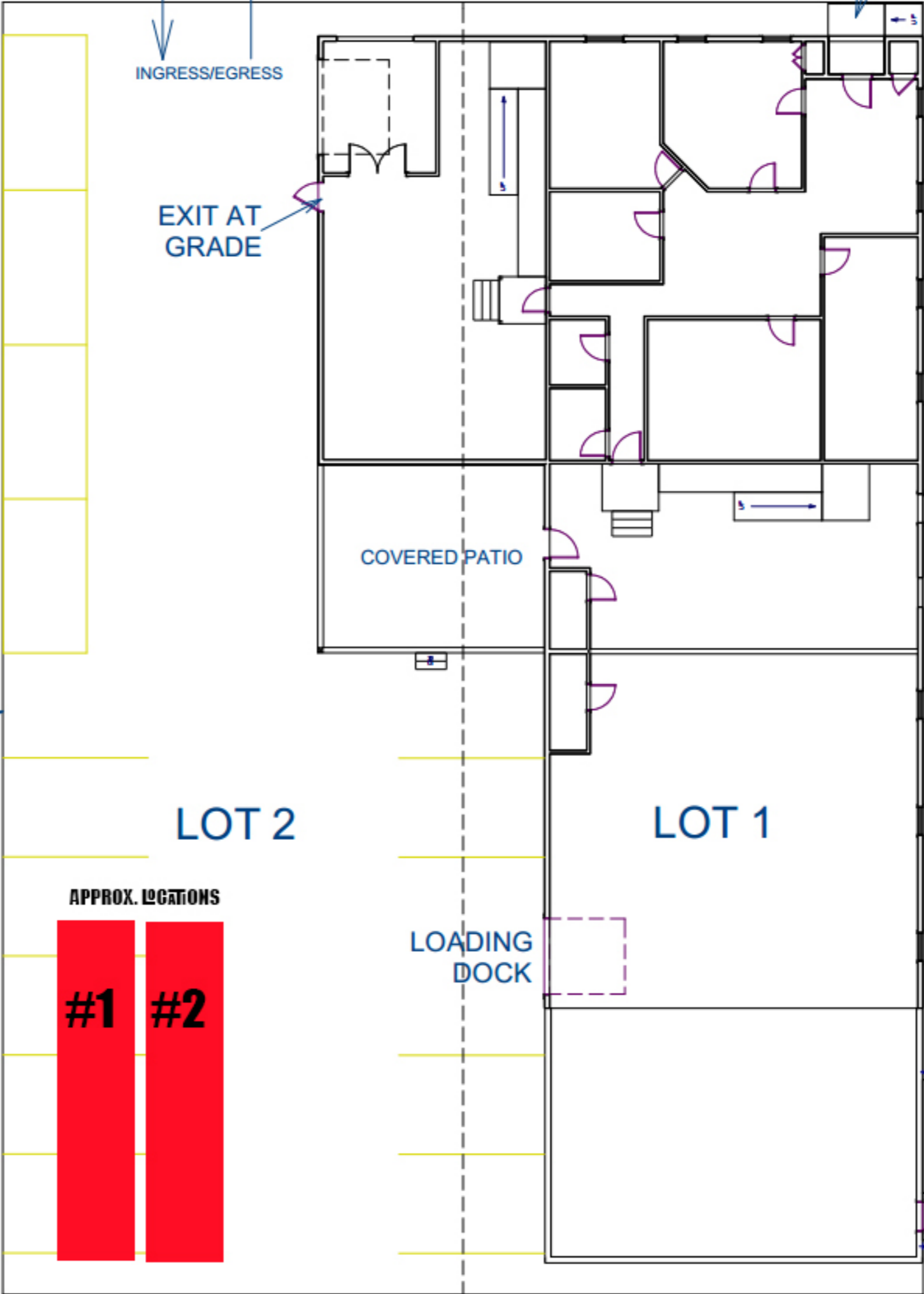
LEMON STREET

LANDING AND RAMP B
(SEE DETAIL A11)



INGRESS/EGRESS

EXIT AT GRADE



GROSSE AVENUE

COVERED PATIO

LOADING DOCK

LOT 2

LOT 1

APPROX. LOCATIONS

#1

#2

PROPERTY LINE

LANDING AND RAMP A
(SEE DETAIL A11)

PLOT PLAN

SCALE 1"=10'

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-26 - FLAGSHIP BANK - SITE PLAN REVIEW - SE CORNER OF MERES BLVD AND PINELLAS AVE

DATE: 4/1/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

- APPROVE DENY DEFER SEE BELOW NO COMMENTS

REVIEWER _____
INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLAREST INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

Return to
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Flagship Bank		Email rmcgivney@flagshipbank.com	
Address 29750 US Hwy 19 N			
City Clearwater		State FL	Zip 33761
Phone 727-451-2020	Fax 727-451-5070	Cellular 727-204-0195	

Applicant

Name Same as Property Owner		Email	
Address			
City		State	Zip
Phone	Fax	Cellular	

Agent (if applicable)

Name Gary A. Boucher, P.E., Ozona Engineering, Inc		Email gboucher@ozonamail.com	
Address PO Box 432			
City Ozona		State FL	Zip 34660
Phone 727-785-3939	Fax 727-785-3434	Cellular 727-365-2593	

General Information

Project Name Flagship Bank
Property Location or Address SE Corner of Alt19 & Meres, Meres Crossing Shopping Center
Legal Description (attach additional sheets as necessary) See attached
Tax Parcel Number(s) 13-27-15-00000-420-0120

Existing Land Use & Zoning Information

Present Designations of Property		Current Use of Property
Land Use Category Vacant	Zoning District	Vacant

Site Acreage:

Upland 0.69 Wetland 0 Submerged 0 TOTAL 0.69

Flood Information: [please check all that apply]

Zone X Zone X Shaded Zone AE Zone VE

Base Flood Elevation (BFE): [please list all elevations] 10.0

**CITY OF TARPON SPRINGS, FLORIDA
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Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	☻ GPD	260 GPD	200 GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis / Review by Engineering Division		
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day
TPD = trips per day

The following MUST be furnished with this application: [Incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents
- Application fee (based on site acreage)
 - 0 – 5 acres; \$ 500.00
 - 5.01 – 10 acres; \$ 750.00
 - 10.01 – 15 acres; \$1,000.00
 - 15.01 – 20 acres; \$1,500.00
 - 20.01 acres or more; \$2,000.00
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Endangered/Threatened Species Study, if required by Section 144.00, LDC
- Acknowledge compliance with the City's Public Art Ordinance (see criteria below)
- Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)
- Five (5) complete sets of plans including all the following items.
 - A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
 - B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
 1. All required information shall be submitted on standard sheets (24" x 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

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5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
8. Existing contours and proposed grades at one foot intervals.
9. Flood zone and required first floor elevation(s).
10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
12. Lot dimensions including curve data.
13. Proposed setback dimensions.
14. Gross floor area by type for non-residential uses.
15. Gross density for residential uses and number and types of units.
16. The proposed architectural elevations and floor plans with accurate dimensions.
17. Proposed private and public streets with right-of-way dimensions.
18. Proposed phasing plan by anticipated commencement and completion date.
19. Dumpster location and screening.
20. Required parking calculations (parking provided and required).
21. Size and location of required loading zones.
22. Required (proposed) sidewalks and internal walkways.
23. Driveways and access improvements.
24. Location and type of site lighting including pole height and fixture type.
25. Description of the maintenance of common facilities for residential projects.
26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

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water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

1. Projects with an aggregate job value under \$1,000,000.00.

2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

APPLICANT'S ACKNOWLEDGEMENT:

Type of Public Art Activity [please Initial only one]

This project is exempt from the Public Art Program requirements.

Please state exemption: Under \$1,000,000, CA

I will contract with a professional artist to create a permanent, public artwork as part of the development.

In lieu of an on-site project, I will contribute .75 percent of the aggregate job value* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

**Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.*

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

(A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.

(B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.

(C) Design Requirements for all non-residential site plans.

1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

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- c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.
 - d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.
 - e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.
2. Sidewalks and private frontages (the area between the building and right- of-way)
- a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.
3. Landscaping
- a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.
4. Elevation of buildings
- a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.
5. Pedestrian promenades on waterfront lots
- a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.
6. All site plans and building plans shall adhere to the additional building design requirements set out below;
- a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.
 - b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.
 - c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.
 - d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.
 - e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

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- f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.
- g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.
- h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.
- i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.
- j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.
- k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

- a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.
- b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.
- c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.
- d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.
- e. Multiple connections shall be required between the structure and the public right-of-way.
- f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

(D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

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AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Gary P. Boucher, P.E. is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: _____
Date: 2/23/2021
Date: _____
Date: _____

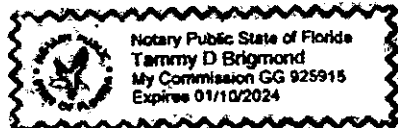
Title Holder: Flagship Bank by Robert B. McGivney
CEO/Vice Chairman
Title Holder: [Signature]
Title Holder: _____
Title Holder: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 23rd day of February, A.D., 20 21 by Robert B. McGivney, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name: _____
Signature: [Signature]
Stamp: _____



LEGAL DESCRIPTION

A PORTION OF LAND LYING IN SECTION 13, TOWNSHIP 27 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTER OF SAID SECTION 13, THENCE ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 13, RUN SOUTH 89°51'20" EAST A DISTANCE OF 28.94 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE (STATE ROAD NO. 595 AND ALT. 19) SAID POINT ALSO BEING A POINT OF CURVATURE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 40.79 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 475.51 FEET, A CENTRAL ANGLE OF 4°54'53" AND A CHORD OF 40.78 FEET, WHICH BEARS SOUTH 11°21'30" WEST TO THE POINT OF BEGINNING, THENCE LEAVING SOUTH PINELLAS AVENUE SOUTH 89°51'20" EAST 161.30 FEET, THENCE SOUTH 00°00'00" EAST 110.74 FEET, THENCE SOUTH 20°48'03" WEST 89.29 FEET, THENCE NORTH 69°36'25" WEST 99.25 FEET, THENCE NORTH 66°51'16" WEST 92.31 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE NORTH 26°11'02" EAST 29.40 FEET TO A POINT OF CURVATURE, THENCE 103.77 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 477.15 FEET TO A CENTRAL ANGLE OF 12°27'37" AND A CHORD OF 103.56 FEET, WHICH BEARS NORTH 19°57'14" EAST TO A POINT OF BEGINNING.

DATUM INFORMATION

N.A.V.D. 1988 DATUM

FLOOD ZONE INFORMATION

SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE AE (EL. 10 FEET), ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, PINELLAS COUNTY, FLORIDA, MAP NUMBER 1210100345 F, COMMUNITY: CITY OF TARPON SPRINGS, 120259, MAP REVISED DATE: SEPTEMBER 26, 2014, MAP INDEX NUMBER 121030IND1C, MAP REVISED: AUGUST 18, 2009. AN ACCURATE ZONE DETERMINATION SHOULD BE MADE BY THE PREPARER OF SAID MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS PRIOR TO ANY JUDGMENTS BEING MADE FROM THE ZONE AS NOTED.

SURVEYOR:

BULLSEYE SURVEYING, INC.
2014 DREW STREET
CLEARWATER, FL 33765
(727) 475-8088 FAX (727) 264-0457

NOTE TO CONTRACTOR

THIS SET OF PLANS IS COMPRISED OF SEVERAL SHEETS THAT REFER TO EACH OTHER FOR VARIOUS DESIGN DATA AND DESCRIPTIVE PURPOSES. NO SHEET SHALL STAND ALONE. FOR BIDDING, CONSTRUCTION AND COORDINATION PURPOSES, ALL PAGES WITHIN THIS SET OF PLANS SHALL BE PRESENTED TOGETHER, NOT IN PART. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF PLANS TO ALL THOSE CONDUCTING WORK ON THIS PROJECT. INCOMPLETE PLAN PACKAGES MAY BE CONSIDERED INVALID BY THE ENGINEER OF RECORD.

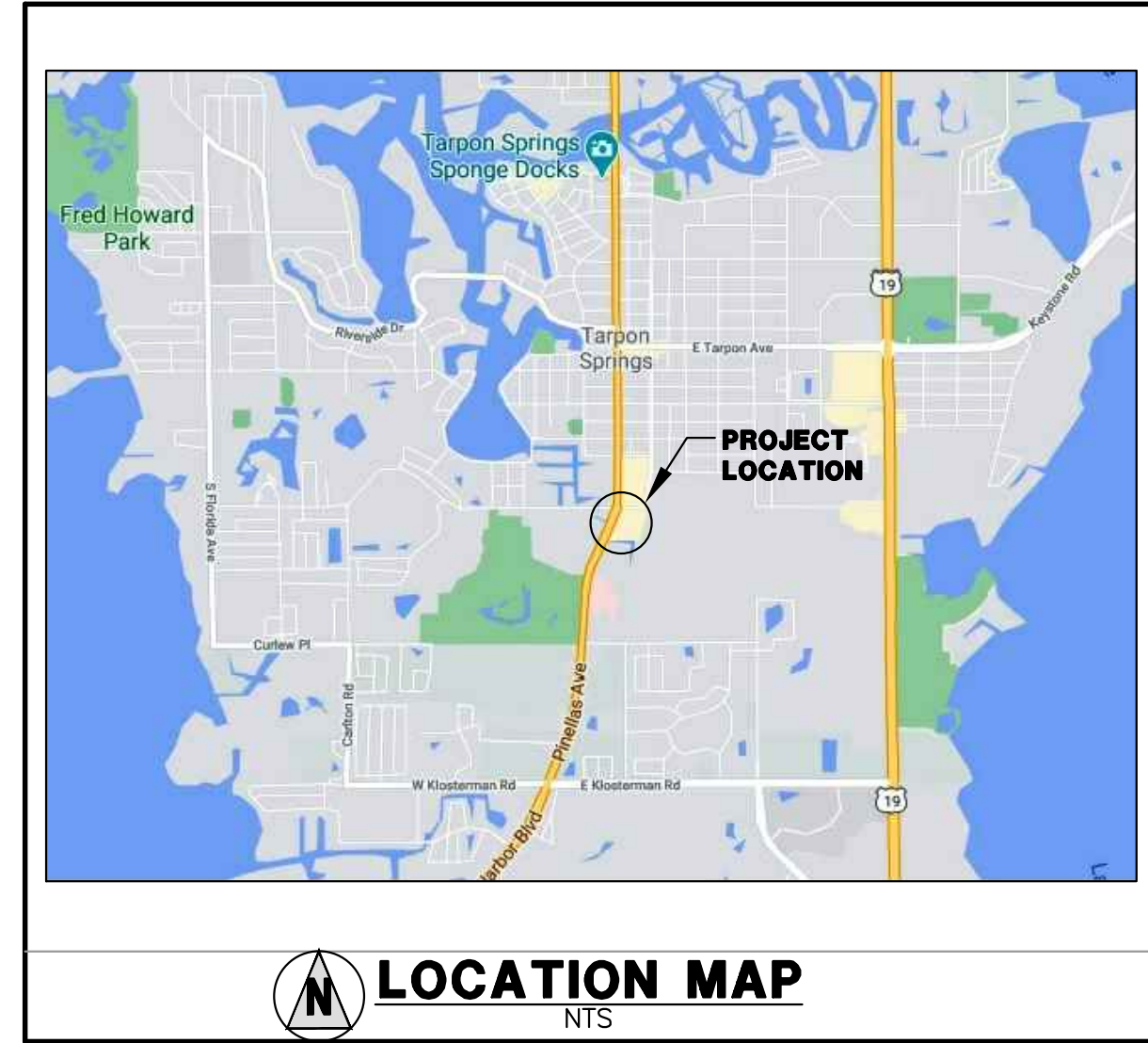
**SECTION 13 , TOWNSHIP 27 S., RANGE 15 E
CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA**

CONSTRUCTION PLANS

SITE INFORMATION

PARCEL ID #:
13-27-15-00000-420-0120

PROPERTY ADDRESS:
US. ALT HWY 19 & MEARS BLVD.
TARPON SPRINGS, FL



SITE DATA										
BEFORE DEVELOPMENT					AFTER DEVELOPMENT					NOTES
ZONING	RO				RO					
LAND USE	VACANT				COMMERCIAL					
FACILITY USE	VACANT				BANK					
LOT AREA	30,010 sf	0.69 Ac	MOL	100.0%	30,010 sf	0.69 Ac	MOL	100.0%		
BUILDING COVERAGE	0 sf	0.00 Ac	MOL	0.0%	3,327 sf	0.08 Ac	MOL	11.1%		
TOTAL NUMBER OF STORIES	0				1					
GROSS FLOOR AREA	0 sf	0.00 FAR			3,327 sf	0.11 FAR			MAX. FAR = 0.25	
PAVED VEHICULAR USE AREA	0 sf	0.00 Ac	MOL	0.0%	16,055 sf	0.37 Ac	MOL	53.5%		
OTHER IMPERVIOUS AREA	0 sf	0.00 Ac	MOL	0.0%	1,655 sf	0.04 Ac	MOL	5.5%		
IMPERVIOUS SURFACE RATIO	0 sf	0.00 Ac	MOL	0.0%	21,037 sf	0.48 Ac	MOL	70.1%	MAX. ISR = 0.75	
OPEN SPACE	30,010 sf	0.69 Ac	MOL	100.0%	8,973 sf	0.21 Ac	MOL	29.9%		
INTERIOR LANDSCAPING	0 sf	0.00 Ac	MOL	#DIV/0!	1,500 sf	0.03 Ac	MOL	9.3%	REQ'D=100 SF/5 SPACES	
BUILDING SETBACKS	FRONT	0.0 ft	W		68.5 ft	W			MIN. SETBACKS FRONT = 20.0' REAR = 20.0' SIDE = 20.0' STREET SIDE= 15.0'	
	SIDE	0.0 ft	S		59.5 ft	S				
	SIDE	0.0 ft	N		53.0 ft	N				
	REAR	0.0 ft	E		39.2 ft	E				
PERIMETER LANDSCAPING	FRONT	0.0 ft	N		8.0 ft	N			REQUIRED LS BUFFERS FRONT = 8.0' REAR = 8.0' SIDE = 8.0'	
	SIDE	0.0 ft	S		8.0 ft	S				
	SIDE	0.0 ft	E		8.0 ft	E				
	REAR	0.0 ft	W		8.0 ft	W				
BUILDING HEIGHT	0.0 ft				30.0 ft				MAX. HEIGHT = 35.0'	

PARKING CALCULATIONS
REQUIRED: 1 SPACE PER 200 SF OF GROSS FLOOR AREA
3327 SF/200 = 16.6 OR 17 SPACES REQUIRED
2 DRIVE-THRU LANES = 12 SPACES
PROVIDED: 19 SPACES INCLUDING 2 HANDICAP SPACES

PROJECT INFORMATION

PROPERTY OWNER:
FLAGSHIP BANK
29750 U.S. HWY. 19
CLEARWATER, FLORIDA 33761

DESCRIPTION OF WORK:
CONSTRUCT 3,327 S.F. BANK ON 1.07 AC. VACANT PARCEL ALONG WITH ASSOCIATED PARKING, LANDSCAPING, WATER MANAGEMENT SYSTEM AND WATER/SEWER UTILITIES

- CIVIL SITE INDEX**
- C1.1 CIVIL SITE INFORMATION
 - C1.2 CIVIL NOTES AND PROCEDURES
 - C1.3 CIVIL NOTES AND SPECIFICATIONS
 - C2.1 SITE DEMOLITION PLAN
 - B1.1 CONSTRUCTION SURFACE WATER MANAGEMENT
 - B2.1 BEST MANAGEMENT PRACTICES FOR EROSION CONTROL
 - B3.1 BEST MANAGEMENT DETAILS
 - B3.2 BEST MANAGEMENT DETAILS
 - C3.1 SITE LAYOUT AND GEOMETRY PLAN
 - C4.1 GRADING AND DRAINAGE PLAN
 - C5.1 SITE UTILITIES PLAN
 - C6.1 ON-SITE PAVEMENT, CURB AND WALK DETAILS
 - C6.3 ON-SITE SIGNAGE, STRIPING AND MARKING DETAILS
 - C6.5 ON-SITE UTILITY DETAILS
 - C7.1 PUBLIC UTILITY DETAILS
 - CL1.1 LANDSCAPE PLAN
 - CL1.2 LANDSCAPE DETAILS

REVISIONS

NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE PROFESSIONAL SEAL OF FLORIDA AS SIGNED BY MY HAND AND SEAL.

Gary A. Boucher, P.E. # 22885

STATE CERT. OF AUTH. #000842

Ozma Engineering, Inc.
P.O. Box 432
Ozma, Florida 34660-432
Phone: (727) 785-3859 Fax: (727) 785-3454
www.ozmaengineering.com

FOR:
FLAGSHIP BANK

PROJECT #:
FLAGSHIP BANK
ALT. U.S. 19 & MERES BLVD.
TARPON SPRINGS, FLORIDA

PROJECT #:
ORIG. DATE:
DRAWN BY: AVF
SCALE: AS SHOWN

SHEET #:
C1.1

SURVEYS AND AS-BUILTS:

1. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - As-Built Survey: The contractor shall provide an as-built survey of the site, including all existing structures, utilities, and other features.
 - Stationing: Stationing shall be provided for all structures and utilities.
 - Water: Data on all water features, including flow rates and depths.
 - Storm: Data on all storm water features, including flow rates and depths.
 - Grid: Data on all grid lines and elevations.
 - Boundaries: Data on all boundaries, including property lines and easements.
 - Additional: The contractor shall provide any other data or information that may be required for the construction of the project.
2. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.
3. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.
4. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.

CONTRACTOR PROCEDURE NOTES:

1. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
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 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.

COORDINATION BETWEEN SITEWORK AND BUILDINGS:

1. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.
2. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.
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 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.
4. The contractor shall provide all necessary data and information for the construction of the project, including but not limited to the following:
 - Materials: Data on all materials used in the construction, including quantities and specifications.
 - Methods: Data on all methods used in the construction, including procedures and techniques.
 - Labor: Data on all labor used in the construction, including quantities and specifications.
 - Site: Data on all site conditions, including soil types and topography.

SHOP DRAWINGS NOTE:
 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 DRAINAGE STRUCTURES
 DRAINAGE PIPES
 WATER PIPES AND FITTINGS
 VALVES AND RELATED ITEMS
 SANITARY SEWER MANHOLES
 SANITARY SEWER PIPES, FITTINGS, ETC.
 PAVEMENT SPECIFICATIONS
 HANDRAILS AND GUARDRAILS
 FENCES, GATES AND RELATED HARDWARE
 ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO PURCHASE AND INSTALLATION OF THESE ITEMS.

ADDITIONALLY, SPECIFIC ITEMS CONTAINED WITHIN THE DETAIL PAGES HAVE BEEN FLAGGED INSTRUCTING THE CONTRACTOR TO PROVIDE A SHOP DRAWING. (SHOP DRAWINGS SHALL NOT BE LIMITED TO THE DESIGNATED ITEMS.)



REVISIONS	

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE PROFESSIONAL SEAL OF FLORIDA AS SIGNED BY MY HAND AND SEAL.

Gary A. Boucher, PE# 22885

STATE CERT. OF AUTH. #0009422

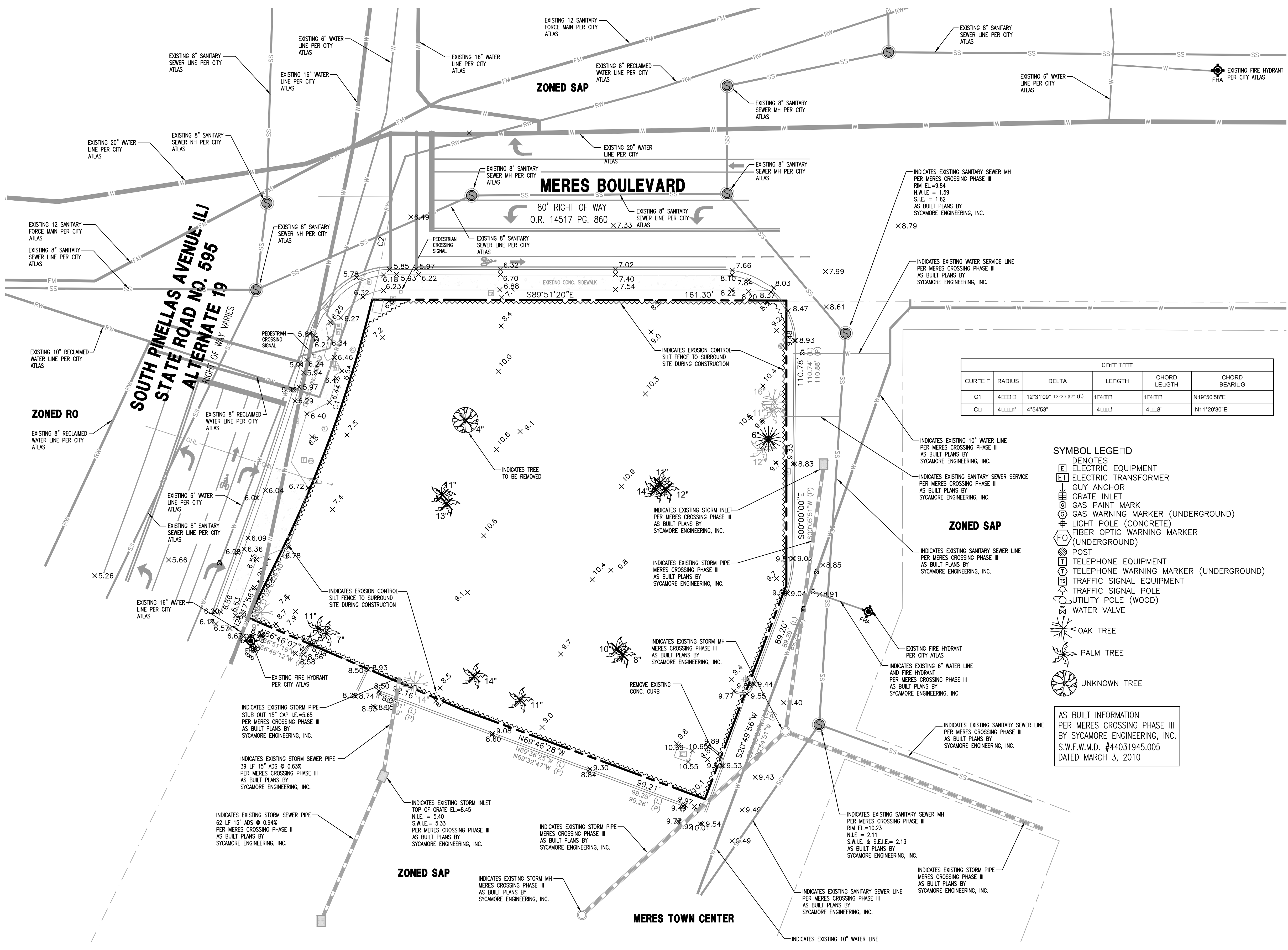
Ozona Engineering, Inc.
 P.O. Box 432
 Ozona, Florida 34660-432
 Phone: (727) 785-3859 Fax: (727) 785-3454
www.ozonaeng.com

FOR:
FLAGSHIP BANK

PROJEC T
FLAGSHIP BANK
 ALT. U.S. 19 & MERES BLVD.
 TARPON SPRINGS, FLORIDA

PROJECT #:-
 ORIG. DATE:-
 DRAWN BY: AVF
 SCALE: AS SHOWN

SHEET #:
C1.2



DEMOLITION LEGEND

- SILT BARRIER
- BUILDING TO BE REMOVED - REFER TO ARCHITECTURAL PLANS FOR PARTIAL REMOVAL OF BUILDINGS
- PAVEMENT OR OTHER VEHICULAR SURFACE TO BE REMOVED
- CONCRETE OR SIDEWALK TO BE REMOVED
- DEMOLITION NOTE FLAG - REFER TO DEMOLITION NOTES FOR SPECIFIC DESCRIPTIONS OF ITEMS
- SINGLE TREE BARRICADE - REFER TO TREE BARRICADE DETAIL FOR LIMITS OF BARRICADES AS THEY RELATE TO INDIVIDUAL TREES
- MULTIPLE TREE BARRICADE - CONFIGURATION WILL VARY DEPENDING UPON TREE LOCATIONS AND SIZES

DEMOLITION NOTES

Demolition of the site includes the removal/relocation of all existing structures within the project area, paving and base, utility lines (sanitary sewer, storm pipes, water lines, power poles, overhead and underground power and telephone cables, gas lines, trees, shrubs, etc.) and is not limited to what is shown. Refer to other plans for the treatment of existing features to remain.

All cavity and excavation resulting from removal of trees, shrubs, pipes, inlets, grease traps, sign and pole bases shall be filled with approved suitable material and compacted in 12" lifts to 95% of max. density.

On-site disposal of construction and demolition debris may occur only after written approval has been given in advance by the project engineer, the property owner, the local engineering department and the local governing jurisdiction. Additional approval may be required by the FDEP. Off-site disposal of such debris must occur in solid waste disposal facilities approved by the FDEP and the local governing jurisdiction.

Prior to the removal of any buildings, pavement or other features, refer to the Phase 1 environmental report for additional information.

Asbestos removal shall be conducted by a licensed asbestos removal contractor and shall be regulated by the local Health Department.

CURVE	RADIUS	DELTA	LENGTH	CHORD LENGTH	CHORD BEARING
C1	4'00"	12°31'09" 12°27'37" (L)	1'40"	1'40"	N19°50'58"E
C2	4'00"	4°54'53"	4'00"	4'00"	N11°20'30"E

SYMBOL LEGEND

- DENOTES
- ELECTRIC EQUIPMENT
- ELECTRIC TRANSFORMER
- GUY ANCHOR
- GRATE INLET
- GAS PAINT MARK
- GAS WARNING MARKER (UNDERGROUND)
- LIGHT POLE (CONCRETE)
- FIBER OPTIC WARNING MARKER (UNDERGROUND)
- POST
- TELEPHONE EQUIPMENT
- TELEPHONE WARNING MARKER (UNDERGROUND)
- TRAFFIC SIGNAL EQUIPMENT
- TRAFFIC SIGNAL POLE
- UTILITY POLE (WOOD)
- WATER VALVE
- OAK TREE
- PALM TREE
- UNKNOWN TREE

AS BUILT INFORMATION PER MERES CROSSING PHASE III BY SYCAMORE ENGINEERING, INC. S.W.F.W.M.D. #44031945.005 DATED MARCH 3, 2010

NORTH

SCALE: 1" = 20'

NOTE: REFER TO OTHER PLANS FOR ADDITIONAL DEMOLITION TREATMENT INFORMATION SUCH AS EROSION CONTROL AND EXISTING TREES, IF ANY.

SITE DEMOLITION PLAN

REVISIONS	BH

STATE CERT. OF AUTH. #0009422

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Gary A. Boucher, P.E. #22885

Ozma Engineering, Inc.

P.O. Box 432
Ozma, Florida 34660-432
Phone: (727) 785-3859 Fax: (727) 785-3454
www.ozmaeng.com

FOR: **FLAGSHIP BANK**

PROJECT: **FLAGSHIP BANK**
ALT. U.S. 19 & MERES BLVD.
TARPON SPRINGS, FLORIDA

PROJECT #:	-
ORIG. DATE:	-
DRAWN BY:	BH
SCALE:	AS SHOWN

SHEET #:

C2.1

BEST MANAGEMENT LEGEND

SILT FENCE - ALSO REFER TO DEMOLITION PLAN AND GRADING PLAN

OTHER SILT BARRIER TREATMENT IF REQUIRED

CONTROL DESCRIPTION TAG - REFER TO CORRESPONDING DETAIL SHEET

CONSTRUCTION NOTES

1. ALL PONDS SHALL BE SODDED FROM THE NORMAL WATER LEVEL TO 2' BEYOND THE TOP OF BANK.
2. SOD A 2' WIDE STRIP BEHIND ALL CURBING AND EDGES OF PAVEMENT WHERE CURB IS NOT PRESENT. (MINIMUM REQUIREMENT - REFER TO ADDITIONAL PLANS FOR EXTENTS OF SURFACE TREATMENT)
3. SOD AROUND ALL INLETS, JUNCTION BOXES, ETC. AT NON-PAVED AREAS AND GRASS ALL SWALES.
4. PROVIDE EROSION CONTROL AROUND OR ON NEW INLETS AT PAVED AREAS UNTIL ALL SURROUNDING AREAS ARE STABILIZED.

BEST MANAGEMENT PRACTICES (BMP) GUIDELINES

TYPICAL BEST MANAGEMENT PRACTICES DEVICE LOCATION.
SEE BMP DETAIL DRAWINGS FOR BMP PLACEMENT AND DETAILS.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITY OR AS INSTRUCTED BY THE ENGINEER OF RECORD.
2. PRIOR TO ANY EARTHMOVING OPERATIONS, THE CONTRACTOR SHALL INSTALL BMP DEVICES A, B AND C IN THE LOCATIONS SHOWN ON THE PLAN.
3. ALL GRASSING BY EITHER SEED OR SOD SHALL BE INSTALLED AS SOON AS PRACTICALLY POSSIBLE UPON THE COMPLETION OF FINAL GRADING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL ACCEPTANCE BY THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WIND AND DUST DURING ALL PHASES OF CONSTRUCTION ACTIVITY BY USING WATER TRUCKS, WIND FENCING OR OTHER DEVICES AS APPROVED BY THE ENGINEER OF RECORD.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS MATERIALS AND DEVICES IN A MANNER TO PREVENT GREASE, OILS, FUEL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.

REVISIONS

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STATE CERT. OF AUTH. #0000422

Ozoma Engineering, Inc.
P.O. Box 432
Ozoma, Florida 34660-432
Phone: (727) 785-3859 Fax: (727) 785-3434
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FOR:

FLAGSHIP BANK

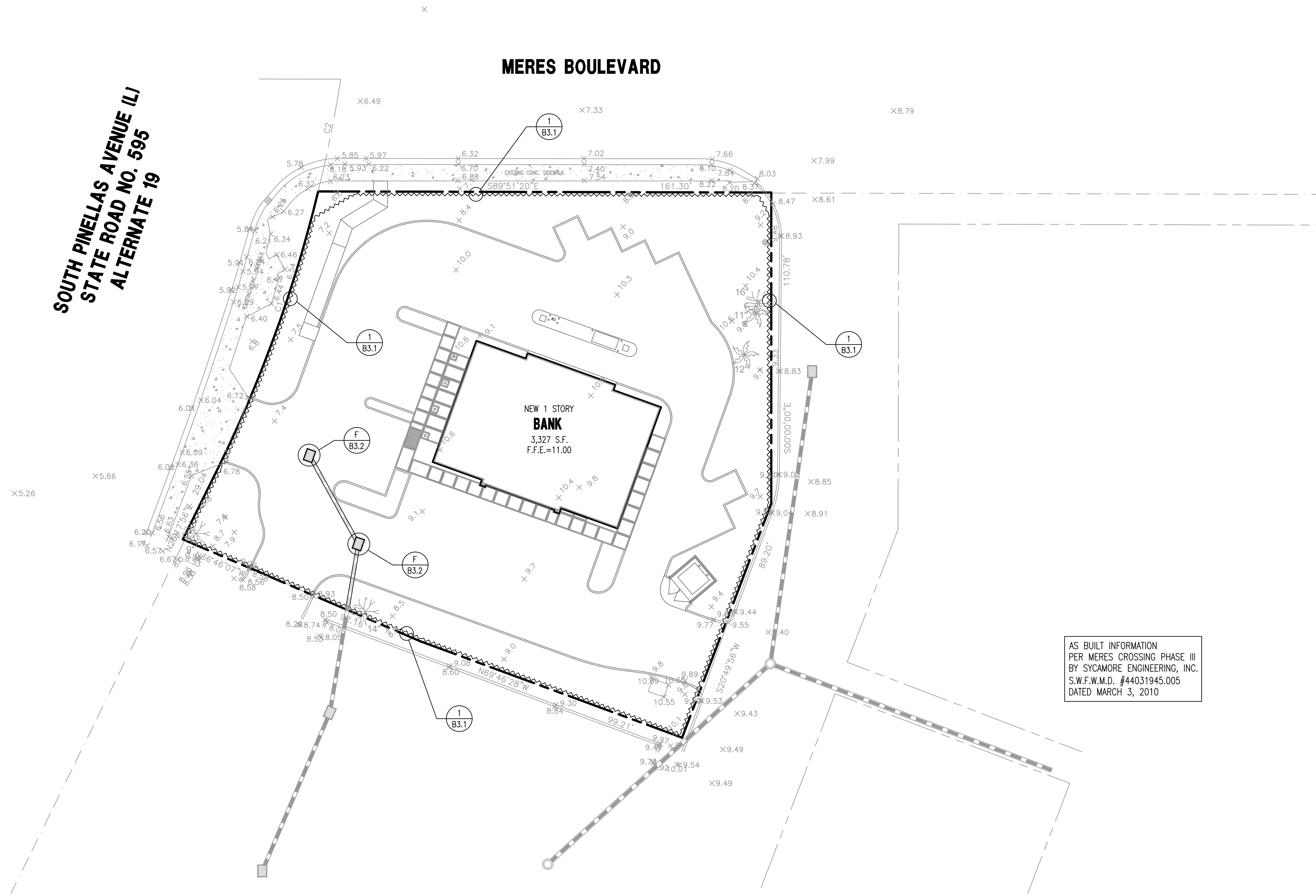
PROJECT #:

FLAGSHIP BANK
ALT. U.S. 19 & MERES BLVD.
TARPOON SPRINGS, FLORIDA

ORIG. DATE: -
DRAWN BY: BH
SCALE: AS SHOWN

SHEET #:

B2.1

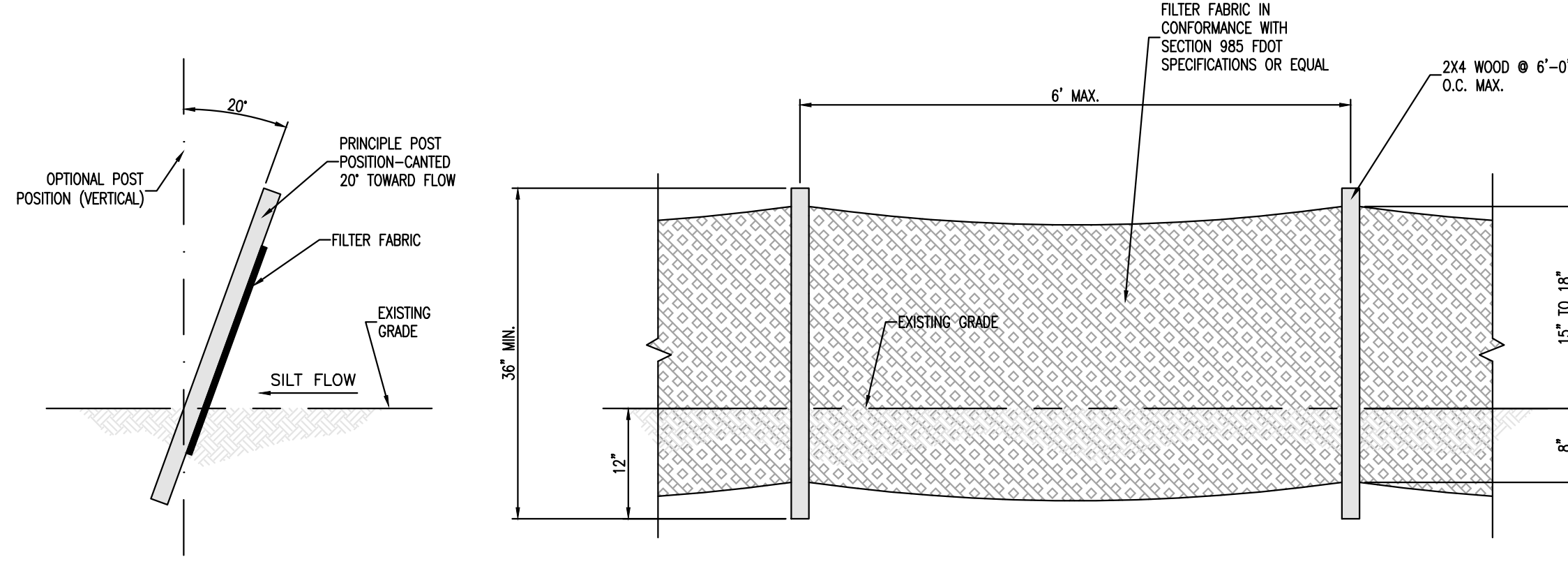


AS BUILT INFORMATION
PER MERES CROSSING PHASE III
BY SYCAMORE ENGINEERING, INC.
S.W.F.W.M.D. #44031945.005
DATED MARCH 3, 2010

BEST MANAGEMENT PRACTICES FOR EROSION CONTROL

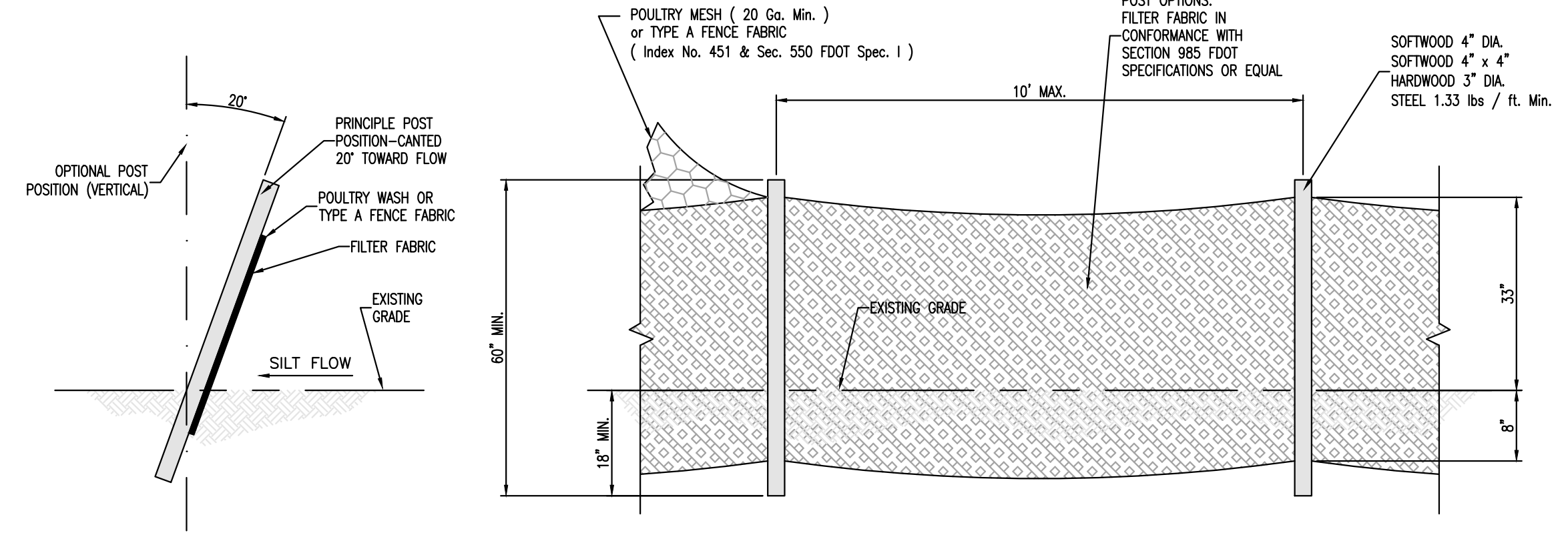
NOTES FOR SILT FENCES:

- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1.
- Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
- Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.
- Where used as slope protection, silt fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
- Silt fence to be paid for under the contract unit price for Staked Silt Fence, (L.F.).



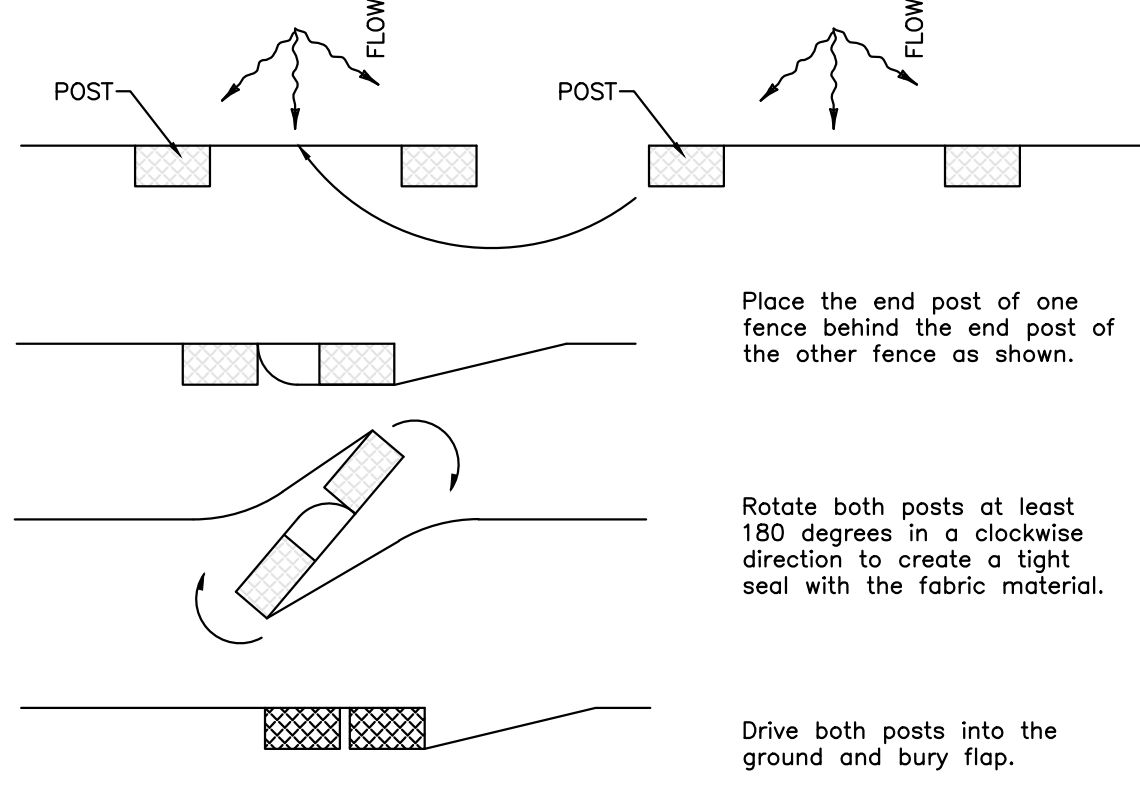
NOTE: SILT FENCE SHALL NOT BE TRENCHED IN WHERE ADJACENT TO TREES DESIGNATED TO REMAIN. THE SILT FENCE MUST BE SECURED THROUGH THE PLACEMENT OF FILL OVER THE LOWER LIP OF THE BARRICADE IN THESE AREAS.

1 TYPE III SILT FENCE DETAIL
NTS



NOTE: SILT FENCE SHALL NOT BE TRENCHED IN WHERE ADJACENT TO TREES DESIGNATED TO REMAIN. THE SILT FENCE MUST BE SECURED THROUGH THE PLACEMENT OF FILL OVER THE LOWER LIP OF THE BARRICADE IN THESE AREAS.

2 TYPE IV SILT FENCE DETAIL
NTS



Place the end post of one fence behind the end post of the other fence as shown.

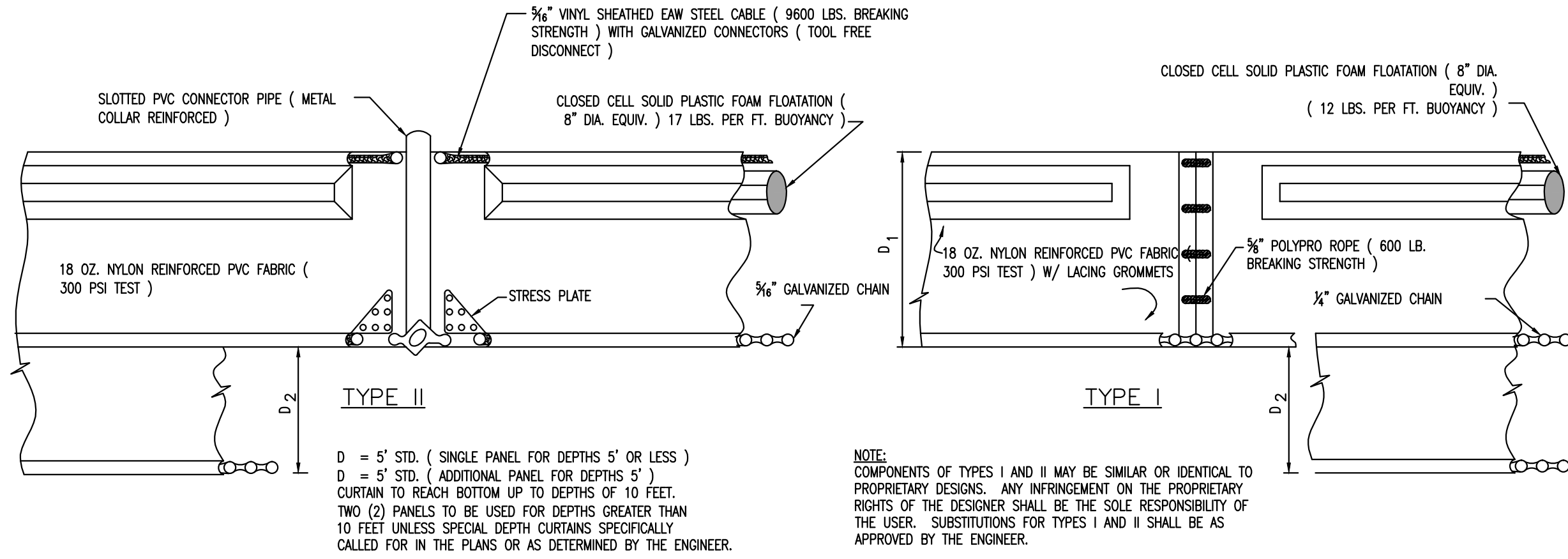
Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.

Drive both posts into the ground and bury flap.

PLAN VIEW

JOINING TWO SILT FENCES

NTS



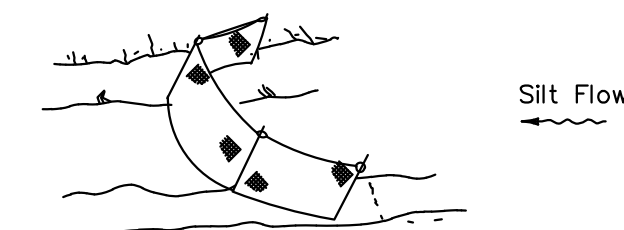
NOTE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

TYPE II

TYPE I

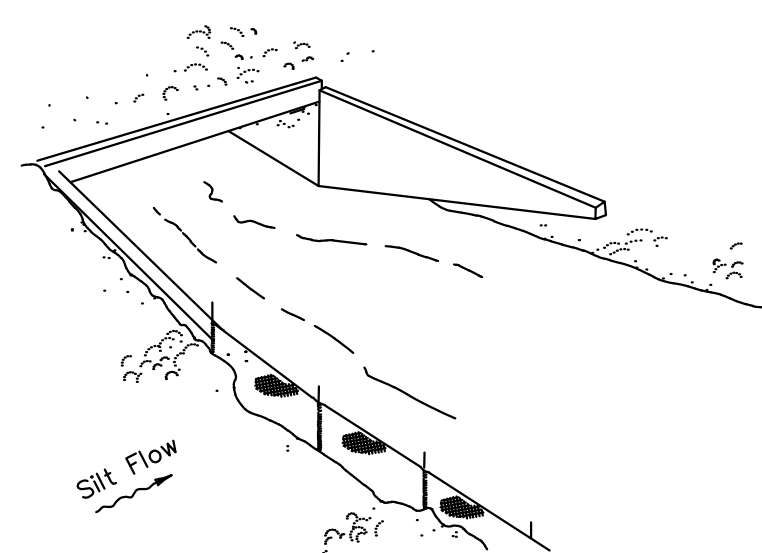
D = 5' STD. (SINGLE PANEL FOR DEPTHS 5' OR LESS)
D = 5' STD. (ADDITIONAL PANEL FOR DEPTHS 5')
CURTAIN TO REACH BOTTOM UP TO DEPTHS OF 10 FEET.
TWO (2) PANELS TO BE USED FOR DEPTHS GREATER THAN 10 FEET UNLESS SPECIAL DEPTH CURTAINS SPECIFICALLY CALLED FOR IN THE PLANS OR AS DETERMINED BY THE ENGINEER.

3 FLOATING TURBIDITY BARRIERS
NTS

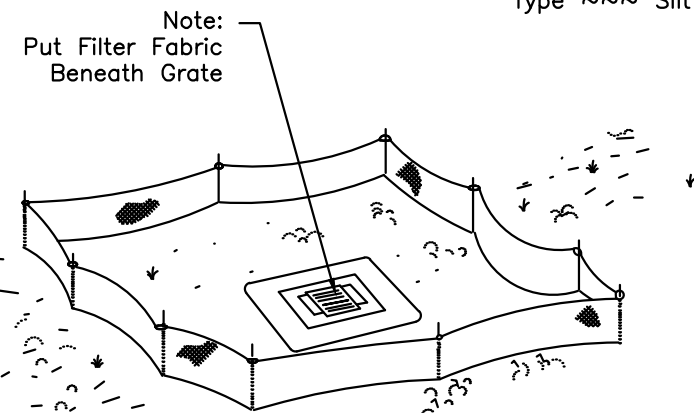


Note: Spacing for Type ~~~ Fence to be in accordance with Chart ~, Sheet 1 of 3 and ditch installations at drainage structures Sheet 2 of 3.

Type ~~~ Silt Fence



Type ~~~ Silt Fence

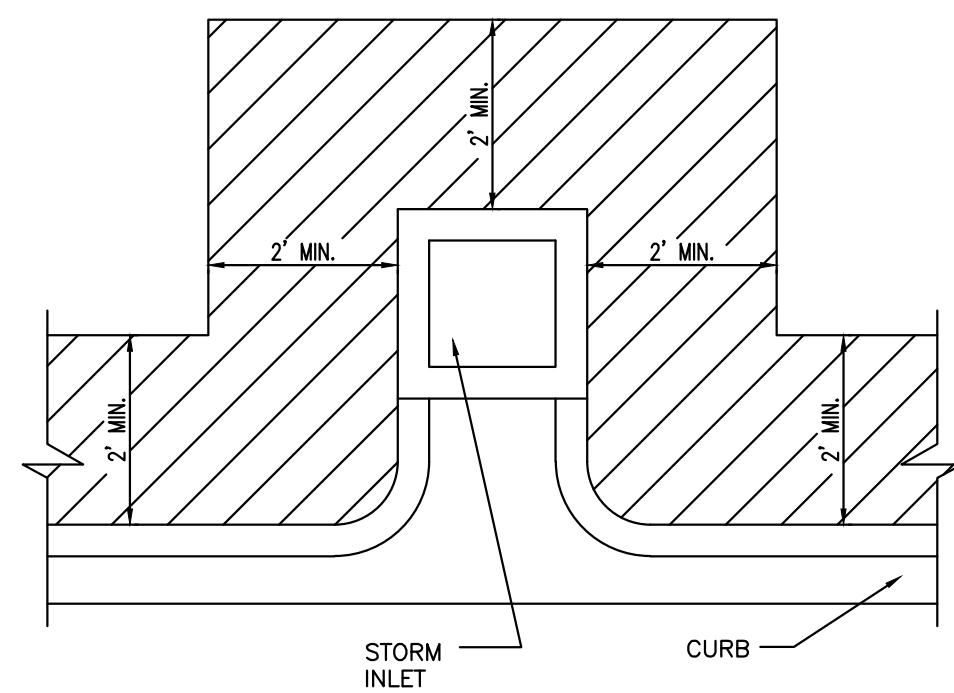


Type ~~~ Silt Fence Protection Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

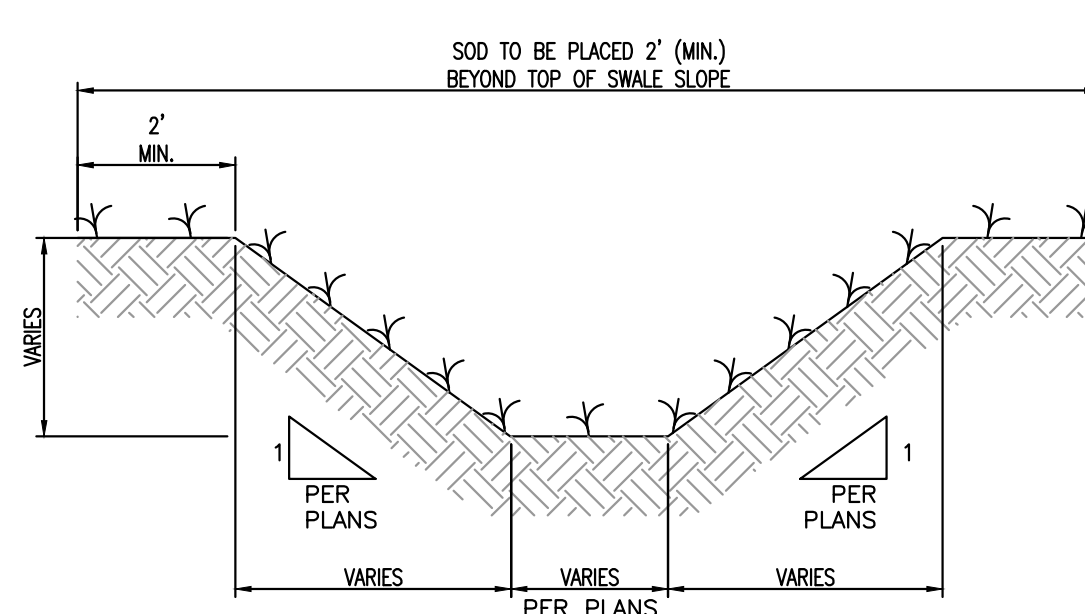
TYPICAL SILT FENCE APPLICATIONS

NTS



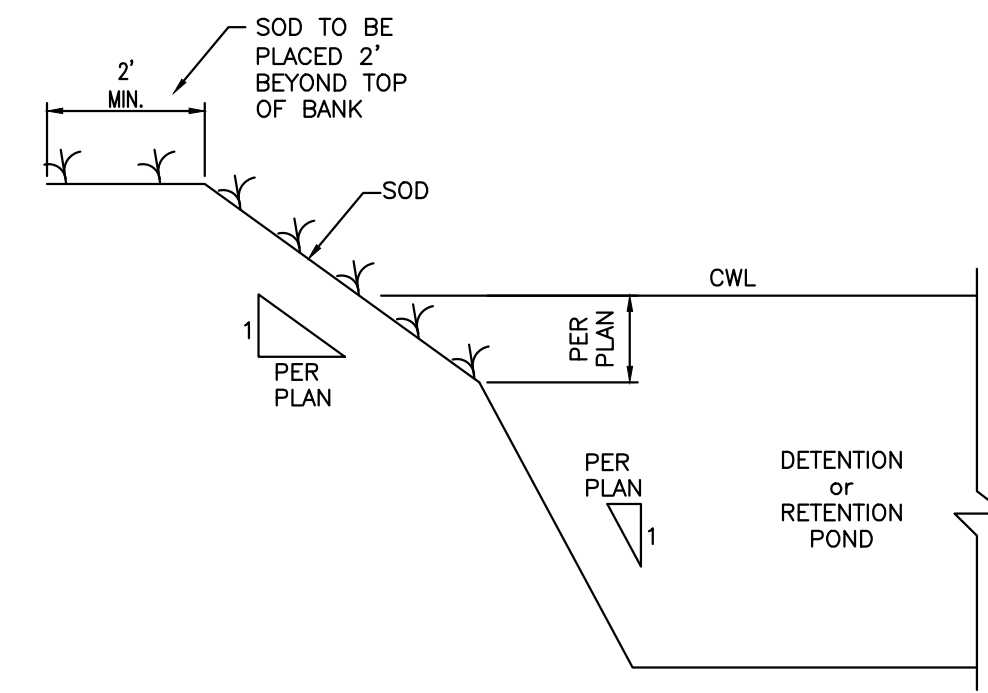
TYPICAL CURB AND INLET SOD

NTS



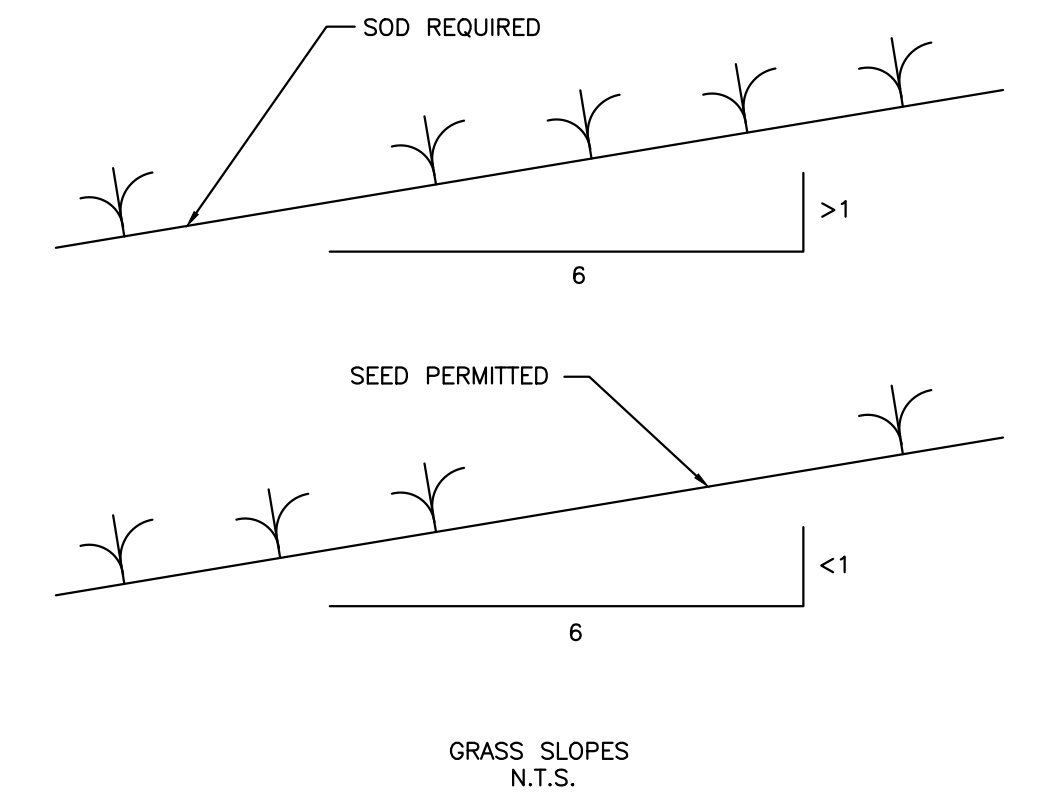
TYPICAL SWALE SECTION

NTS



TYPICAL POND SECTION

NTS



TYPICAL SLOPE - SEED vs. SOD

NTS

BEST MANAGEMENT PRACTICES (BMP) GUIDELINES

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- ALL GRASSING BY EITHER SEED OR SOD SHALL BE INSTALLED AS SOON AS PRACTICALLY POSSIBLE UPON THE COMPLETION OF FINAL GRADING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL ACCEPTANCE BY THE ENGINEER OF RECORD.
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- THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS MATERIALS AND DEVICES IN A MANNER TO PREVENT GREASE, OILS, FUEL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.
- ALL PONDS SHALL BE SODDED FROM THE NORMAL WATER LEVEL TO 2' BEYOND THE TOP OF BANK.
- SOD A 2' WIDE STRIP BEHIND ALL CURBING AND EDGES OF PAVEMENT WHERE CURB IS NOT PRESENT. (MINIMUM REQUIREMENT - REFER TO ADDITIONAL PLANS FOR EXTENTS OF SURFACE TREATMENT)
- SOD AROUND ALL INLETS, JUNCTION BOXES, ETC. AND GRASS ALL SWALES.

NOTE: ALL EROSION CONTROL AND BEST MANAGEMENT PRACTICES SHALL BE CONDUCTED PER THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL (LATEST EDITION) AND FDOT INDEX #106.

DETAILS CONTAINED HEREIN ARE GENERAL. SOME DETAILS MAY NOT BE RELEVANT TO THE PROJECT BUT ARE PROVIDED IN THE EVENT SUCH CONDITIONS ARISE DURING THE COURSE OF CONSTRUCTION.

SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

BEST MANAGEMENT DETAILS

SCALE: NONE

REVISIONS	

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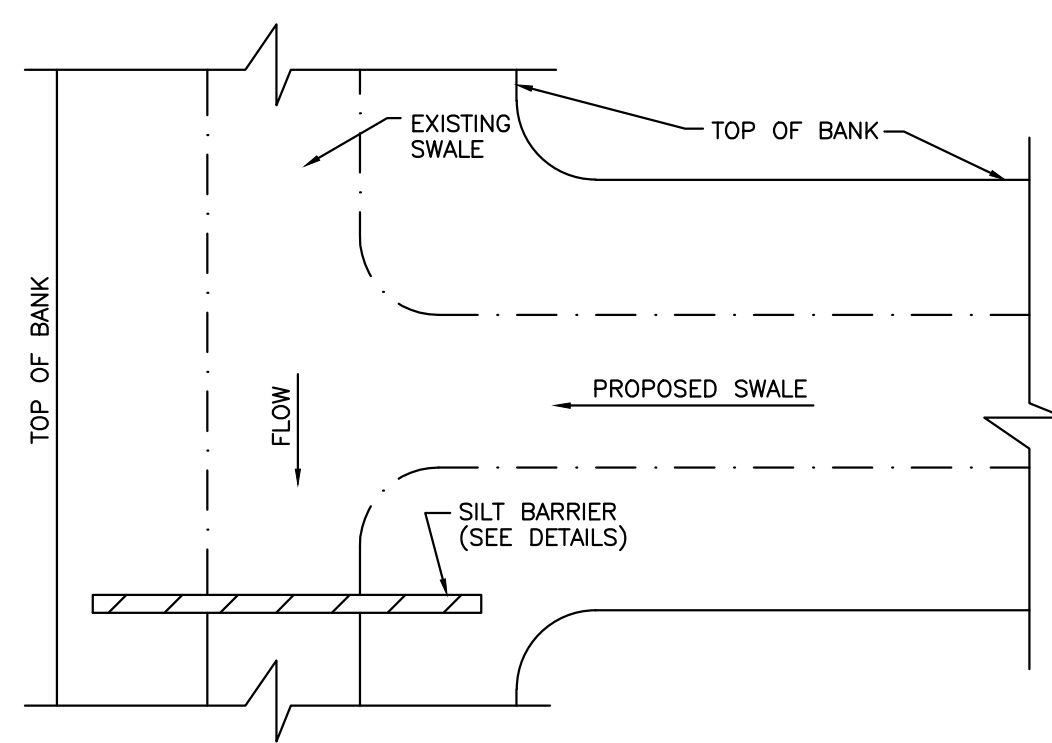
Ozona Engineering, Inc.
P.O. Box 432
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Phone: (727) 785-3859 Fax: (727) 785-3434
www.ozonaeng.com

FOR: **FLAGSHIP BANK**

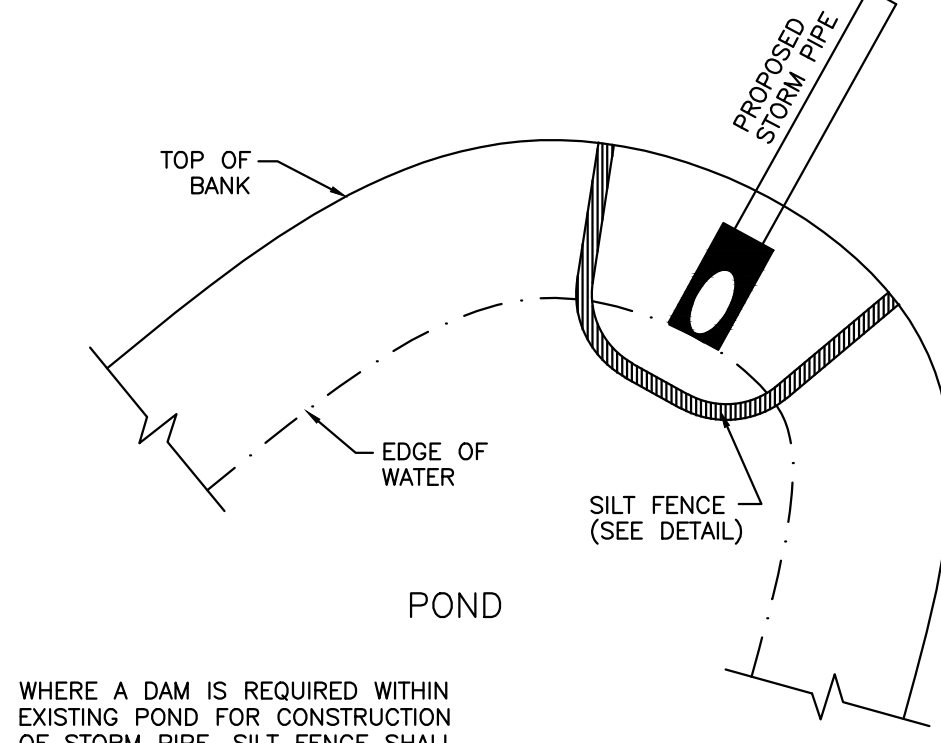
FLAGSHIP BANK
ALT. U.S. 19 & MERES BLVD.
TARPOON SPRINGS, FLORIDA

PROJECT #: --
ORIG. DATE: --
DRAWN BY: AVF
SCALE: AS SHOWN

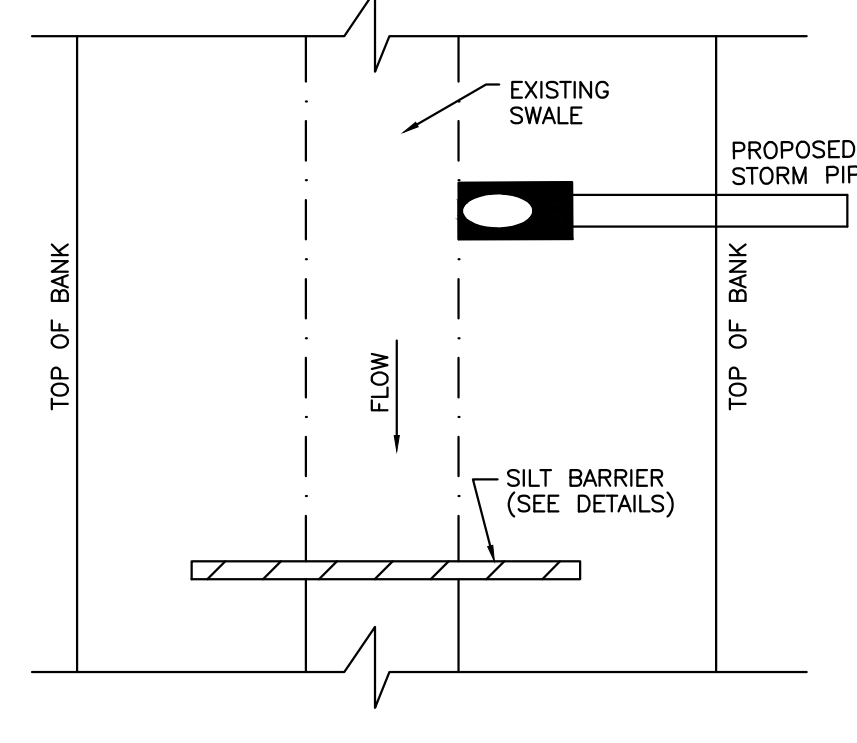
SHEET #:
B3.1



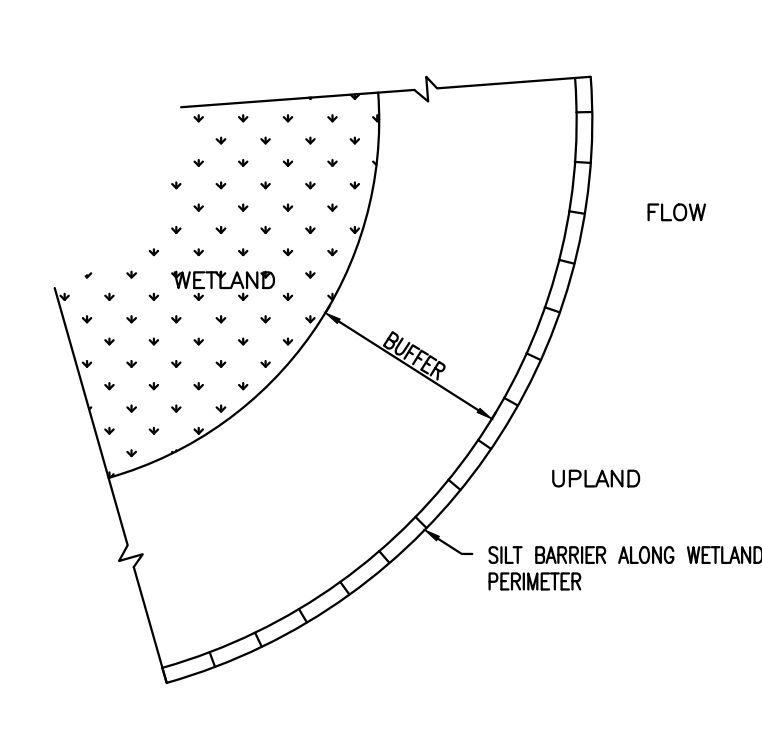
A SILT BARRIER APPLICATION AT SWALE INTERSECTION
NTS



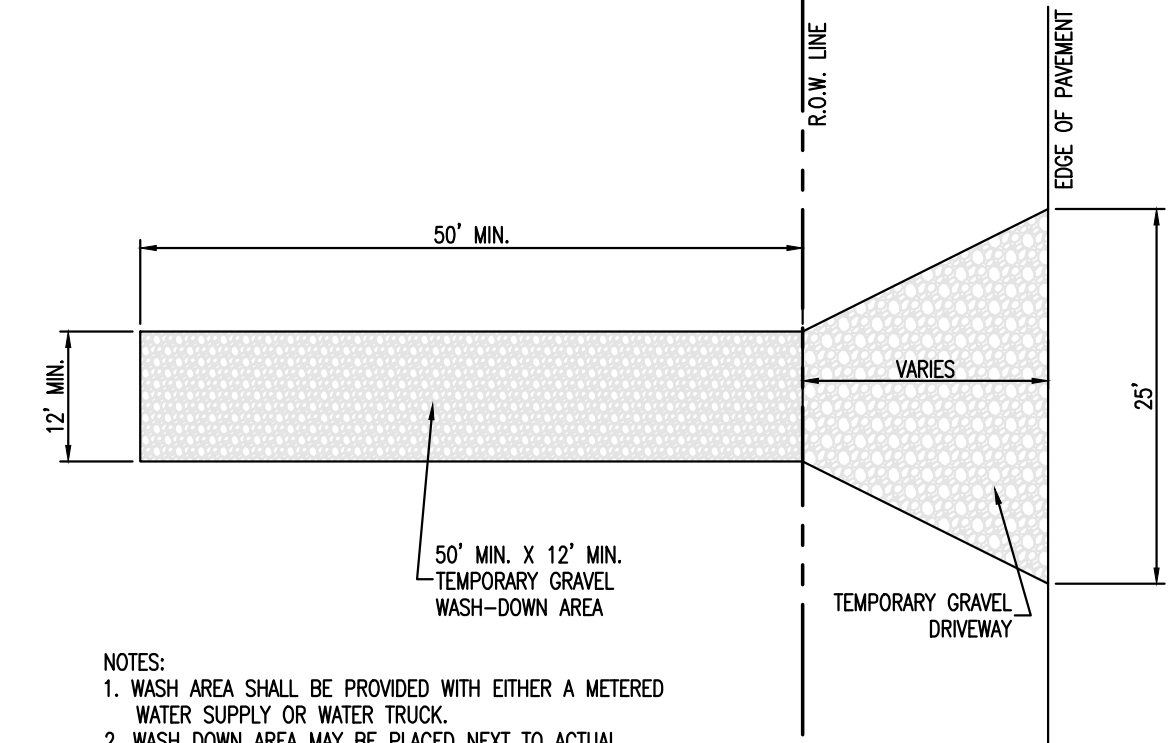
B SILT BARRIER APPLICATION AT POND STORM PIPE
NTS



C SILT BARRIER APPLICATION AT SWALE STORM PIPE
NTS

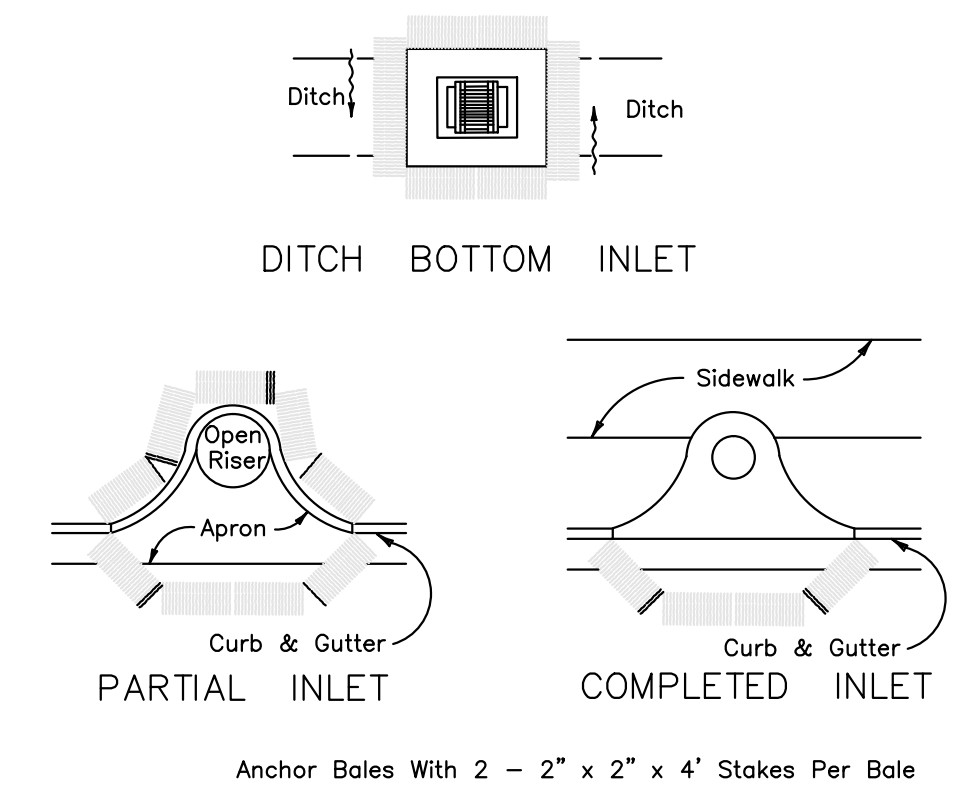


D WETLAND SILT BARRIER
NTS

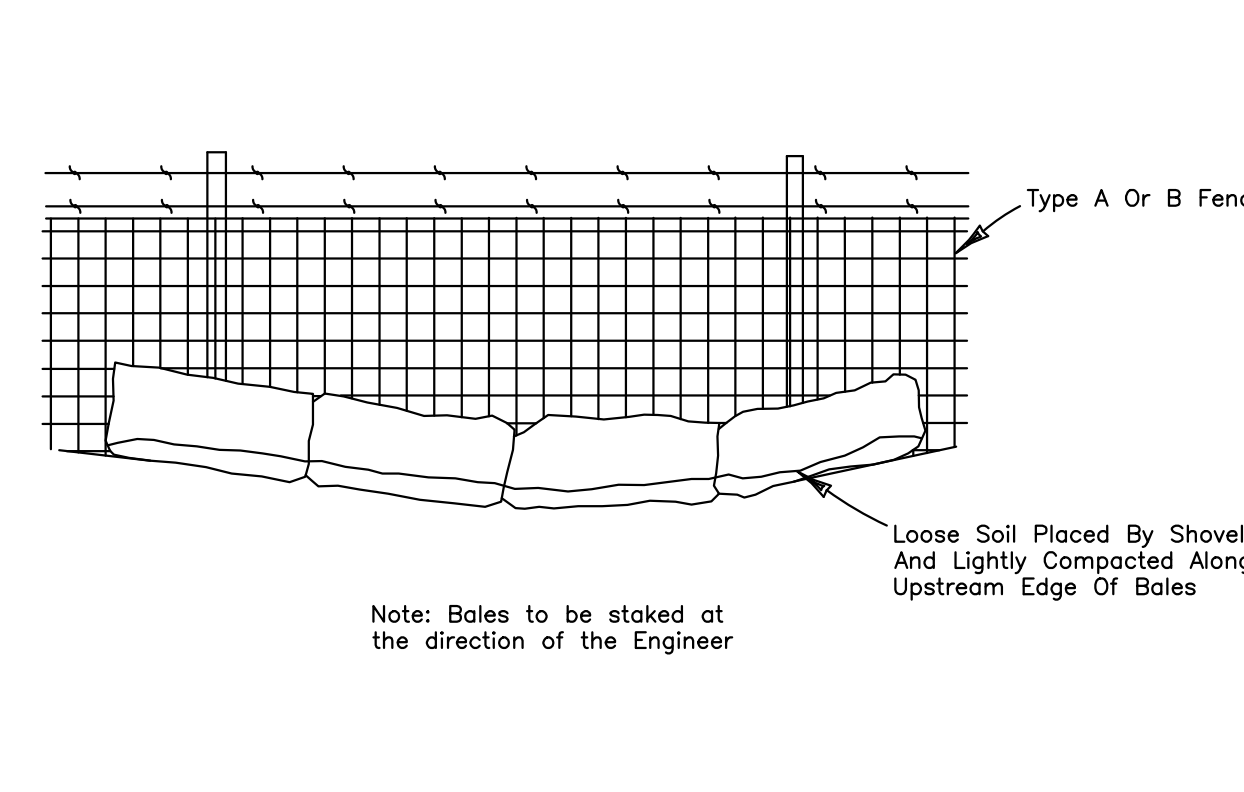


E WASH-DOWN AREA
NTS

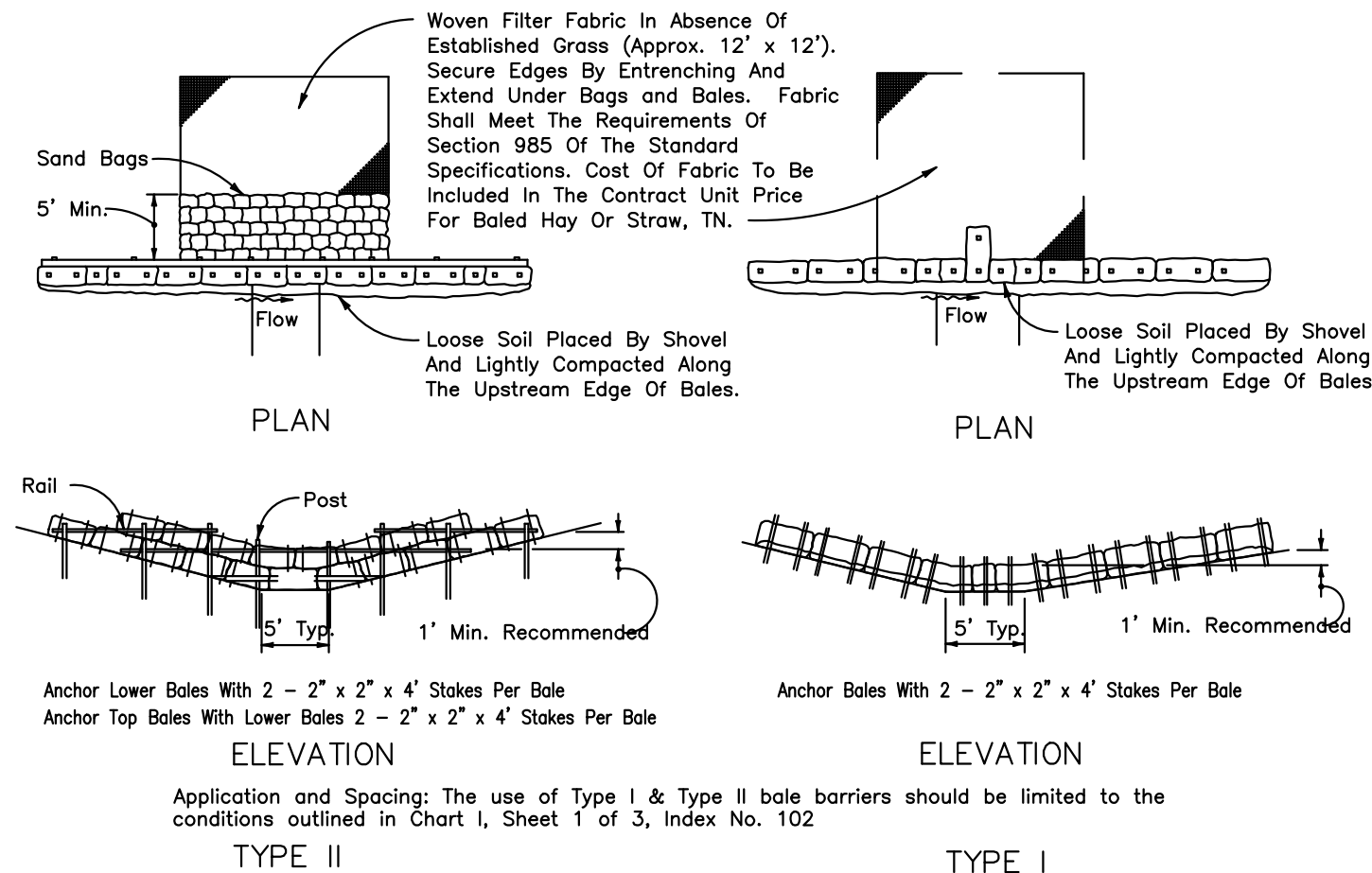
NOTES:
1. WASH AREA SHALL BE PROVIDED WITH EITHER A METERED WATER SUPPLY OR WATER TRUCK.
2. WASH DOWN AREA MAY BE PLACED NEXT TO ACTUAL DRIVEWAY IF ONE EXISTS. DRIVEWAY SHALL BE MAINTAINED CLEAR OF DEBRIS, SEDIMENTS, ETC.



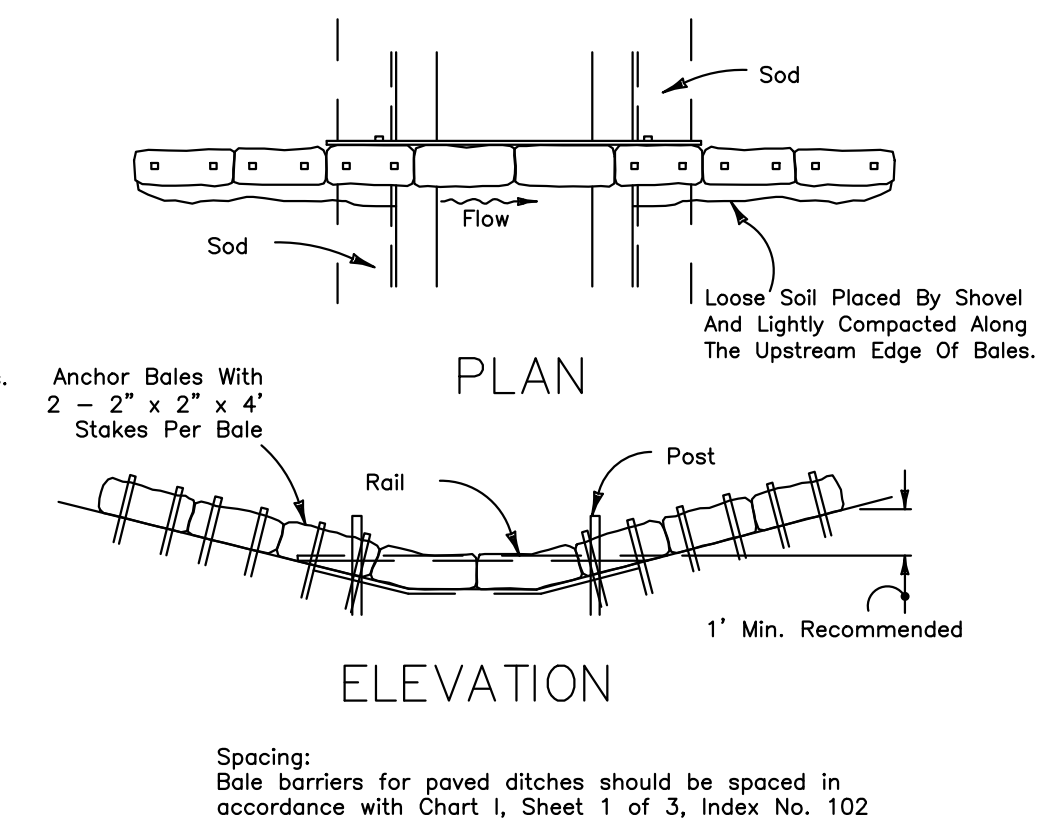
F PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
NTS



G BALES BACKED BY FENCE
NTS



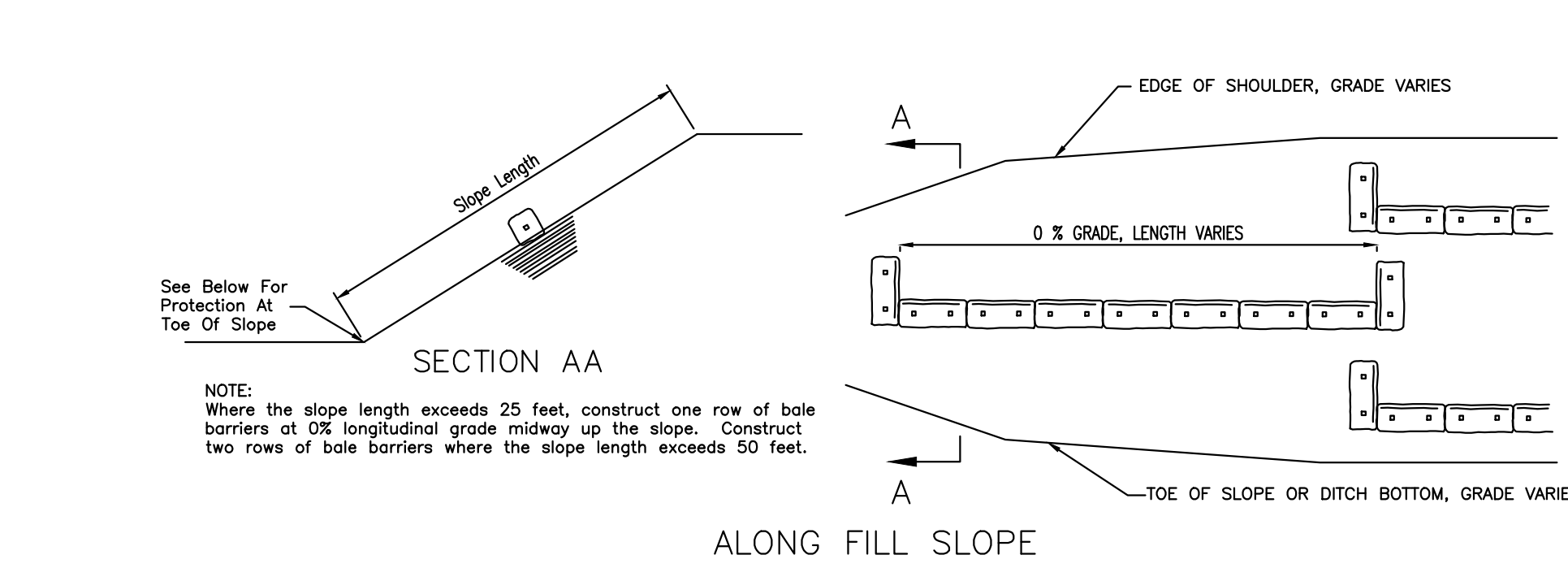
H BARRIER FOR UNPAVED DITCHES
NTS



J BARRIER FOR PAVED DITCH
NTS

NOTES FOR BALED HAY OR STRAW BARRIERS

- Type I and II Barriers should be spaced in accordance with Chart I.
- Hay bales shall be trenched 3" to 4" and anchored with two (2) 1" x 2" (or 1" dia.) x 4' wood stakes. Stakes of other material or space providing equivalent strength may be used if approved by the Engineer. Stakes other than wood shall be removed upon completion of the project.
- Rails and posts shall be 2" x 4" wood. Other materials providing equivalent strength may be used if approved by the Engineer.
- Adjacent bales shall be butted firmly together. Unavoidable gaps shall be plugged with hay or straw to prevent silt from passing.
- Bales to be paid for under the contract unit price for Baled Hay or Straw, EA. The unit price shall include the cost of filter fabric for Type I and II Barriers. Sand bags shall be paid for under the unit price for Sandbagging, CY. Rock bags to be paid for under the contract unit price for Rock Bags, EA.



K BARRIERS FOR FILL SLOPES
NTS

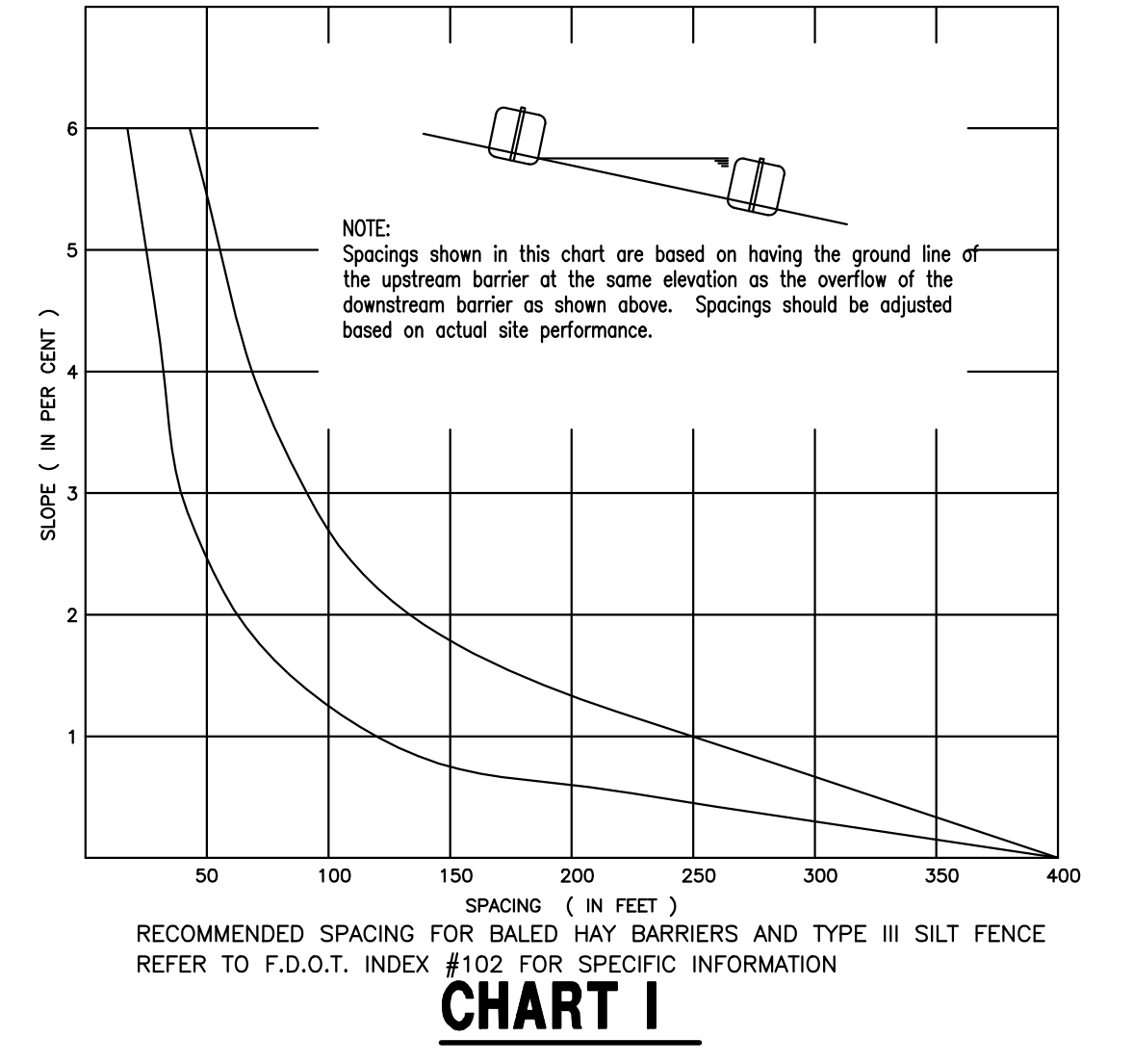
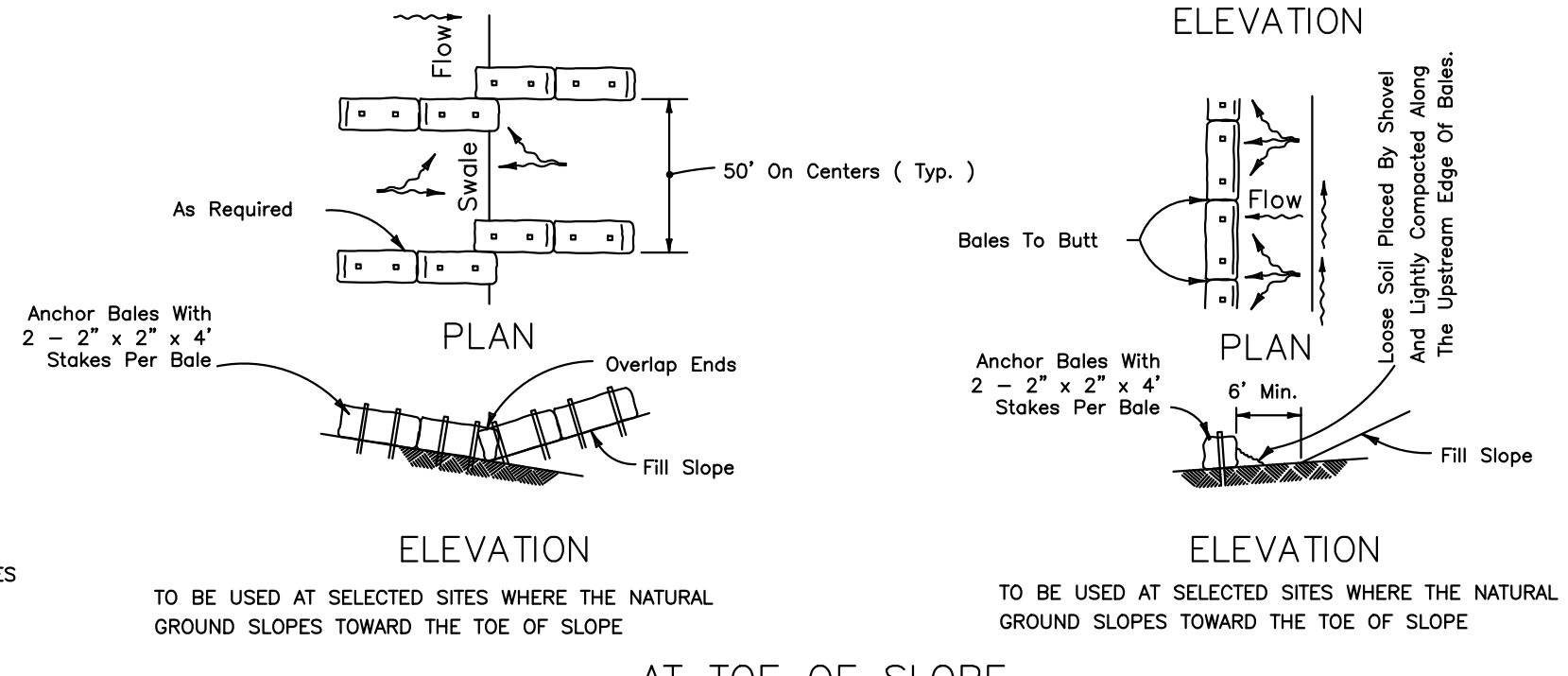


CHART I
RECOMMENDED SPACING FOR BALED HAY BARRIERS AND TYPE III SILT FENCE REFER TO F.D.O.T. INDEX #102 FOR SPECIFIC INFORMATION

STATE CERT. OF AUTH. #0000422

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www.ozonaeng.com

FOR: **FLAGSHIP BANK**

PROJECT: **FLAGSHIP BANK**
ALT. U.S. 19 & MERES BLVD.
TARPOON SPRINGS, FLORIDA

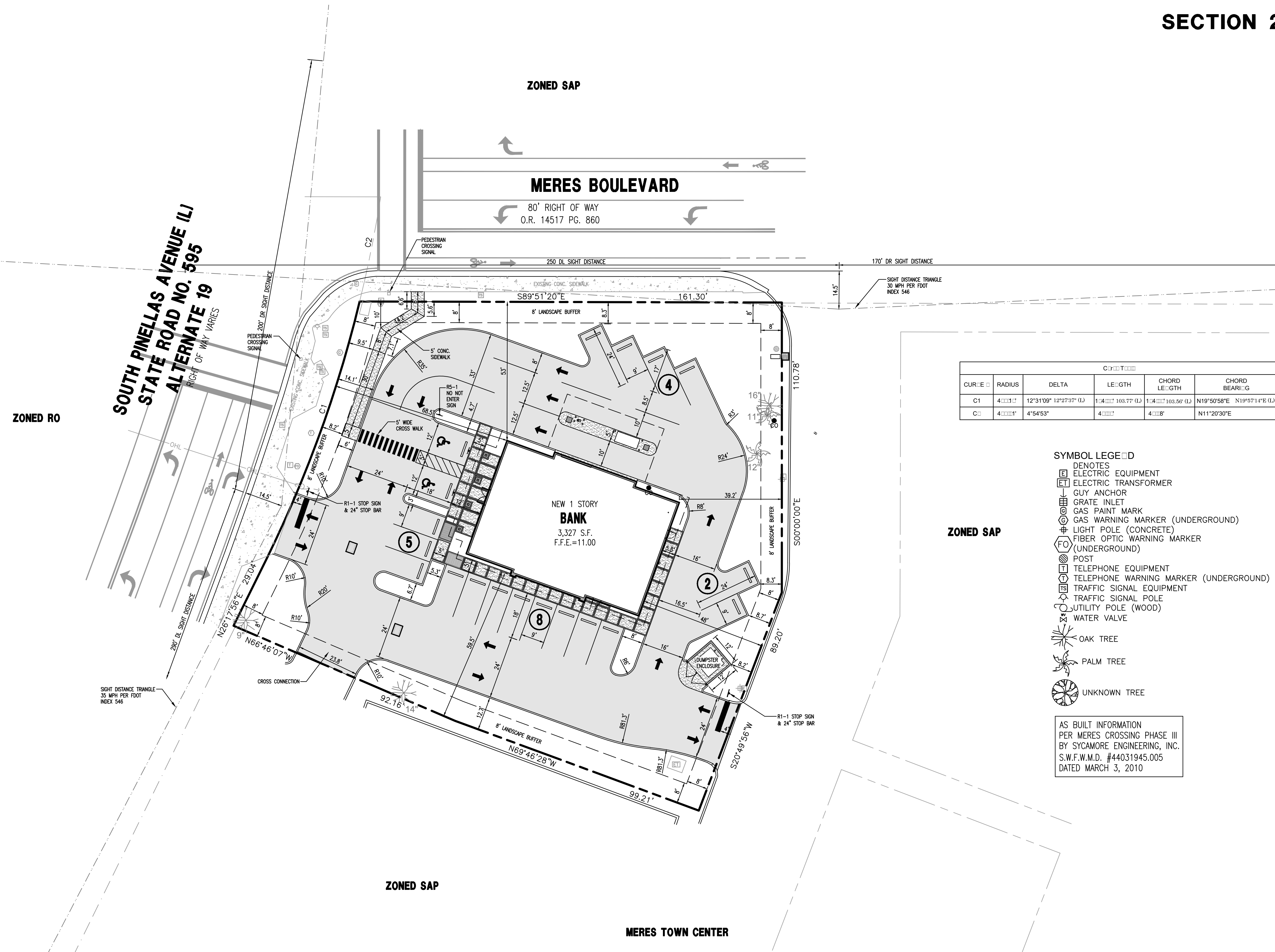
PROJECT #: --
ORIG. DATE: --
DRAWN BY: AVF
SCALE: AS SHOWN

SHEET #: **B3.2**

SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

BEST MANAGEMENT DETAILS
SCALE: NONE

SECTION 23, TOWNSHIP 27 S., RANGE 15 E
PINELLAS COUNTY, FLORIDA



CURVE	RADIUS	DELTA	LENGTH	CHORD LENGTH	CHORD BEARING
C1	400.0'	12°31'09" 12°27'37" (L)	114.00' 103.77' (L)	114.00' 103.56' (L)	N19°50'58"E N19°57'14"E (L)
C2	400.0'	4°54'53"	400.0'	400.0'	N11°20'30"E

- SYMBOL LEGEND**
- DENOTES
 - ⊞ ELECTRIC EQUIPMENT
 - ⊞ ELECTRIC TRANSFORMER
 - ⊞ GUY ANCHOR
 - ⊞ GRATE INLET
 - ⊞ GAS PAINT MARK
 - ⊞ GAS WARNING MARKER (UNDERGROUND)
 - ⊞ LIGHT POLE (CONCRETE)
 - ⊞ FIBER OPTIC WARNING MARKER (UNDERGROUND)
 - ⊞ POST
 - ⊞ TELEPHONE EQUIPMENT
 - ⊞ TELEPHONE WARNING MARKER (UNDERGROUND)
 - ⊞ TRAFFIC SIGNAL EQUIPMENT
 - ⊞ TRAFFIC SIGNAL POLE
 - ⊞ UTILITY POLE (WOOD)
 - ⊞ WATER VALVE
 - ⊞ OAK TREE
 - ⊞ PALM TREE
 - ⊞ UNKNOWN TREE

AS BUILT INFORMATION
PER MERES CROSSING PHASE III
BY SYCAMORE ENGINEERING, INC.
S.W.F.W.M.D. #44031945.005
DATED MARCH 3, 2010

PAVEMENT LEGEND

- STANDARD ON-SITE ASPHALT PAVEMENT
- HEAVY DUTY ON-SITE ASPHALT PAVEMENT
- RIGHT-OF-WAY ASPHALT PAVEMENT
- PAVEMENT PATCH, REPAIR OR OVERLAY
- TURF-BLOCK PAVEMENT
- GRAVEL SURFACE
- CONCRETE SURFACE OR WALK

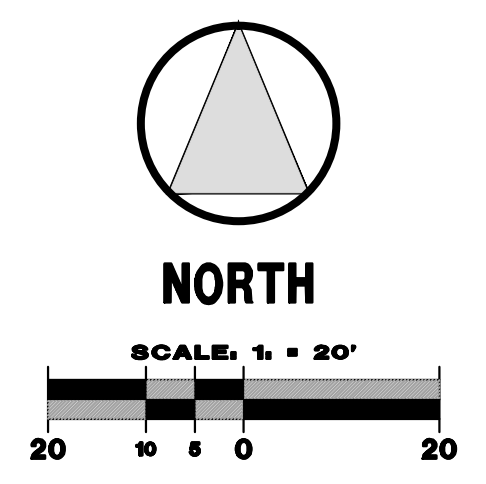
CURB LEGEND

- CURB AND GUTTER
- VERTICAL CURB OR EXTRUDED CURB (CALLED OUT ON THE PLAN)
- CURB WALL OR GRAVITY WALL

SURFACE UTILITY LEGEND

- FIRE HYDRANT - REFER TO UTILITY PLAN
- FIRE DEPT. CONNECTION - REFER TO UTILITY PLAN
- WATER METER - REFER TO UTILITY PLAN
- SITE LIGHTS - REFER TO UTILITY PLANS AND ARCHITECTURAL PLANS
- CATCH BASIN - REFER TO GRADING PLAN
- CURB INLETS - REFER TO GRADING PLAN
- MITERED OR FLARED END SECTION - REFER TO GRADING PLAN
- MANHOLE - REFER TO UTILITY PLAN

REFER TO OTHER PLANS FOR LEGENDS RELATIVE TO WORK CALLED OUT ON THOSE PLANS



REVISIONS

NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR SUPERVISED BY ME AND I AM A DULY LICENSED CIVIL ENGINEER UNDER THE PROFESSIONAL SEAL OF THE STATE OF FLORIDA AS SIGNED BY MY HAND AND SEAL.

Gary A. Boucher, P.E. #22885

FOR: **FLAGSHIP BANK**

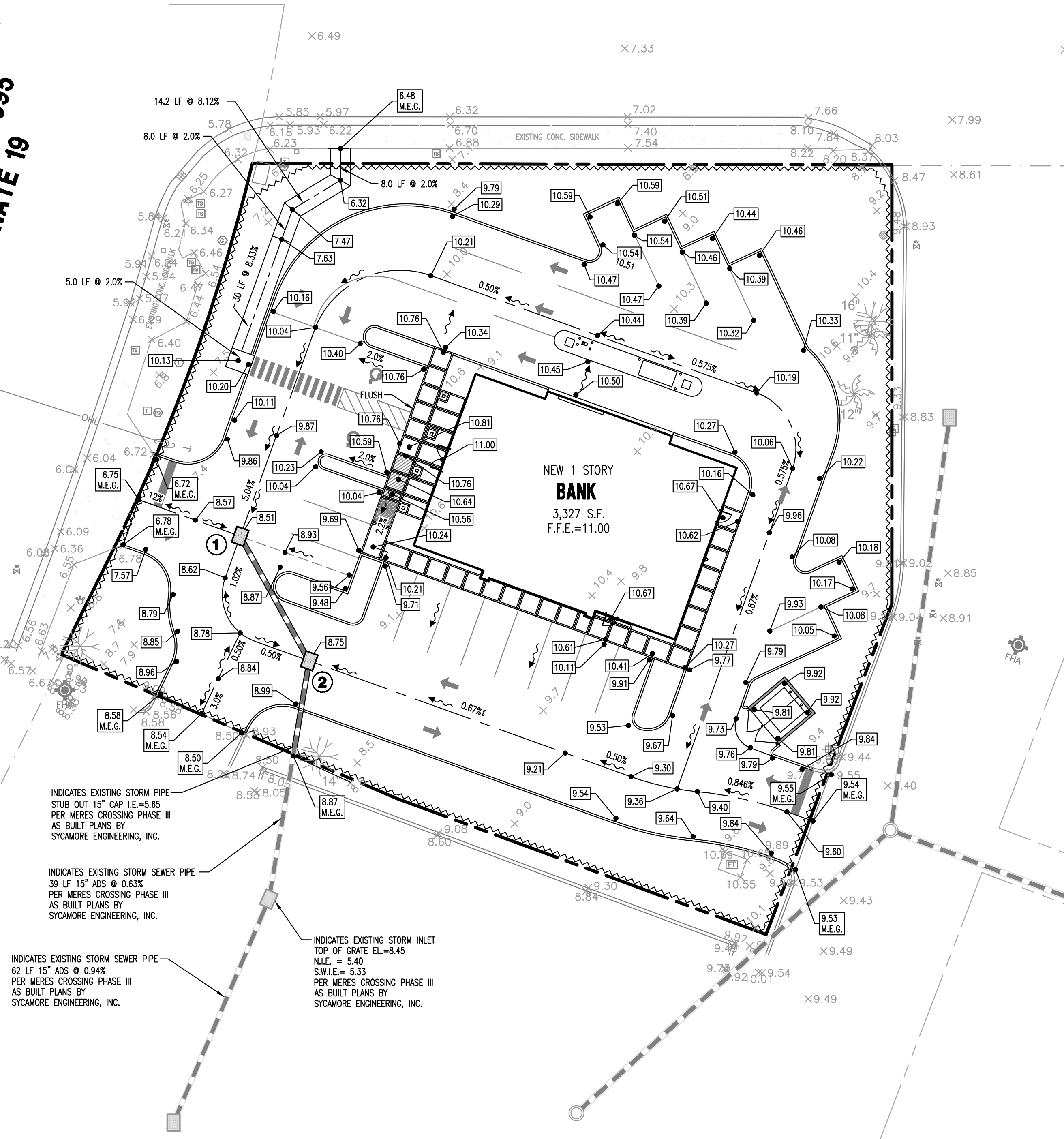
FLAGSHIP BANK
ALT. U.S. 19 & MERES BLVD.
TARPOON SPRINGS, FLORIDA

PROJECT #: --
ORIG. DATE: --
DRAWN BY: BH
SCALE: AS SHOWN

SHEET #:
C3.1

**SOUTH PINELLAS AVENUE (L)
STATE ROAD NO. 595
ALTERNATE 19**

MERES BOULEVARD



INDICATES EXISTING STORM PIPE
STUB OUT 15" CAP I.E.=5.65
PER MERES CROSSING PHASE III
AS BUILT PLANS BY
SYCAMORE ENGINEERING, INC.

INDICATES EXISTING STORM SEWER PIPE
39 LF 15" ADS @ 0.63%
PER MERES CROSSING PHASE III
AS BUILT PLANS BY
SYCAMORE ENGINEERING, INC.

INDICATES EXISTING STORM INLET
TOP OF GRATE EL.=6.45
N.I.E. = 5.40
S.W.I.E. = 5.33
PER MERES CROSSING PHASE III
AS BUILT PLANS BY
SYCAMORE ENGINEERING, INC.

INDICATES EXISTING STORM SEWER PIPE
62 LF 15" ADS @ 0.94%
PER MERES CROSSING PHASE III
AS BUILT PLANS BY
SYCAMORE ENGINEERING, INC.

AS BUILT INFORMATION
PER MERES CROSSING PHASE III
BY SYCAMORE ENGINEERING, INC.
S.W.F.W.M.D. #44031945.005
DATED MARCH 3, 2010

GRADING LEGEND	
	SILT BARRIER
	EXISTING SPOT GRADE - REFER TO SHEET C2.1 FOR DATUM
	PROPOSED SPOT GRADE - REFER TO SHEET C2.1 FOR DATUM
	PROPOSED HIGH-POINT GRADE
	PROPOSED TOP-OF-WALK GRADE
	EXISTING TOPOGRAPHIC CONTOUR
	PROPOSED TOPOGRAPHIC CONTOUR
	SWALE/INVERTED CROWN ARROW
	FLOW DIRECTION ARROW
	EXISTING STORMWATER PIPE
	PROPOSED STORMWATER PIPE
	EXISTING/PROPOSED GRATED INLET - TYPE SPECIFIED ON THE PLAN
	EXISTING/PROPOSED JUNCTION BOX - TYPE SPECIFIED ON THE PLAN
	PROPOSED CURB INLET - TYPE SPECIFIED ON THE PLAN
	EXISTING/PROPOSED MITERED END SECTION
	EXISTING/PROPOSED FLARED END SECTION

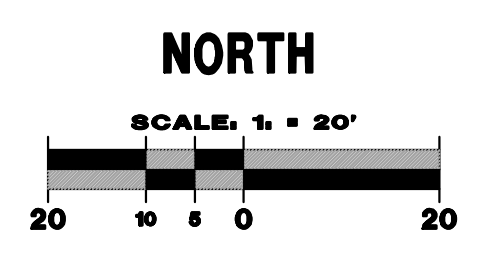
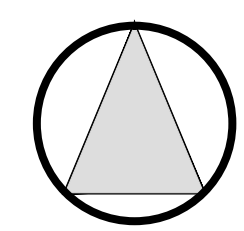
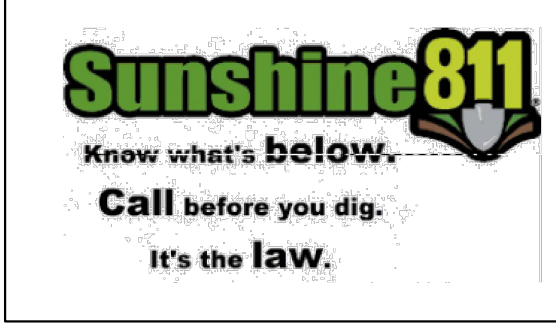
DRAINAGE STRUCTURE SCHEDULE

STR. #	DESCRIPTION	TOP ELEVATION	INVERT ELEVATION(S)	NOTES
1	TYPE C INLET	8.51	5.97	
2	TYPE C INLET	8.75	5.79	

NOTE: ALL INLETS IN VEHICULAR USE AREAS SHALL HAVE TRAFFIC BEARING GRATES

DRAINAGE PIPE SCHEDULE

STRUCTURES FROM	STRUCTURES TO	LENGTH (FT.)	DIAMETER (IN.)	PIPE TYPE	SLOPE (%)	NOTES
1	2	36	15	HDPE	0.5	
2	E	22	15	HDPE	0.63	



NO.	DATE	REVISIONS

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Gary A. Boucher, P.E. #22885

STATE CERT. OF AUTH. #0000422

Ozma Engineering, Inc.
P.O. Box 432
Ozma, Florida 34660-432
Phone: (727) 785-3859 Fax: (727) 785-3454
www.ozmaeng.com

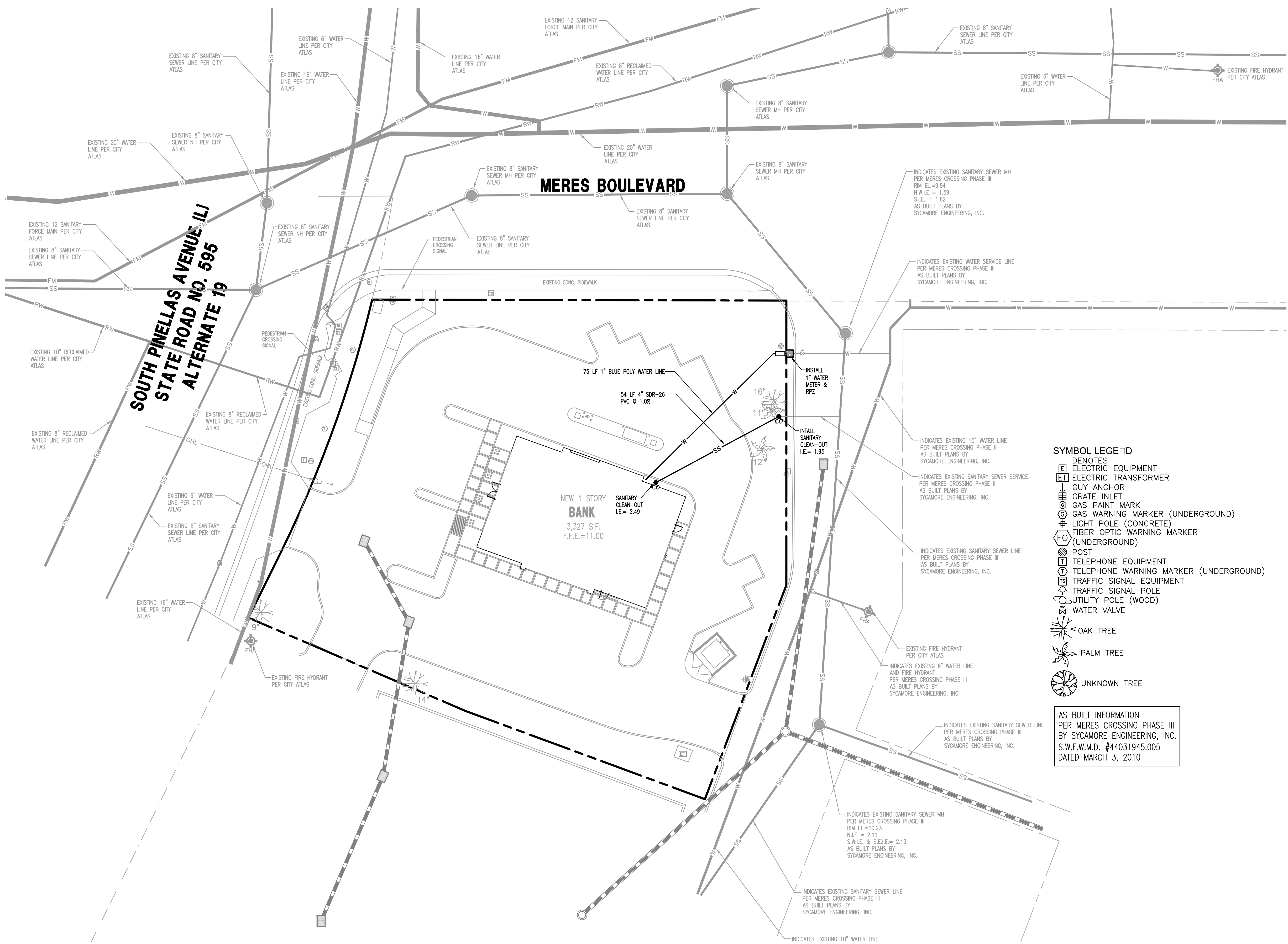
FOR:
FLAGSHIP BANK

PROJECT #:
FLAGSHIP BANK
ALT. U.S. 19 & MERES BLVD.
TARPOON SPRINGS, FLORIDA

PROJECT #:
ORIG. DATE:
DRAWN BY: BH
SCALE: AS SHOWN

SHEET #:
C4.1

GRADING AND DRAINAGE PLAN



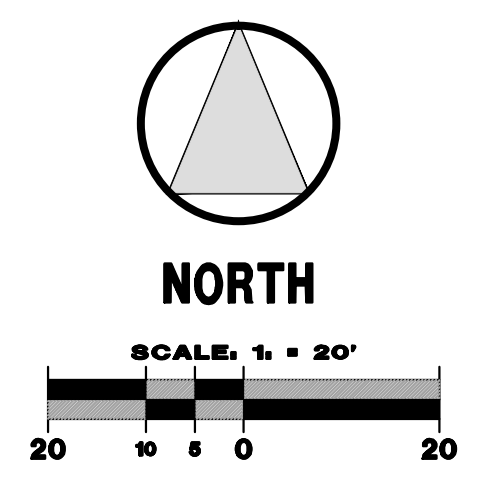
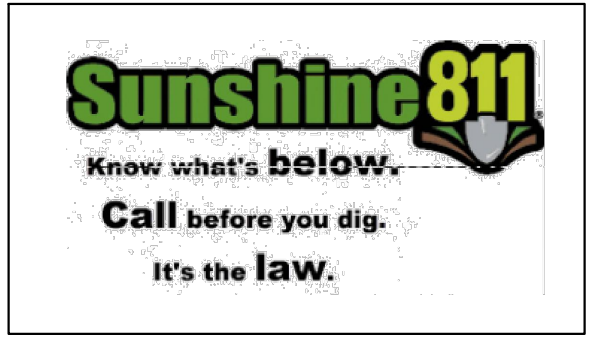
UTILITY LEGEND

- EXISTING/PROPOSED WATER LINE - SIZE AND TYPE NOTED ON THE PLAN
- EXISTING/PROPOSED SEWER LINE - SIZE AND TYPE NOTED ON THE PLAN
- EXISTING/PROPOSED FORCE MAIN - SIZE AND TYPE NOTED ON THE PLAN
- EXISTING/PROPOSED REUSE LINE - SIZE AND TYPE NOTED ON THE PLAN
- EXISTING/PROPOSED STORM SEWER LINE - REFER TO GRADING PLAN FOR SIZES AND TYPES
- EXISTING/PROPOSED OVERHEAD UTILITY LINES
- EXISTING/PROPOSED UNDERGROUND UTILITY LINES
- EXISTING/PROPOSED POWER POLE
- SITE LIGHTS - REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS
- EXISTING/PROPOSED FIRE HYDRANT ASSEMBLY
- EXISTING/PROPOSED FIRE DEPARTMENT CONNECTION
- EXISTING/PROPOSED WATER METER
- EXISTING/PROPOSED IRRIGATION METER
- EXISTING/PROPOSED DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCVA)
- EXISTING/PROPOSED GATE VALVE
- EXISTING/PROPOSED SANITARY MANHOLE
- EXISTING/PROPOSED SANITARY CLEANOUT
- EXISTING/PROPOSED GRATED INLET - REFER TO GRADING PLAN FOR SIZES AND TYPES
- EXISTING/PROPOSED JUNCTION BOX - REFER TO GRADING PLAN FOR SIZES AND TYPES
- PROPOSED CURB INLET - TYPE SPECIFIED ON THE PLAN
- EXISTING/PROPOSED MITERED END SECTION
- EXISTING/PROPOSED FLARED END SECTION
- POINT OF CONNECTION

SYMBOL LEGEND

- DENOTES ELECTRIC EQUIPMENT
- ELECTRIC TRANSFORMER
- GUY ANCHOR
- GRATE INLET
- GAS PAINT MARK
- GAS WARNING MARKER (UNDERGROUND)
- LIGHT POLE (CONCRETE)
- FIBER OPTIC WARNING MARKER (UNDERGROUND)
- POST
- TELEPHONE EQUIPMENT
- TELEPHONE WARNING MARKER (UNDERGROUND)
- TRAFFIC SIGNAL EQUIPMENT
- TRAFFIC SIGNAL POLE
- UTILITY POLE (WOOD)
- WATER VALVE
- OAK TREE
- PALM TREE
- UNKNOWN TREE

AS BUILT INFORMATION
 PER MERES CROSSING PHASE III
 BY SYCAMORE ENGINEERING, INC.
 S.W.F.W.M.D. #44031945.005
 DATED MARCH 3, 2010



NO.	REVISIONS

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Ozma Engineering, Inc.
 P.O. Box 432
 Ocala, Florida 34660-432
 Phone: (727) 785-3859 Fax: (727) 785-3434
 www.ozmaeng.com

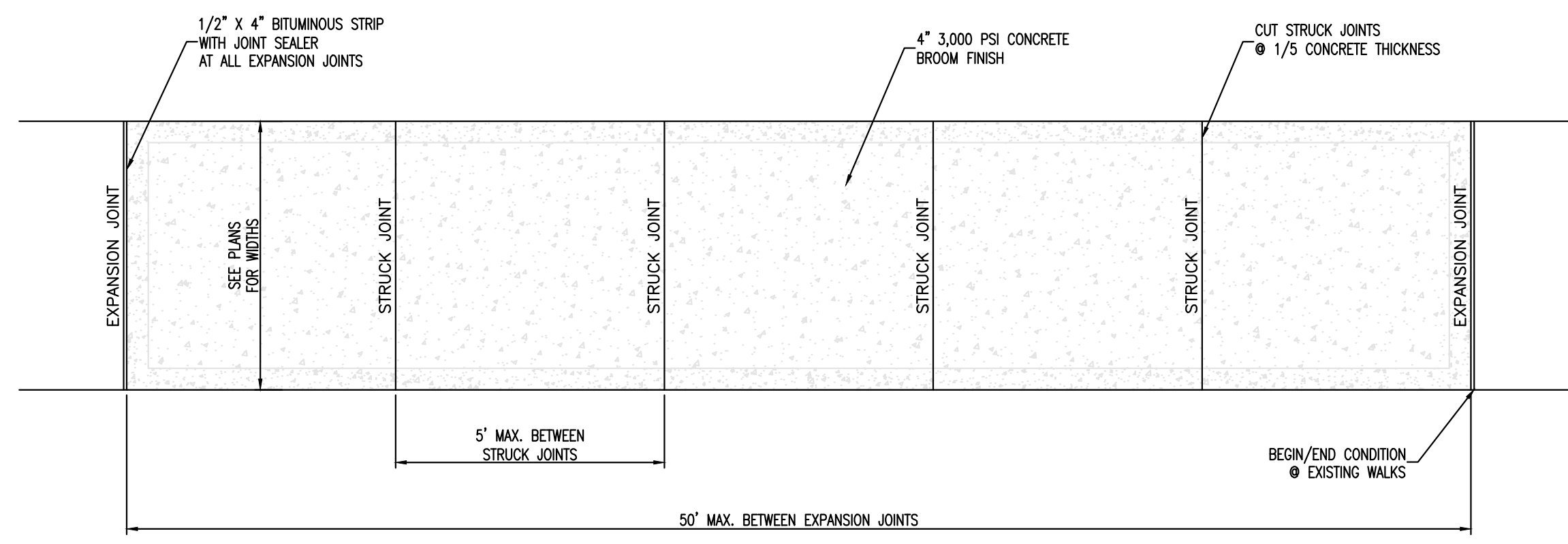
FOR: **FLAGSHIP BANK**

FLAGSHIP BANK
 ALT. U.S. 19 & MERES BLVD.
 TARPON SPRINGS, FLORIDA

PROJECT #: --
 ORIG. DATE: --
 DRAWN BY: BH
 SCALE: AS SHOWN

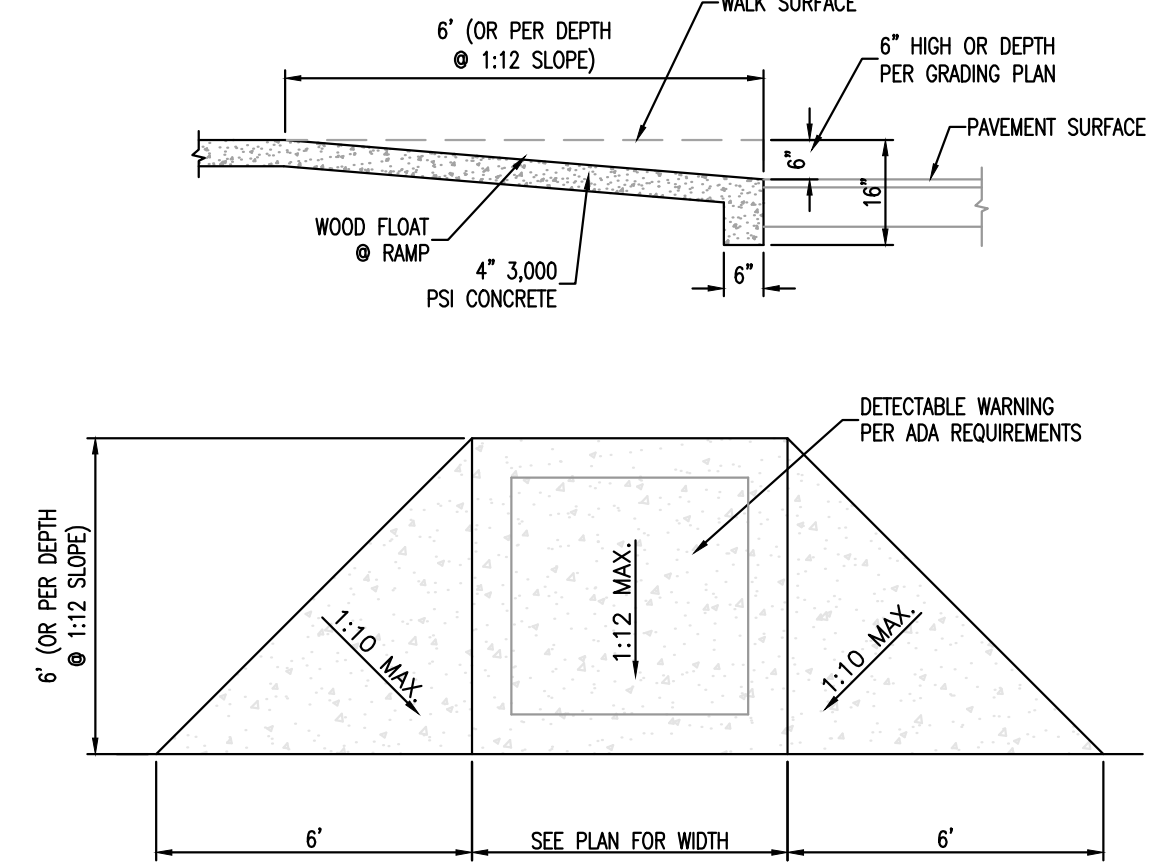
SHEET #:
C5.1

UTILITIES SITE PLAN

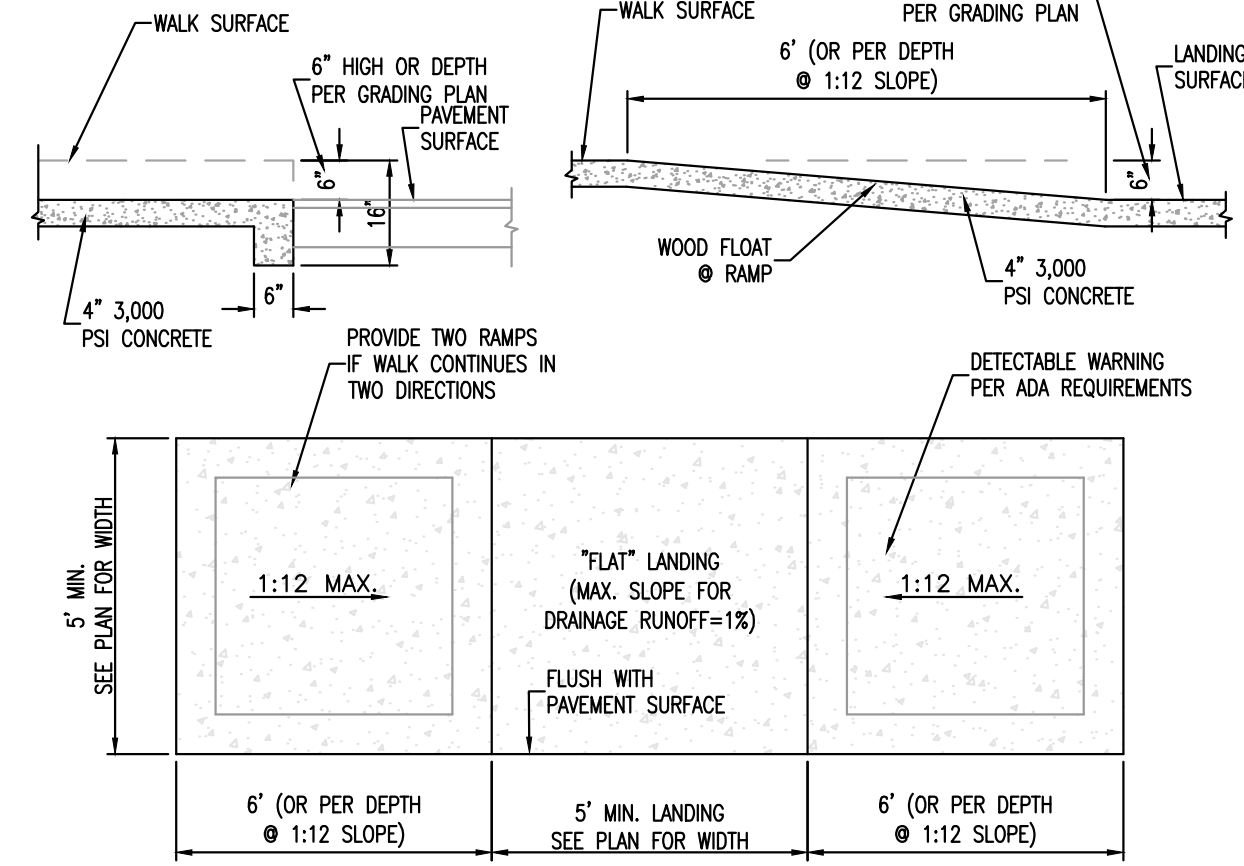


- NOTES:
1. SIDEWALKS SHALL HAVE TOOLED EDGES.
 2. CONSTRUCTION JOINTS SHALL BE LOCATED AT STRUCK JOINTS OR EXPANSION JOINTS ONLY.
 3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.
 4. REFER TO FDOT INDEX #310 AND CORRESPONDING SPECIFICATIONS FOR SIDEWALKS WITHIN THE RIGHT OF WAY.

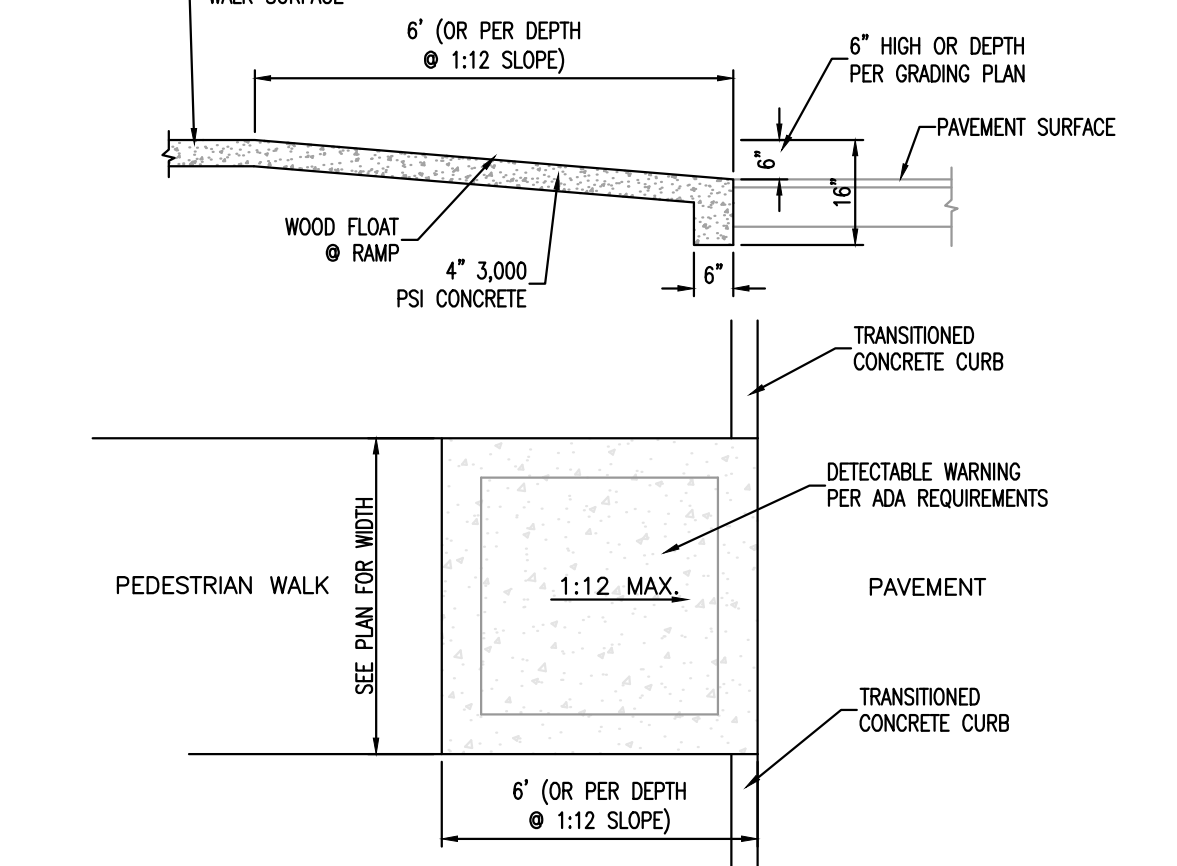
SIDEWALK DETAIL
NTS



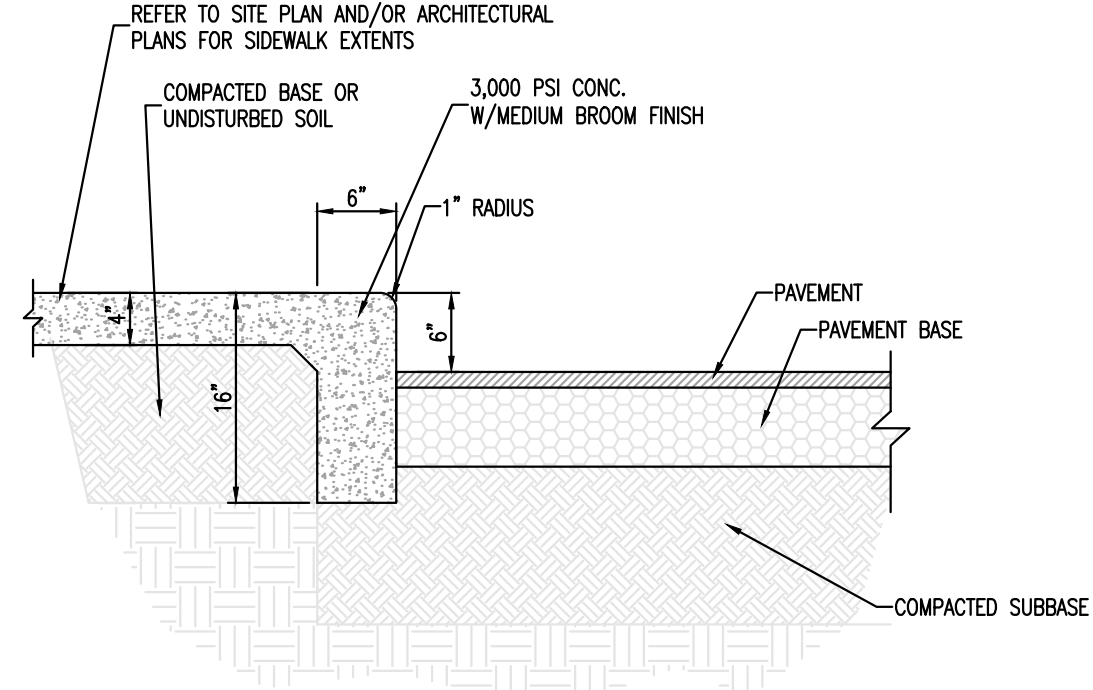
FLARED HANDICAP RAMP DETAIL
NTS



STRAIGHT HANDICAP RAMP DETAIL
NTS

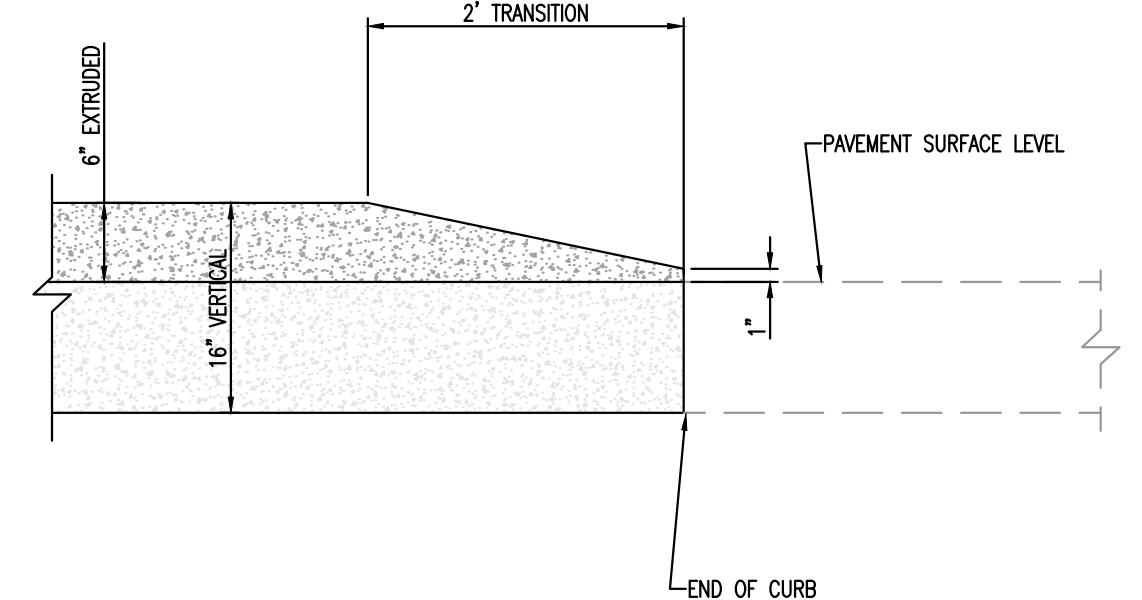


END HANDICAP RAMP DETAIL
NTS



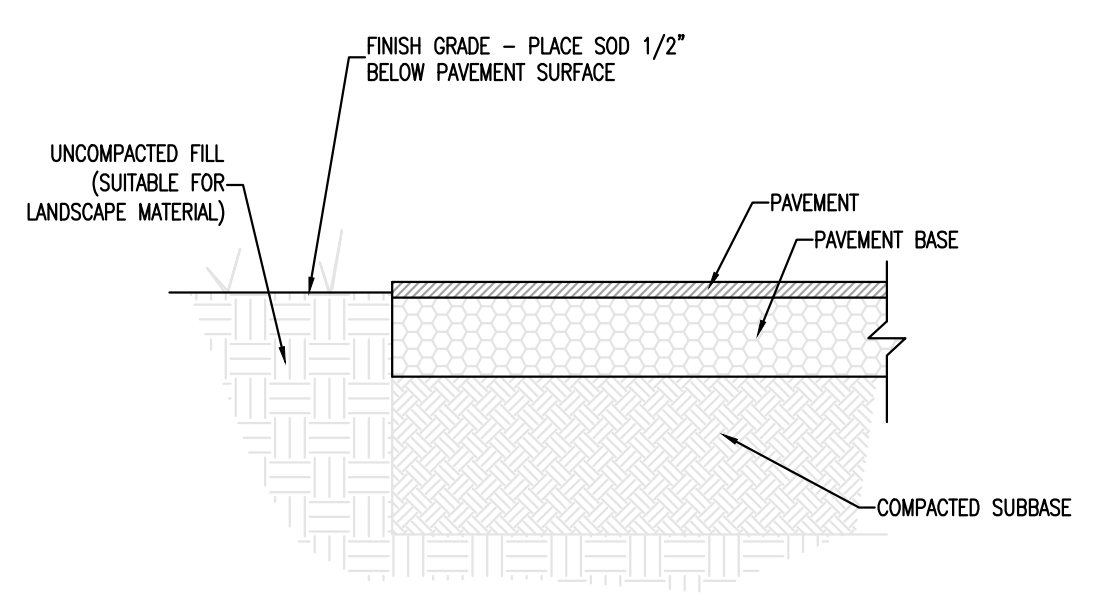
- NOTES:
1. PROVIDE 1/4\"
 2. PROVIDE 1/2\"
 3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.

SIDEWALK CURB DETAIL (MONOLITHIC)
NTS



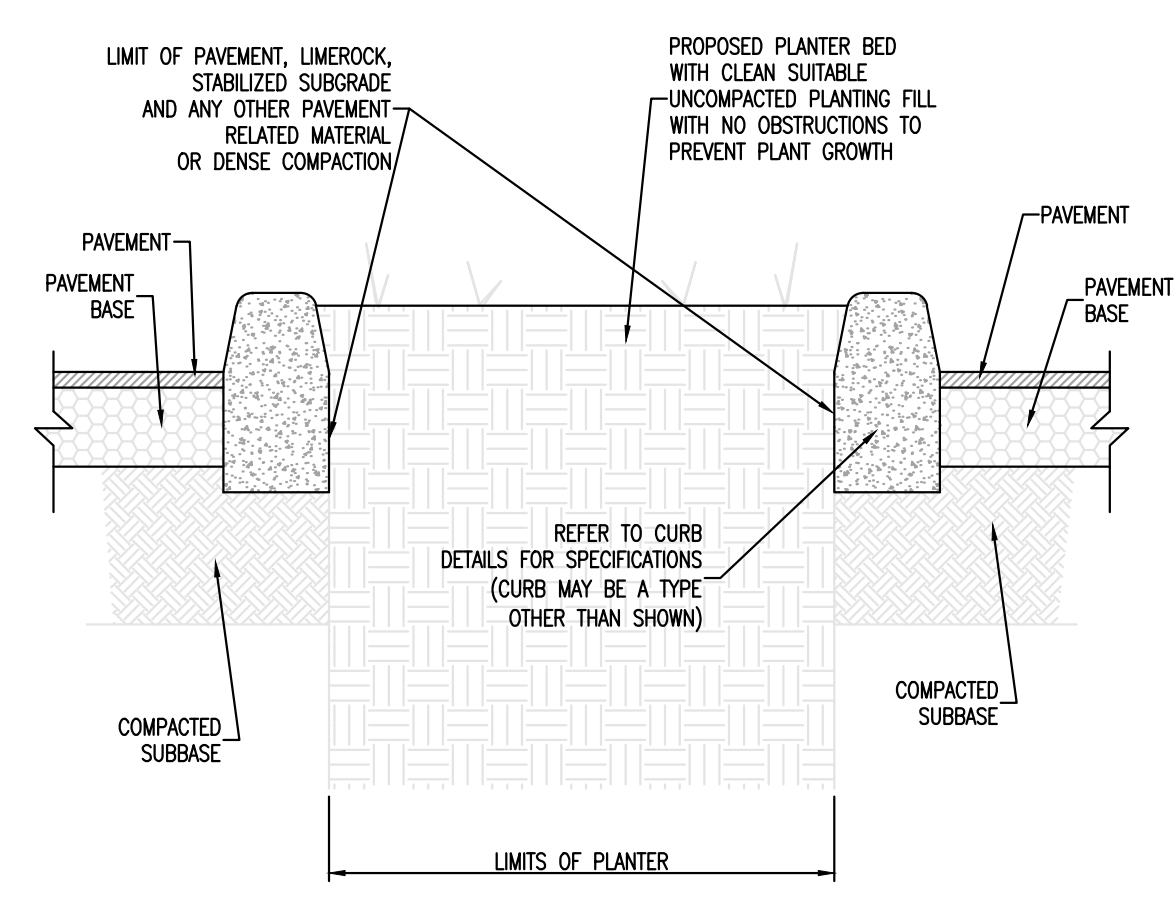
- NOTES:
1. MAINTAIN FULL DEPTH OF VERTICAL CURB FOR TRANSITION.
 2. LAST VERTICAL REBAR FOR EXTRUDED CURB SHALL BE 24\"

CURB TRANSITION DETAIL
NTS



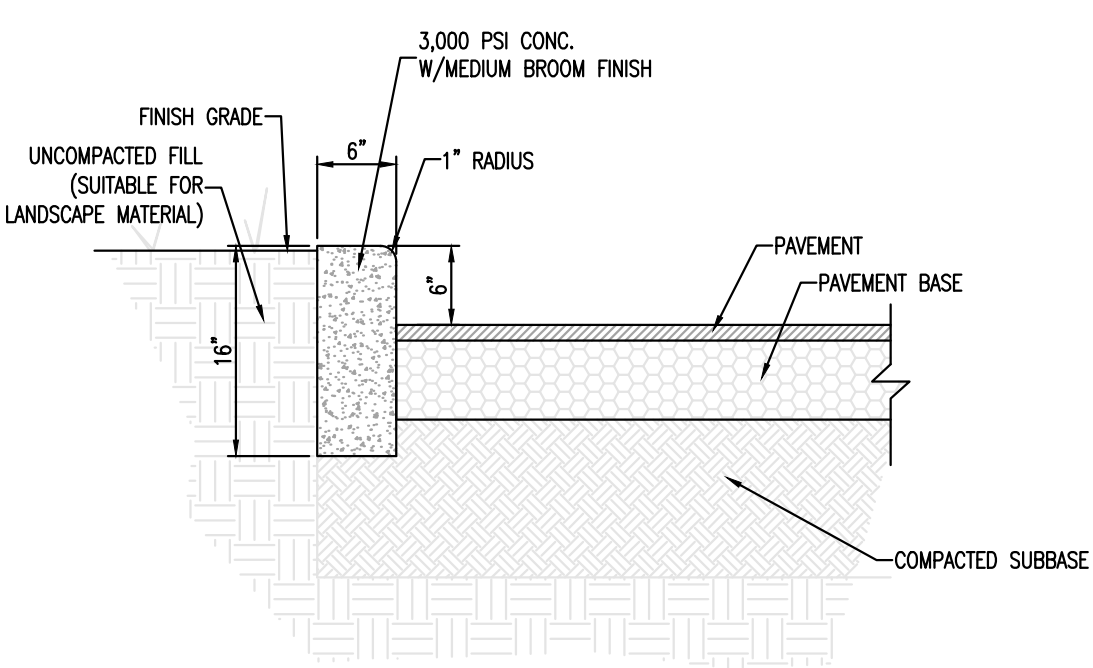
- NOTES:
1. REFER TO PLAN FOR LANDSCAPE PROTECTION MEASURES SUCH AS WHEEL STOPS.
 2. THIS CONDITION SHALL NOT BE USED FOR TRANSITION TO GRASS PARKING.

PLACEMENT OF SOD AT PAVEMENT
NTS



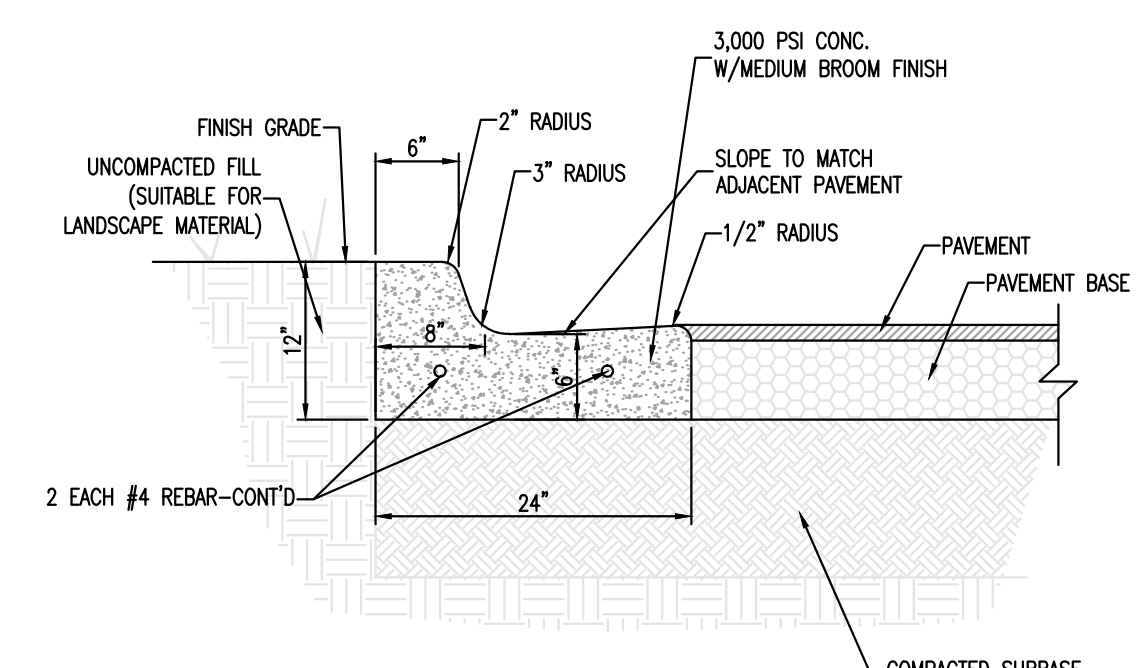
- REFER TO CURB DETAILS FOR SPECIFICATIONS (CURB MAY BE A TYPE OTHER THAN SHOWN)

CURB PLACEMENT AT PLANTER DETAIL
NTS



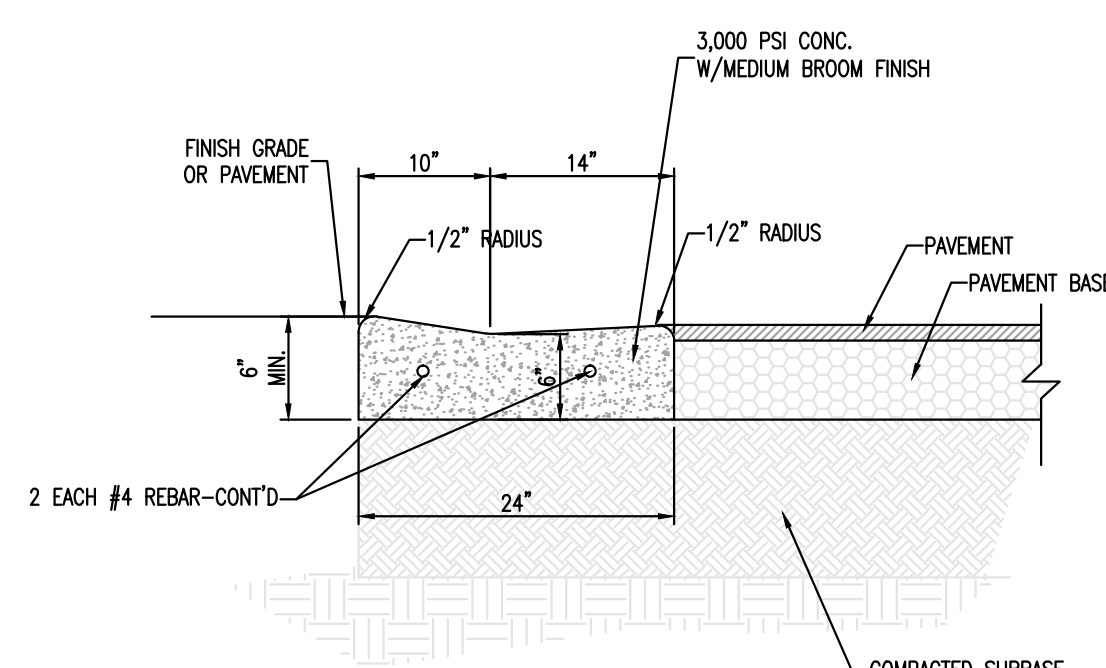
- NOTES:
1. INSTALL EXPANSION JOINTS EVERY 50 FEET.
 2. CURBS SHALL HAVE 1\"
 3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.

VERTICAL CURB DETAIL
NTS



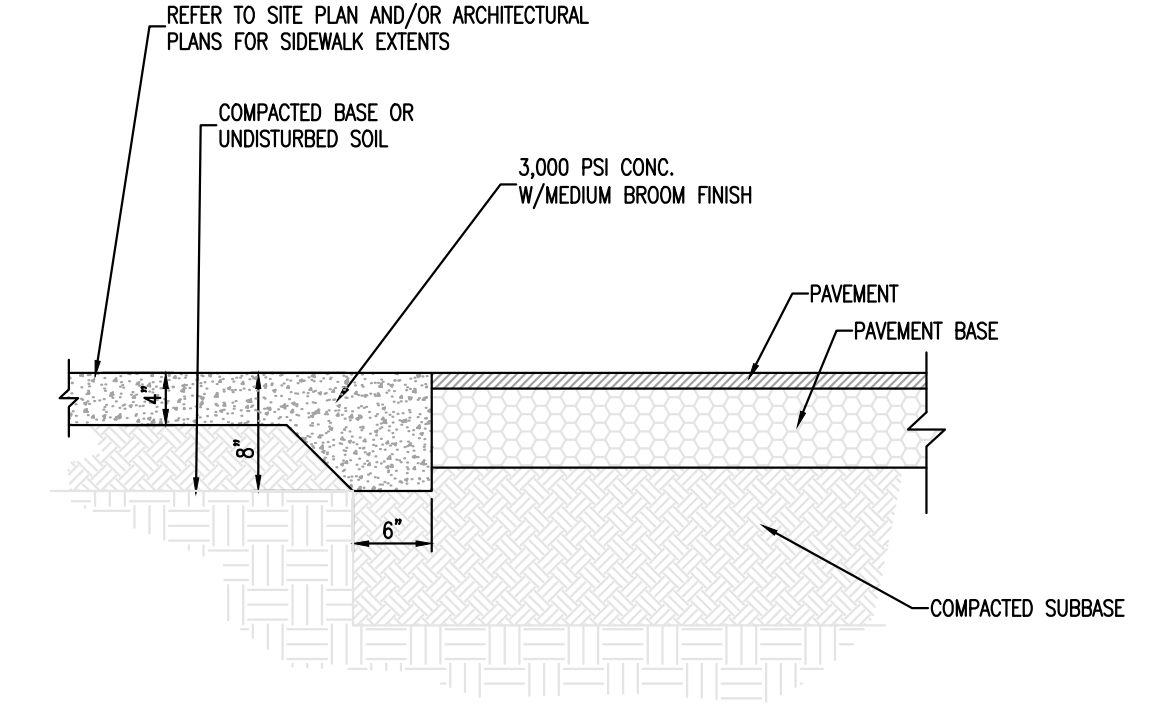
- NOTES:
1. INSTALL EXPANSION JOINTS EVERY 50 FEET.
 2. CURBS SHALL HAVE 1\"
 3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.

CURB AND GUTTER DETAIL
NTS



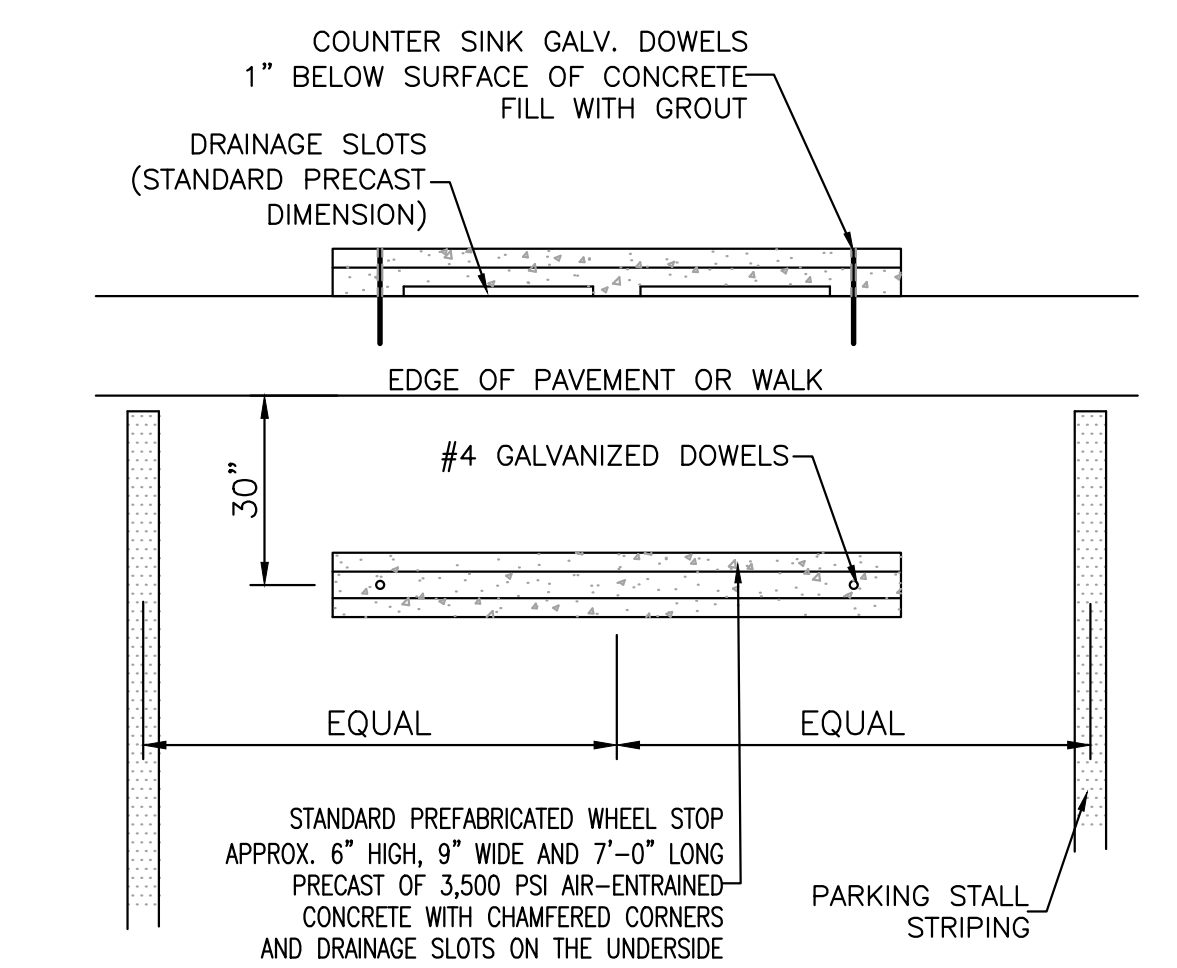
- NOTES:
1. INSTALL EXPANSION JOINTS EVERY 50 FEET.
 2. CURBS SHALL HAVE 1\"
 3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.

DROP CURB DETAIL
NTS



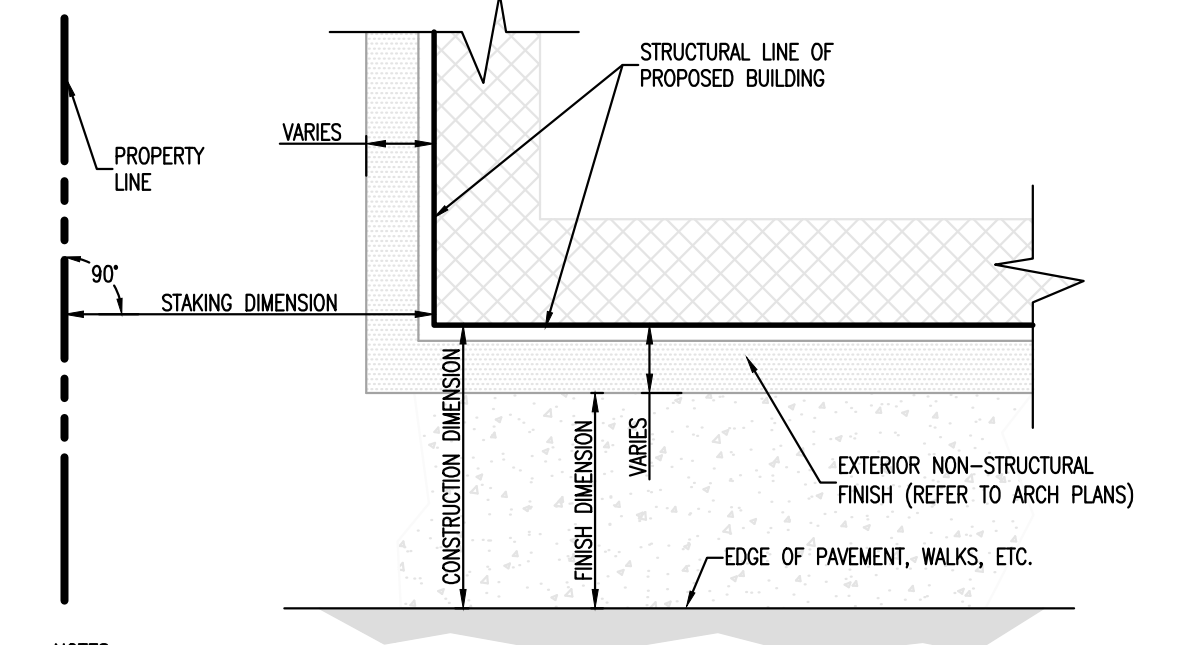
- NOTES:
1. PROVIDE 1/4\"
 2. PROVIDE 1/2\"
 3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.

FLUSH SIDEWALK DETAIL
NTS



- STANDARD PREFABRICATED WHEEL STOP APPROX. 6\"

WHEELSTOP DETAIL
NTS



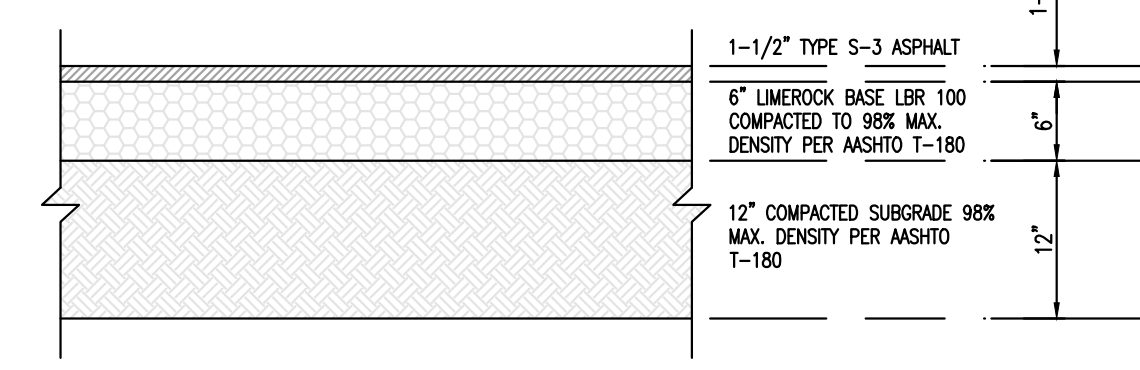
- NOTES:
1. ALL STAKING TO PROPERTY LINES FOR NEW BUILDINGS SHALL BE PERPENDICULAR.
 2. CONSTRUCTION DIMENSIONS SHOWN ON THE PLAN ARE TO THE BUILDING STRUCTURAL LINE.
 3. FOR NEW CONSTRUCTION, EXTERIOR NON-STRUCTURAL FINISH SUCH AS STUCCO, EIFS, BRICK VENEER, ETC. ARE NOT INCLUDED IN BUILDING STAKING TO PROPERTY LINE AND OTHER CONSTRUCTION FEATURES.
 4. LIMITS OF CALCULATED FLOOR AREA IS TAKEN TO THE STRUCTURAL LINE OF THE BUILDING SUCH AS FACE OF STRUCTURAL BLOCK, OUTSIDE OF FRAMING, EDGE OF MONOLITHIC SLAB, ETC.
 5. CONTRACTOR SHALL COMPARE CIVIL PLANS TO ARCHITECTURAL PLANS FOR DISCREPANCIES PRIOR TO CONDUCTING RELATED WORK.
 6. THIS IS A GENERAL DETAIL. SPECIAL CIRCUMSTANCES MAY SUPERCEDE THIS DETAIL FOR PORTIONS OF THE BUILDING SUCH AS UNIQUE CONSTRUCTION, BUILDING ADDITIONS, DIMENSIONS TO EXISTING BUILDINGS, ETC.

BUILDING STAKING AND MEASUREMENT CONTROL DETAIL
NTS

ON-SITE PAVEMENT AND CURB NOTES AND SPECIFICATIONS

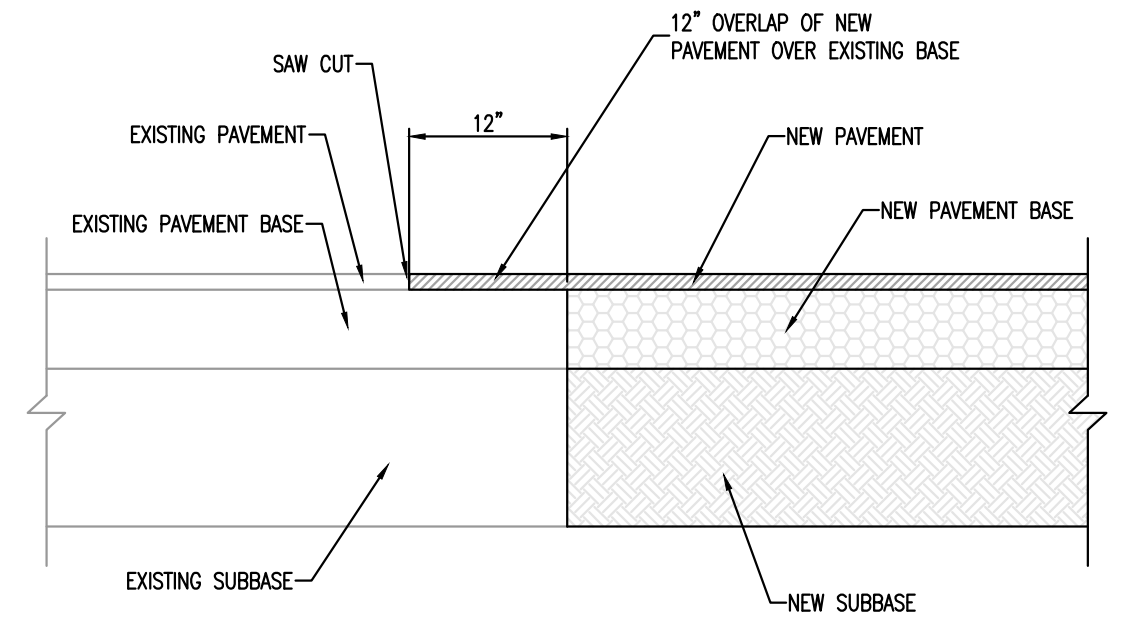
1. ALL PAVEMENT AND CURB DETAILS CONTAINED ON THIS PAGE ARE FOR ON-SITE PRIVATE VEHICULAR USE AREAS ONLY.
2. ALL PAVEMENT AND CURB WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER THE LOCAL JURISDICTIONAL DETAILS AND SPECIFICATIONS OF THAT RIGHT OF WAY.
3. REFER TO OTHER DETAIL PAGES OR REFERENCE MATERIALS CALLED OUT ON THE PLAN CONTAINING STANDARD DETAILS FOR RIGHT OF WAY WORK.

ON-SITE PAVEMENT, CURB AND WALK DETAILS
SCALE: NONE



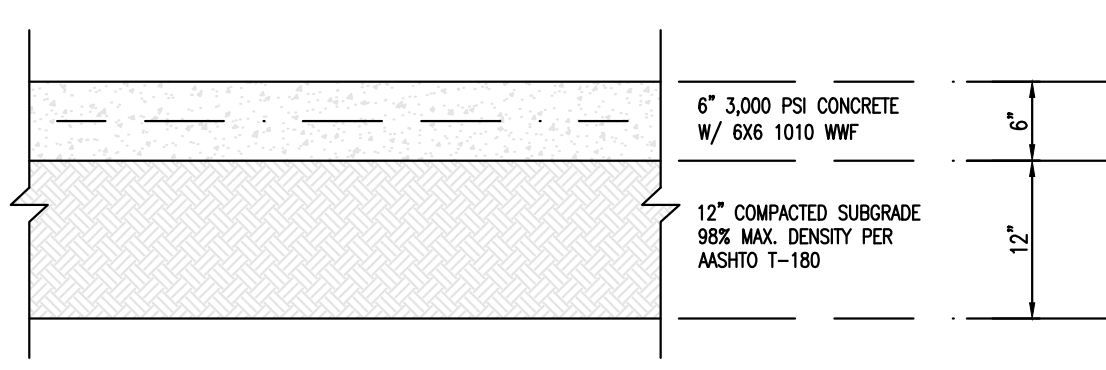
- NOTES:
1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES.
 2. SUBSTITUTIONS OF BASE MATERIAL MUST BE APPROVED BY THE ENGINEER.

STANDARD PAVEMENT DETAIL
NTS



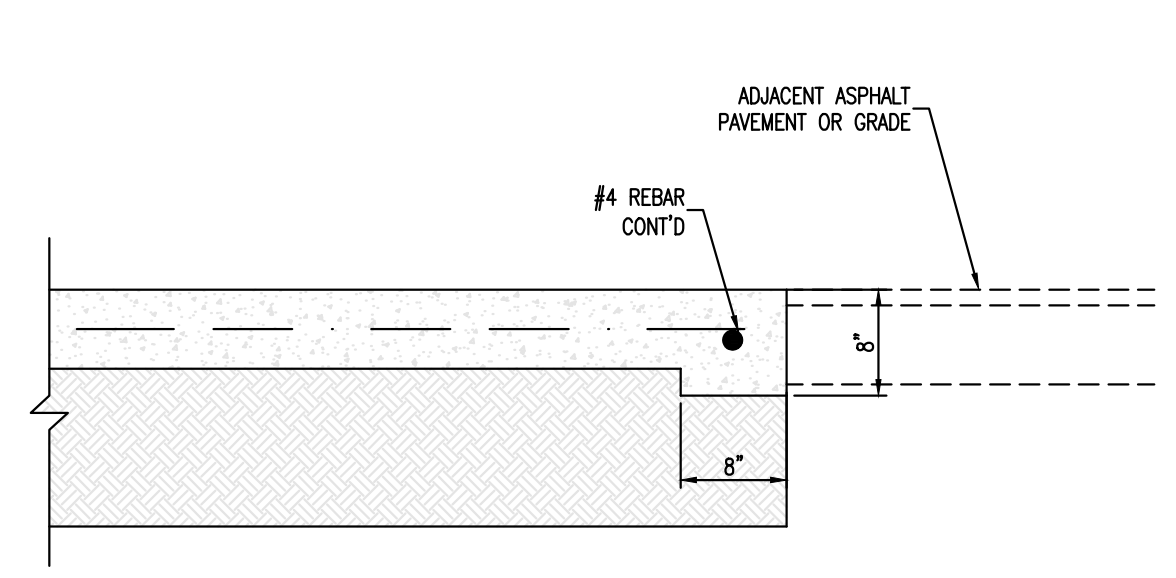
- NOTES:
1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES.
 2. SAW CUT EXISTING PAVEMENT AT ALL PAVEMENT TRANSITIONS BEFORE NEW PAVEMENT IS APPLIED.

PAVEMENT TRANSITION DETAIL
NTS



- NOTES:
1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES.
 2. SUBSTITUTIONS OF BASE MATERIAL MUST BE APPROVED BY THE ENGINEER.

CONCRETE PAVEMENT DETAIL
NTS



- NOTES:
1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES.
 2. SUBSTITUTIONS OF BASE MATERIAL MUST BE APPROVED BY THE ENGINEER.

CONCRETE PAVEMENT END DETAIL
NTS

SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

REVISIONS

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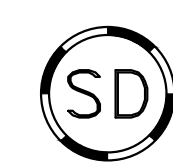
STATE CERT. OF AUTH. #000942
Ozoma Engineering, Inc.
P.O. Box 432
Ozoma, Florida 34660-432
Phone: (727) 785-9859 Fax: (727) 785-3434
www.ozomae.com

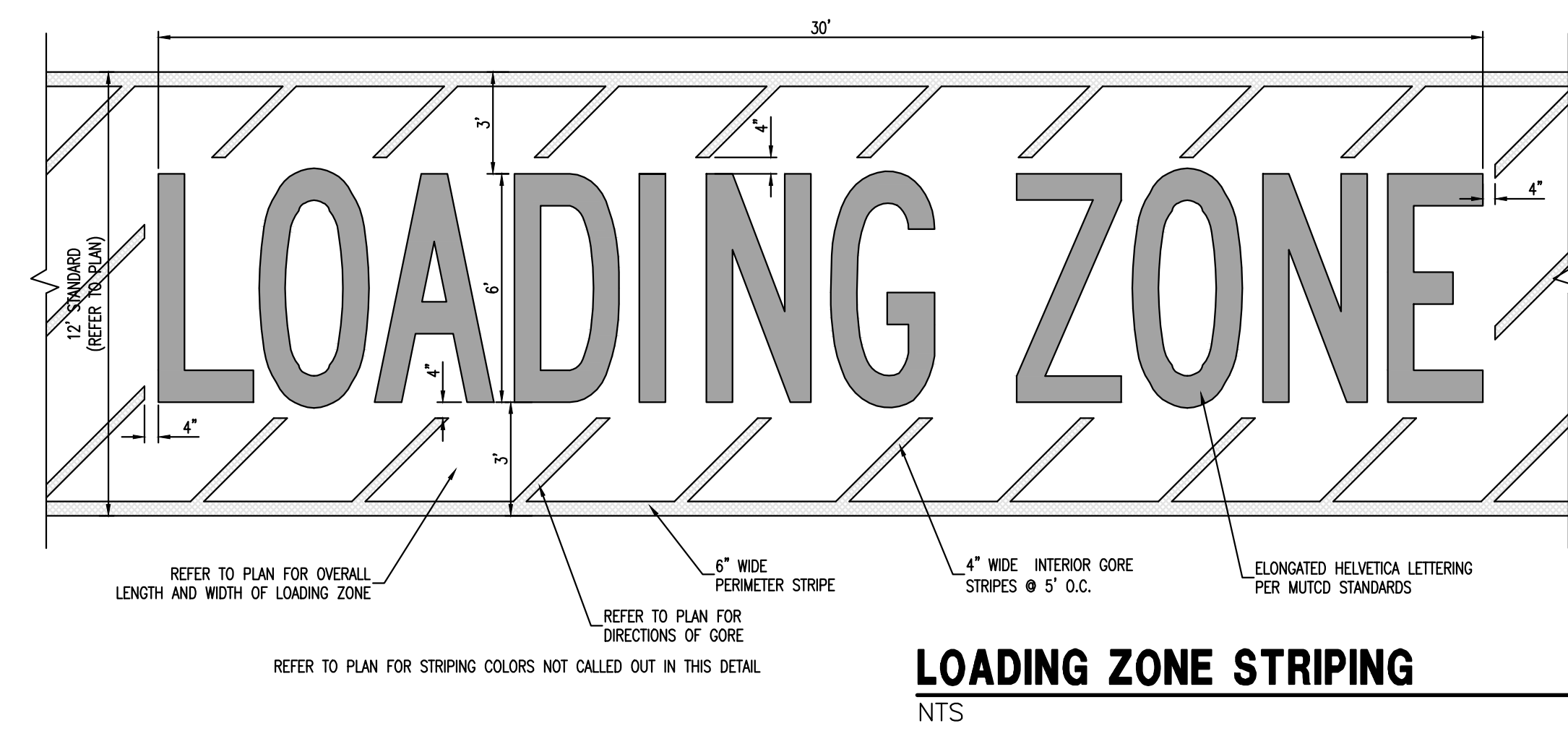
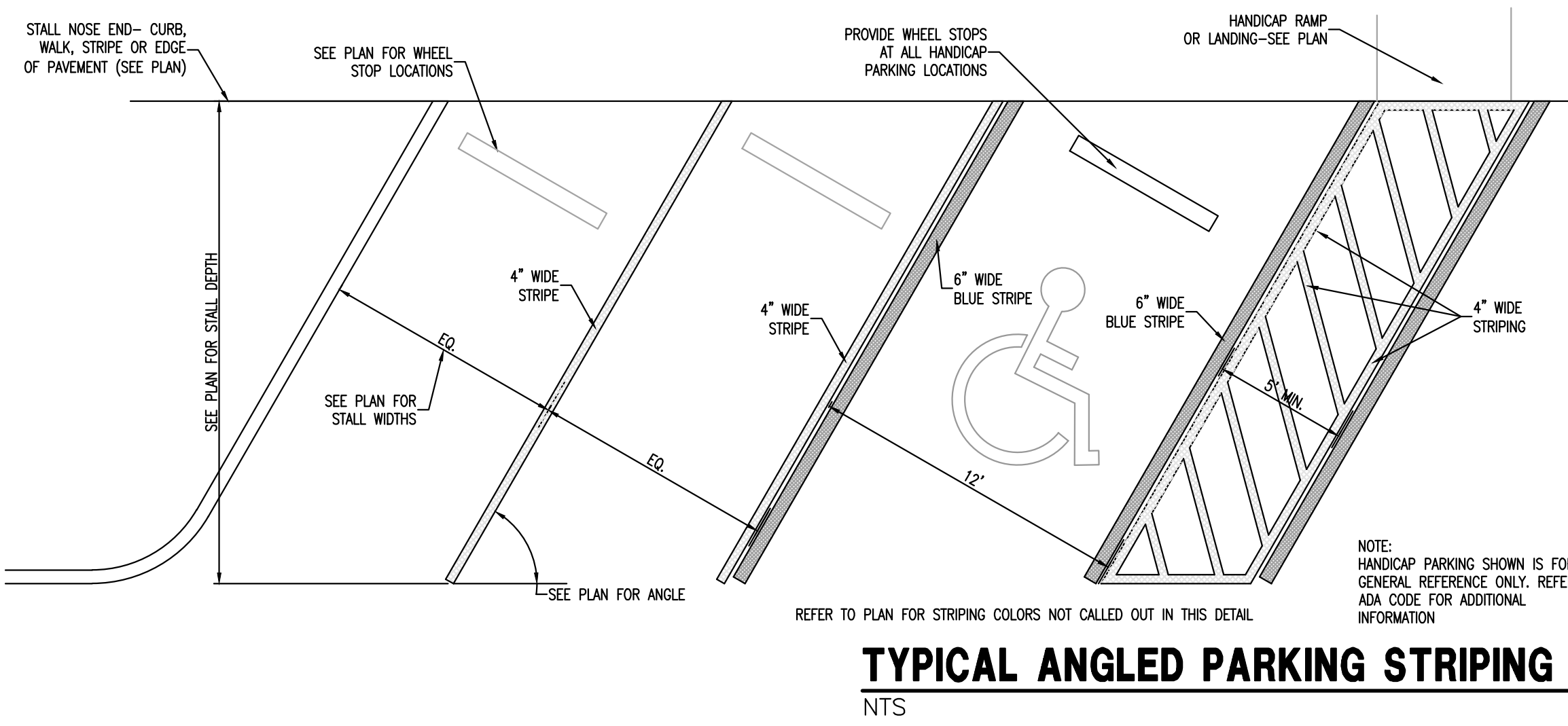
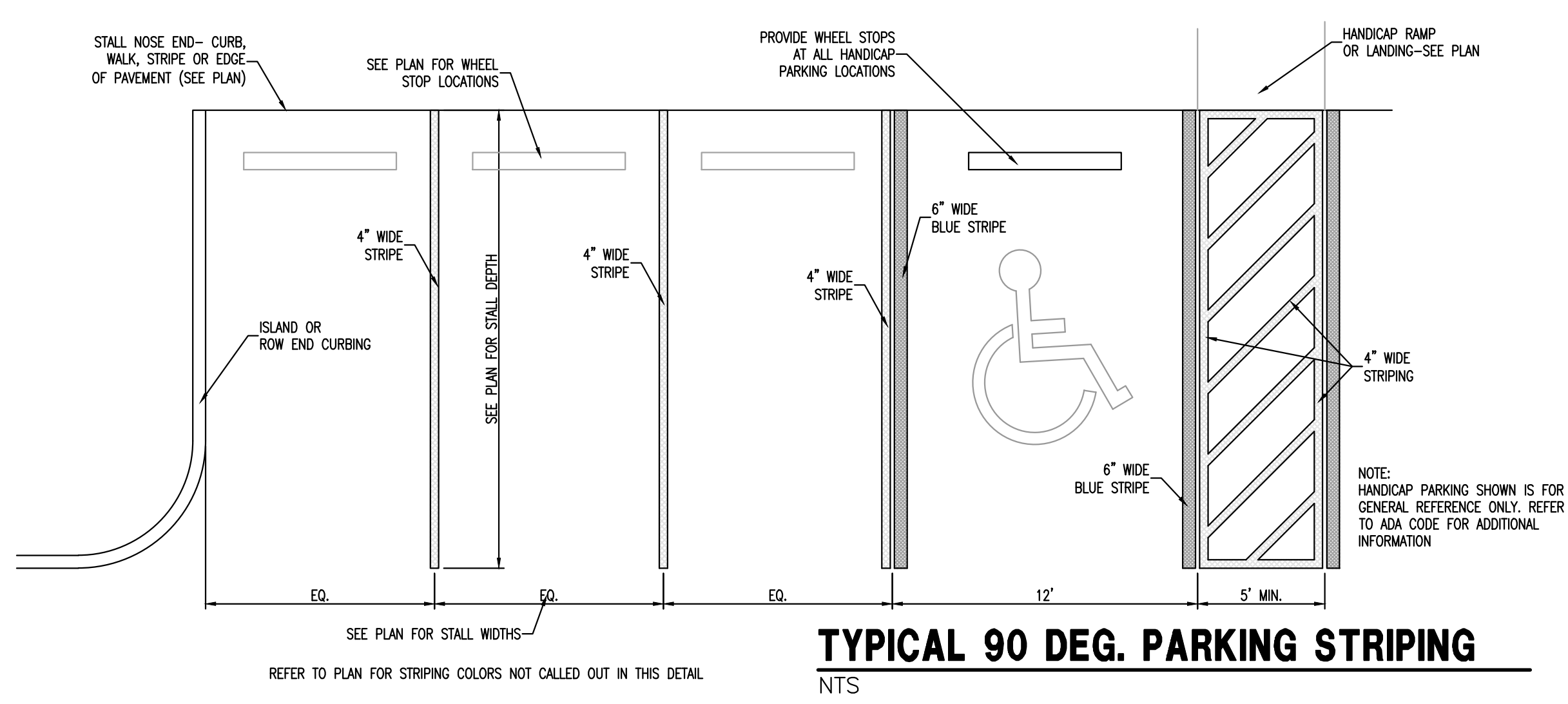
FOR:
FLAGSHIP BANK

PROJECT #:
ORIG. DATE:
DRAWN BY: AVF
SCALE: AS SHOWN

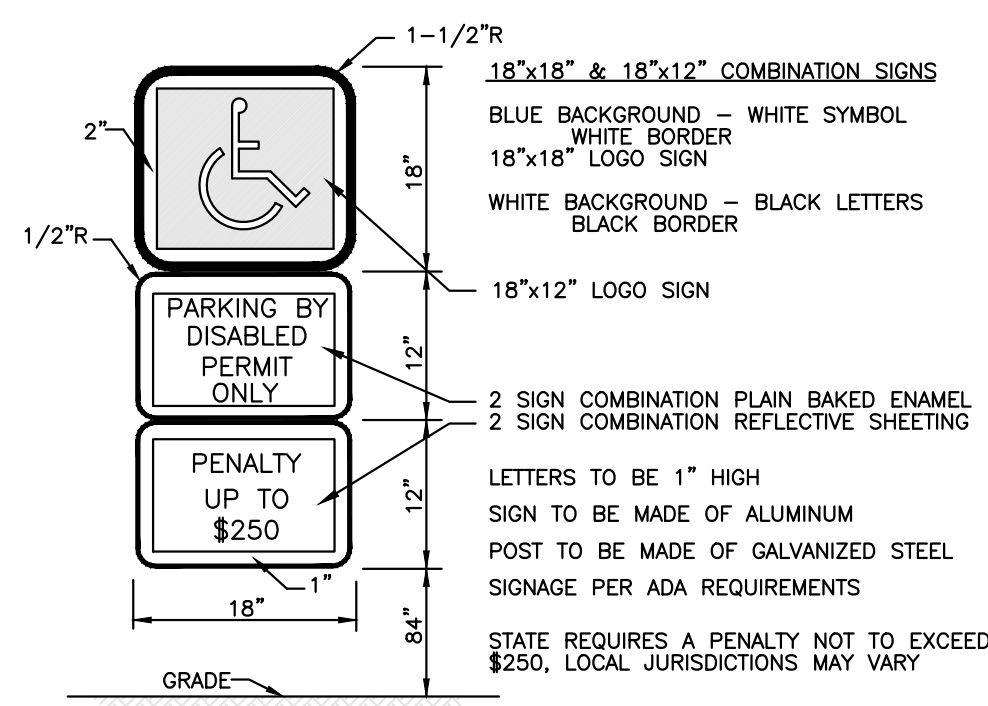
PROJECT #:
ORIG. DATE:
DRAWN BY: AVF
SCALE: AS SHOWN

SHEET #:
C6.1

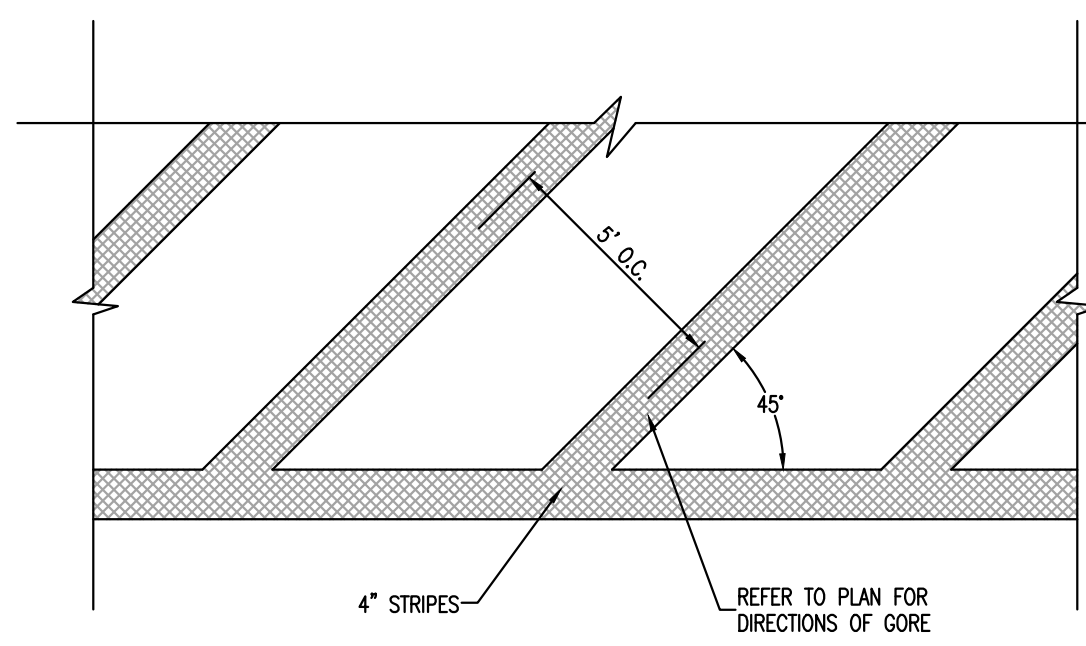




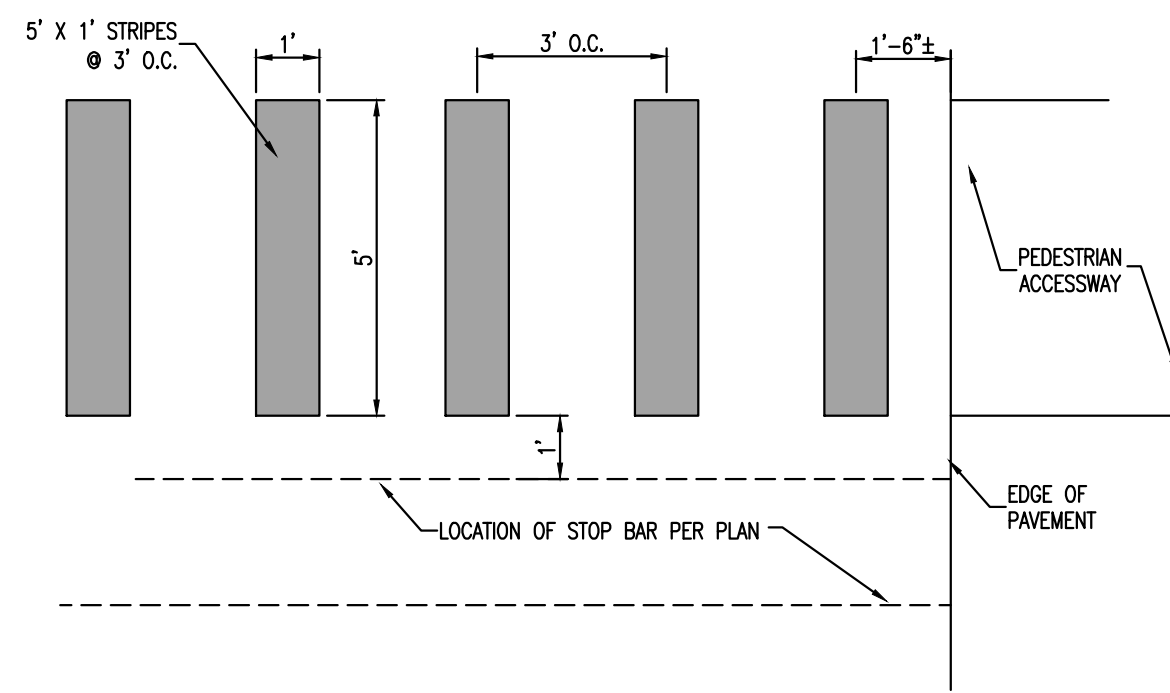
LOADING ZONE STRIPING
NTS



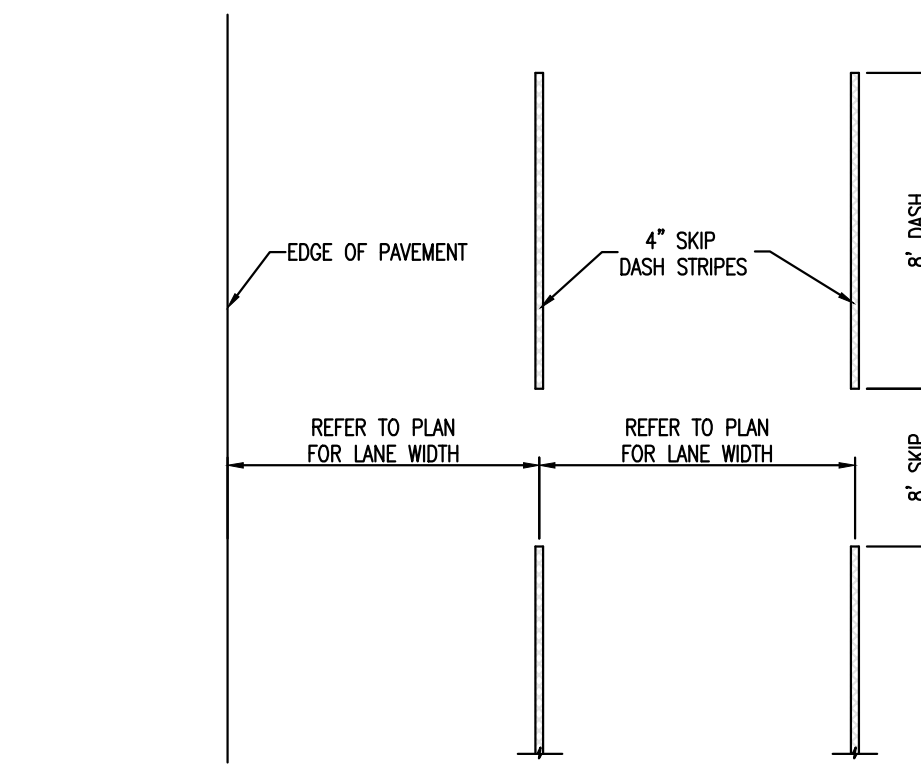
HANDICAP PARKING SIGN DETAIL
NTS



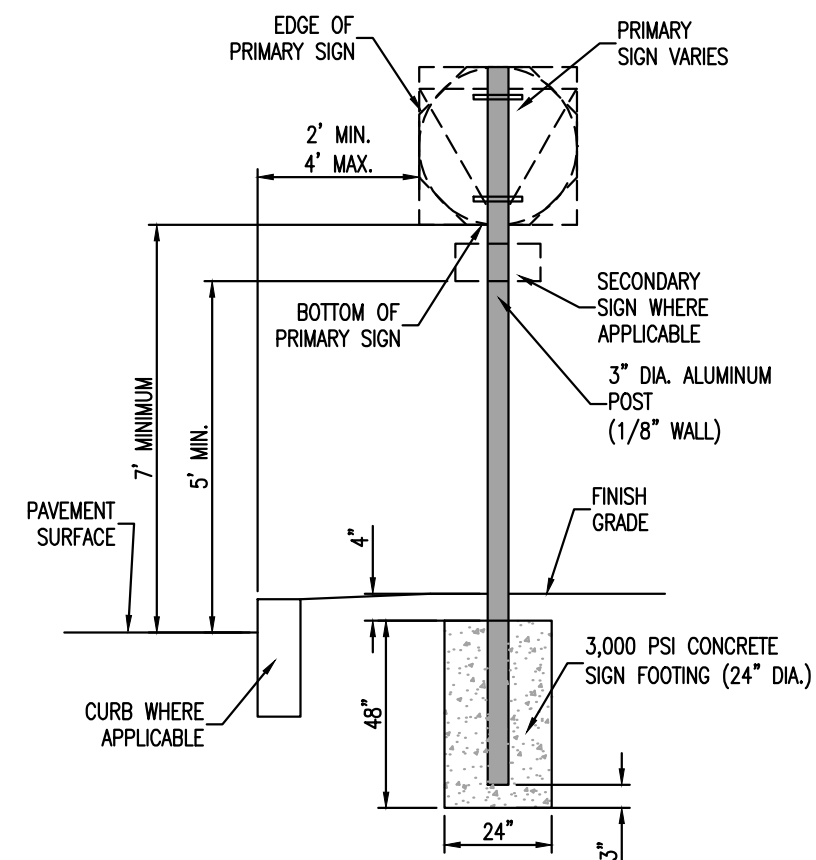
ON-SITE GORE STRIPING
NTS



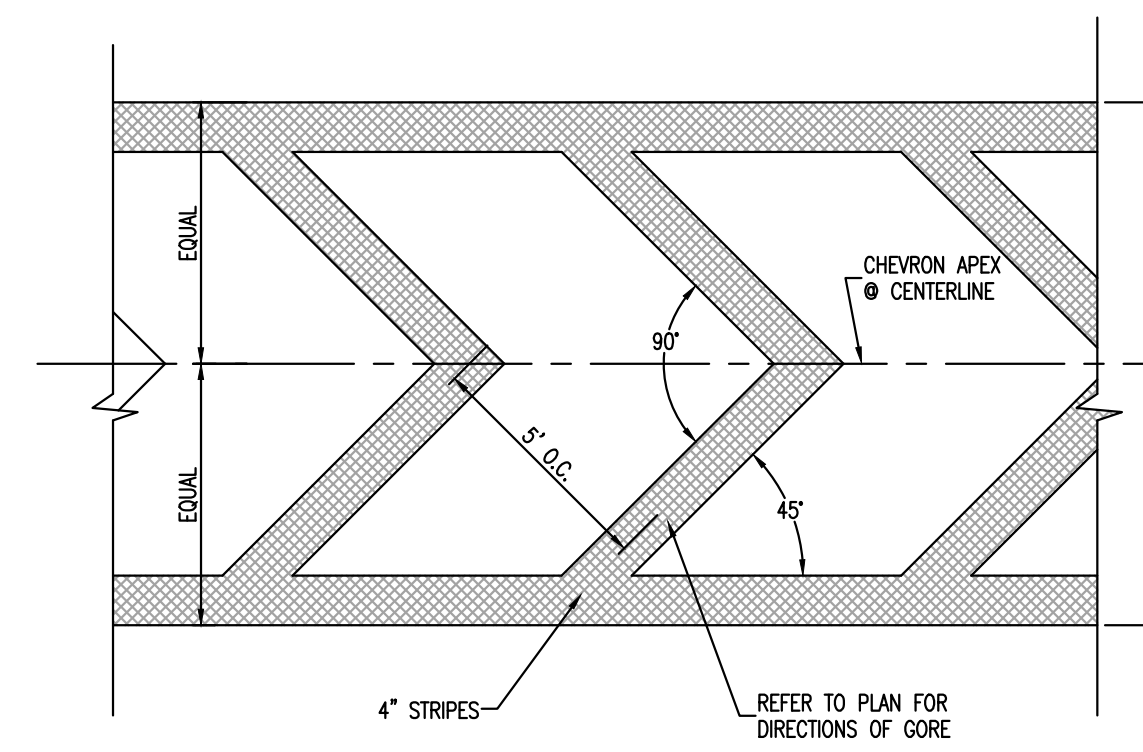
ON-SITE PEDESTRIAN CROSSWALK
NTS



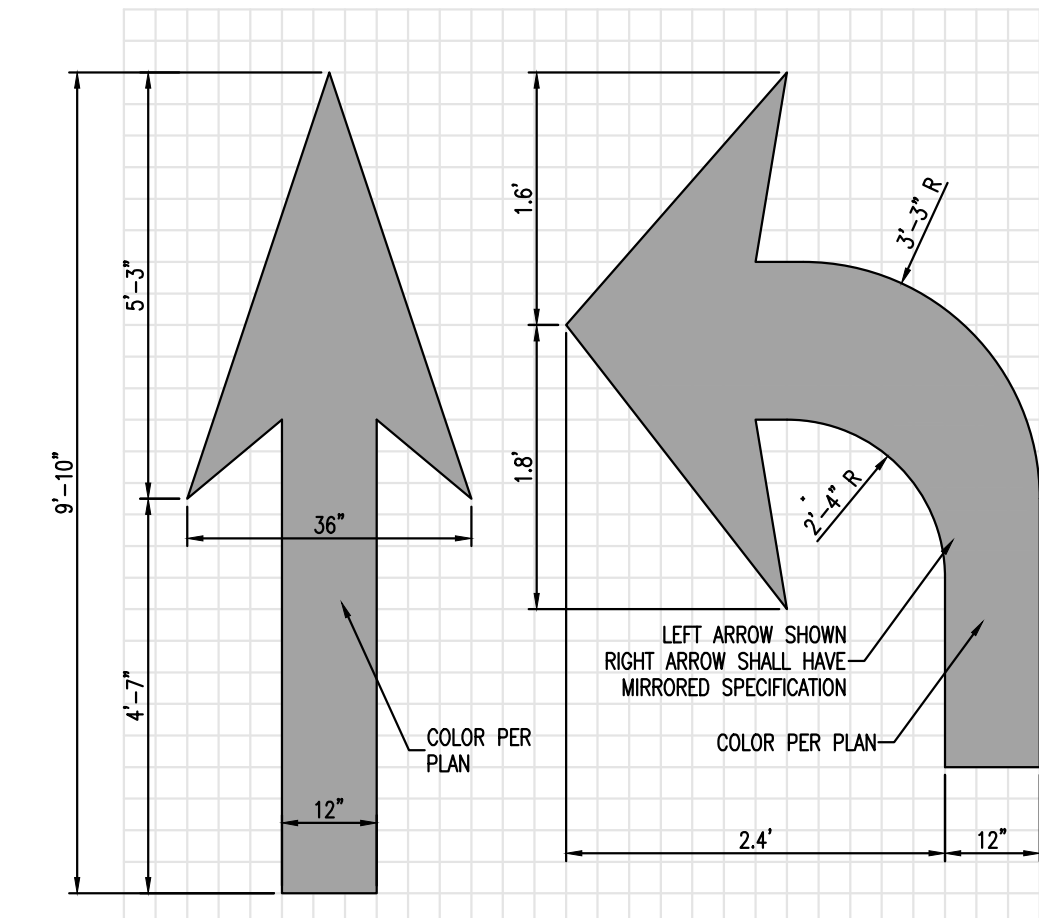
MULTIPLE DRIVE-THRU LANE STRIPING
NTS



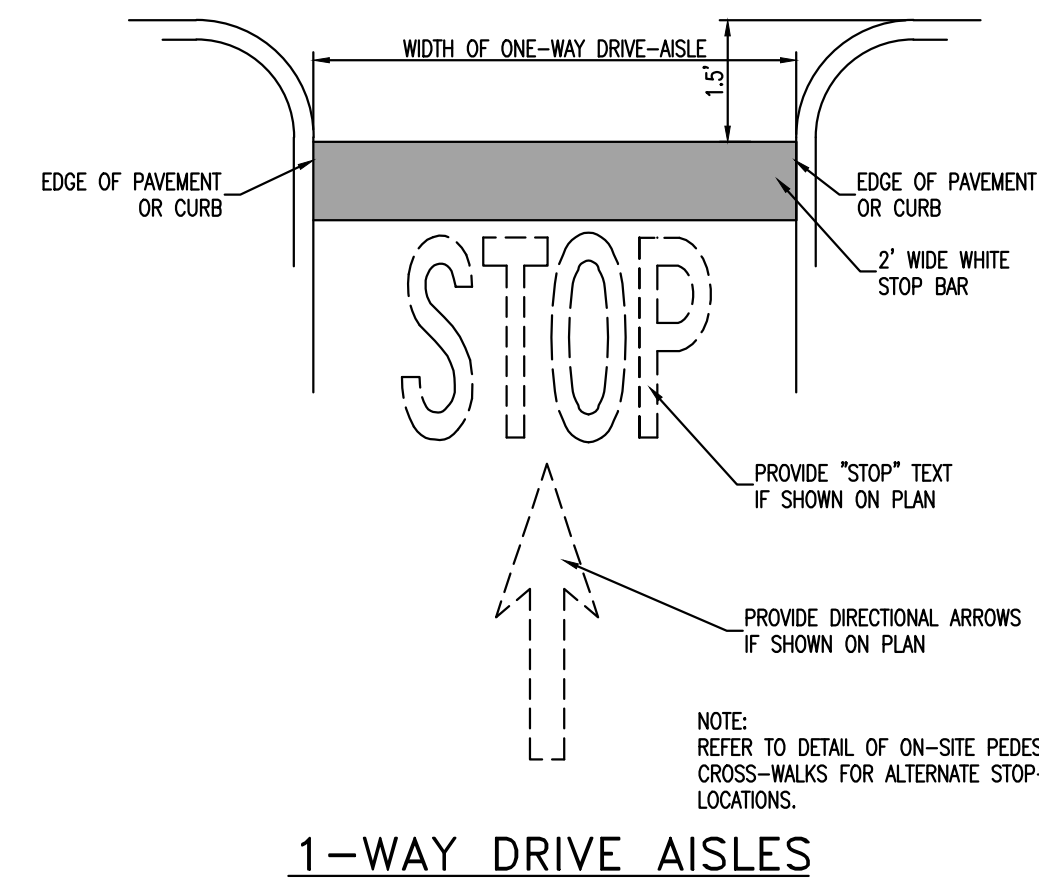
TYPICAL TRAFFIC CONTROL SIGN MOUNTING DETAIL
NTS



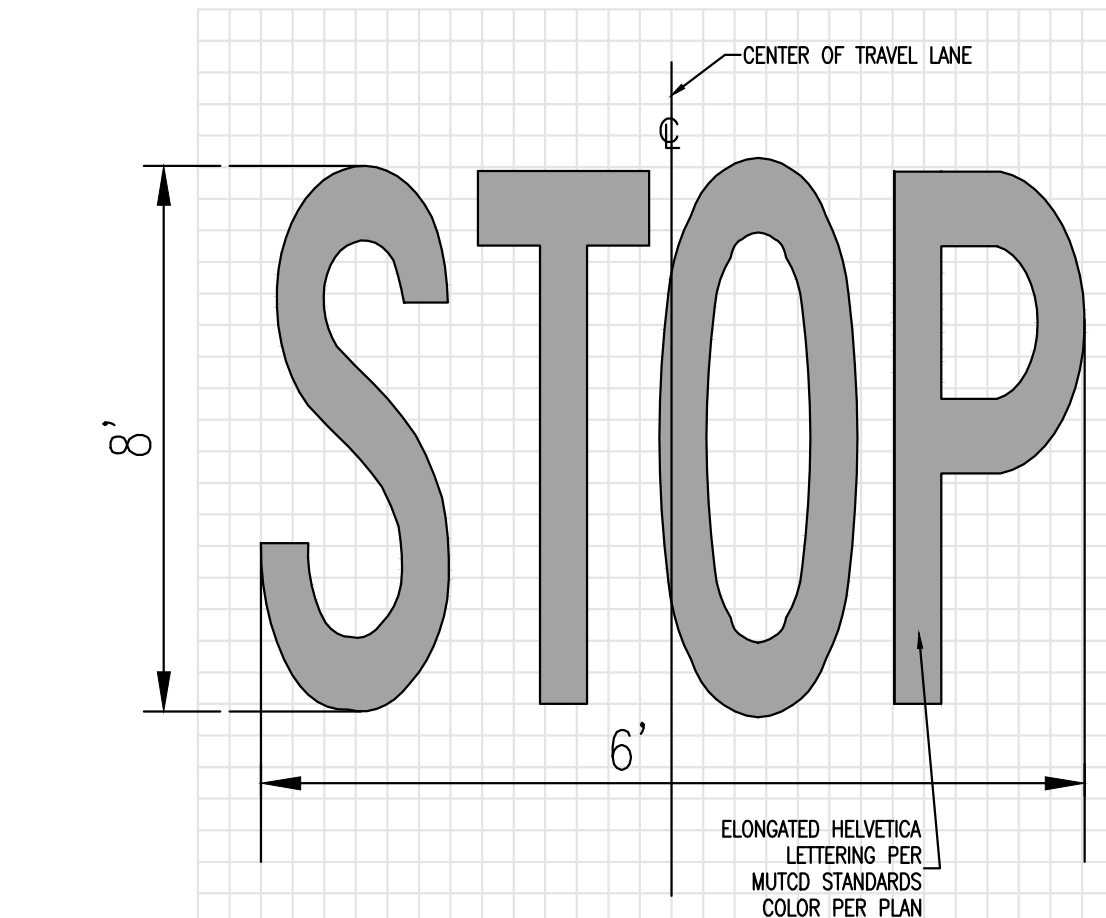
ON-SITE CHEVRON GORE STRIPING
NTS



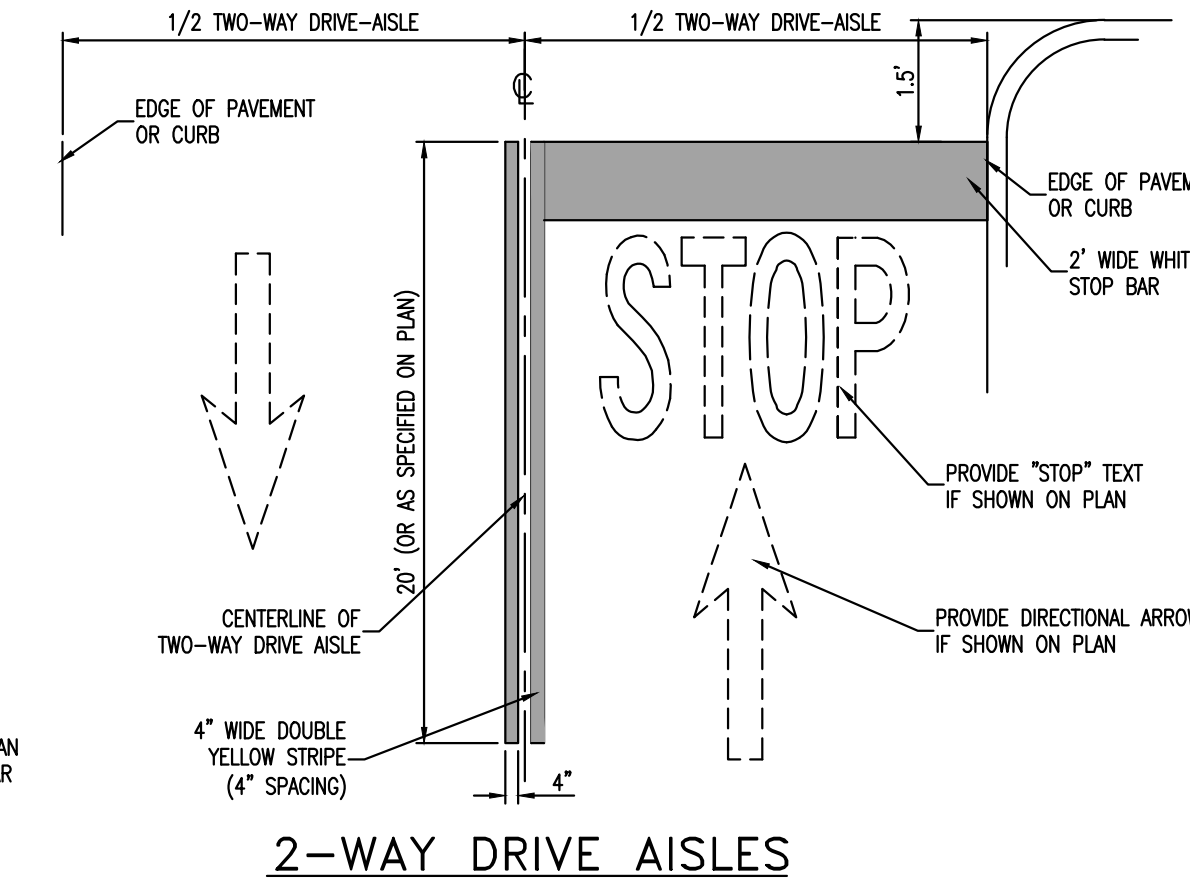
TYPICAL DIRECTIONAL ARROWS
NTS



1-WAY DRIVE AISLES



TYPICAL PAVEMENT STOP TEXT
NTS



2-WAY DRIVE AISLES

TYPICAL PARKING AREA STOP BARS
NTS

ON-SITE STRIPING AND MARKING NOTES AND SPECIFICATIONS

- ALL STRIPING DEPICTIONS CONTAINED ON THIS PAGE ARE FOR ON-SITE INTERIOR PARKING LOT (PRIVATE PROPERTY) STRIPING ONLY. ANY STRIPING DEPICTED ON THE PLAN LOCATED AT FDOT (OR OTHER LOCAL JURISDICTIONAL) ACCESS POINTS (WITHIN PROPERTY BOUNDARIES OR NOT) SHALL BE STRIPED ACCORDING TO THEIR RESPECTIVE JURISDICTIONAL STANDARDS.
- ON-SITE PAINT SPECIFICATIONS : FEDERAL SPECIFICATION FS-TT-P-1952D (OR EQUAL). REFER TO OTHER DETAILS AND SPECIFICATIONS FOR PAINT RELATIVE TO RIGHT-OF-WAY PERMITTED WORK.
- ALL TRAFFIC CONTROL SIGNS SHALL BE PER MUTCD STANDARDS. CUSTOM-BUILT TRAFFIC CONTROL SIGNS ARE PROHIBITED. (NO WOODEN SIGNS, ETC.)
- MEANS OF ATTACHMENT OF THE SIGNS TO THEIR POSTS SHALL BE PER MANUFACTURERS' SPECIFICATIONS.
- REFER TO OTHER SPECIFICATIONS AND/OR DETAILS FOR WORK RELATIVE TO THE PUBLIC RIGHT-OF-WAY.

ON-SITE SIGNAGE STRIPING AND MARKING DETAILS
SCALE: NONE

SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

NO.	DATE	REVISIONS

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR SUPERVISED AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE BOARD OF ENGINEERS OF FLORIDA AS SIGNED BY MY HAND AND SEAL.

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STATE CERT. OF AUTH. #000942
Garry A. Boucher, PE# 22085

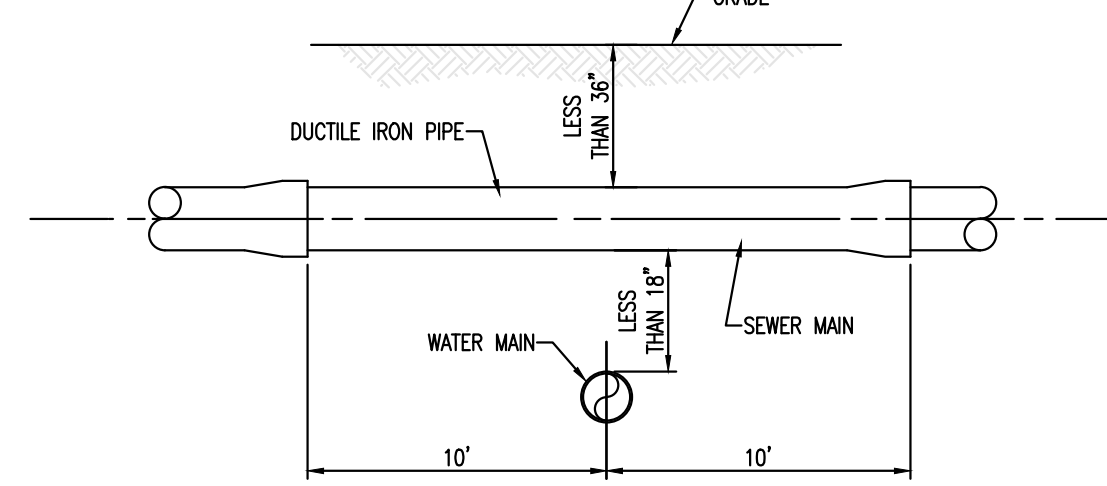
FOR: **FLAGSHIP BANK**

FLAGSHIP BANK
ALT. U.S. 19 & MERES BLVD.
TARPOON SPRINGS, FLORIDA

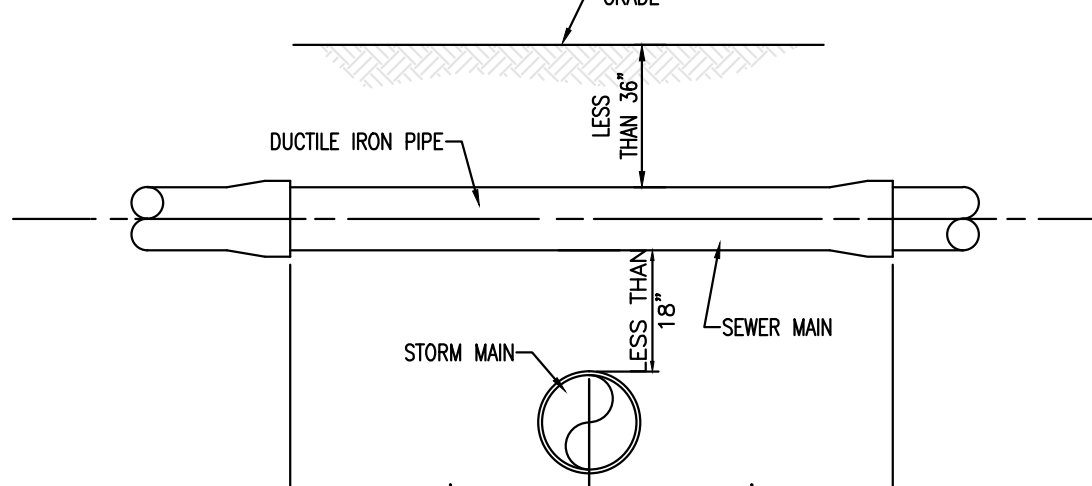
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ORIG. DATE:
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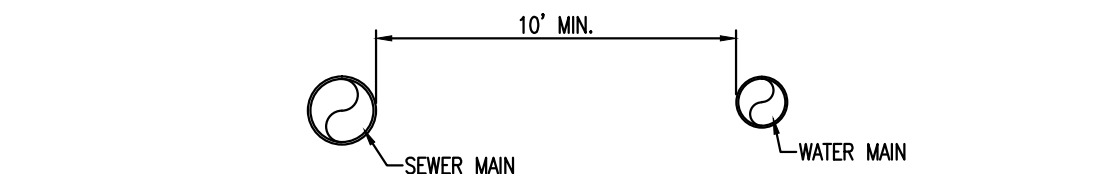
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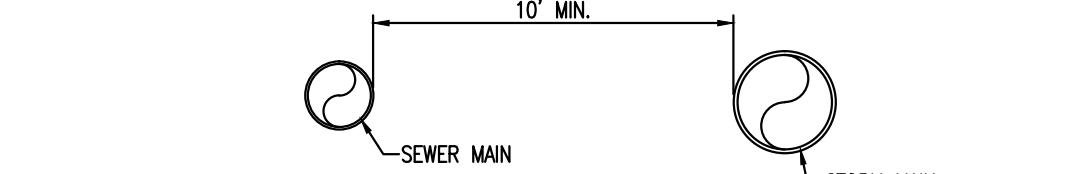
USE OF DUCTILE IRON PIPE



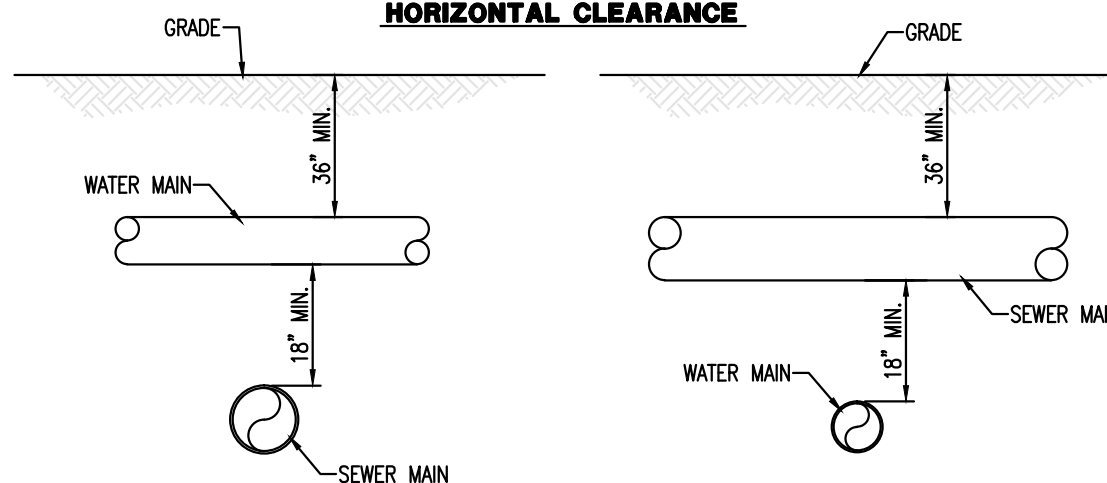
USE OF DUCTILE IRON PIPE



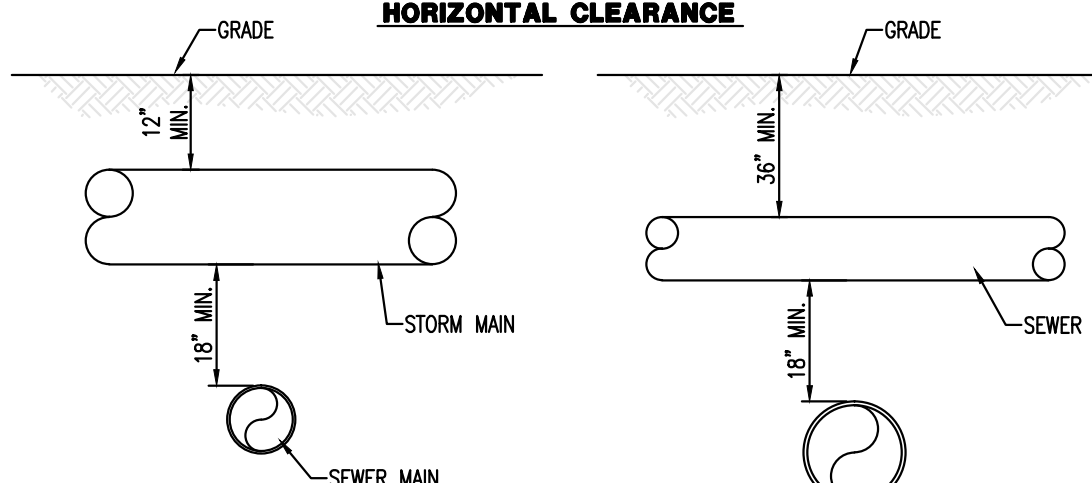
HORIZONTAL CLEARANCE



HORIZONTAL CLEARANCE



VERTICAL CLEARANCE WATER / SEWER

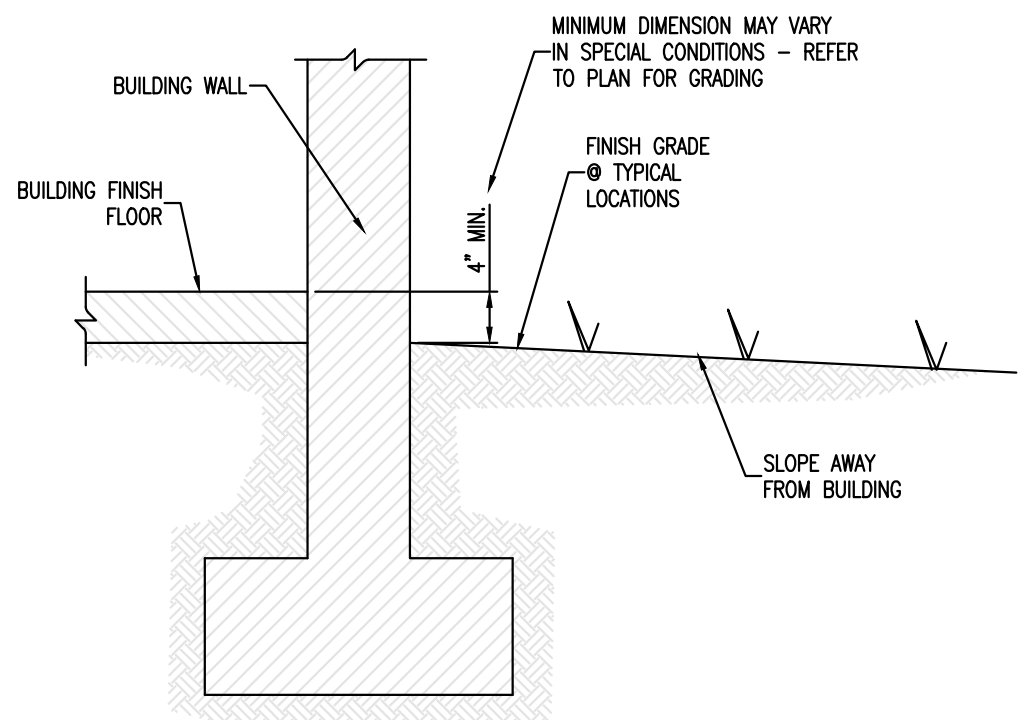


VERTICAL CLEARANCE SEWER / STORM

- NOTES:
1. PROVIDE 36" MIN. COVER OVER DOMESTIC WATER MAINS AND SANITARY SEWER MAINS.
 2. PROVIDE 12" MIN. COVER OVER STORM SEWER MAINS (UNLESS NOTED OTHERWISE).
 3. PROVIDE 18" MIN. VERTICAL AND 10' HORIZONTAL CLEARANCE BETWEEN WATER AND SANITARY SEWER MAINS.
 4. PROVIDE 18" MIN. VERTICAL AND 10' HORIZONTAL CLEARANCE BETWEEN WATER AND STORM SEWER MAINS.
 5. PROVIDE 10" MIN. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAINS.
 6. PROVIDE 10" MIN. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER AND STORM MAINS.
 7. DUCTILE IRON PIPE SANITARY SEWER SHALL BE USED UNDER THE FOLLOWING CONDITIONS:
 - A. MINIMUM COVER FOR SANITARY SEWER IS LESS THAN 36".
 - B. VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER MAINS IS LESS THAN 18".
 - C. VERTICAL CLEARANCE BETWEEN WATER AND STORM MAINS IS LESS THAN 18".
 8. CONCRETE ENCASUREMENT OF SANITARY SEWER GRAVITY MAIN IS NOT PERMITTED.
 9. SEE OTHER DETAILS FOR CONFLICT BOXES IF PROPOSED.
 10. LATERALS INTO BUILDINGS SHALL NOT APPLY TO THESE RESTRICTIONS WITHIN 5' OF THE STRUCTURAL LINE OF BUILDING(S).

WATER MAIN AND SANITARY SEWER CLEARANCES

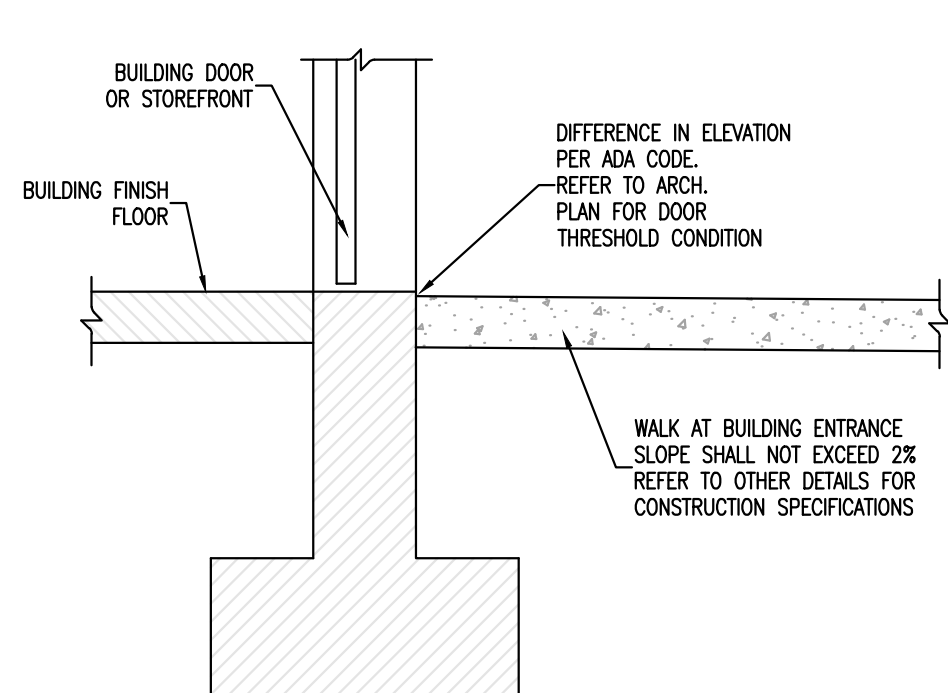
NTS



- NOTES:
1. THIS IS A GENERAL DETAIL. REFER TO SITE PLAN FOR EXCEPTIONS.
 2. GRADING SHALL BE ARRANGED TO PROVIDE POSITIVE FLOW AWAY FROM THE BUILDING.
 3. IN SOME CASES, CURB MAY BE NOTCHED TO PREVENT PONDING BETWEEN THE BUILDING AND THE CURB.

GRADING AT BUILDING DETAIL

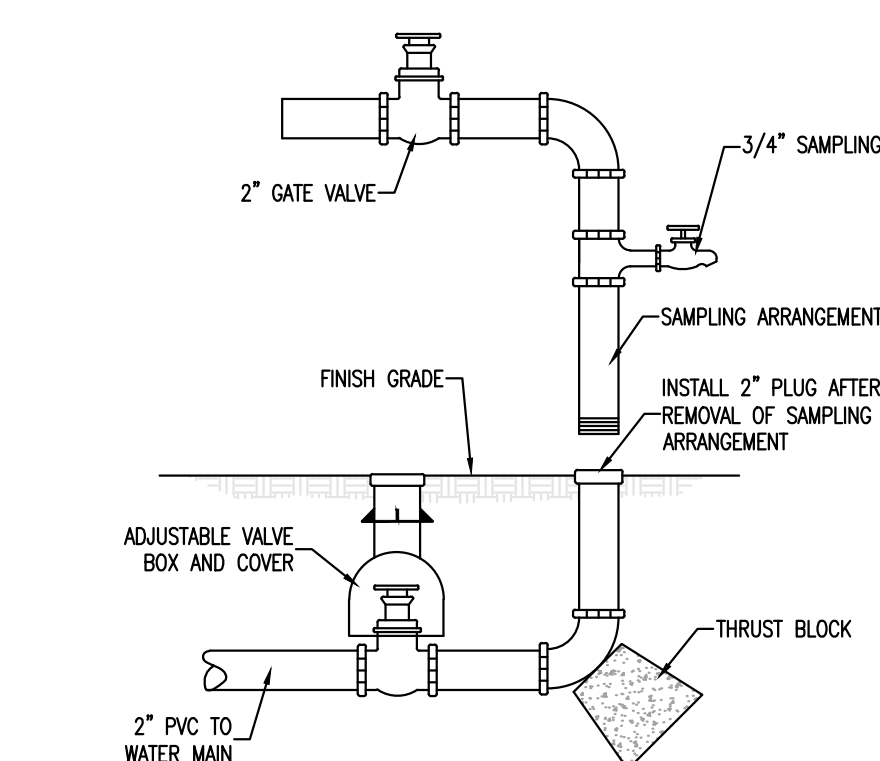
NTS



- NOTES:
1. THIS IS A GENERAL DETAIL. REFER TO SITE PLAN FOR EXCEPTIONS.
 2. ARCHITECTURAL PLANS SHALL TAKE PRECEDENCE OVER THIS DETAIL.
 3. REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD AND THE ARCHITECT PRIOR TO CONSTRUCTION.
 4. THIS IS A GRADING DETAIL. REFER TO OTHER DETAILS FOR CONSTRUCTION SPECIFICATIONS.

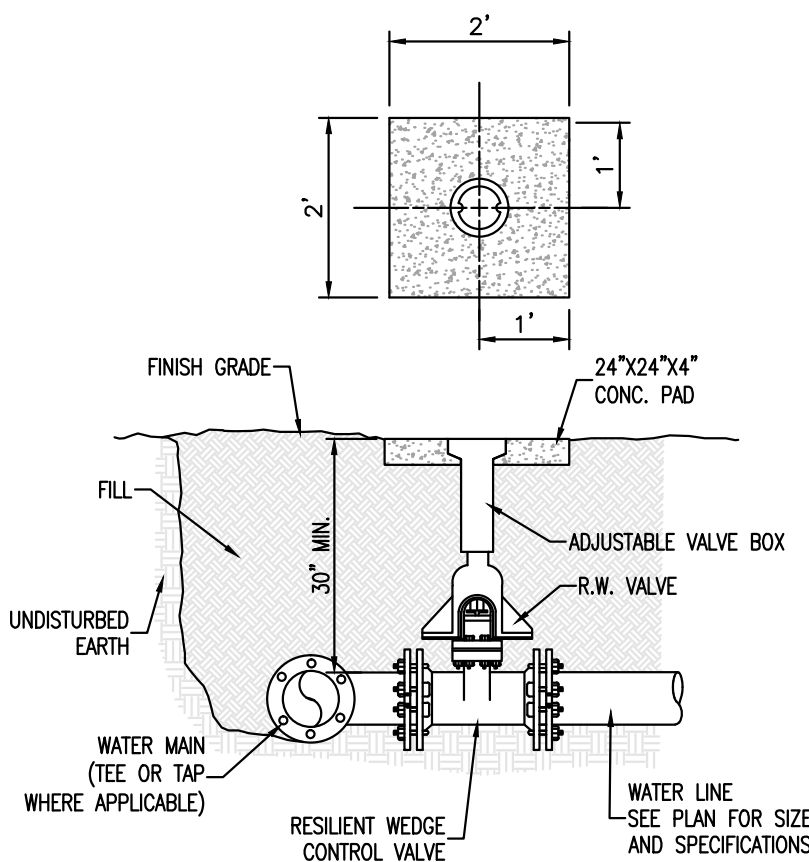
SIDEWALK AT BUILDING DOOR DETAIL

NTS



BLOW OFF AND SAMPLING POINT

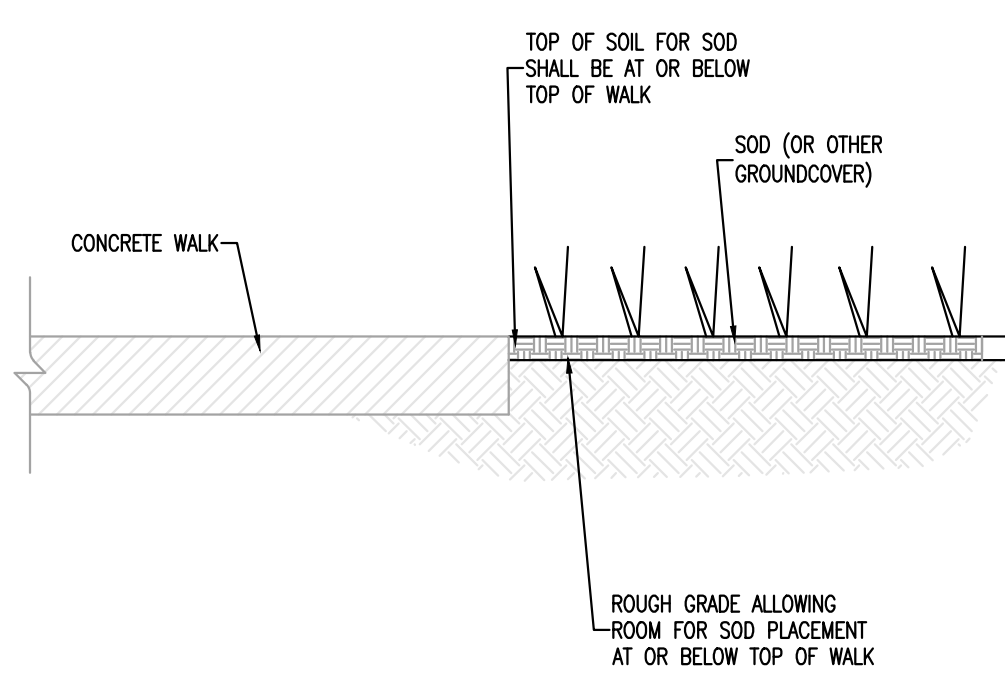
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NOTE: ALL BOLTED FITTINGS SHALL BE POLYETHYLENE WRAPPED.

GATE VALVE AND BOX

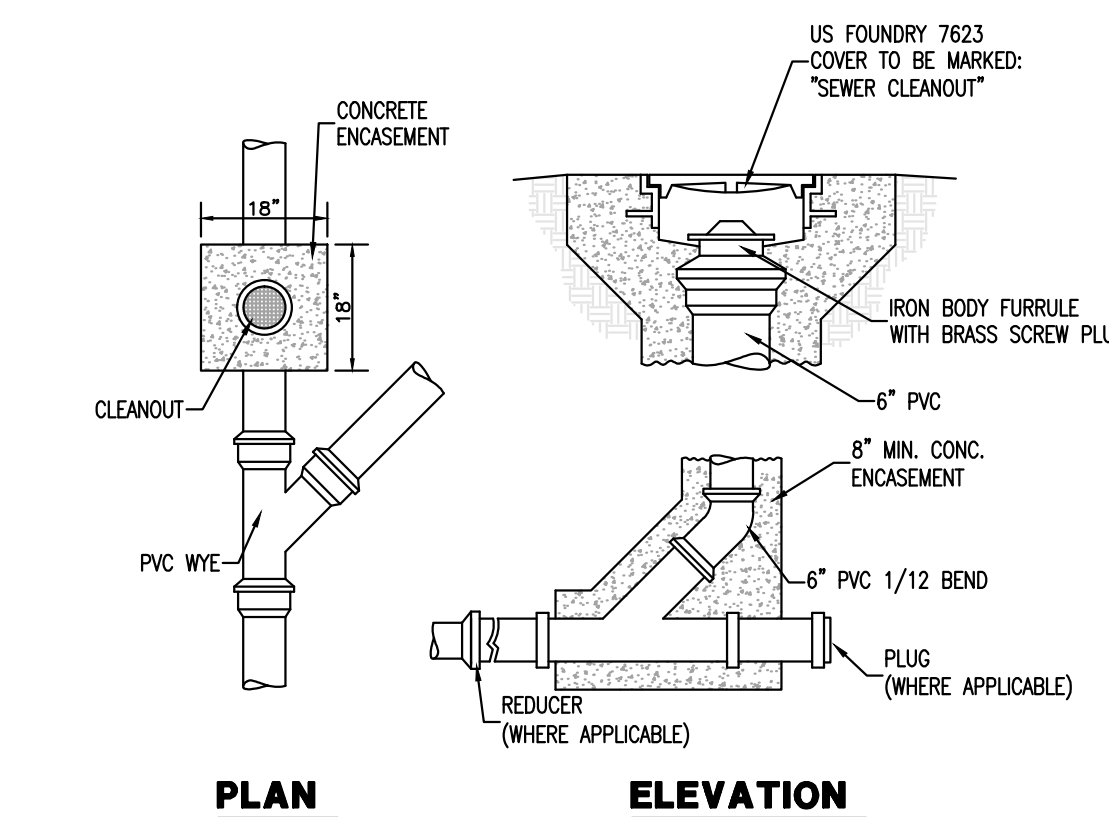
NTS



- NOTES:
1. THIS IS A GENERAL DETAIL. REFER TO SITE PLAN FOR EXCEPTIONS.
 2. GRADING AROUND WALKS SHALL BE DONE TO PREVENT PONDING WITHIN THE WALK AREAS. SOD AND GRADING MAY BE FINISHED LOWER TO ACHIEVE POSITIVE DRAINAGE.
 3. PLACEMENT OF SOD SHALL NOT IMPIDE WATER FLOW.
 4. THIS IS A GRADING DETAIL. REFER TO OTHER DETAILS FOR CONSTRUCTION SPECIFICATIONS.

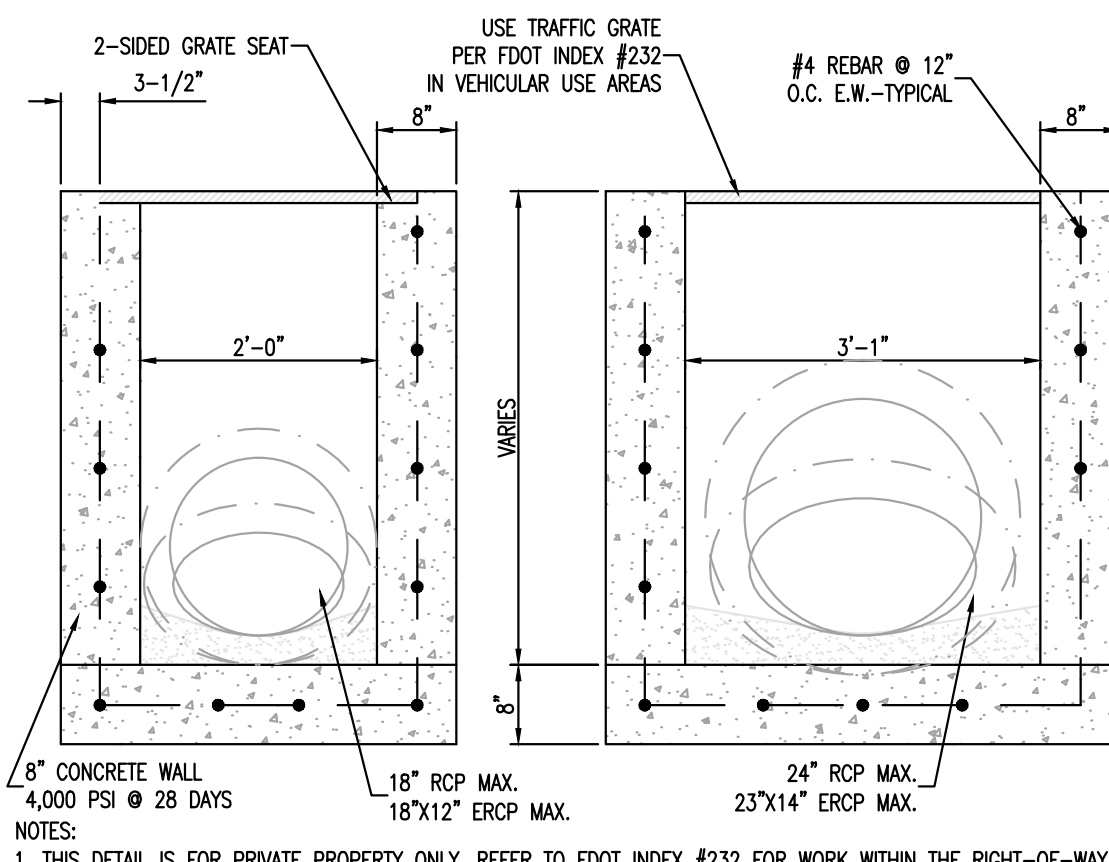
GRADING AT WALKS

NTS



SANITARY SEWER CLEANOUT

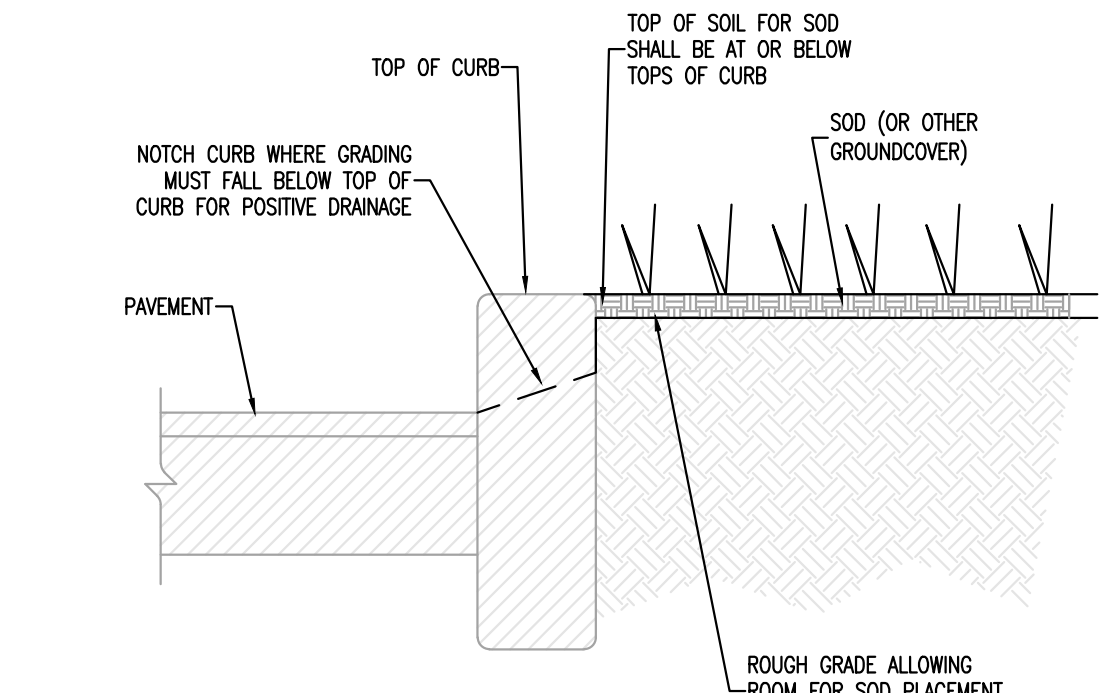
NTS



- NOTES:
1. THIS DETAIL IS FOR PRIVATE PROPERTY ONLY. REFER TO FDOT INDEX #232 FOR WORK WITHIN THE RIGHT-OF-WAY.
 2. CUT PIPES FLUSH WITH INSIDE FACE OF INLET WALLS.
 3. MORTAR BOTTOM TO MATCH INVERT OF OUTFALL PIPE.

TYPE 'C' INLET DETAIL

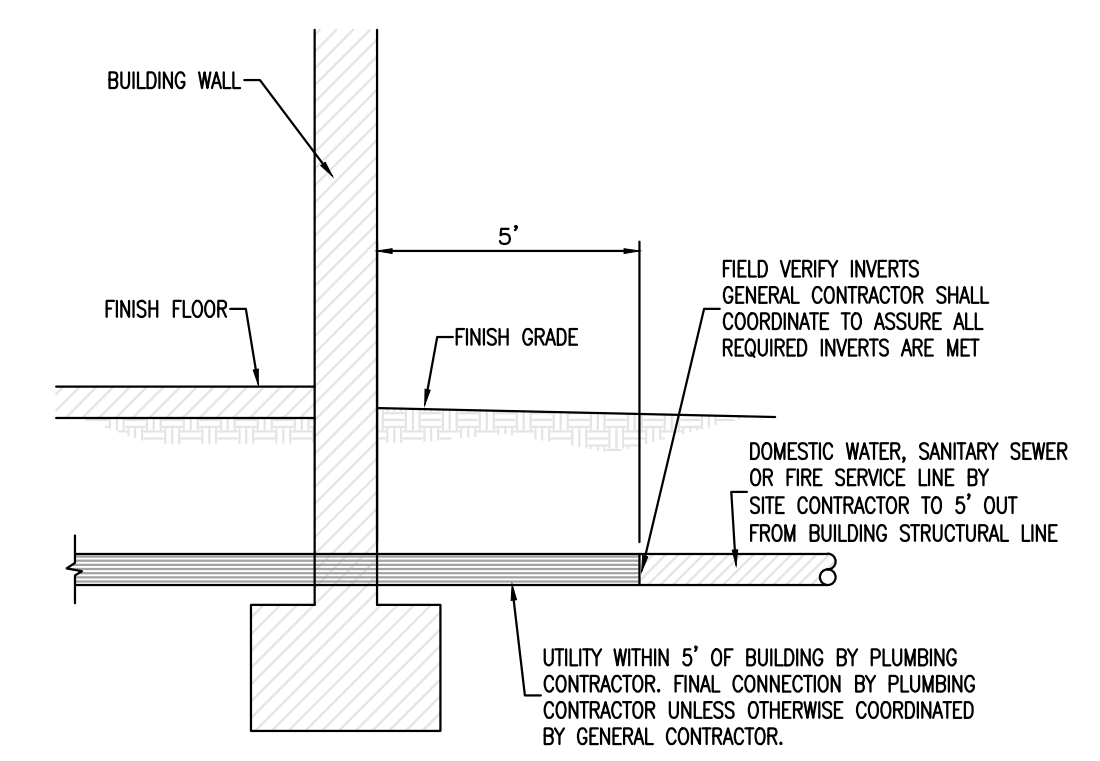
NTS



- NOTES:
1. THIS IS A GENERAL DETAIL. REFER TO SITE PLAN FOR EXCEPTIONS.
 2. GRADE ISLANDS TO PREVENT PONDING.
 3. PLACEMENT OF SOD SHALL NOT IMPIDE WATER FLOW.
 4. THIS IS A GRADING DETAIL. REFER TO OTHER DETAILS FOR CONSTRUCTION SPECIFICATIONS.

GRADING AT CURBS

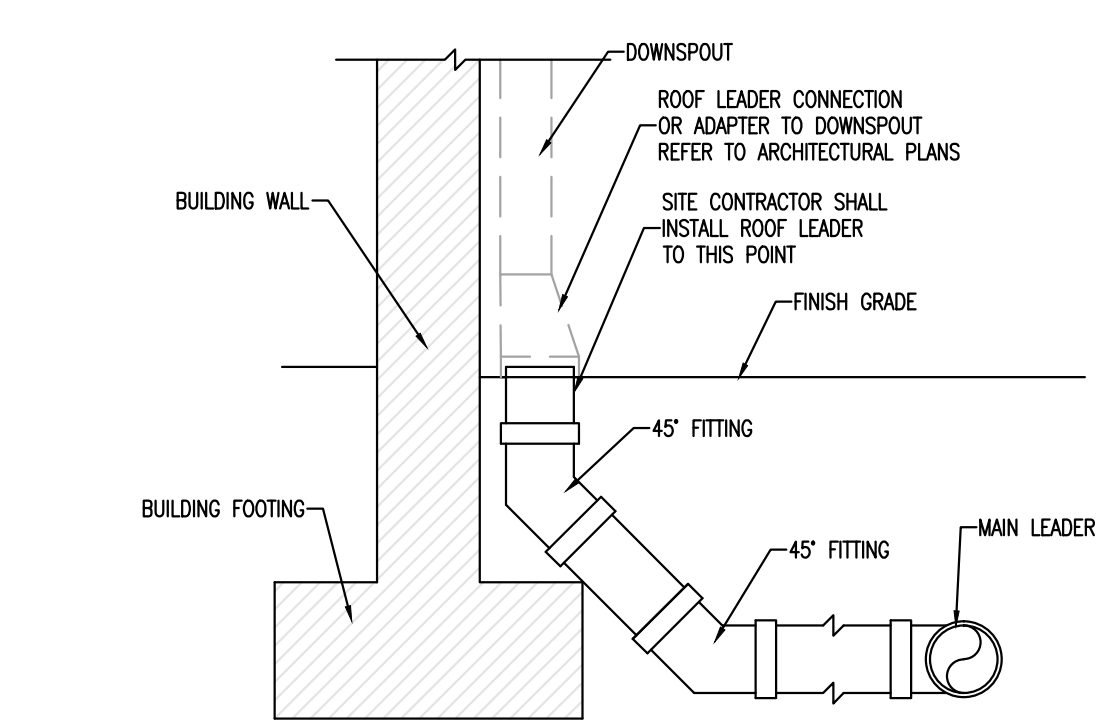
NTS



NOTE: THIS DETAIL SHALL NOT TAKE PRECEDENCE OVER CONTRACTS OR ARRANGEMENTS MADE BETWEEN THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS. THIS DETAIL IS PROVIDED AS A GUIDELINE TO SEPARATE SITework FROM BUILDING WORK.

UTILITY CONNECTION AT BUILDING

NTS



- NOTES:
1. REFER TO SITE PLANS FOR PIPE SIZES AND SPECIFICATIONS.
 2. SITEMARK CONTRACTOR IS RESPONSIBLE FOR ALL LABOR AND MATERIAL UP TO THE DOWNSPOUT CONNECTION.
 3. ACTUAL DOWNSPOUT CONNECTION FROM BUILDING DOWNSPOUTS TO ROOF LEADER PIPES SHALL BE SUPPLIED AND INSTALLED BY BUILDING CONTRACTOR.

ROOF LEADER CONNECTION DETAIL

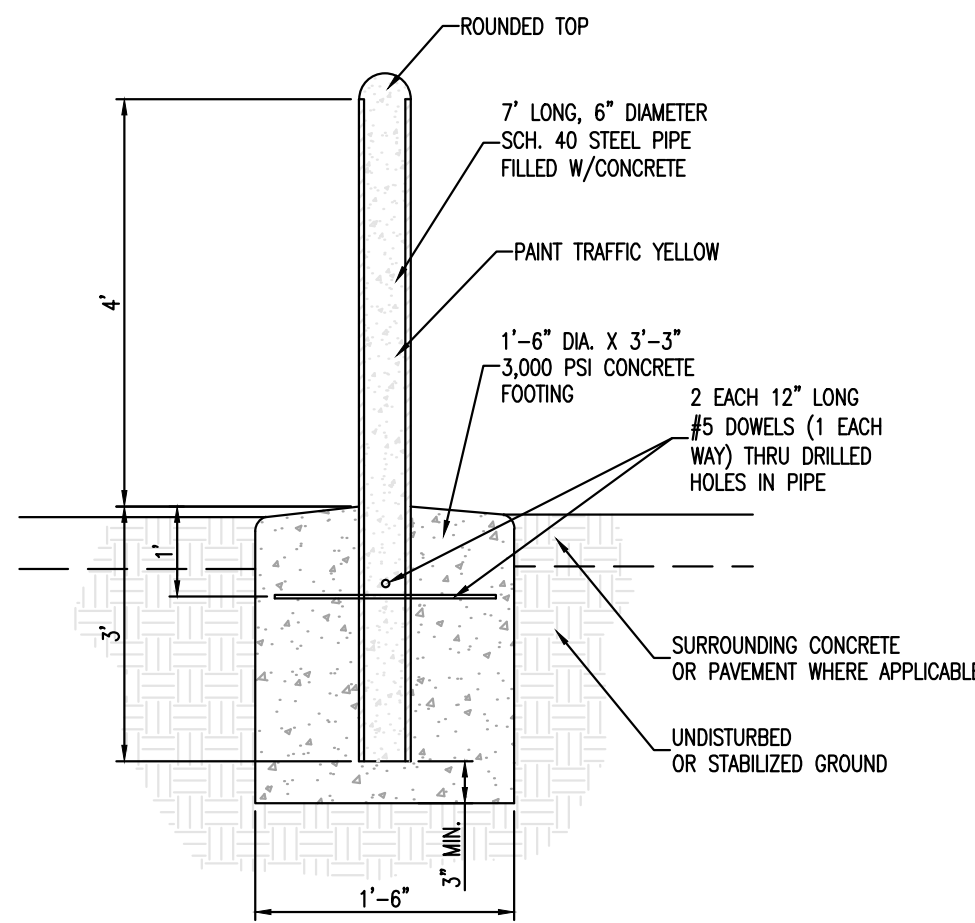
NTS

ON-SITE GRADING AND DRAINAGE NOTES AND SPECIFICATIONS

1. ALL GRADING AND DRAINAGE DETAILS CONTAINED ON THIS PAGE ARE FOR ON-SITE PRIVATE SERVICES ONLY.
2. ALL GRADING AND DRAINAGE APPURTENANCES AND TREATMENT WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER THE LOCAL JURISDICTIONAL DETAILS AND SPECIFICATIONS OF THAT RIGHT OF WAY.
3. REFER TO OTHER DETAIL PAGES OR REFERENCE MATERIALS CALLED OUT ON THE PLAN CONTAINING STANDARD DETAILS FOR RIGHT OF WAY WORK.

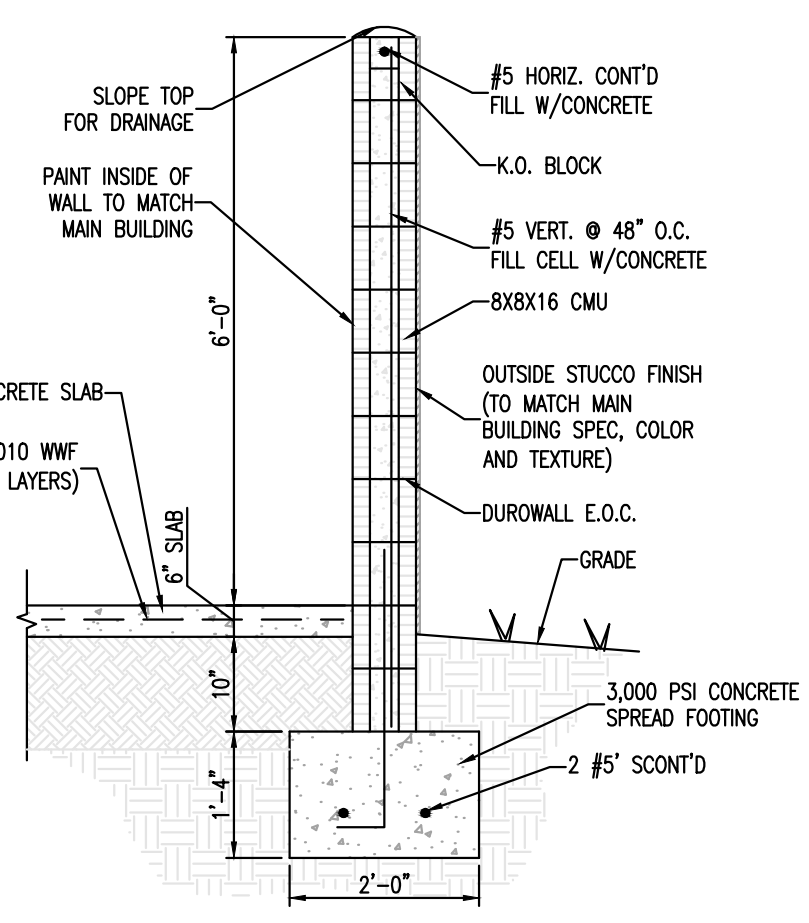
ON-SITE UTILITIES NOTES AND SPECIFICATIONS

1. ALL UTILITY DETAILS CONTAINED ON THIS PAGE ARE FOR ON-SITE PRIVATE SERVICES ONLY.
2. ALL UTILITY APPURTENANCES RELATIVE TO CONNECTIONS TO THE PUBLIC SYSTEM, METERS, BACKFLOW PREVENTION DEVICES, ETC. SHALL BE PER THE LOCAL UTILITY PROVIDER'S STANDARDS.
3. REFER TO OTHER DETAIL PAGES CONTAINING STANDARD DETAILS FOR PUBLIC UTILITIES.



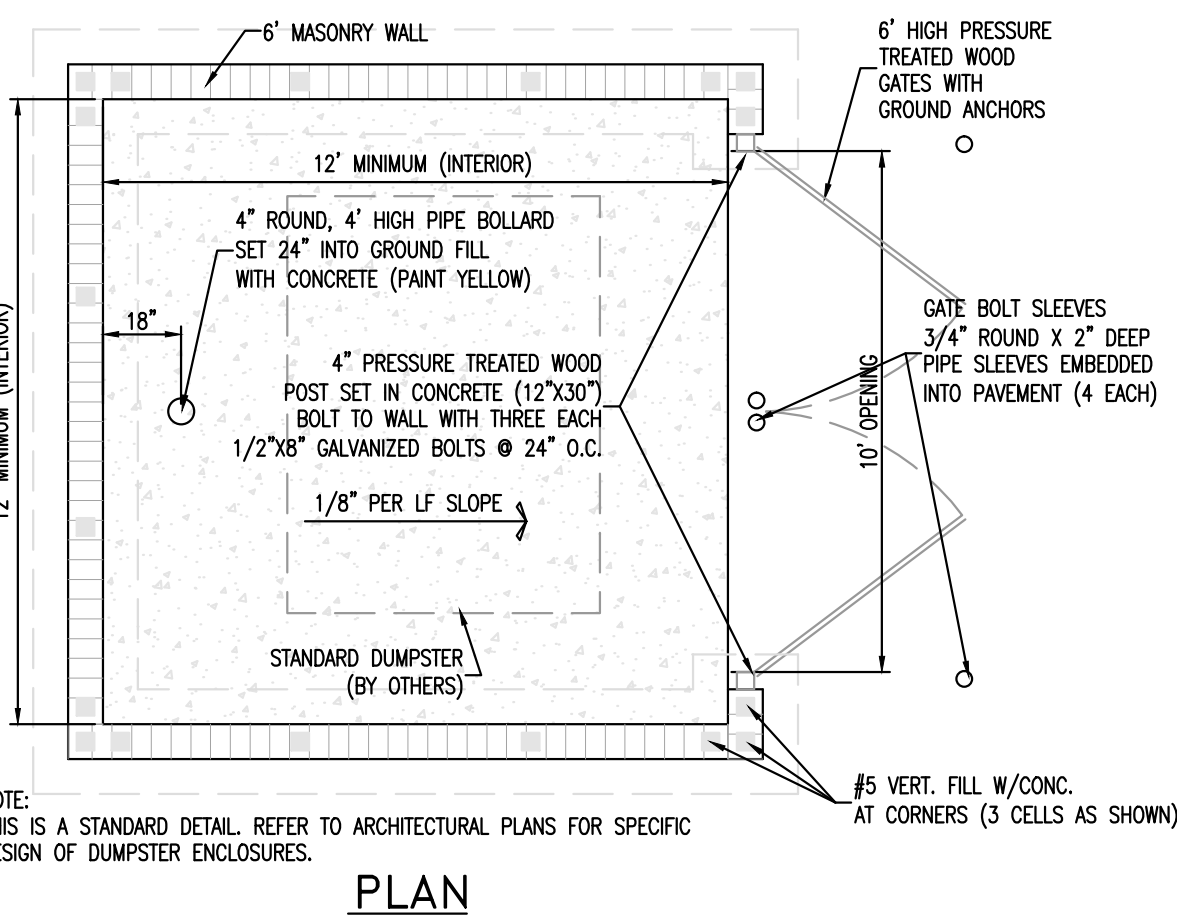
PIPE BOLLARD DETAIL

NTS



SECTION THRU WALL

- NOTES:
1. GATE HARDWARE SHALL BE HEAVY DUTY AND SUITABLE FOR THE PURPOSE OF THIS TYPE OF USE.
 2. REFER TO GRADING PLAN FOR ACTUAL SPOT ELEVATIONS AND RESULTANT SLOPES OF THE CONCRETE PAD.
 3. THE CONTRACTOR MUST VERIFY THAT THE ARCHITECT DESIGNING THE RELATIVE BUILDING FOR THIS PROJECT HAS OR HAS NOT PROVIDED ADDITIONAL DETAIL OR REPLACEMENT DETAIL FOR THIS ENCLOSURE. IN THE EVENT HE OR SHE HAS, THE CONTRACTOR MUST COORDINATE WITH THE ENGINEER OF RECORD TO VERIFY THAT ALL PROVIDED INFORMATION IS PROPER AND UP TO DATE.

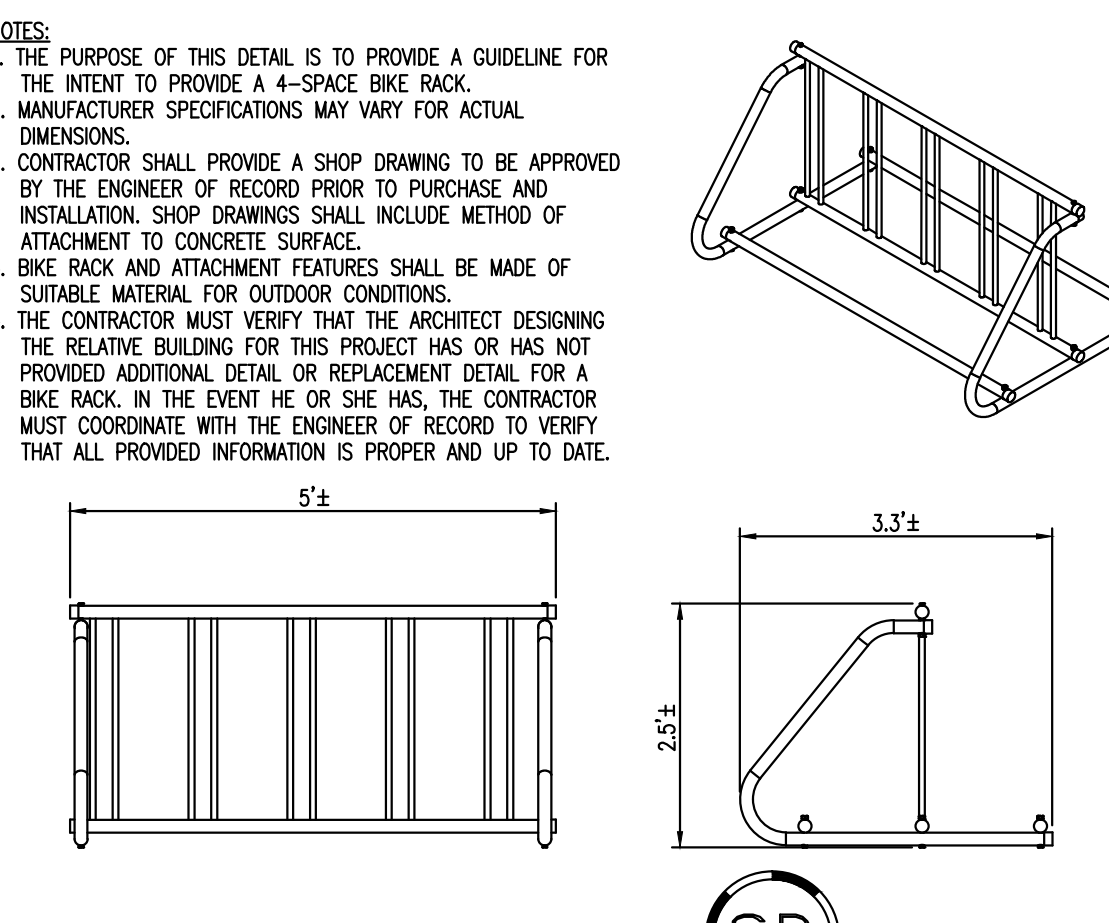


NOTE: THIS IS A STANDARD DETAIL. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC DESIGN OF DUMPSTER ENCLOSURES.

PLAN

MASONRY DUMPSTER ENCLOSURE (SINGLE)

NTS



- NOTES:
1. THE PURPOSE OF THIS DETAIL IS TO PROVIDE A GUIDELINE FOR THE INTENT TO PROVIDE A 4-SPACE BIKE RACK.
 2. MANUFACTURER SPECIFICATIONS MAY VARY FOR ACTUAL DIMENSIONS.
 3. CONTRACTOR SHALL PROVIDE A SHOP DRAWING TO BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO PURCHASE AND INSTALLATION. SHOP DRAWINGS SHALL INCLUDE METHOD OF ATTACHMENT TO CONCRETE SURFACE.
 4. BIKE RACK AND ATTACHMENT FEATURES SHALL BE MADE OF SUITABLE MATERIAL FOR OUTDOOR CONDITIONS.
 5. THE CONTRACTOR MUST VERIFY THAT THE ARCHITECT DESIGNING THE RELATIVE BUILDING FOR THIS PROJECT HAS OR HAS NOT PROVIDED ADDITIONAL DETAIL OR REPLACEMENT DETAIL FOR A BIKE RACK. IN THE EVENT HE OR SHE HAS, THE CONTRACTOR MUST COORDINATE WITH THE ENGINEER OF RECORD TO VERIFY THAT ALL PROVIDED INFORMATION IS PROPER AND UP TO DATE.

TYPICAL BIKE RACK

NTS

NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA AS SIGNED BY MY HAND AND SEAL.

Gary A. Boucher, PE # 22085

STATE CERT. OF AUTH. #000842

Ozonia Engineering, Inc.

P.O. Box 432
Ozonia, Florida 34660-432
Phone: (727) 785-3859 Fax: (727) 785-3434
www.ozoniaeng.com

FOR:

FLAGSHIP BANK

PROJECT #:

ORIG. DATE:

DRAWN BY: AVF

SCALE: AS SHOWN

FLAGSHIP BANK

ALT. U.S. 19 & MERES BLVD.
TARPOON SPRINGS, FLORIDA

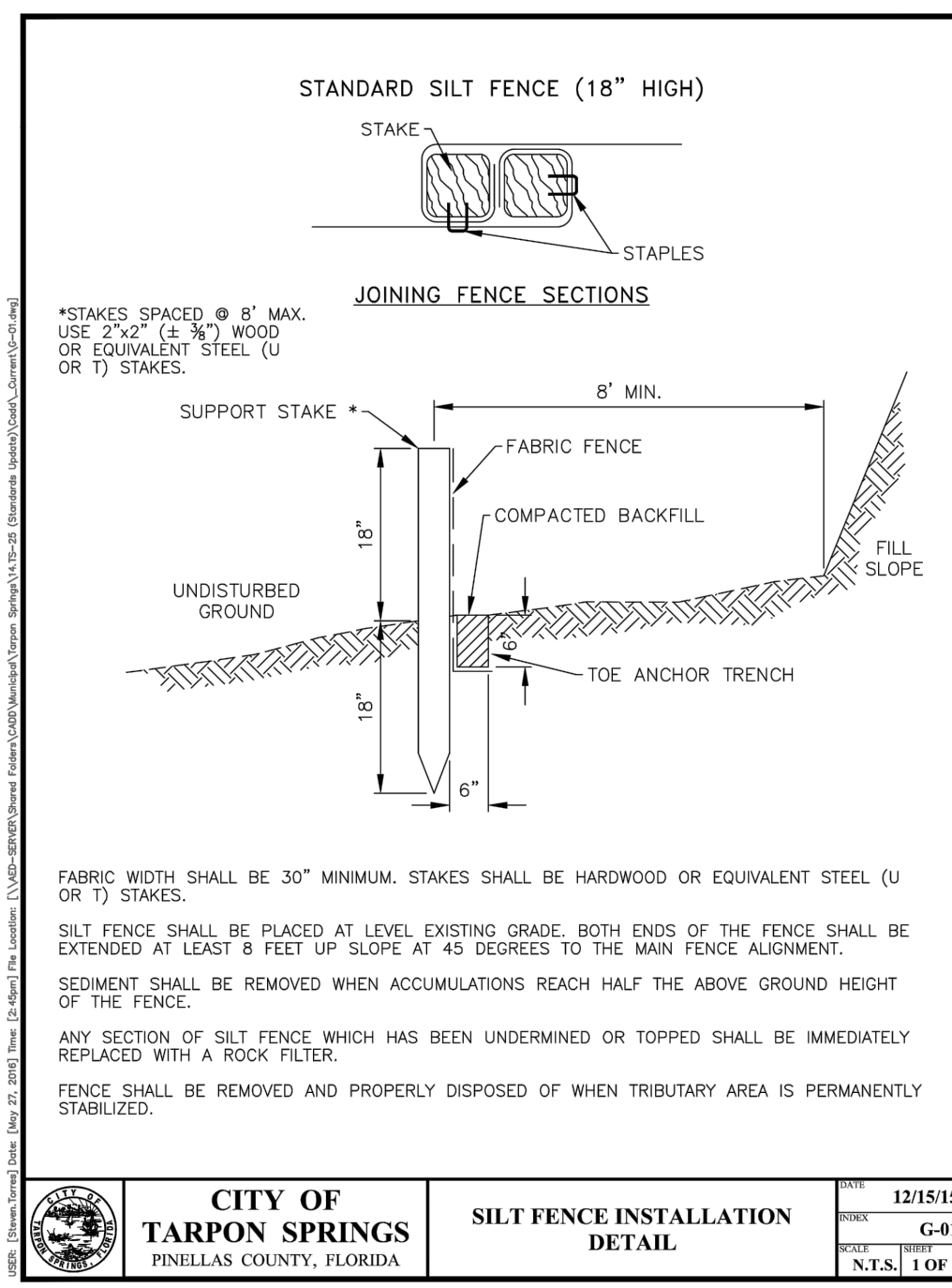
SHEET #:

C6.5

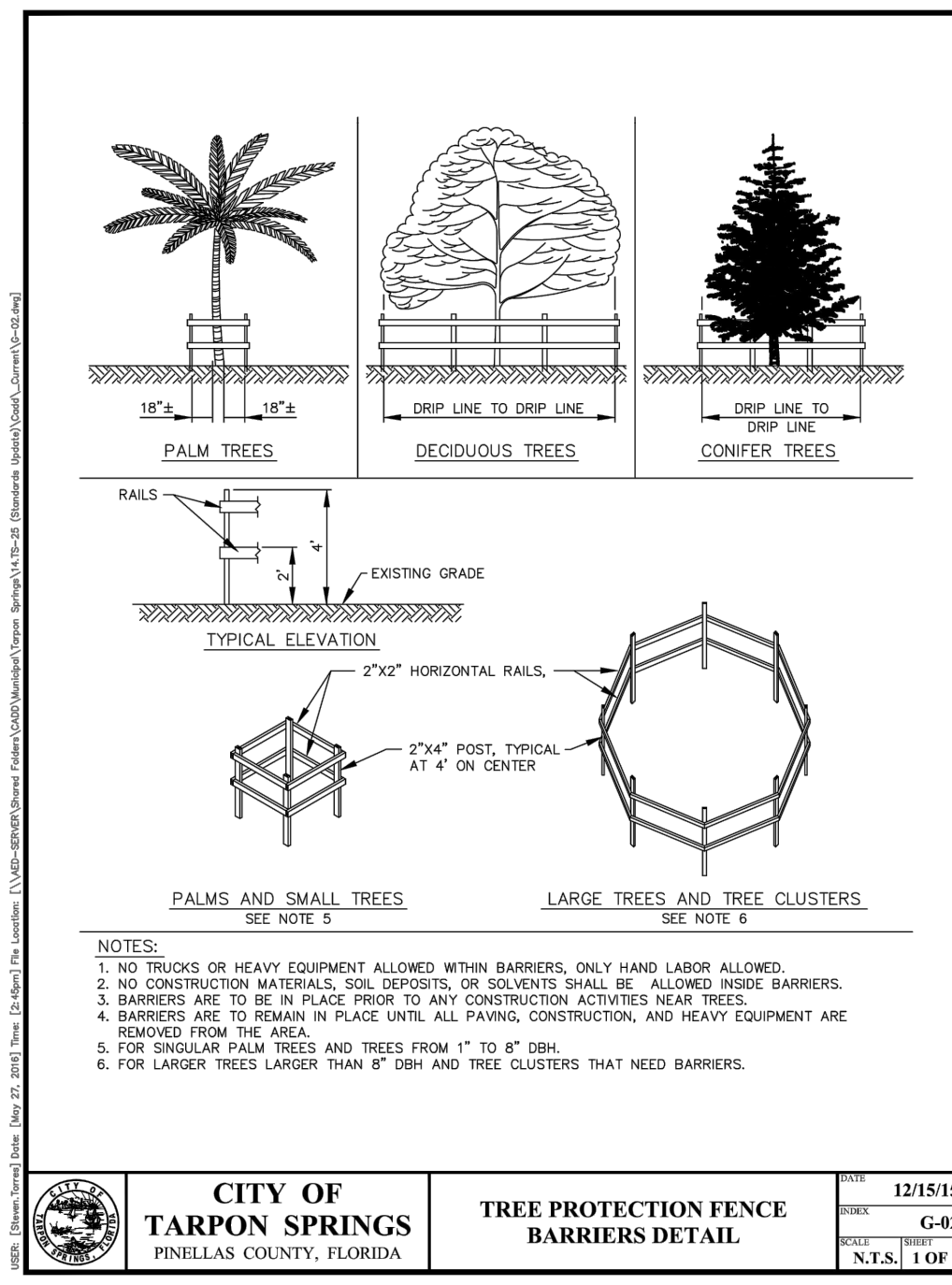
ON-SITE DETAILS

SCALE: NONE

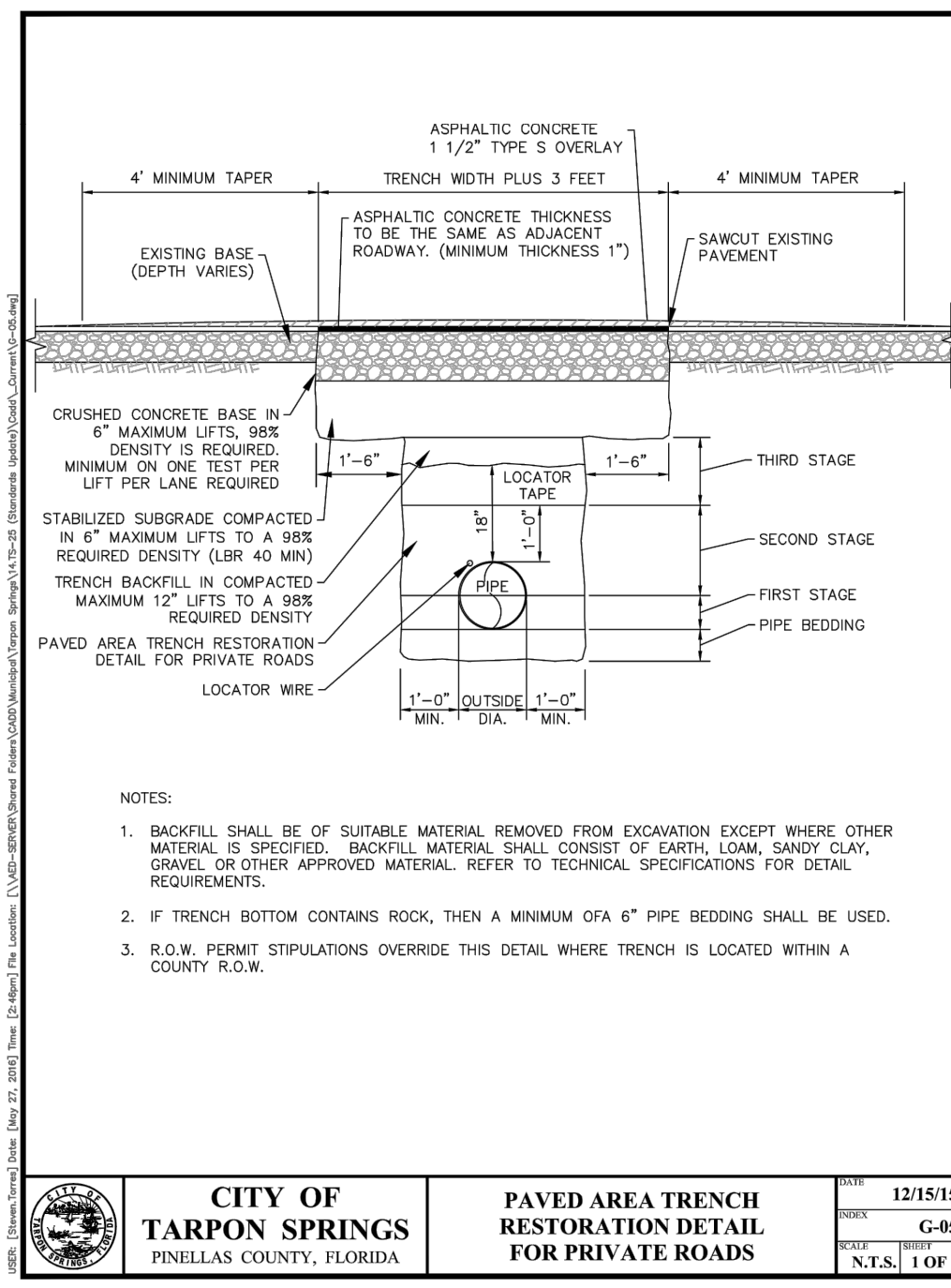
SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS



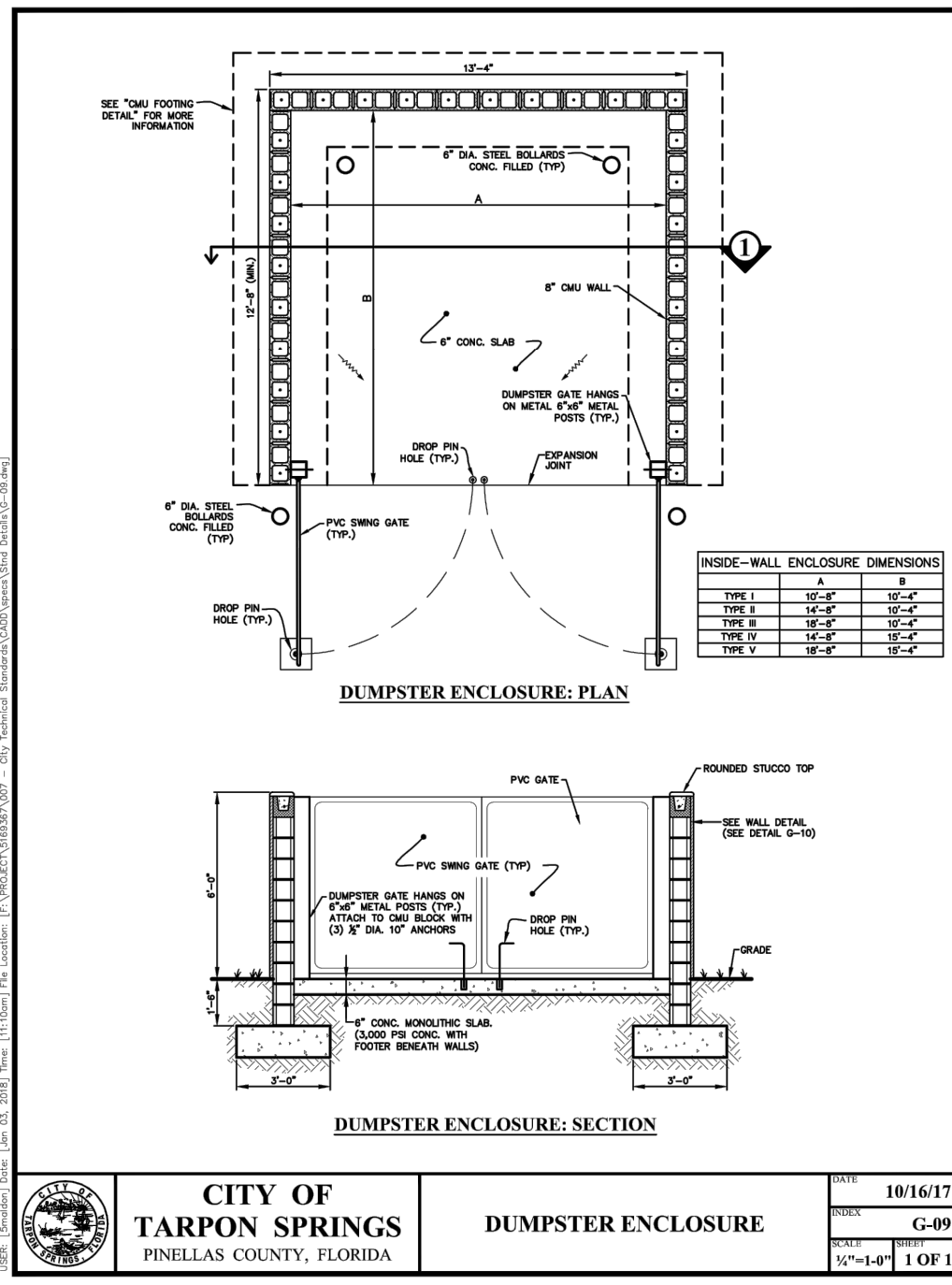
CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA
PROJECT: 12/15/15
SHEET: G-01
SCALE: N.T.S.
DATE: 1/01/16



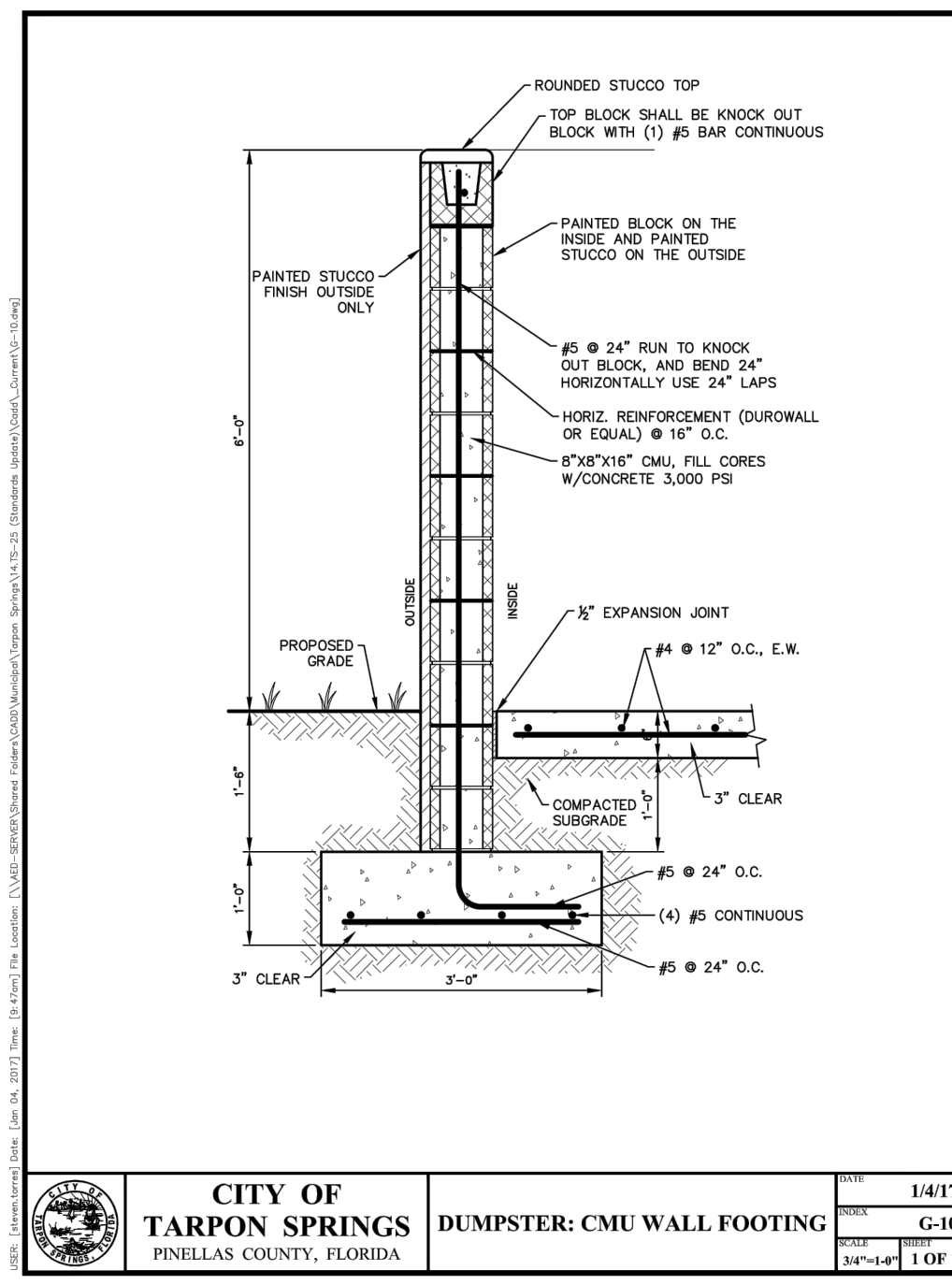
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DATE: 1/01/16



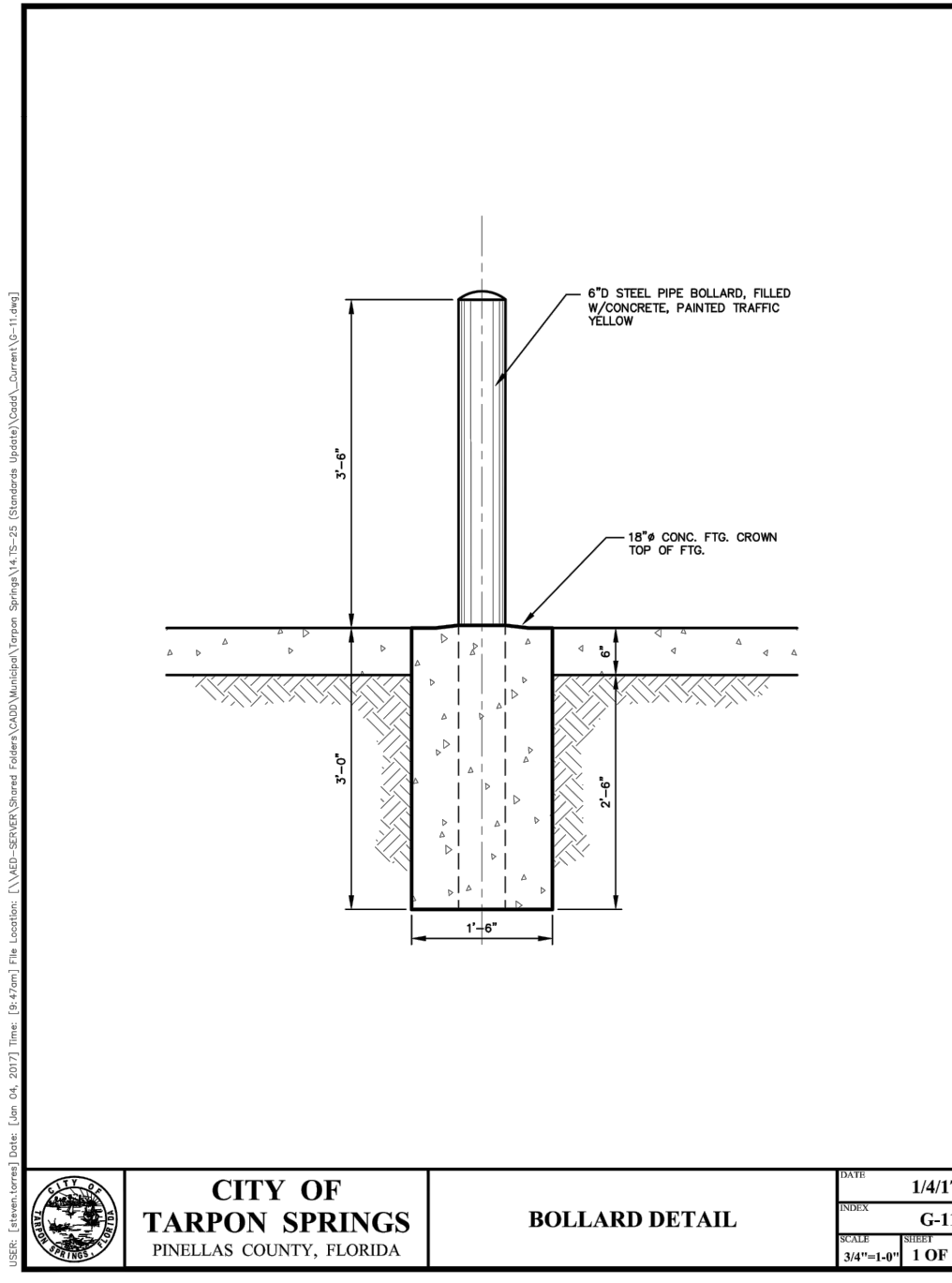
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PROJECT: 12/15/15
SHEET: G-03
SCALE: N.T.S.
DATE: 1/01/16



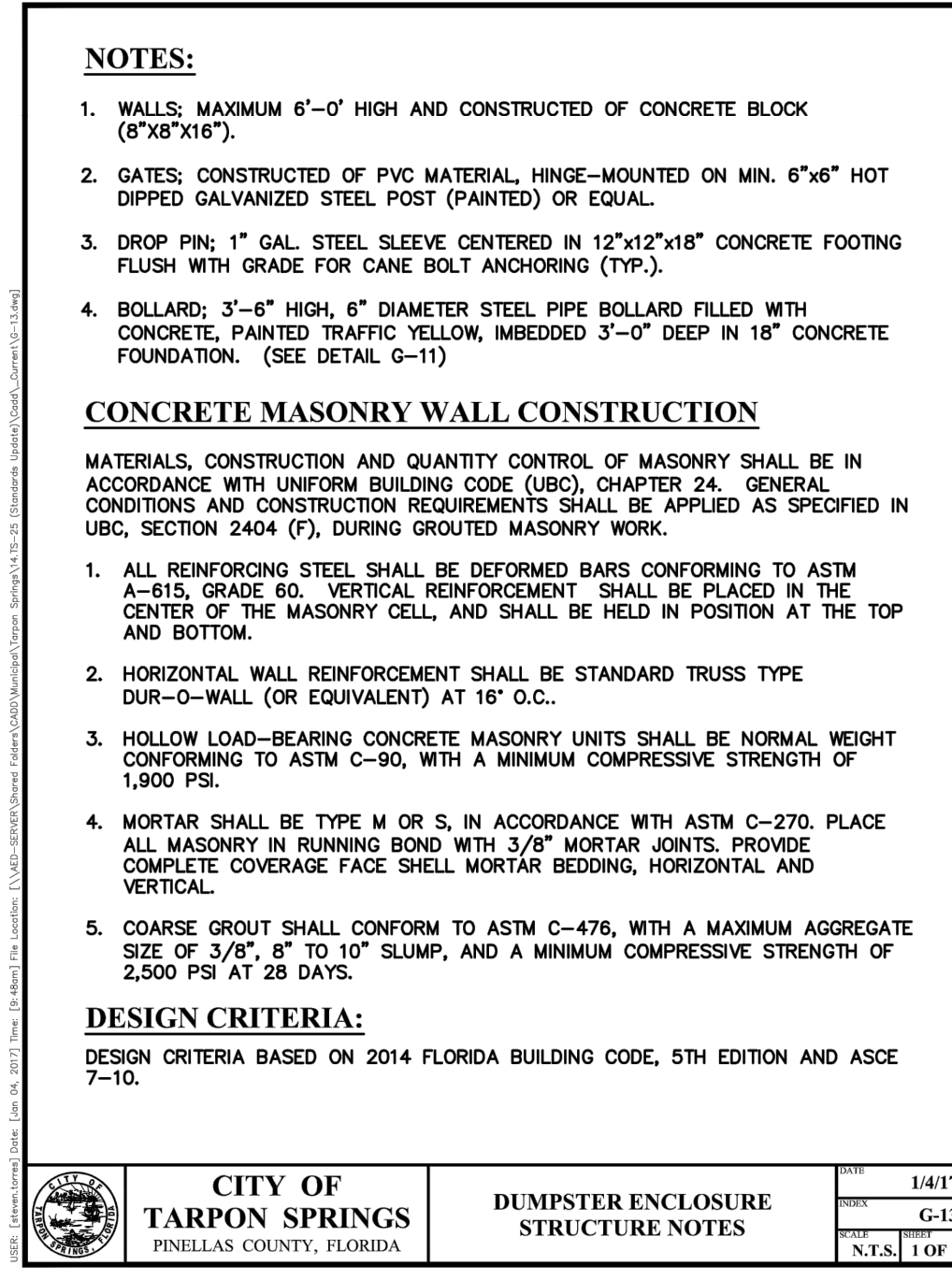
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PINELLAS COUNTY, FLORIDA
PROJECT: 10/10/17
SHEET: G-09
SCALE: 1/4" = 1'-0"
DATE: 1/01/16



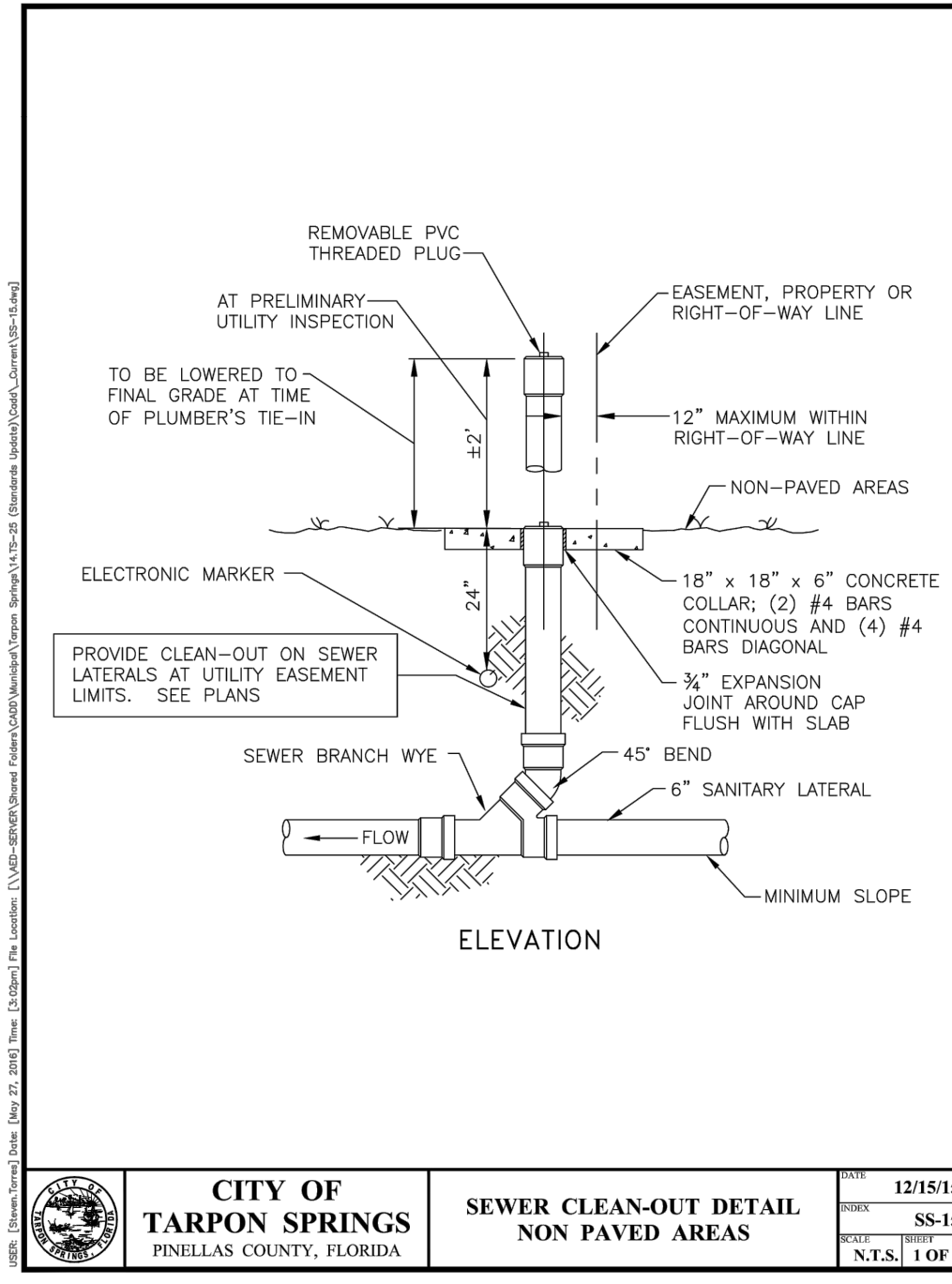
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SHEET: G-10
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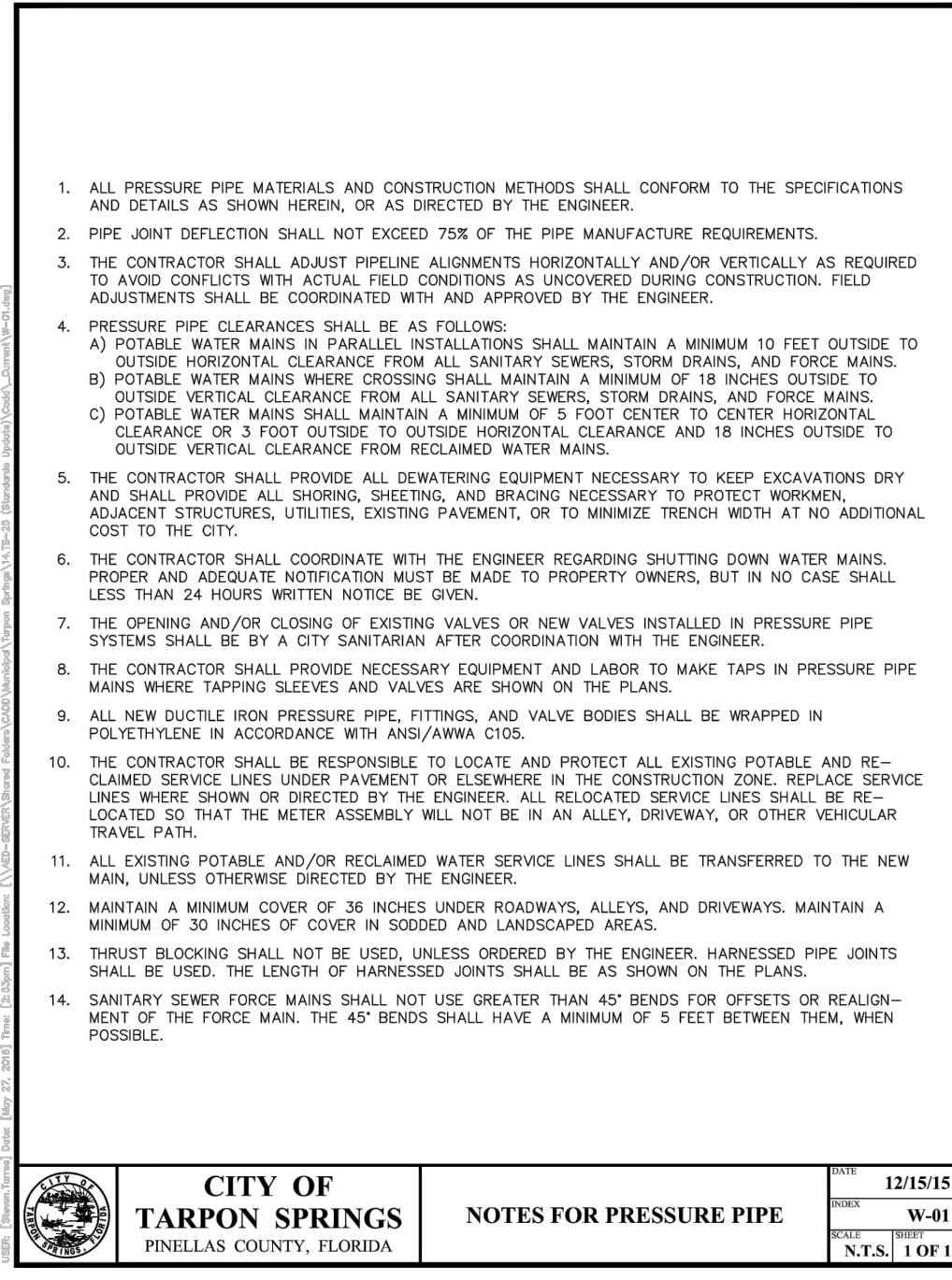
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PINELLAS COUNTY, FLORIDA
PROJECT: 1/4/17
SHEET: G-11
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DATE: 1/01/16



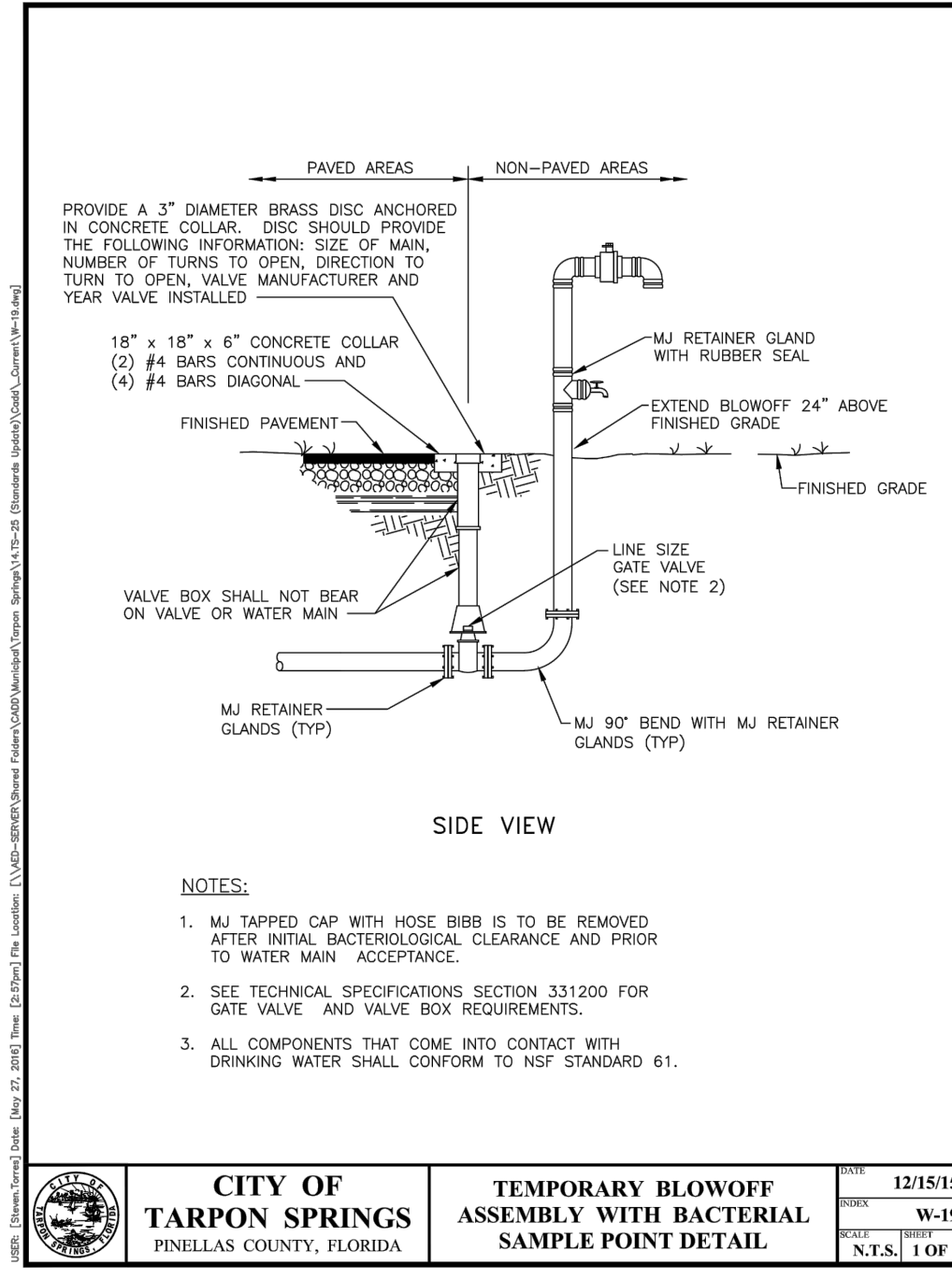
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PROJECT: 1/4/17
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DATE: 1/01/16



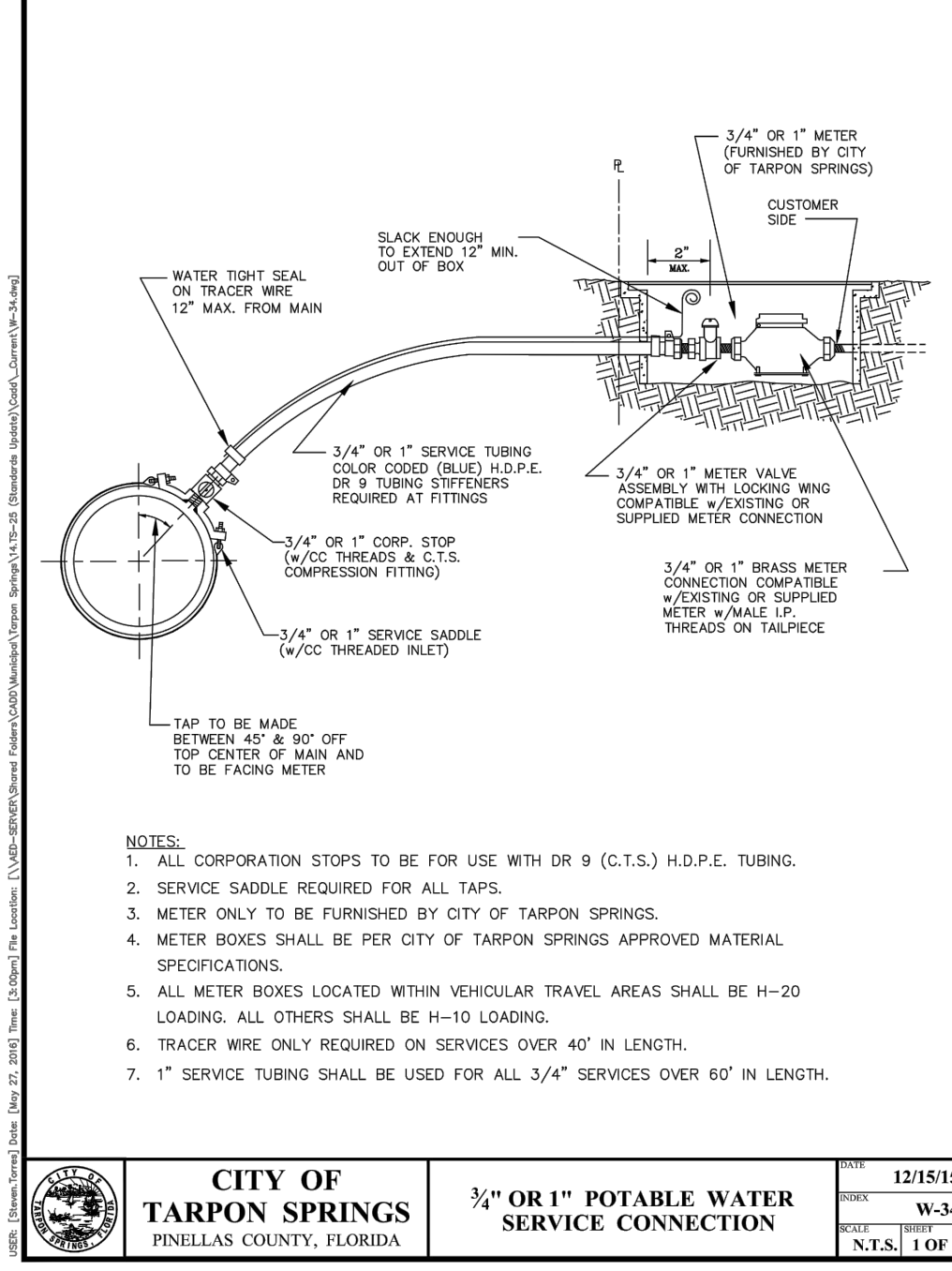
CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA
PROJECT: 12/15/15
SHEET: SS-15
SCALE: N.T.S.
DATE: 1/01/16



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA
PROJECT: 12/15/15
SHEET: W-01
SCALE: N.T.S.
DATE: 1/01/16



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA
PROJECT: 12/15/15
SHEET: W-19
SCALE: N.T.S.
DATE: 1/01/16



CITY OF TARPON SPRINGS
PINELLAS COUNTY, FLORIDA
PROJECT: 12/15/15
SHEET: W-24
SCALE: N.T.S.
DATE: 1/01/16

REVISIONS

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Cory A. Baucher, PE #22935

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FOR: **FLAGSHIP BANK**

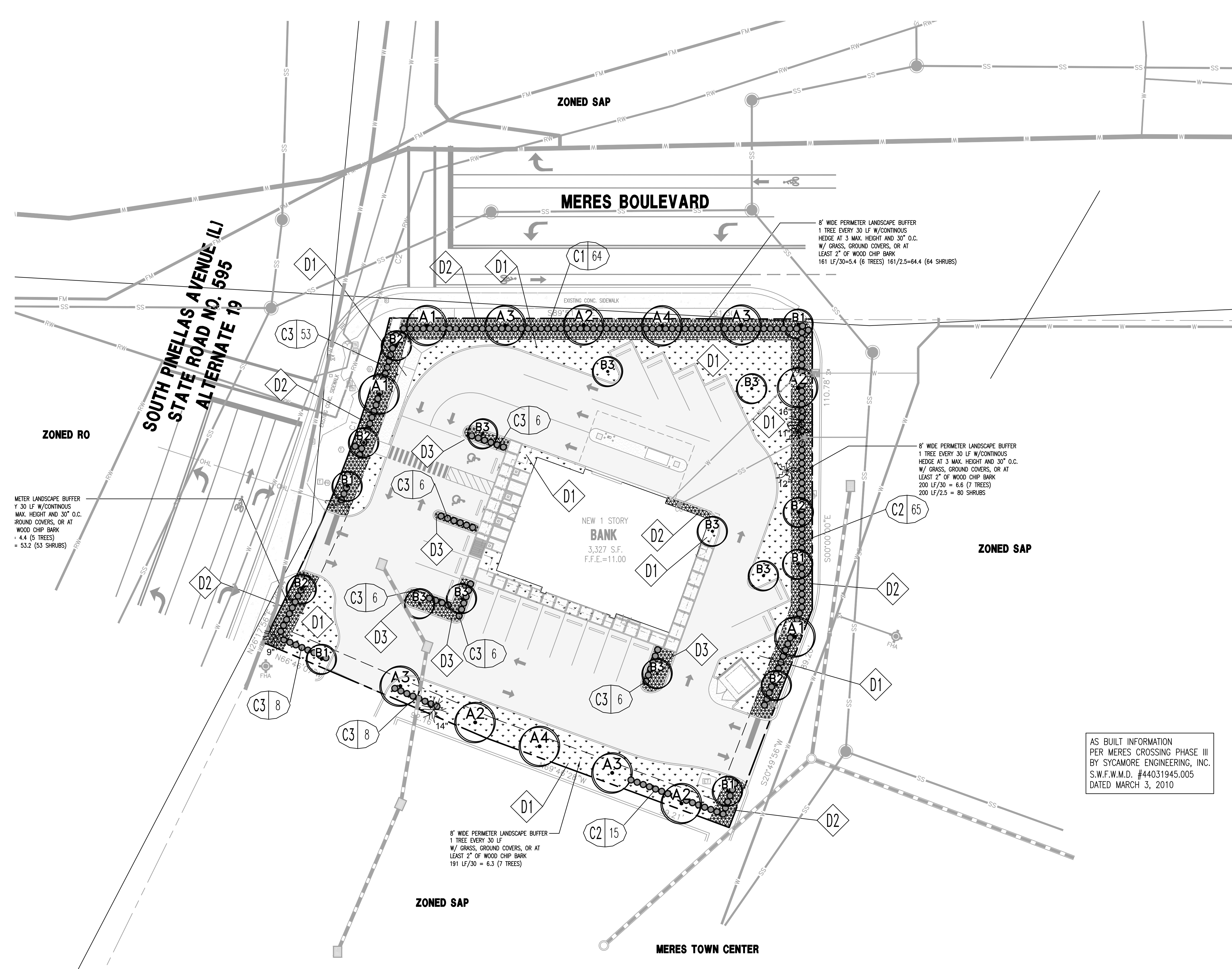
PROJECT:
FLAGSHIP BANK
ALT. U.S. 19 & MERES BLVD.
TARPON SPRINGS, FLORIDA

PROJECT #:
ORIG. DATE:
DRAWN BY: AVF
SCALE: AS SHOWN

SHEET #:
C7.1

SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

TARPON SPRINGS DETAILS
SCALE: NONE



TREE SCHEDULE

TREE NO.	QTY.	SCIENTIFIC NAME	COMMON NAME	MINIMUM SIZE REQUIREMENTS	APPROX. MATURE HT.	NATIVE FLORIDA	DROUGHT TOLERANT
SHADE TREES							
A1	3	<i>QUERCUS VIRGINIANA</i>	LIVE OAK	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	70'	YES	NO
A2	4	<i>QUERCUS LAURIFOLIA</i>	LAUREL OAK	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	75'	YES	YES
A3	4	<i>ACER ROBURN, A. BARBATUM</i>	RED MAPLE	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	40'	YES	YES
A4	2	<i>MAGNOLIA GRANDIFLORA</i>	SOUTHERN-MAGNOLIA	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	50'	YES	YES
PALMS MAY BE SUBSTITUTED, 3 PALMS PER 1 SHADE TREE.							
UNDERSTORY							
B1	5	<i>ILEX X NELLE R. STEVENS</i>	NELLIE STEVENS HOLLY	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	20'	YES	YES
B2	5	<i>ILEX DECORUM</i>	DECIDUOUS HOLLY	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	25'	NO	YES
B3	8	<i>LAGERSTROMIA INDICA</i>	CREPE MYRTLE	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	25'	NO	NO
UNDERSTORY TREES ARE USED NEAR UTILITIES AND FOUNDATIONS OF STRUCTURES.							
SHRUBS							
C1	64	<i>PITTOSPORIUM TOBIRA</i>	PITTOSPORIUM	36" HEIGHT (AT INSTALLATION)	10'	YES	YES
C2	80	<i>BAPHRILEPS INDICA</i>	INDIAN HAWTHORN	36" HEIGHT (AT INSTALLATION)	5'	YES	NO
C3	98	<i>VIBURNUM ODORATISSIMUM</i>	SWEET VIBURNUM	36" HEIGHT (AT INSTALLATION)	5'	YES	NO
GROUND COVER							
D1	-	(TURF-GRASS)	BAHIA SOD				
D2	3456 SF	MULCH	MULCH	SURROUND ALL PLANTS 3' DEEP			
D3	466 SF	<i>TRACHELOSPERMUM ASHITOMI</i>	CONFEDERATE JASMINE	PARKING ISLANDS	8"	YES	YES

TREE SUBSTITUTIONS:
 DUE TO AVAILABILITY AND PREFERENCES, CONTRACTOR MAY SUBSTITUTE TREE SPECIES FOR OTHERS IN THE SCHEDULE, SO LONG AS DIVERSITY AND SIZES ARE MAINTAINED AND PROPOSED TREES ARE ON THE APPROVED SPECIES LIST. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LOCAL JURISDICTION BEFORE INSTALLATION.

PLANTING SPECIFICATIONS

6'	MINIMUM TREE HEIGHT UPON PLANTING
2"	MINIMUM CALIPER
36"	MINIMUM SHRUB HEIGHT UPON PLANTING
30" O.C.	MINIMUM SPACING OF SHRUBS

ALL PROPOSED PLANTINGS SHALL BE FLORIDA GRADE #1 OR BETTER

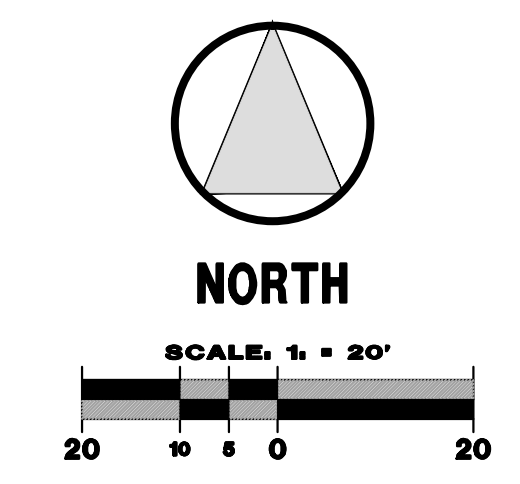
LANDSCAPE LEGEND

	GRASS
	GROUNDCOVER
	EXISTING TREE CANOPY (APPROX.)
	PROPOSED TREE - REFER TO SCHEDULE FOR TYPE
	PROPOSED SHRUBS - REFER TO SCHEDULE FOR TYPE
	SHRUB TYPE TAG WITH QUANTITY
	GROUNDCOVER TYPE TAG

EXOTIC SPECIES NOTE:
 ALL EXOTIC SPECIES, I.E., BRAZILIAN PEPPER (*SCHINUS TEREBINTHIFOLIUS*), PUNK TREES (*MELALEUCA QUINQUENERVIA*), AND CHINESE TALLOW (*APIUM SEBIFERUM*) MUST BE REMOVED FROM THE SITE. WHERE NECESSARY DUE TO THEIR PROXIMITY TO PROTECTED PLANT MATERIAL, HAND REMOVAL WILL BE REQUIRED. SHOULD THIS REMOVAL BE TO A DEGREE THAT A POTENTIAL FOR EROSION IS CREATED, THE AREA MUST BE RESTABILIZED WITH SUITABLE MATERIAL.

IRRIGATION NOTES:

- SHALLOW WELLS, OPEN SURFACE WATER BODIES OR RECLAIMED WATER MUST BE USED AS A SOURCE OF IRRIGATION WATER. THE DISTRIBUTION SYSTEM FOR IRRIGATION SHALL NOT BE CONNECTED TO COUNTY OR MUNICIPAL WATER SOURCES, UNLESS IT CAN BE DEMONSTRATED THAT THESE SOURCES ARE NOT AVAILABLE.
- IRRIGATION SYSTEMS MUST UTILIZE LOW VOLUME DESIGN SUCH AS LOW TRAJECTORY HEADS OR SOAKER HOSES TO PROVIDE DIRECT APPLICATION AND LOW EVAPORATION. SYSTEMS THAT OVER SPRAY AREAS THAT DO NOT REQUIRE IRRIGATION, SUCH AS PAVED AREAS WILL NOT BE ACCEPTABLE. HIGH IRRIGATION NEED AREAS MUST NOT OVERSPRAY LOW NEED AREAS.
- HIGH WATER DEMAND LANDSCAPE AREAS SUCH AS TURF MUST BE SERVED BY A SEPARATE IRRIGATION ZONE THAN LOW WATER NEED AREAS, SUCH AS PLANTER BEDS, OR MULCHED AREAS WITH TREES. IN NO CASE SHALL ANY PLANTED VEGETATION AREA BE MORE THAN 50' FROM A WATER SUPPLY HOSE BIB.
- IRRIGATION SYSTEMS MUST BE OPERATED BY AN IRRIGATION CONTROLLER CAPABLE OF DIFFERENTIATING BETWEEN THE SCHEDULES OF HIGH AND LOW WATER DEMAND AREAS. CONTROLLERS MUST HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM ABLE TO BE SET TO COMPLY WITH LOCAL OR WATER MANAGEMENT DISTRICT IMPOSED RESTRICTIONS.
- THE SYSTEM MUST BE EQUIPPED WITH A RAIN SENSOR DEVICE OR SWITCH WHICH WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. GROUND MOISTURE SENSING DEVICES ARE ENCOURAGED WHERE APPROPRIATE.
- IRRIGATION SYSTEM SHALL BE DESIGNED BY A LICENSED IRRIGATION CONTRACTOR.



AS BUILT INFORMATION PER MERES CROSSING PHASE III BY SYCAMORE ENGINEERING, INC. S.W.F.W.M.D. #44031945.005 DATED MARCH 3, 2010

REVISIONS

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE STATE OF FLORIDA AS SIGNED BY MY HAND AND SEAL.

GARY A. BOUCHER, P.E. #22885

FOR: **FLAGSHIP BANK**

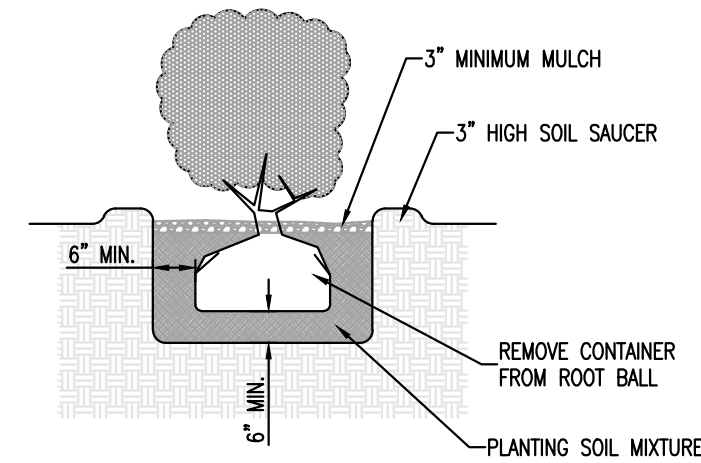
FLAGSHIP BANK
 ALT. U.S. 19 & MERES BLVD.
 TARPON SPRINGS, FLORIDA

PROJECT #: --
 ORIG. DATE: --
 DRAWN BY: BH
 SCALE: AS SHOWN

SHEET #:
CL1.1

LANDSCAPE CODE PLAN

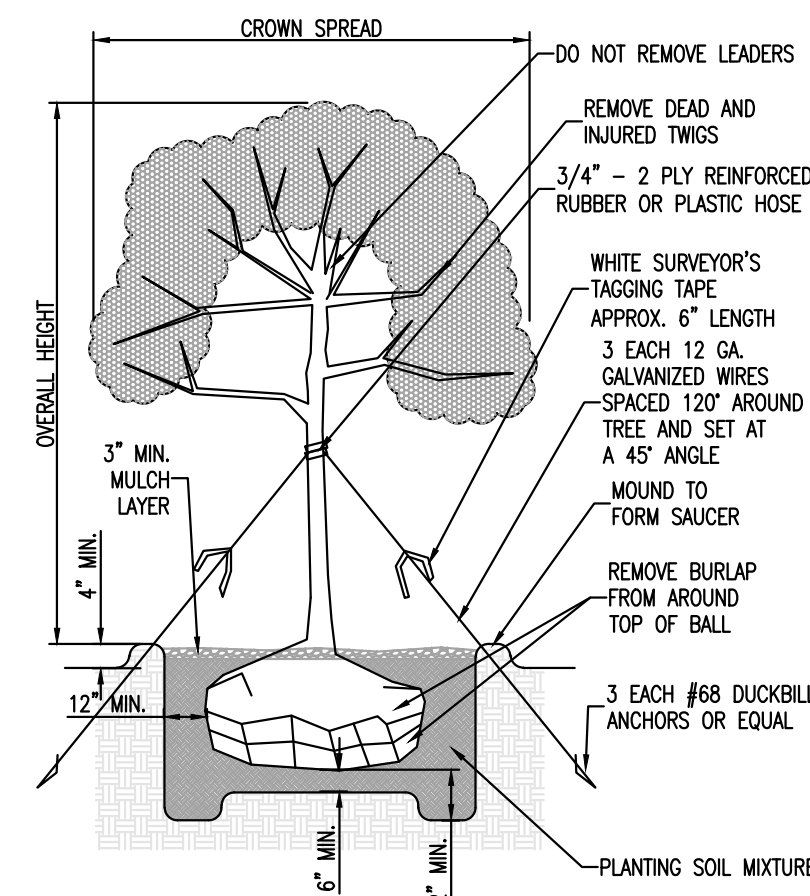
- SHRUB PLANTING NOTES:**
 1. REFER TO LANDSCAPE PLAN FOR GROUPINGS.
 2. PLANTING HOLES MUST BE SLOPED (NOT COMPACTED)
 3. SHRUBS SHALL BE INSTALLED SUCH THAT THE TOP OF THE ROOT MASS IS LEVEL WITH THE SURFACE OF THE PLANTING HOLE.
 4. TO PREVENT FUNGAL INFECTION, MULCH SHALL BE PULLED BACK A FEW INCHES FROM THE BASE OF NEW SHRUBS.
 5. ALL REQUIRED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.



SHRUB PLANTING DETAIL

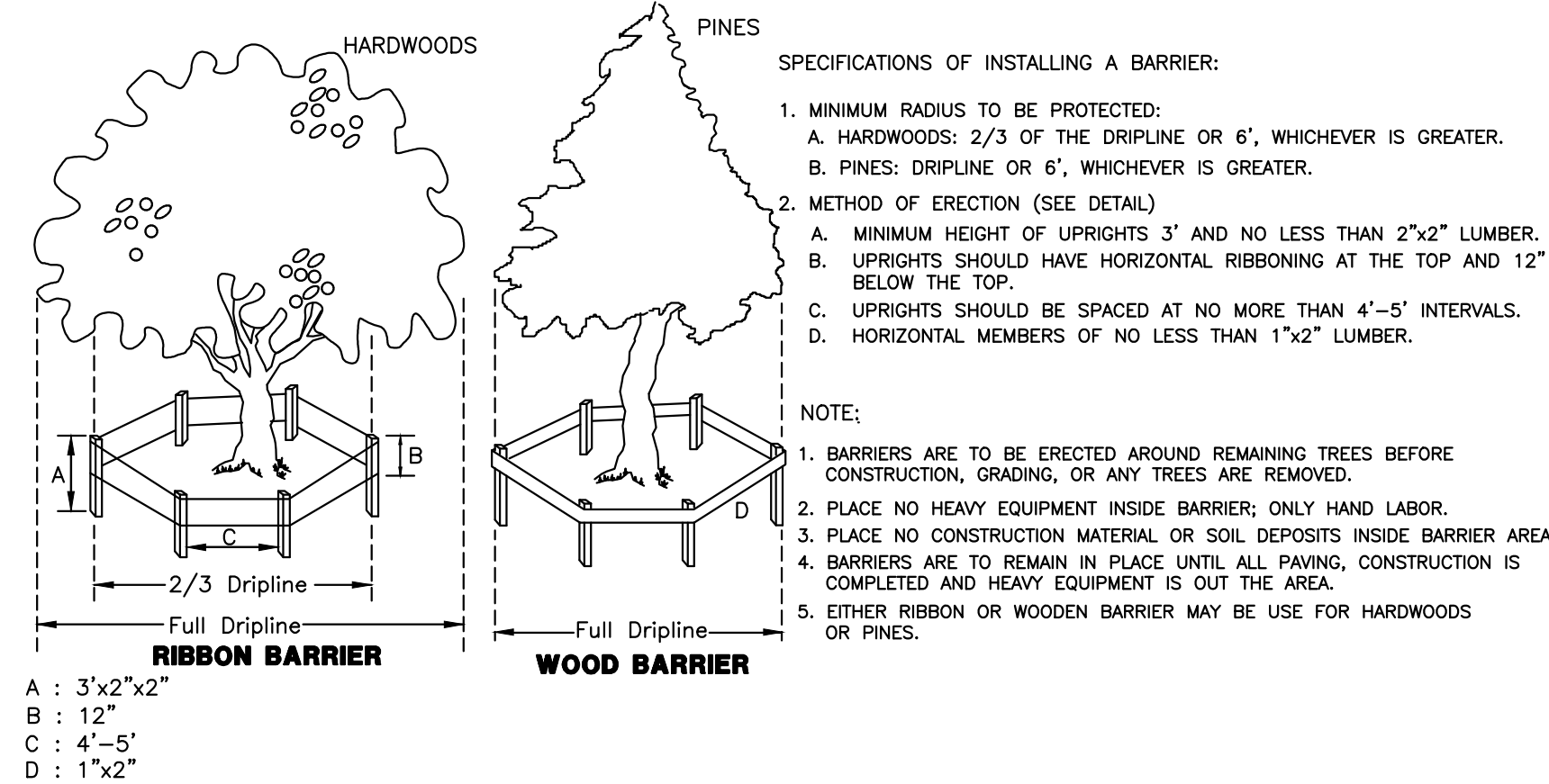
NTS

- TREE PLANTING NOTES:**
 1. REMOVE STAKES AND SUPPORT WIRE AFTER ONE COMPLETE GROWING SEASON.
 2. PLANTING HOLES MUST BE SLOPED (NOT COMPACTED) AND A MINIMUM OF 18-24 INCHES WIDER THAN THE DIAMETER OF THE ROOT BALL.
 3. TREES SHALL BE INSTALLED SUCH THAT THE TOP OF THE ROOT MASS IS LEVEL WITH THE SURFACE OF THE PLANTING HOLE.
 4. TO PREVENT FUNGAL INFECTION, MULCH SHALL BE PULLED BACK A FEW INCHES FROM THE BASE OF NEW TREES.
 5. IF SOIL AMENDMENTS ARE NECESSARY, A SUITABLE SOIL MIXTURE SHALL BE USED IN THE ENTIRE PLANTING AREA (NOT JUST THE PLANT PIT) TO A DEPTH CONSISTENT WITH THE ROOT DEVELOPMENT OF THE PROPOSED PLANT MATERIAL.
 6. ALL REQUIRED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.



TREE PLANTING DETAIL

NTS



PROTECTIVE BARRIER DETAIL

NTS

LANDSCAPE AND IRRIGATION NOTES AND SPECIFICATIONS

- ALL PROPOSED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.
- ALL MINIMUM STANDARDS PER THE LOCAL LAND DEVELOPMENT CODE SHALL BE FOLLOWED. HIGHER STANDARDS SUCH AS HEIGHT, CALIPER OR DBH MAY BE SPECIFICALLY CALLED OUT ON THE PLAN AND SHALL BE INSTALLED PER THAT SPECIFICATION.
- PRUNING OF EXISTING TREES MAY BE REQUIRED AND SHALL BE DONE IN A MANNER IN ACCORD WITH GOOD PRACTICE AND LOCAL CODES.

SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

LANDSCAPE CODE DETAILS

SCALE: NONE

FOR: **FLAGSHIP BANK**

ALT. U.S. 19 & MERES BLVD.
 TARPON SPRINGS, FLORIDA

PROJECT #: --
 ORIG. DATE: --
 DRAWN BY: AVF
 SCALE: AS SHOWN

SHEET #:

CL1.2

FOR:

FLAGSHIP BANK

Ozona Engineering, Inc.
 P.O. Box 432
 Ozona, Florida 34660-432
 Phone: (727) 785-3859 Fax: (727) 785-3434
 www.ozonaengineers.com

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR SUPERVISED BY ME AND THAT I AM A FULLY LICENSED CIVIL ENGINEER UNDER THE BOARD OF PROFESSIONAL ENGINEERS OF FLORIDA AS SIGNED BY MY HAND AND SEAL.

Gary A. Boucher, PE# 22885

REVISIONS

BOUNDARY/TOPOGRAPHIC SURVEY
THE MAP AND REPORT ARE NOT
FULL AND COMPLETE WITHOUT THE
OTHER.

SURVEYOR'S REPORT

LEGAL DESCRIPTION:

A PORTION OF LAND LYING IN SECTION 13, TOWNSHIP 27 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTER OF SAID SECTION 13, THENCE ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 13, RUN SOUTH 89°51'20" EAST A DISTANCE OF 28.94 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE (STATE ROAD NO. 595 AND ALT. 19) SAID POINT ALSO BEING A POINT OF CURVATURE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 40.79 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 475.51 FEET, A CENTRAL ANGLE OF 4°54'53" AND A CHORD OF 40.79 FEET, WHICH BEARS SOUTH 11°21'30" WEST TO THE POINT OF BEGINNING, THENCE LEAVING SOUTH PINELLAS AVENUE SOUTH 49°51'20" EAST 161.30 FEET, THENCE SOUTH 00°00'00" EAST 110.74 FEET, THENCE SOUTH 20°40'03" WEST 89.29 FEET, THENCE NORTH 69°36'29" WEST 99.25 FEET, THENCE NORTH 66°51'16" WEST 92.31 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE NORTH 28°11'02" EAST 29.40 FEET TO A POINT OF CURVATURE, THENCE 103.77 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 477.15 FEET TO A CENTRAL ANGLE OF 12°27'37" AND A CHORD OF 103.56 FEET, WHICH BEARS NORTH 19°57'14" EAST TO A POINT OF BEGINNING.

ACCURACY:

1. ALL MEASUREMENTS, DISTANCES, ELEVATIONS (IF SHOWN) AND FEATURES WERE PERFORMED IN STRICT ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE (5J-17FAC).
2. METHODS FOR ALL CONTROL MEASUREMENTS WERE MADE WITH A TRANSIT AND STEEL TAPE, OR DEVICES WITH EQUIVALENT OR HIGHER DEGREES OF ACCURACY.
3. THE ACCURACY STANDARD USED FOR THIS SURVEY, AS CLASSIFIED IN THE MINIMUM STANDARDS OF PRACTICE (5J-17 FAC), IS "COMMERCIAL/HIGH RISK". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE MET THIS REQUIREMENT.

DATA SOURCES:

1. BASIS OF BEARING IS THE EAST LINE OF THE SURVEYED PARCEL, BEING S00°00'00"E (L)
2. PLAT OF MERES TOWN CENTER PHASE II, RECORDED PLAT BOOK 140, PAGE 39, PUBLIC RECORDS, PINELLAS COUNTY, FLORIDA.
3. FIRST AMERICAN TITLE INSURANCE COMPANY, ALTA COMMITMENT FOR TITLE INSURANCE, ISSUED BY: WOLLINKA-WIKLE TITLE INSURANCE AGENCY, INC., FILE NO.: TIA20156, EFFECTIVE DATE: FEBRUARY 6, 2020 AT 8:00 AM.
4. ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC BENCHMARK "AL 0305", HAVING AN ELEVATION OF 28.40', (NORTH AMERICAN VERTICAL DATUM 1989)

SCHEDULE BII EXCEPTIONS ARE AS FOLLOWS:

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
2. ANY RIGHTS, INTERESTS OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
3. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. SURVEYOR'S COMMENT: SHOWN HEREON.
4. ANY LIEN, FOR SERVICES, LABOR OR MATERIALS IN CONNECTION WITH IMPROVEMENTS, REPAIRS OR RENOVATIONS PROVIDED BEFORE, ON, OR AFTER DATE OF POLICY, NOT SHOWN BY THE PUBLIC RECORDS. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
5. ANY DISPUTE AS TO THE BOUNDARIES CAUSED BY A CHANGE IN THE LOCATION OF ANY WATER BODY WITHIN OR ADJACENT TO THE LAND PRIOR TO DATE OF POLICY, AND ANY ADVERSE CLAIM TO ALL OR PART OF THE LAND THAT IS, AT DATE OF POLICY, OR WAS PREVIOUSLY UNDER WATER. SURVEYOR'S COMMENT: NO VISUAL EVIDENCE OF WATER BODIES WITHIN OR ADJACENT TO THE SURVEYED PARCEL.
6. TAXES OR SPECIAL ASSESSMENTS NOT SHOWN AS LIENS IN THE PUBLIC RECORDS OR IN THE RECORDS OF THE LOCAL TAX COLLECTING AUTHORITY, AT DATE OF POLICY. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
7. ANY MINERALS OR MINERAL RIGHTS LEASED, GRANTED OR RETAINED BY CURRENT OR PRIOR OWNERS. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
8. TAXES AND ASSESSMENTS FOR THE YEAR 2018 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
9. EASEMENT GRANTED TO FLORIDA POWER CORPORATION BY INSTRUMENT RECORDED IN BOOK 3875, PAGE 104. SURVEYOR'S COMMENT: SUBJECT TO NON-DELINEABLE BLANKET EASEMENT LIABILITY COMPANY AND REGIONS BANK, AN ALABAMA BANKING CORPORATION RECORDED IN BOOK 16030, PAGE 1298, AS AMENDED IN BOOK 19484, PAGE 1369. SURVEYOR'S COMMENT: SUBJECT TO NON-DELINEABLE BLANKET EASEMENTS.
11. TERMS AND CONDITIONS OF ANY EXISTING UNRECORDED LEASE(S), AND ALL RIGHTS OF LESSEE(S) AND ANY PARTIES CLAIMING THROUGH THE LESSEE(S) UNDER THE LEASE(S). SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.

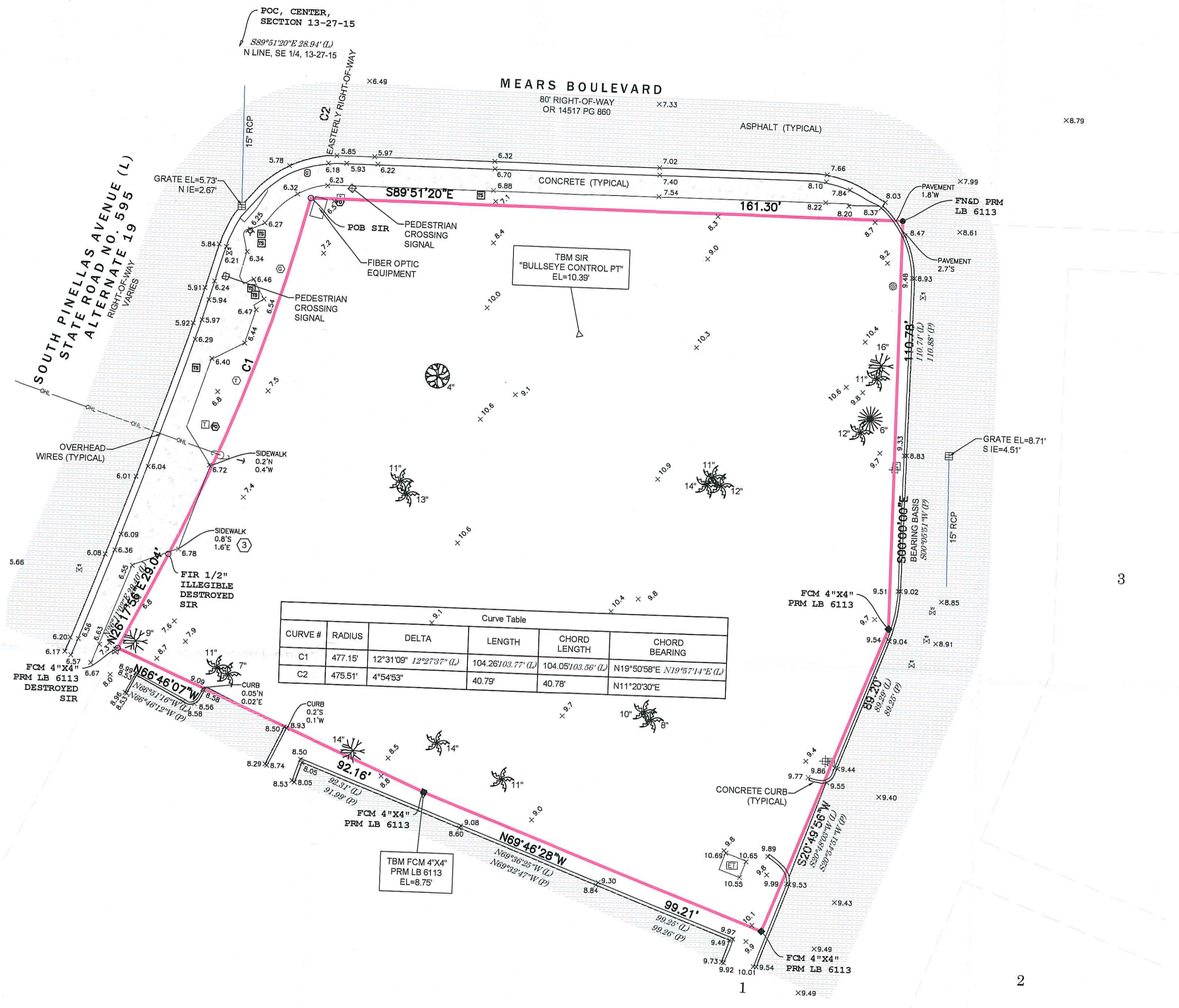
LIMITATIONS:

1. PURPOSE OF SURVEY: TO DOCUMENT THE PERIMETERS, OR ANY ONE OF THEM, OF A PARCEL OR TRACT OF LAND BY ESTABLISHING OR RE-ESTABLISHING CORNERS, MONUMENTS, AND BOUNDARY LINES FOR THE PURPOSES OF DESCRIBING THE PARCEL, LOCATING FIXED IMPROVEMENTS ON THE PARCEL, DIVIDING THE PARCEL, OR PLATTING, AND SELECTED NATURAL AND ARTIFICIAL FEATURES OF A PART OF THE EARTH'S SURFACE TO DETERMINE HORIZONTAL AND VERTICAL SPATIAL RELATIONS.
2. USE OF THIS SURVEY BY ANYONE OTHER THAN THOSE PREPARED FOR / CERTIFIED TO, WILL BE THE RE-USERS SOLE RISK WITHOUT LIABILITY TO THE SURVEYOR.
3. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
4. UNDERGROUND FOUNDATIONS AND THEIR LOCATIONS HAVE NOT BEEN DETERMINED.
5. SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE AE (EL. 10 FEET), ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, PINELLAS COUNTY, FLORIDA, MAP NUMBER 1210103045F, COMMUNITY: CITY OF TARPON SPRINGS, 120259, MAP REVISED DATE: SEPTEMBER 26, 2014, MAP INDEX NUMBER 121030IND1C, MAP REVISED: AUGUST 18, 2009. AN ACCURATE ZONE DETERMINATION SHOULD BE MADE BY THE PREPARER OF SAID MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS PRIOR TO ANY

- JUDGMENTS BEING MADE FROM THE ZONE AS NOTED.
6. IRRIGATION EQUIPMENT AND / OR THEIR APPURTENANCES HAVE NOT BEEN MAPPED.
 7. THERE MAY EXIST ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT CAN BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 8. ONLY THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES WHICH WERE READILY APPARENT FROM GROUND LEVEL TO THE SURVEYOR ON THE ACTUAL DAY OF THE FIELD SURVEY WERE LOCATED. NO EXCAVATIONS OR SUBSURFACE WORK EFFORTS OF ANY KIND WERE PERFORMED BY THE SURVEYOR TO VERIFY THE EXISTENCE OF ANY UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
 9. THERE MAY BE ADDITIONAL UTILITY STRUCTURES (DRAINAGE, SANITARY, ELECTRIC, COMMUNICATIONS, ETC.) THAT WERE NOT READILY APPARENT AT THE TIME OF THE SURVEY.

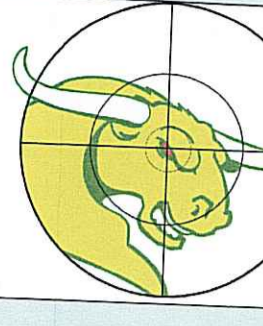
BOUNDARY INCONSISTENCIES:

1. ANY ANGULAR AND/OR DIMENSIONAL DISCREPANCIES BETWEEN THE DESCRIPTION AND THE FIELD LOCATED OCCUPATION BOUNDARY CORNERS, AND BOUNDARY CORNERS WITH MULTIPLE BOUNDARY MONUMENTS ALONG WITH THEIR CORRESPONDING QUADRANT DIRECTIONAL MISSES, ARE SHOWN ON THE MAP OF SURVEY. ALL PERIMETER BEARINGS AND DISTANCES ARE BY FIELD MEASURED UNLESS SO NOTED.



BULLSEYE SURVEYING, INC.

LB 7818
 2198 NE COACHMAN
 ROAD, UNIT F
 CLEARWATER, FL 33765
 PHONE: 727-475-8088



PARCEL INFORMATION:
 SECTION 13, TOWNSHIP 27 SOUTH, RANGE 15 EAST, PINELLAS COUNTY
 FLORIDA
PARCEL ADDRESS:
 0 DISSTON AVENUE, TARPON SPRINGS, FL 34689
PARCEL ID:
 13-27-15-00000-420-0120

- ABBREVIATIONS**
- DENOTES
- (F)=FIELD
 - (P)=PLAT INFORMATION
 - (L)=LEGAL DESCRIPTION INFORMATION
 - (#)=INFORMATION FROM DATA SOURCES
 - (#)=SCHEDULE BII EXCEPTION
 - EL=ELEVATION
 - FCM=FOUND CONCRETE MONUMENT
 - FIR=FOUND IRON REBAR (SIZE AS NOTED)
 - FN&D=FOUND NAIL & DISK
 - FPP=FOUND PINCHED PIPE
 - IE=INVERT ELEVATION
 - LB=LICENSED BUSINESS
 - LS=LICENSED SURVEYOR
 - OR=OFFICIAL RECORDS BOOK
 - PB=PLAT BOOK
 - PG=PAGE
 - PLS=PROFESSIONAL LICENSED SURVEYOR
 - POB=POINT OF BEGINNING
 - POC=POINT OF COMMENCEMENT
 - PLS=PROFESSIONAL LICENSED SURVEYOR
 - PSM=PROFESSIONAL SURVEYOR AND MAPPER
 - R/W=RIGHT-OF-WAY
 - RCP=REINFORCED CONCRETE PIPE
 - RLS=REGISTERED LICENSED SURVEYOR
 - SIR=SET 1/2" REBAR AND CAP LB 7818
 - SN&D=SET NAIL AND DISK LB 7818
 - TBM=TEMPORARY BENCHMARK

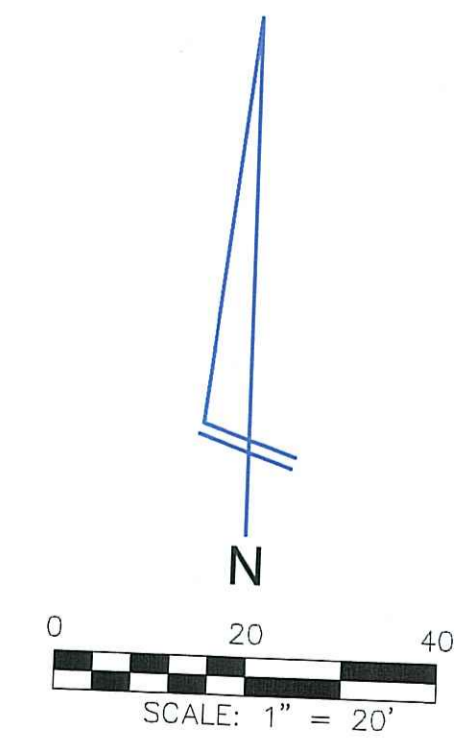
- SYMBOL LEGEND**
- DENOTES
 - ⊠ ELECTRIC EQUIPMENT
 - ⊡ ELECTRIC TRANSFORMER
 - ⊓ GUY ANCHOR
 - ⊔ GRATE INLET
 - ⊕ GAS PAINT MARK
 - ⊖ GAS WARNING MARKER (UNDERGROUND)
 - ⊗ LIGHT POLE (CONCRETE)
 - ⊘ FIBER OPTIC WARNING MARKER (UNDERGROUND)
 - ⊙ POST
 - ⊚ TELEPHONE EQUIPMENT
 - ⊛ TELEPHONE WARNING MARKER (UNDERGROUND)
 - ⊜ TRAFFIC SIGNAL EQUIPMENT
 - ⊝ TRAFFIC SIGNAL POLE
 - ⊞ TREE (OAK)
 - ⊟ TREE (OTHER)
 - ⊠ TREE (PALM)
 - ⊡ UTILITY POLE (WOOD)
 - ⊣ WATER VALVE

THIS SURVEY AND THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, THE SURVEY OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ADDITIONS OR DELETIONS TO SURVEY REPORTS OR MAPS BY ANYONE OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED

- CERTIFIED TO:**
- FIRST AMERICAN TITLE INSURANCE COMPANY
 - WOLLINKA-WIKLE TITLE INSURANCE AGENCY, INC.
 - FLAGSHIP BANK OR WEST FLORIDA BANK CORPORATION

George R. Martin
 GEORGE R. MARTIN
 PROFESSIONAL SURVEYOR & MAPPER
 LICENSE NUMBER LS 6019
 STATE OF FLORIDA



REVISIONS	
#	DATE
1	4/1/2020
2	2/15/2021

FIELD BOOK / PAGE	SCALE	SHEET NUMBER
012/39	1"=20'	1 of 1
DRAFTED BY	SURVEY FIELD DATE	
GRM	08/27/2016	
PROJECT NUMBER	FILE NAME	
16-038	16-038-T.dwg	



City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT
324 EAST PINE STREET
P.O. BOX 5004
TARPON SPRINGS, FLORIDA 34688-5004
(727) 942-5611
FAX (727) 943-4651

**TECHNICAL REVIEW COMMITTEE (TRC) AGENDA
THURSDAY, APRIL 1, 2021
CITY AUDITORIUM
324 EAST PINE STREET, TARPON SPRINGS, FLORIDA**

TO:

Karen Lemmons, Economic Dev. Manager	Tom Funcheon, Public Works Director
Pat McNeese, Principal Planner	Anthony Mannello, Streets & Stormwater Sup.
Renea Vincent, Planning & Zoning Director	Bob Robertson, Project Admin. Director
Kevin Powell, Building Development	Paul Smith, Public Services Director
David Gilson, Building Development	Nick Makris, Projects Supervisor
Shannon Brewer, Horticulturalist	Jevon Miller, Project Administration Department
Lisa Godwin, Building Development	Ray Page, Public Services
Anthony Boone, Police Department	Francisco Pavez, Public Services
Sargent Robert Faugno, Police Department	Judy Staley, Research & Information Officer
Captain Rick Kinney, Fire Rescue	Trish Hickey, Executive Secretary
Officer Steve Gassen, Code Enforcement	Megan Araya, Floodplain Coordinator

FROM: Kimberly Yothers, Planning and Zoning Coordinator

NOTE: Pursuant to current City protocols, we will meet in the City Auditorium. Please send comments via email to pmcneese@ctsfl.us; kyothers@ctsfl.us

DATE: 3/23/2021

1) PREVIOUSLY HEARD APPLICATIONS

a) 20-150 - GEMINI STORAGE - SITE PLAN REVIEW - NW CORNER OF SAFFORD AVENUE AND MERES BLVD

2) NEW APPLICATIONS

a) 21-37 - TIEGUYS - TEMPORARY USE FOR CONSTRUCTION TRAILER - 338 E LEMON STREET

b) 21-26 - FLAGSHIP BANK - SITE PLAN REVIEW - SE CORNER OF MERES BLVD AND PINELLAS AVE

c) 21-32 - FERMAN VOLVO - MINOR SITE PLAN - 43520 US HIGHWAY 19 N

d) 21-33 - MARC ANTONIO - MINOR SITE PLAN - 428 N PINELLAS AVE

e) 21-34 - LIVE EDGE SLABS - REZONING AND LUA - 526 E LEMON STREET

f) 21-35 - ELSTEPHMAR LLC - CONDITIONAL USE FOR TOURIST HOME - 12 W ORANGE STREET

3) VARIANCES

a) 21-30 - NANCY S. WHITE - VARIANCE TO FRONT SETBACK FOR POOL - 533 DORIC COURT

b) 21-36 - GIANESKIS - NON-CONFORMING LOT AND SETBACK VARIANCE - CENTER LOT ON WHITCOMB BLVD BETWEEN CAROLINA AND BAYOU AVE

4) DISCUSSION ITEMS

- a) 21-28 - TARPON SPRINGS PLAZA - DISCUSSION ITEM - 41522 US HWY 19 N
- b) 21-31 - City of Tarpon Springs - Discussion Item for Pickle Ball Court - 530 E Live Oak Blvd
- c) 21-37 - Leslie Hale Ministries - Discussion Item - 1355 Rainville Road

All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611.

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-32 - FERMAN VOLVO - MINOR SITE PLAN - 43520 US HIGHWAY 19 N**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Minor Site Plan Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

- APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Island Center Corp., Inc.		Email sstarke@ferman.com	
Address 1306 W. Kennedy Blvd.			
City Tampa		State Florida	Zip 33606
Phone 813-251-2765	Fax N/A		Cellular

Applicant

Name Same as owner		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

Agent (if applicable)

Name Chris Weddle, P.E.		Email chris@auroracivil.com	
Address 610 E. Morgan Street			
City Brandon		State Florida	Zip 33510
Phone 813-643-9907 Ext. 101	Fax N/A		Cellular 813-690-8424

General Information

Project Name Ferman Volvo Tarpon Springs Remodel & Expansion
Property Location or Address 43520 US Hwy 19 N., Tarpon Springs, Florida
Legal Description (attach additional sheets as necessary) See attached legal description
Tax Parcel Number(s) 06-27-16-00000-240-0100

Existing Land Use & Zoning Information

Present Designations of Property		Current Use of Property
Land Use Category	Zoning District	
ROR		Dealership

Site Acreage:

Upland 11.06 Wetland 0 Submerged 0 TOTAL 11.06

Flood Information: [please check all that apply]

Zone X Zone X Shaded Zone AE Zone VE

Base Flood Elevation (BFE): [please list all elevations] N/A

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	GPD	GPD	GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis / Review by Engineering Division		
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day
 TPD = trips per day

The following MUST be furnished with this application: [incomplete applications will not be accepted]

Completed original application with digital copies of all application documents

Application fee (based on site acreage)

- 0 – 5 acres; \$ 500.00
- 5.01 – 10 acres; \$ 750.00
- 10.01 – 15 acres; \$1,000.00
- 15.01 – 20 acres; \$1,500.00
- 20.01 acres or more; \$2,000.00

Proof of ownership (warranty deed, title certification, etc.)

Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC

Traffic Impact Study, if required by Section 122.11, LDC

Endangered/Threatened Species Study, if required by Section 144.00, LDC

Acknowledge compliance with the City's Public Art Ordinance (see criteria below)

Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)

Five (5) complete sets of plans including all the following items.

- A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
- B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
 1. All required information shall be submitted on standard sheets (24" x 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
8. Existing contours and proposed grades at one foot intervals.
9. Flood zone and required first floor elevation(s).
10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
12. Lot dimensions including curve data.
13. Proposed setback dimensions.
14. Gross floor area by type for non-residential uses.
15. Gross density for residential uses and number and types of units.
16. The proposed architectural elevations and floor plans with accurate dimensions.
17. Proposed private and public streets with right-of-way dimensions.
18. Proposed phasing plan by anticipated commencement and completion date.
19. Dumpster location and screening.
20. Required parking calculations (parking provided and required).
21. Size and location of required loading zones.
22. Required (proposed) sidewalks and internal walkways.
23. Driveways and access improvements.
24. Location and type of site lighting including pole height and fixture type.
25. Description of the maintenance of common facilities for residential projects.
26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

CITY OF TARPON SPRINGS, FLORIDA
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water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

1. Projects with an aggregate job value under \$1,000,000.00.

2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

APPLICANT'S ACKNOWLEDGEMENT:

Type of Public Art Activity [please initial only one]

_____ This project is exempt from the Public Art Program requirements.

Please state exemption: _____

_____ I will contract with a professional artist to create a permanent, public artwork as part of the development.

XX In lieu of an on-site project, I will contribute .75 percent of the aggregate job value* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

**Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.*

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

(A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.

(B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.

(C) Design Requirements for all non-residential site plans.

1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

CITY OF TARPON SPRINGS, FLORIDA
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- c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.
 - d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.
 - e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.
2. Sidewalks and private frontages (the area between the building and right- of-way)
- a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.
3. Landscaping
- a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.
4. Elevation of buildings
- a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.
5. Pedestrian promenades on waterfront lots
- a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.
6. All site plans and building plans shall adhere to the additional building design requirements set out below;
- a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.
 - b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.
 - c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.
 - d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.
 - e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

CITY OF TARPON SPRINGS, FLORIDA
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- f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.
- g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.
- h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.
- i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.
- j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.
- k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

- a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.
- b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.
- c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.
- d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.
- e. Multiple connections shall be required between the structure and the public right-of-way.
- f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

(D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

Island Center Corporation, Inc.
1306 W. Kennedy Blvd.
Tampa, FL 33606
813-251-2765

Date: March 2, 2021

To Whom It May Concern:

Please accept this letter as authorization for Chris Weddle or Michael Knight of Aurora Civil Engineering, Inc. to act as agent for Island Center Corp, Inc. for the purposes of applying for and obtaining required permits for the Ferman Sunshine Motors, Inc., d/b/a Ferman Volvo Cars Remodel & Expansion project

Feel free to contact me with any questions.

Sincerely,

Island Center Corporation, Inc.

Stephen B. Straske II
Vice President

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this 3rd day of March 2021, by Stephen B. Straske II, who is personally known to me.



Notary Public
State of Florida

(Typed or Printed Name)
My Commission Expires:

SITE CONSTRUCTION PLANS

for

FERMAN VOLVO TARPON SPRINGS REMODEL AND EXPANSION

(PID 06-27-16-00000-240-0100)
CITY OF TARPON SPRINGS, FLORIDA

CALL 48 HOURS
BEFORE YOU DIG

It's the Law!
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



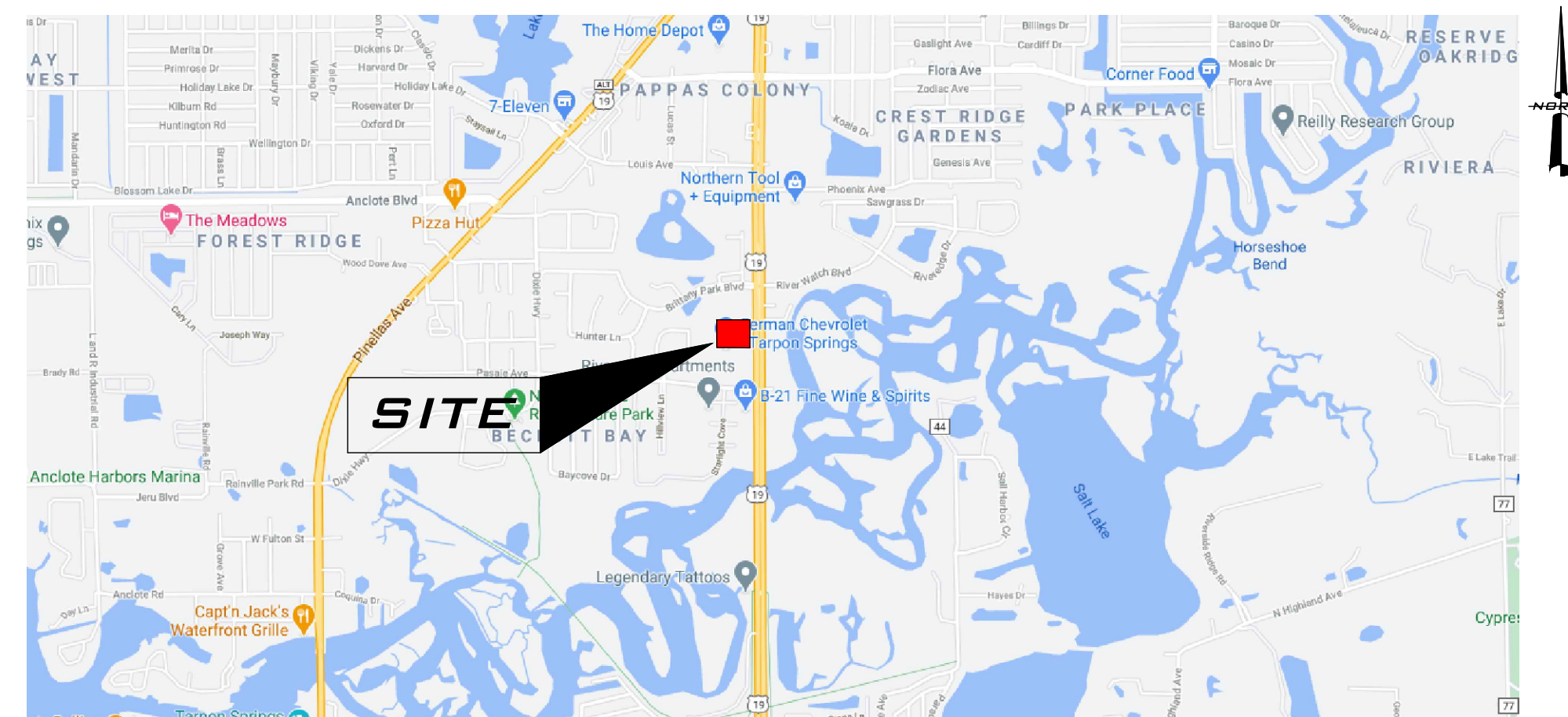
PROJECT SUMMARY:

- THIS PROJECT PROPOSES TO CONSTRUCT A 1,752 SF SERVICE ADDITION TO AND REMODEL OF THE EXISTING VOLVO CAR DEALERSHIP AND THE ASSOCIATED INFRASTRUCTURE.
- THE PROPERTY'S ACCESS IS US HIGHWAY 19 NORTH.
- THE PROJECT IS ZONED: HB

NGS

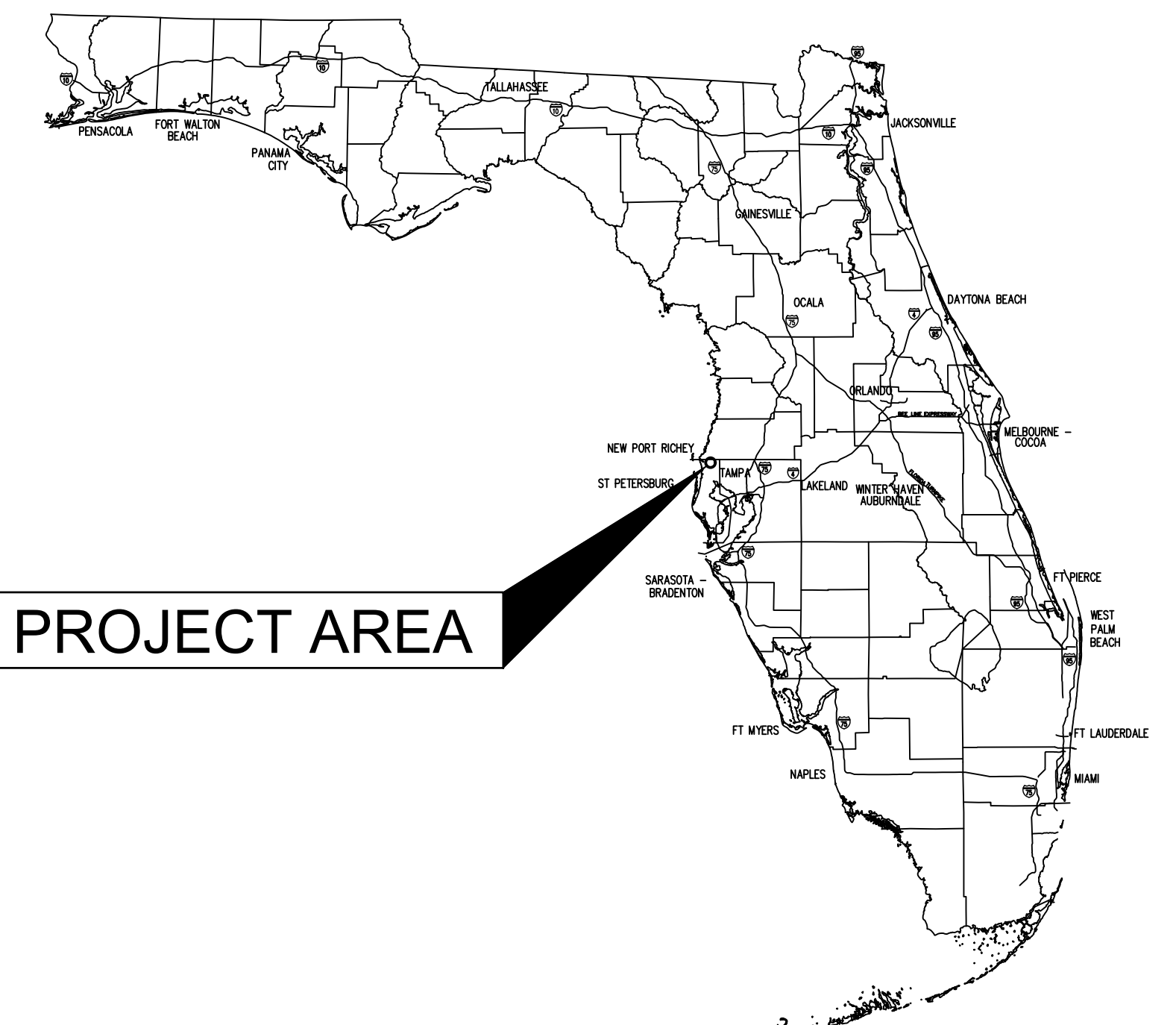
D.	LATEST DATE
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VICINITY MAP



SECTION 6 TOWNSHIP 27S RANGE 16E

LOCATION MAP



PROJECT AREA

LEGAL DESCRIPTION: (as provided by others)

A portion of Section 6, Township 27 South, Range 16 East, Pinellas County, Florida, being further described as follows:

Commence at the intersection of the easterly extension of the centerline of Beckett Way (County Road No. 71) as said centerline is shown on plot of Villanova, recorded in Plat Book 14, page 38 of the Public Records of Pinellas County, Florida, with the westerly right-of-way line of State Road No. 55, Section 15150-2106 (U.S. Highway No. 19) as it is now established for a POINT OF BEGINNING; said westerly right-of-way line of State Road No. 55 being 132 feet west of the centerline of survey of said State Road No. 55; the centerline of Beckett Way as shown on said plot of Villanova being on the centerline of paving of County Road No. 71 as it is now constructed; from the POINT OF BEGINNING herein described run along the centerline of Beckett Way, North 85° 22' 49" West a distance of 600 feet; thence run parallel to the westerly right-of-way line of said State Road No. 55, North 0° 04' 31" East a distance of 833.10 feet; thence run parallel to the centerline of Beckett Way, South 85° 22' 49" East a distance of 600 feet to the westerly right-of-way line of said State Road No. 55; thence run along the westerly right-of-way line of said State Road No. 55, South 0° 04' 31" West a distance of 833.10 feet to the POINT OF BEGINNING; LESS the southerly 33 feet thereof for Beckett Way (County Road No. 71) right-of-way; said 33 feet being measured at right angles to the centerline of said Beckett Way.

Containing 478,597 square feet, or 10.99 acres, more or less.

FIRM PANEL No. 12103 C0036G
EFFECTIVE DATE: 09/03/2003
FLOOD ZONE: X

CITY OF TARPON SPRINGS:

SITE ADDRESS:
43520 U.S. HIGHWAY 19 NORTH, TARPON SPRINGS, FL 34689

PROPERTY RECORD: 06-27-16-00000-240-0100

PROPERTY ACREAGE: 10.99
PROJECT ACREAGE: 1.35

PID: TBD
WATER: # TBD
WASTEWATER: # TBD

SWFWMD:
APP: TBD
ERP: TBD

FDEP - WATER:
TBD

FDEP - SEWER:
TBD

2-22-2021

PREPARED FOR
ISLAND CENTER CORP. INC.
1306 W. KENNEDY BLVD.
TAMPA, FL 33606

Ferman Volvo Tarpon Springs

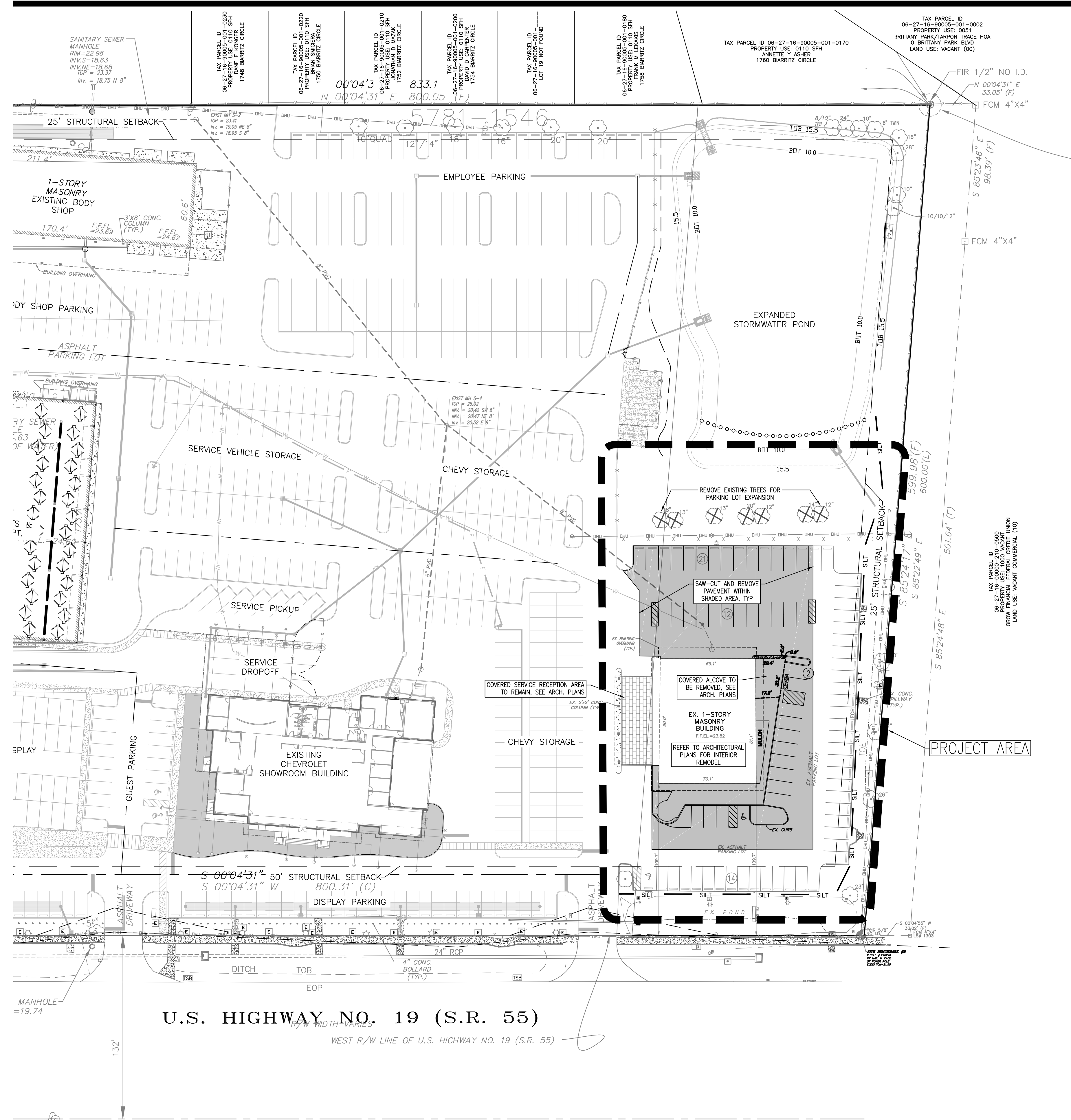
This item has been digitally signed and sealed by Christopher E. Weddle, PE on the date adjacent to the seal.

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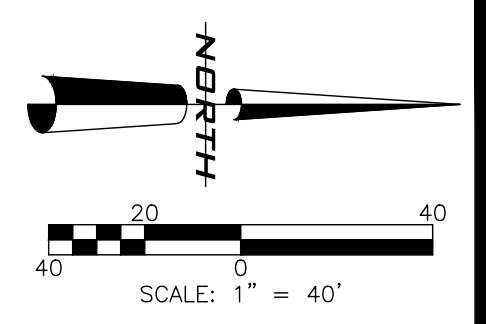
CHRISTOPHER E. WEDDLE, P.E.
FLORIDA P.E. NO. 35446
AURORA CIVIL ENGINEERING, INC.
CERTIFICATE OF AUTHORIZATION NO. 00008900



PROJECT 19-168



NOTE:
THIS EXISTING SITE PLAN IS NOT INTENDED TO BE USED FOR CONSTRUCTION LAYOUT. REFER TO SITE CONSTRUCTION DRAWINGS FOR GEOMETRY, GRADING AND UTILITY DETAILS.



NO.	REVISIONS	DATE	BY	DESCRIPTION
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2				
3				
4				
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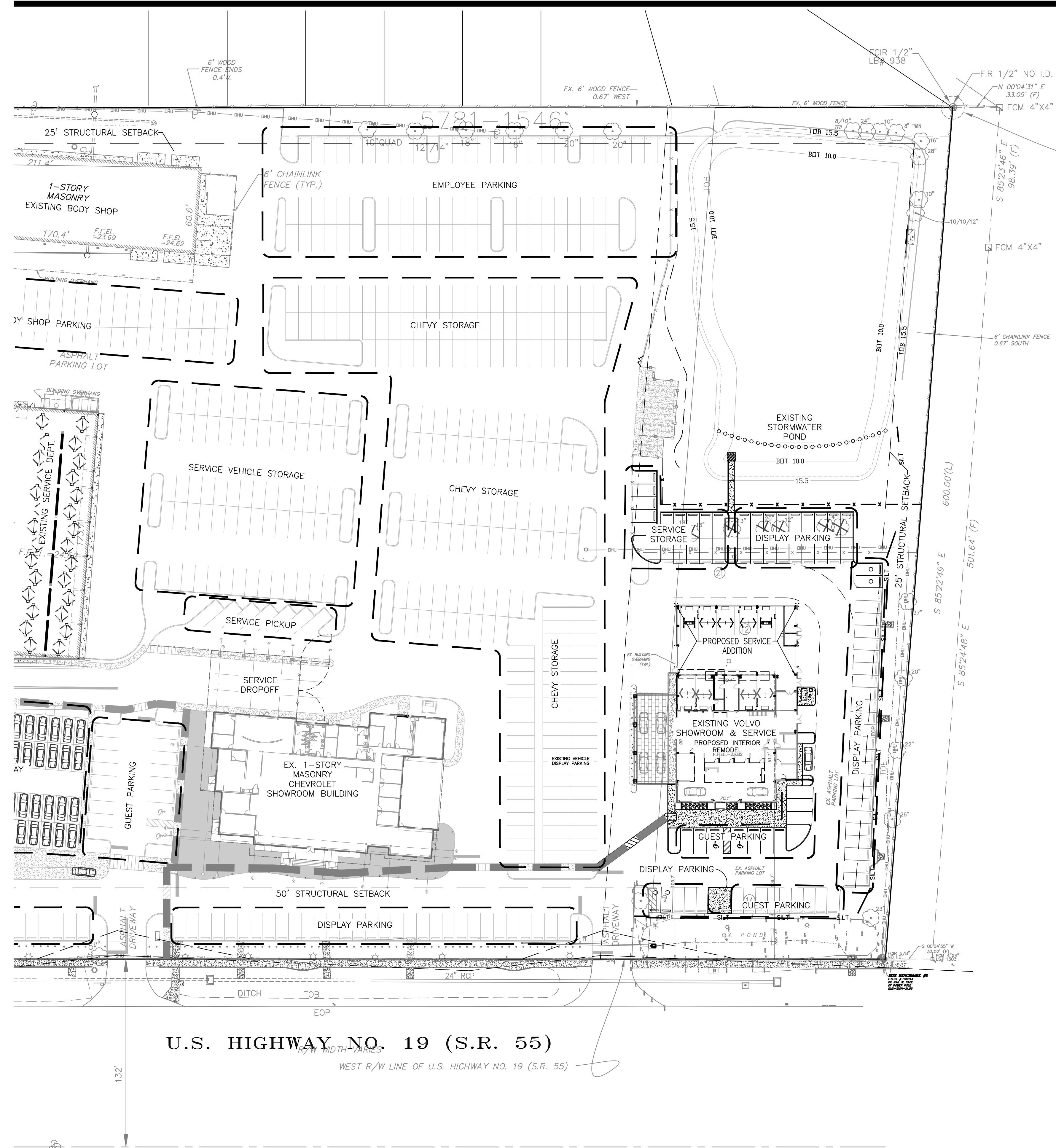
DRAWN BY: MICHAEL KNIGHT
 CHECKED BY: CAROL WEDDLE
 DATE: 2-22-2021
 APPROVED BY: CAROL WEDDLE
 JOB NO.: 19-168

**EXISTING CONDITIONS
PLAN**

FERMAN VOLVO TARPON SPRINGS
 ISLAND CENTER CORP. INC.
 11001 W. DIXIE BLVD.
 TAMPA, FLORIDA 33606

AUTRORA
 CIVIL ENGINEERING, INC.
 610 E. Morgan Street
 Brandon, FL 33510 (813)643-9907

This item has been digitally signed and the date adjacent to the seal.
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 CHRISTOPHER E. WOODLE, P.E.
 AIRMAIL DELIVERED
 CERTIFICATE OF AUTHORIZATION NO. 00009993



SITE DATA
 43520 US HWY 19 N
 PROJECT ACREAGE: 10.99 ACRES
 PARCEL ID: 06-27-16-00000-240-0100
 OWNER: ISLAND CENTER CORP. INC.
 SECTION 6 / TOWNSHIP 27S / RANGE 16E
 CURRENT ZONING: HB (ANNEXATION PENDING)
 FUTURE LAND USE: ROR
 FLOOD ZONE: X
 FEMA FLOOD MAP: 12103 C0036G (9/3/2003)

MAX FAR: 0.20 (0.17 PROPOSED)
 MAX ISR: 0.85 (0.79 PROPOSED)
 MAX BLDG HEIGHT: 35' (21' TOP OF PARAPET)

MINIMUM SETBACKS:
 FRONT: 30'
 SIDE: 10'
 SIDE ST: 15'
 REAR: 25'

STANDARD SPACES: 9'x19'
 ACCESSIBLE SPACES: 12'x19' W/5' ADJACENT AISLE

BUILDINGS (ROOFED): 1.86 Ac. (17%)
 ONSITE PAVEMENT: 6.76 Ac. (62%)
 TOTAL IMPERVIOUS: 8.63 Ac. (78.5%) (INCLUDES ROOFED)
 TOTAL OPEN SPACE: 1.44 Ac. (13.1%)
 TOTAL POND AREAS: 0.92 Ac. (8.4%)

EXISTING SIGNS TO REMAIN. IF CHANGES ARE PROPOSED IN FUTURE, A SIGN PERMIT WILL BE REQUESTED

BUILDING AREAS:	EXISTING CONDITIONS (S.F.)		PROPOSED CONDITIONS (S.F.)	
	ROOFED	ENCLOSED	ROOFED	ENCLOSED
CHEVY SHOWROOM	18,955	12,961	18,955	12,961
CHEVY SERVICE	22,520	22,520	22,520	22,520
CHEVY BODY SHOP	21,082	13,551	21,082	13,551
DETAIL (CANOPY)	4,207	149	4,207	149 (OFFICE)
VOLVO	10,648	10,648	14,374	12,400
TOTAL	77,412	59,829	81,138	61,581
	16.2%	12.5%	17.0%	12.9%

PARKING REQUIREMENTS PER CODE 127.04:
 1 PER 500 SF (ENCLOSED FLOORSPACE)
 1 PER 4,500 SF (OPEN DISPLAY AREA)
 ADDITIONAL SPACES FOR SERVICE:
 2 PER BAY + 1 PER EMPLOYEE

PARKING REQUIRED:
 LOADING: 15'x35' TOTAL GFA 3 SPACES

CHEVY:
 SHOWROOM: 12,931 @ 1:500 = 26
 (+) 1:4500 DISPLAY = 6
 SERVICE: 16 BAY'S @ 3/BAY = 48

VOLVO:
 SHOWROOM: 12,400 @ 1:500 = 25
 (+) 1:4500 DISPLAY = 2
 SERVICE: 9 BAY'S @ 3/BAY = 27

BODY SHOP: 17 BAY'S @ 3/BAY = 51

TOTAL REQUIRED: 185

PARKING PROVIDED:
 CHEVY CUSTOMER: 51 (INCLUDES 3 ACCESSIBLE)
 CHEVY DISPLAY: 135
 CHEVY SERVICE: 56
 CHEVY STORAGE: 213
 EMPLOYEE: 75
 BODY SHOP: 68
 VOLVO CUSTOMER: 25 (INCLUDES 2 ACCESSIBLE)
 VOLVO DISPLAY: 44
 VOLVO SERVICE: 15

TOTAL PROVIDED: 682

— ADA ACCESSIBLE PATH

U.S. HIGHWAY NO. 19 (S.R. 55)
 WEST R/W LINE OF U.S. HIGHWAY NO. 19 (S.R. 55)

NO.	REVISIONS	DATE	BY	APPROVED BY
1	ISSUED FOR PERMIT	02/22/2021	MICHAEL KNIGHT	CHRIS MEDDLE
2				
3				
4				

OVERALL SITE PLAN

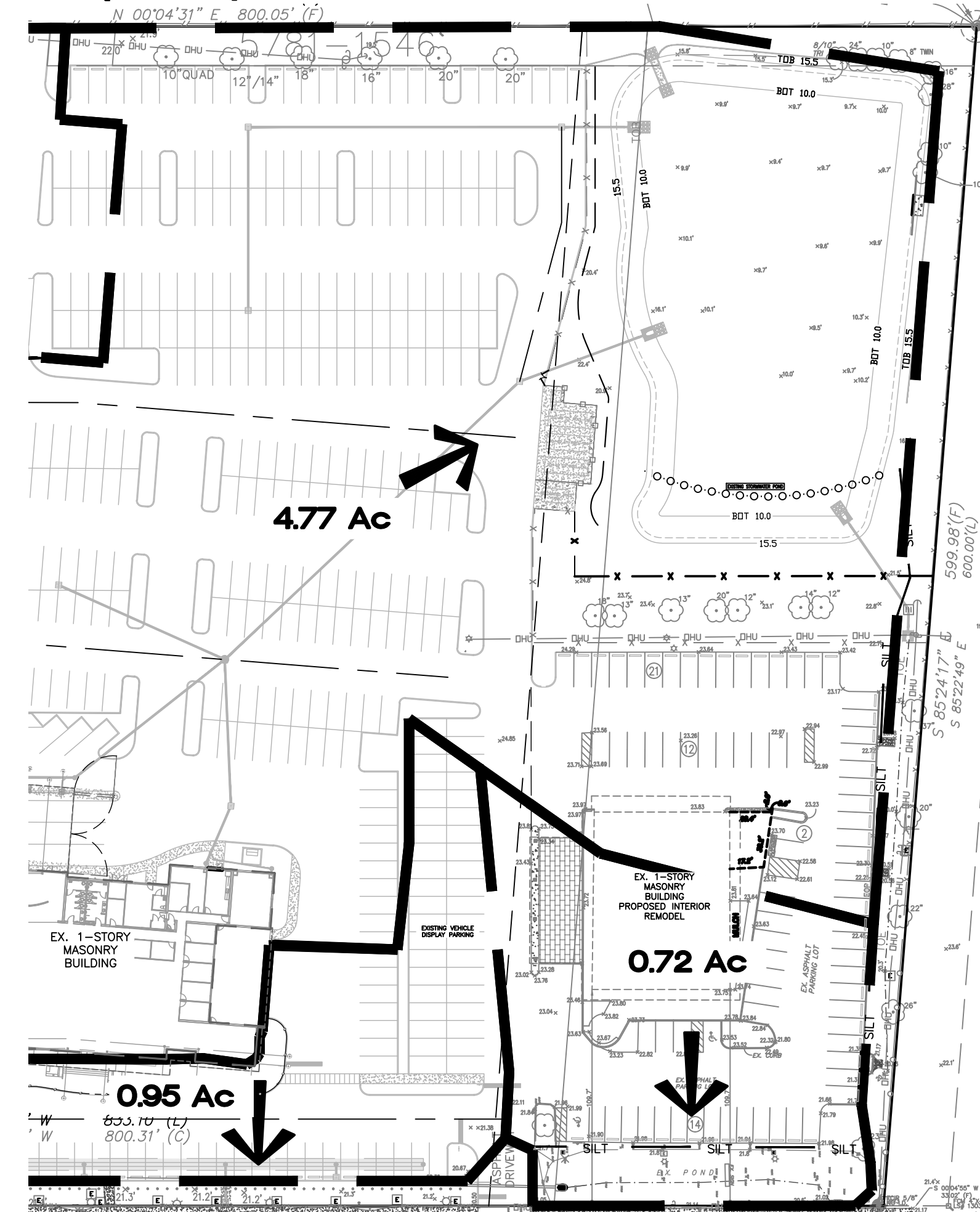
FERMAN VOLVO TARPON SPRINGS
 ISLAND CENTER CORP. INC.
 1100 W. WINDYBELL BL.
 TAMPA, FLORIDA 33606

AUTORA
 CIVIL ENGINEERING, INC.
 610 E. Morgan Street
 Brandon, FL 33510 (813)643-9907

This item has been digitally signed and sealed by the engineer, PE on the date adjacent to the seal.
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 CHRISTOPHER E. WOODLE, P.E.
 AURORA CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 00009993

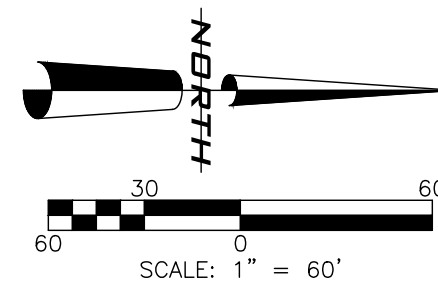
MASTER DRAINAGE PLAN

IS (2014)

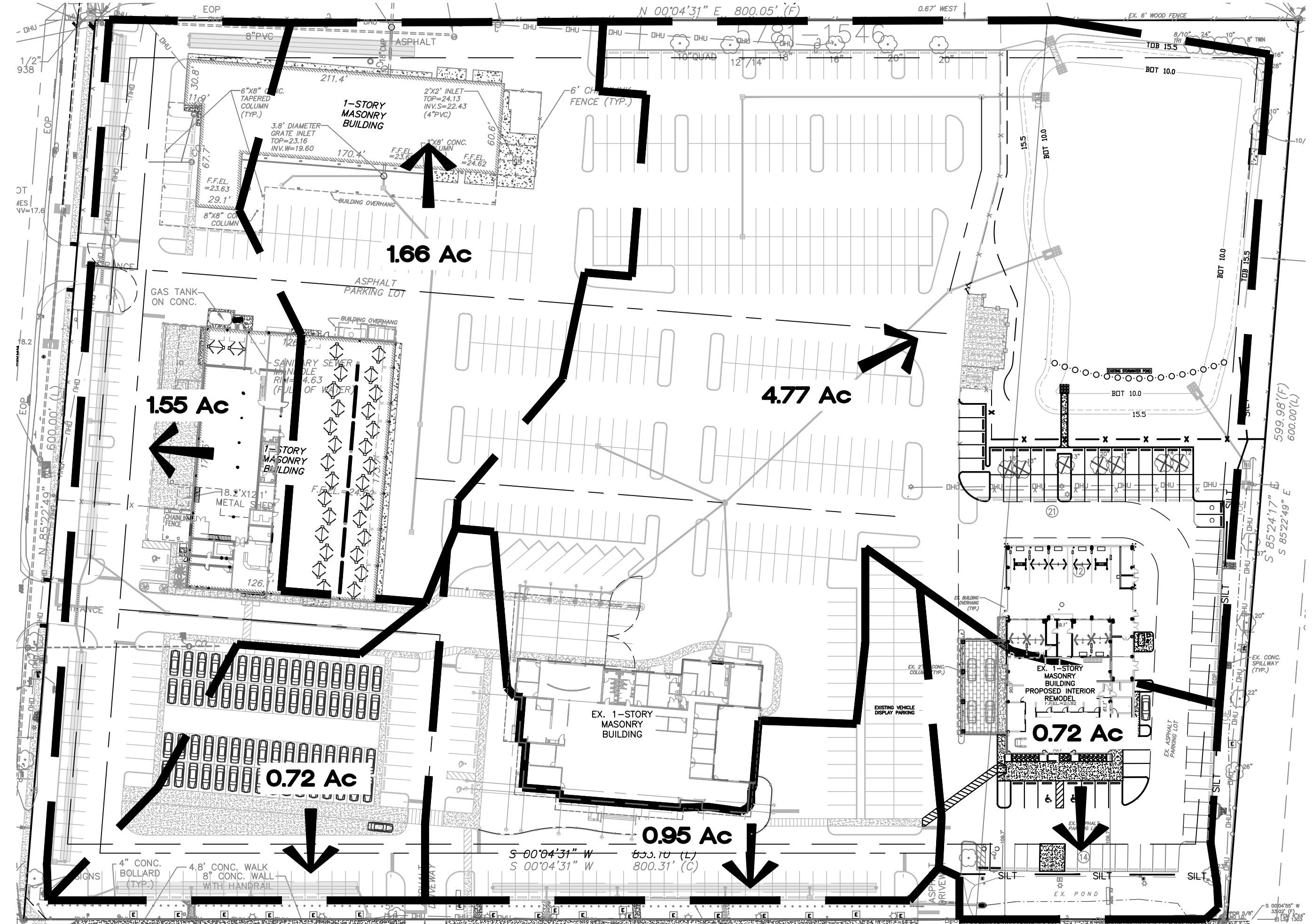


DEVELOPMENT AREAS:
(PROPOSED 2021 VOLVO SITE MODS)

ROOF:	1.84 Ac
DHW 14.4:	6.55 Ac
TOB:	0.77 Ac
TOB:	0.10 Ac
E:	1.73 Ac
TOTAL:	10.99 Ac



POST-DEVELOPMENT BASINS



POST DEVELOPMENT AREAS:
(PROPOSED 2021 VOLVO SITE MODS)

BUILDINGS (ROOF):	1.86 Ac
PAVEMENT:	6.76 Ac
NW POND @ DHW 14.4:	0.77 Ac
VOLVO POND @ TOB:	0.10 Ac
GREEN SPACE:	1.50 Ac
TOTAL:	10.99 Ac

LEGEND

	DRAINAGE BASIN LINE
	STORM PIPE
	EROSION CONTROL

MASTER DRAINAGE PLAN

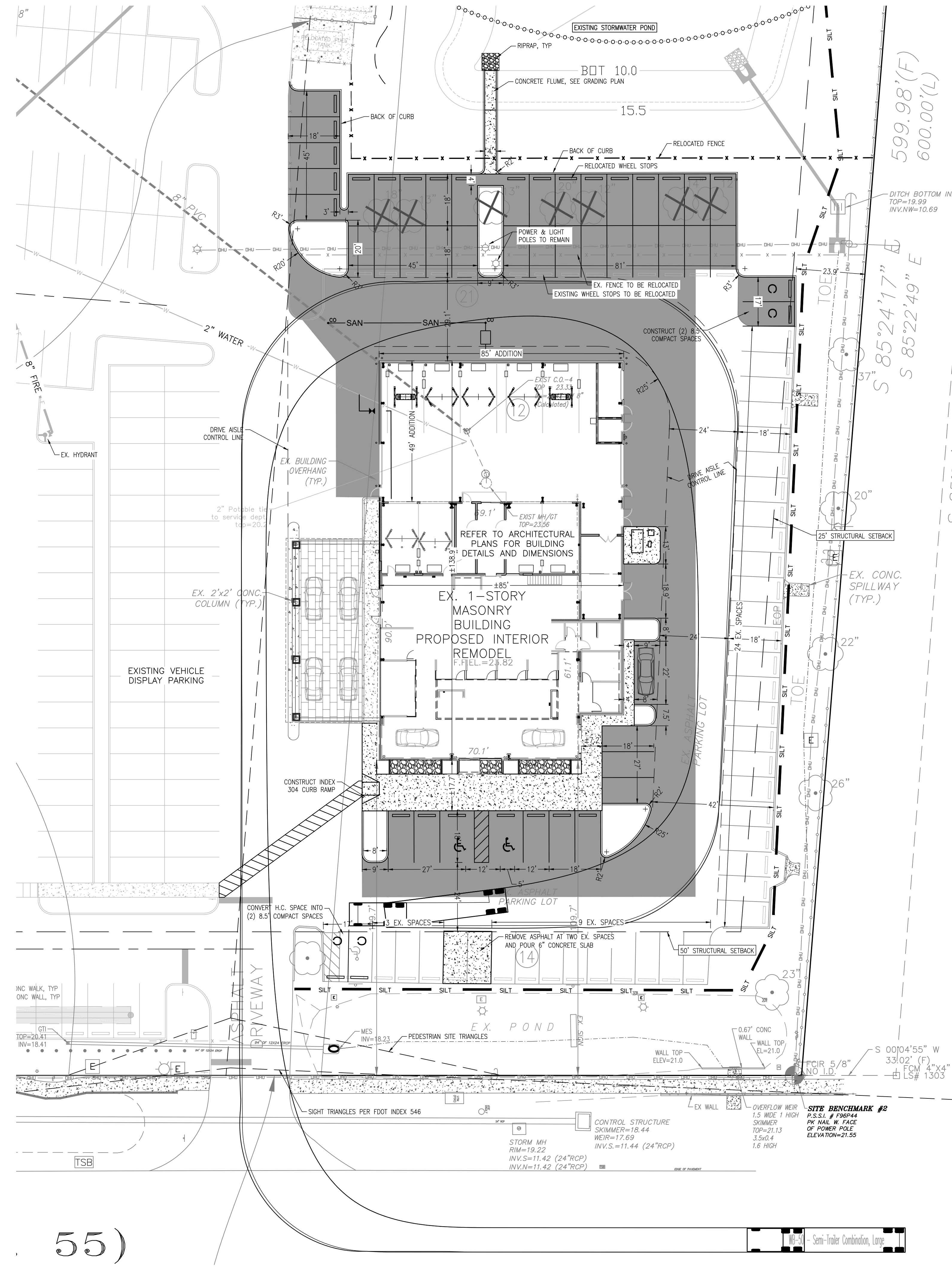
FERMAN VOLVO TARPON SPRINGS

AUTRORA
CIVIL ENGINEERING, INC.
610 E. Morgan Street
Brandon, FL 33510 (813)643-9907

ISLAND CENTER CORP. INC.
1100 N. W. 11th St.
TAMPA, FLORIDA 33606

DATE	DESCRIPTION	APPROVED BY	DATE
2-22-2021	REVISIONS	MICHAEL KNIGHT	19-188
		CHRIS WEDDLE	

This item has been digitally signed and the date adjacent to the seal.
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CHRISTOPHER E. WEDDLE, P.E.
AURORA CIVIL ENGINEERING, INC.
CERTIFICATE OF AUTHORIZATION NO. 00009993



N
HAREN

SCALE: 1" = 20'

LEGEND

- STORM PIPE
- SANITARY LINE
- WATER MAIN
- FIRE LINE
- POWER LINE
- SETBACK LINE
- EROSION CONTROL
- TREE BARRICADE
- STORM INLET
- MITERED END SECTION
- PROPERTY LINE
- SANITARY MANHOLE
- LIGHT POLE
- PROPOSED ELEVATION (TOP OF CURB / EOP)
- PROPOSED SLOPE

LIGHT-DUTY ASPHALT SECTION

CONCRETE

- GENERAL GEOMETRY NOTES:**
- DIMENSIONS AND RADII IN PAVEMENT AREAS WITHOUT CURBING ARE SHOWN TO THE EDGE OF PAVEMENT. DIMENSIONS AND RADII IN PAVEMENT AREAS WITH CURBING ARE SHOWN TO THE FACE OF CURB. FACE OF CURB OR EDGE OF PAVEMENT RADII ARE 3' UNLESS NOTED OTHERWISE.
 - STORMWATER POND DIMENSIONS ARE SHOWN TO THE INSIDE TOP OF BANK.
 - STORMWATER STRUCTURE AND PIPE DIMENSIONS ARE CALCULATED AND SHOWN TO THE C/L OF STRUCTURES. MITERED END SECTION LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD ADJUST PIPE LENGTHS IF NEEDED TO ENSURE THE MITERED ENDS FIT THE SIDE SLOPES. PIPE LENGTHS SHOWN DO NOT INCLUDE THE LENGTH OF THE MITERED END SECTION.
 - ALL DISTURBED AREAS WITHIN ANY RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 - ANY MATERIALS REMOVED FROM THE SITE DURING CONSTRUCTION SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE OWNER.
 - BUILDING DIMENSIONS AND TIES SHOWN ARE TO THE FACE OF BUILDING BASED ON THE INFORMATION PROVIDED BY THE ARCHITECT. COORDINATE AND VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
 - DUMPSTER ENCLOSURES SHALL BE 6' HIGH AND CONSTRUCTED OF THE SAME MATERIAL AS BUILDING FRONTS WITH SOLID GATES THAT CAN BE LOCKED OPEN.
 - ALL SIGNS AND PAVEMENT MARKING TO CONFORM TO MUTCD LATEST EDITION.
 - ALL STRIPING AND PAVEMENT MARKING TO BE PAINT.
 - SIDEWALK CURB RAMPS TO BE IN ACCORDANCE WITH CR21 FOOT INDEX 304 WITH RED TRUNCATED DOMES (TYPICAL)

EROSION CONTROL:
SILT FENCE TO BE INSTALLED ALONG THE ENTIRE PROPERTY BOUNDARY AND SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION.

NO.	REVISIONS	DATE	BY	CHKD BY
1	ISSUED FOR PERMITS	2-22-2021	MICHAEL KNIGHT	CHRIS WEDDLE
2				
3				
4				
5				

DESIGNER: MICHAEL KNIGHT
CHECKED BY: CHRIS WEDDLE
DATE: 2-22-2021
JOB NO.: 19-188

HORIZONTAL CONTROL PLAN

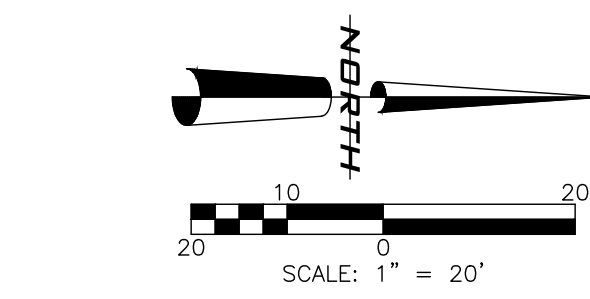
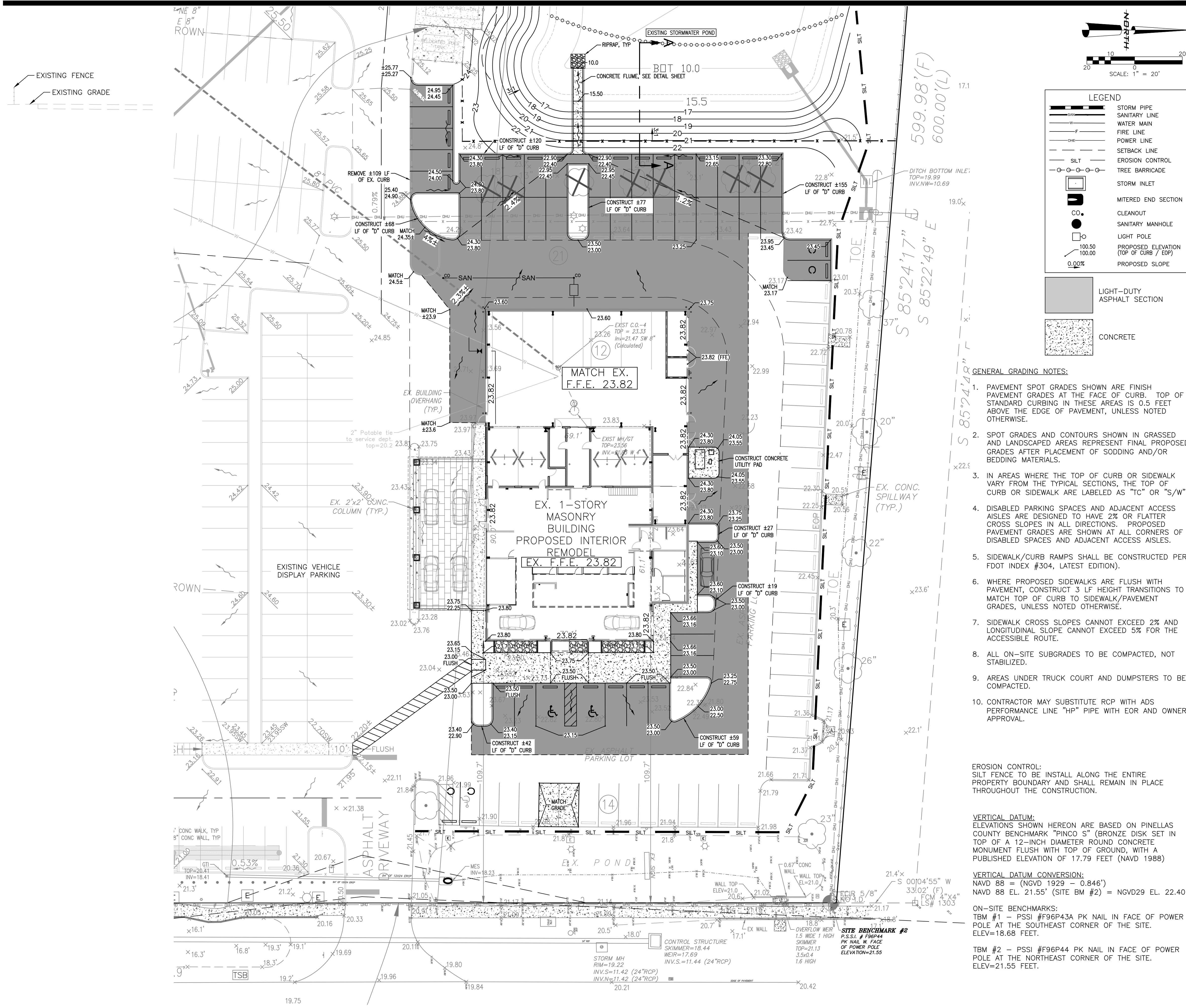
FERMAN VOLVO TARPON SPRINGS

AUTRORA
CIVIL ENGINEERING, INC.
610 E. Morgan Street Brandon, FL 33510 (813)643-9907

This item has been digitally signed and sealed. The date adjacent to the seal is the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the electronic copy shall be verified on any electronic copy.
CHRISTOPHER E. WEDDLE, P.E.
AUBURN, AL, ENGINEER NO. 35009
CERTIFICATE OF AUTHORIZATION NO. 0000999

55)

18'-0" Semi-Trailer Combination, Large



LEGEND

	STORM PIPE
	SANITARY LINE
	WATER MAIN
	FIRE LINE
	POWER LINE
	SETBACK LINE
	EROSION CONTROL
	TREE BARRICADE
	STORM INLET
	MITERED END SECTION
	CLEANOUT
	SANITARY MANHOLE
	LIGHT POLE
	PROPOSED ELEVATION (TOP OF CURB / EOP)
	PROPOSED SLOPE
	LIGHT-DUTY ASPHALT SECTION
	CONCRETE

- GENERAL GRADING NOTES:**
- PAVEMENT SPOT GRADES SHOWN ARE FINISH PAVEMENT GRADES AT THE FACE OF CURB. TOP OF STANDARD CURBING IN THESE AREAS IS 0.5 FEET ABOVE THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 - SPOT GRADES AND CONTOURS SHOWN IN GRASSED AND LANDSCAPED AREAS REPRESENT FINAL PROPOSED GRADES AFTER PLACEMENT OF SODDING AND/OR BEDDING MATERIALS.
 - IN AREAS WHERE THE TOP OF CURB OR SIDEWALK VARY FROM THE TYPICAL SECTIONS, THE TOP OF CURB OR SIDEWALK ARE LABELED AS "TC" OR "S/W".
 - DISABLED PARKING SPACES AND ADJACENT ACCESS AISLES ARE DESIGNED TO HAVE 2% OR FLATTER CROSS SLOPES IN ALL DIRECTIONS. PROPOSED PAVEMENT GRADES ARE SHOWN AT ALL CORNERS OF DISABLED SPACES AND ADJACENT ACCESS AISLES.
 - SIDEWALK/CURB RAMPS SHALL BE CONSTRUCTED PER FDOT INDEX #504, LATEST EDITION).
 - WHERE PROPOSED SIDEWALKS ARE FLUSH WITH PAVEMENT, CONSTRUCT 3 LF HEIGHT TRANSITIONS TO MATCH TOP OF CURB TO SIDEWALK/PAVEMENT GRADES, UNLESS NOTED OTHERWISE.
 - SIDEWALK CROSS SLOPES CANNOT EXCEED 2% AND LONGITUDINAL SLOPE CANNOT EXCEED 5% FOR THE ACCESSIBLE ROUTE.
 - ALL ON-SITE SUBGRADES TO BE COMPACTED, NOT STABILIZED.
 - AREAS UNDER TRUCK COURT AND DUMPSTERS TO BE COMPACTED.
 - CONTRACTOR MAY SUBSTITUTE RCP WITH ADS PERFORMANCE LINE "HP" PIPE WITH EOR AND OWNER APPROVAL.

EROSION CONTROL:
SILT FENCE TO BE INSTALLED ALONG THE ENTIRE PROPERTY BOUNDARY AND SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION.

VERTICAL DATUM:
ELEVATIONS SHOWN HEREON ARE BASED ON PINELLAS COUNTY BENCHMARK "PINCO S" (BRONZE DISK SET IN TOP OF A 12-INCH DIAMETER ROUND CONCRETE MONUMENT FLUSH WITH TOP OF GROUND, WITH A PUBLISHED ELEVATION OF 17.79 FEET (NAVD 1988)

VERTICAL DATUM CONVERSION:
NAVD 88 = (NGVD 1929 - 0.846')
NAVD 88 EL. 21.55' (SITE BM #2) = NGVD29 EL. 22.40'

ON-SITE BENCHMARKS:
TBM #1 - PSSI #F96P43A PK NAIL IN FACE OF POWER POLE AT THE SOUTHEAST CORNER OF THE SITE. ELEV=18.68 FEET.
TBM #2 - PSSI #F96P44 PK NAIL IN FACE OF POWER POLE AT THE NORTHEAST CORNER OF THE SITE. ELEV=21.55 FEET.

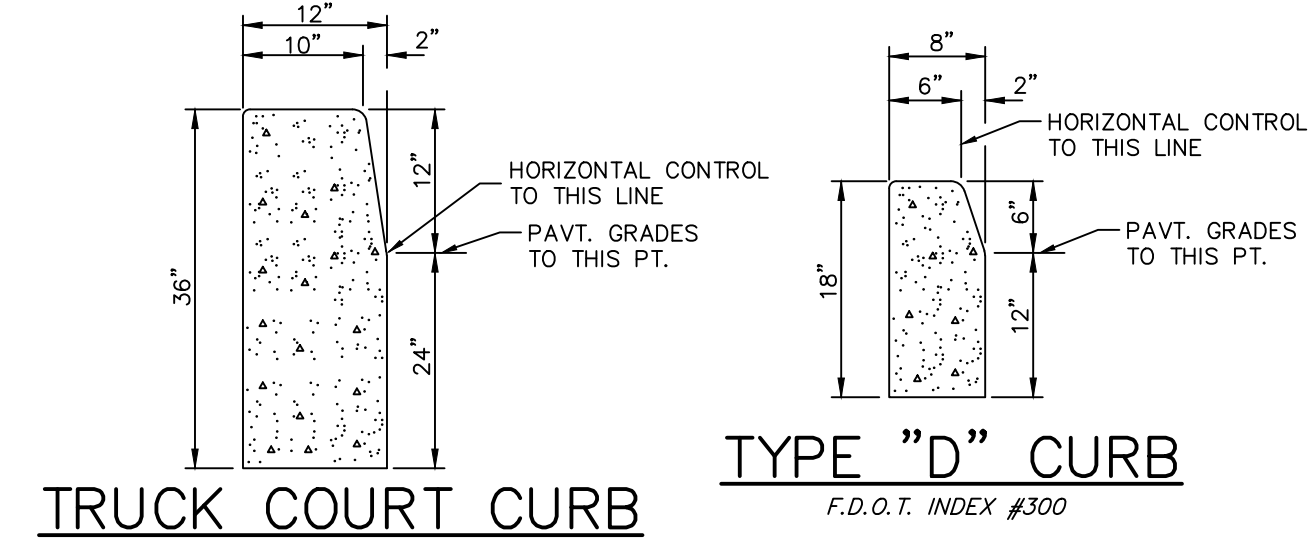
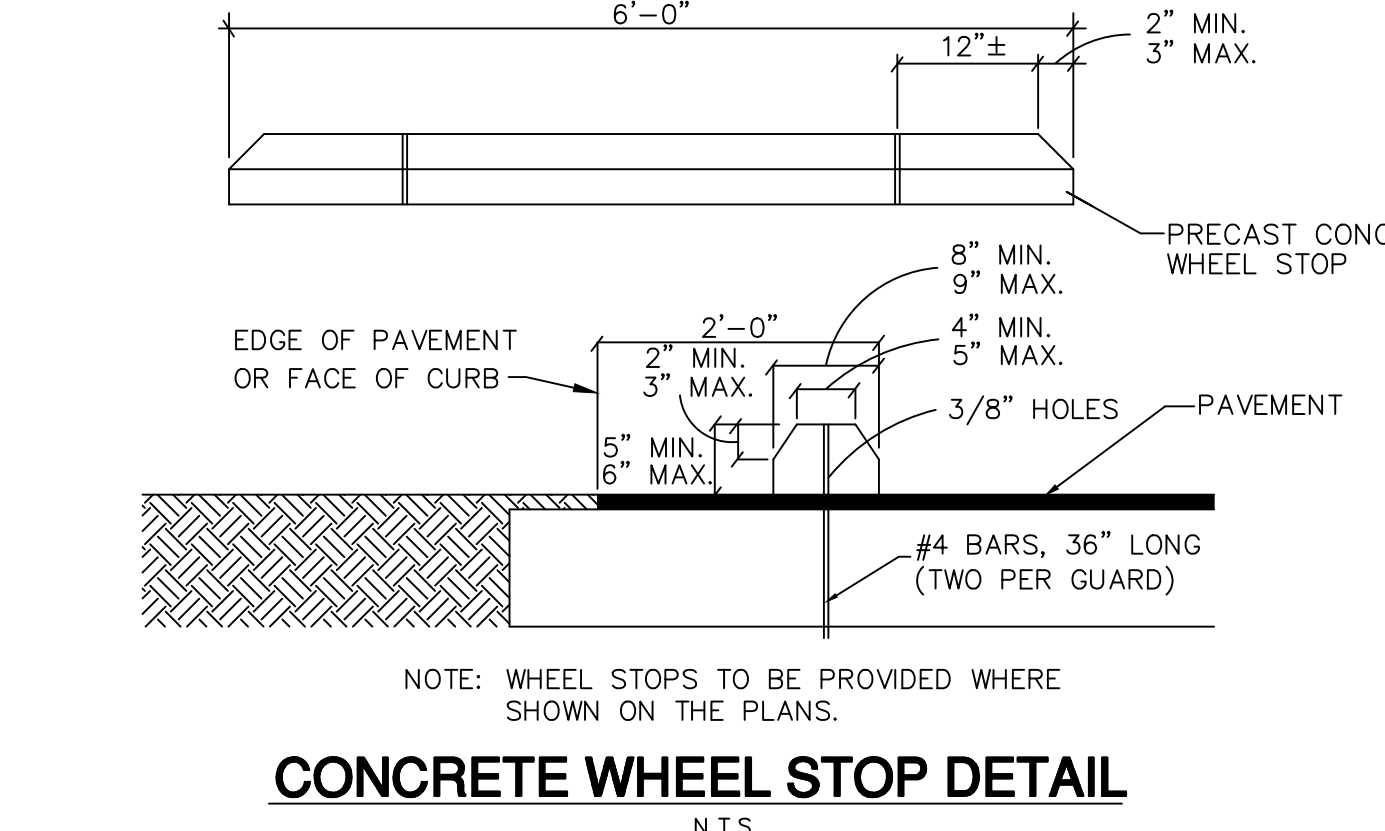
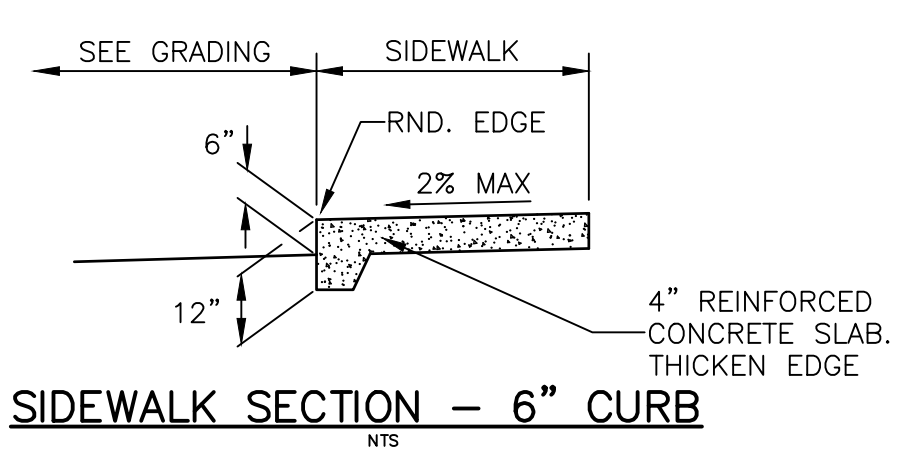
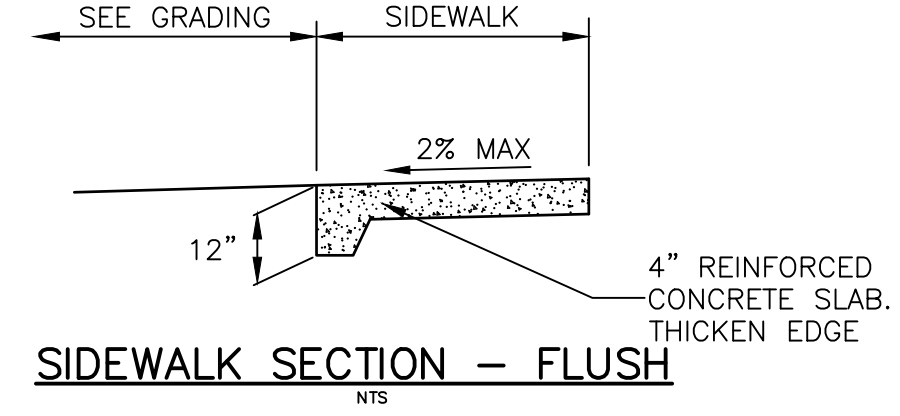
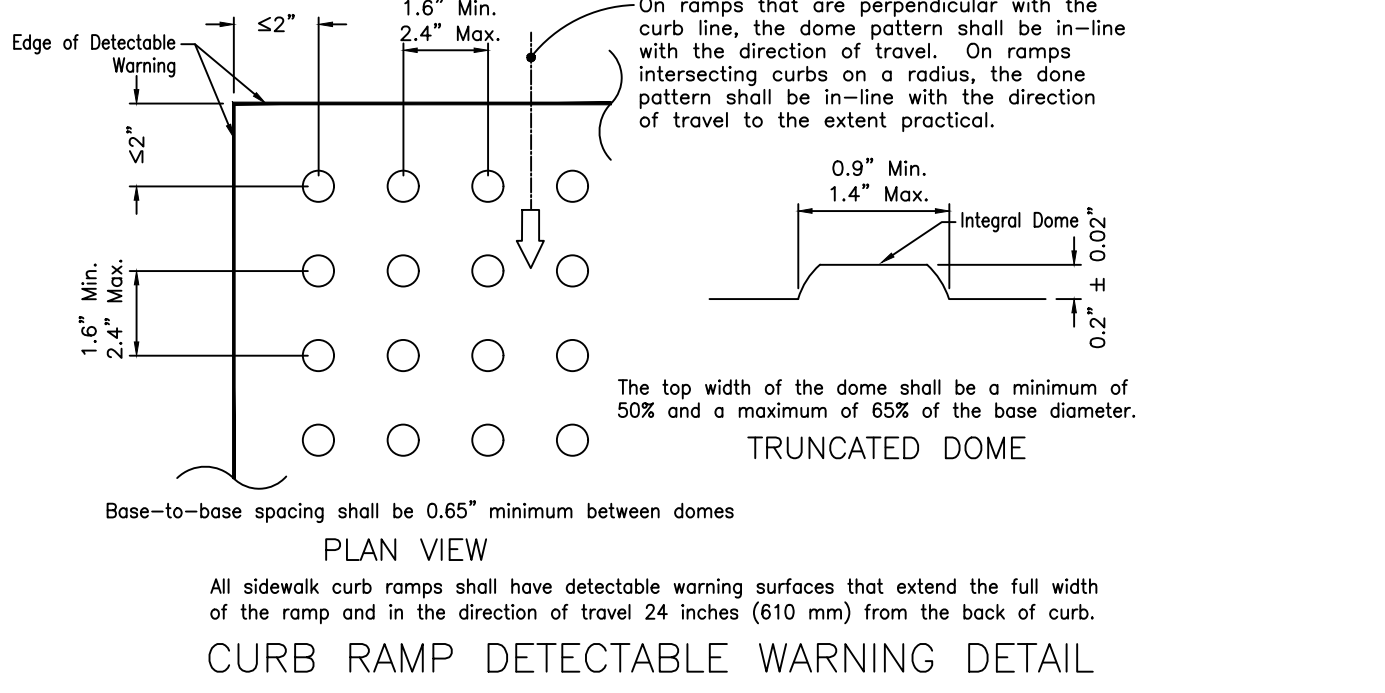
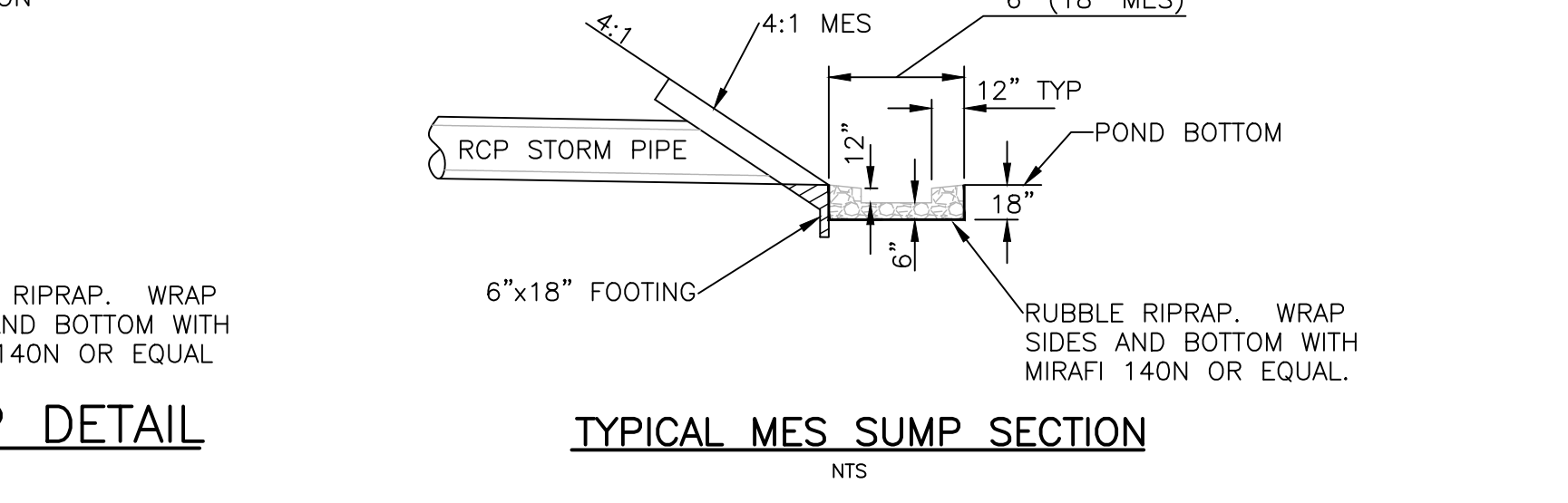
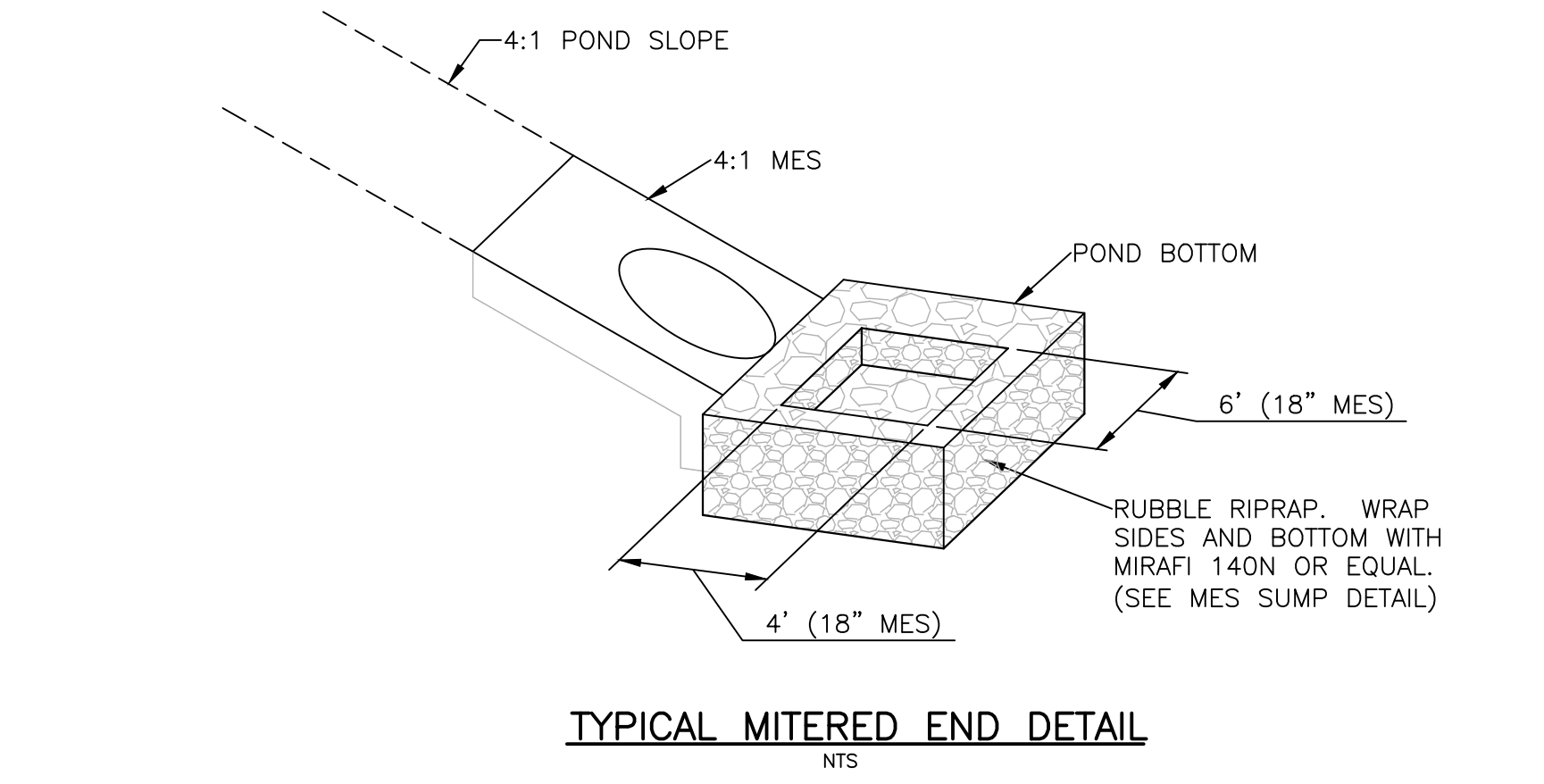
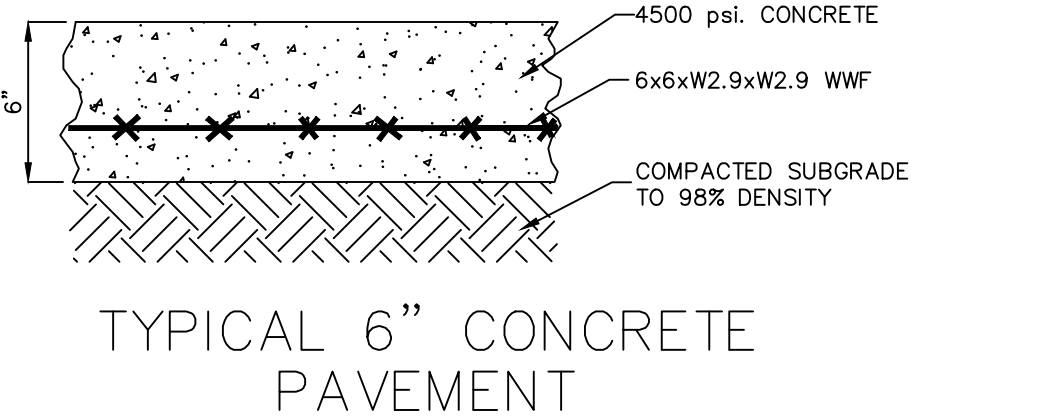
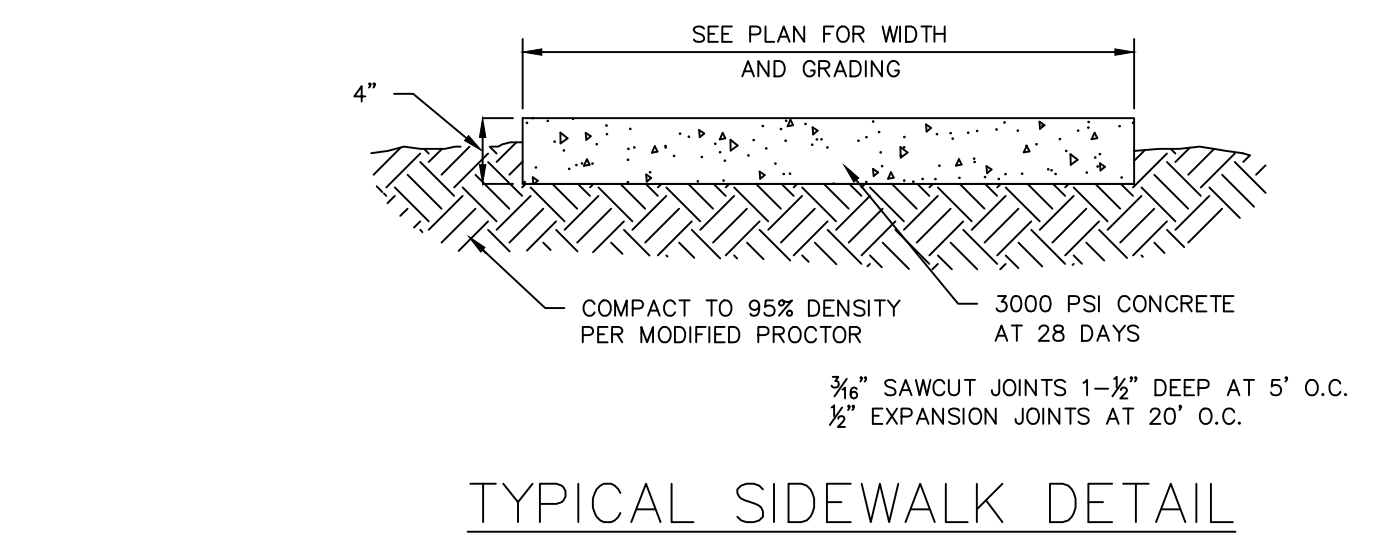
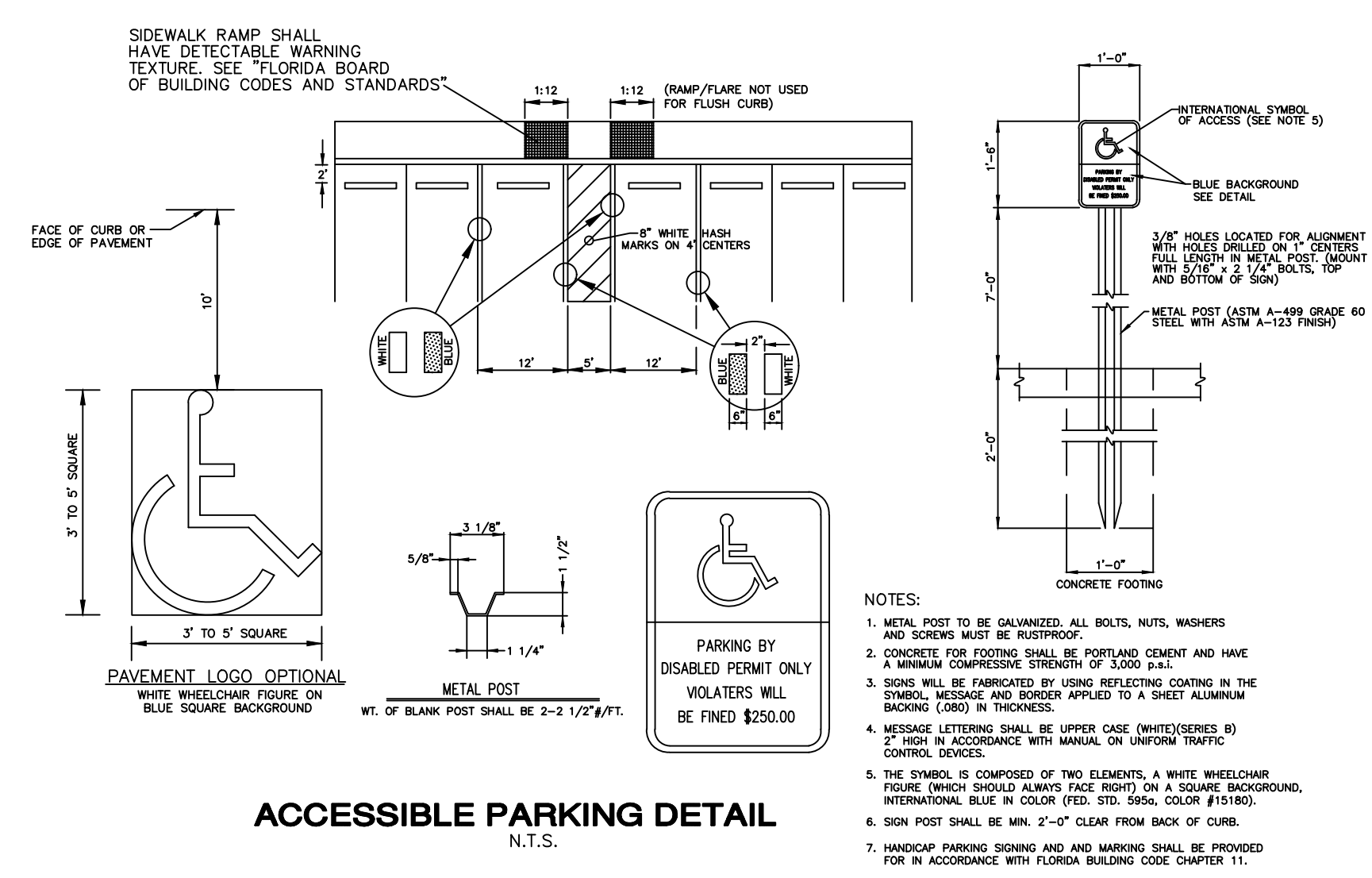
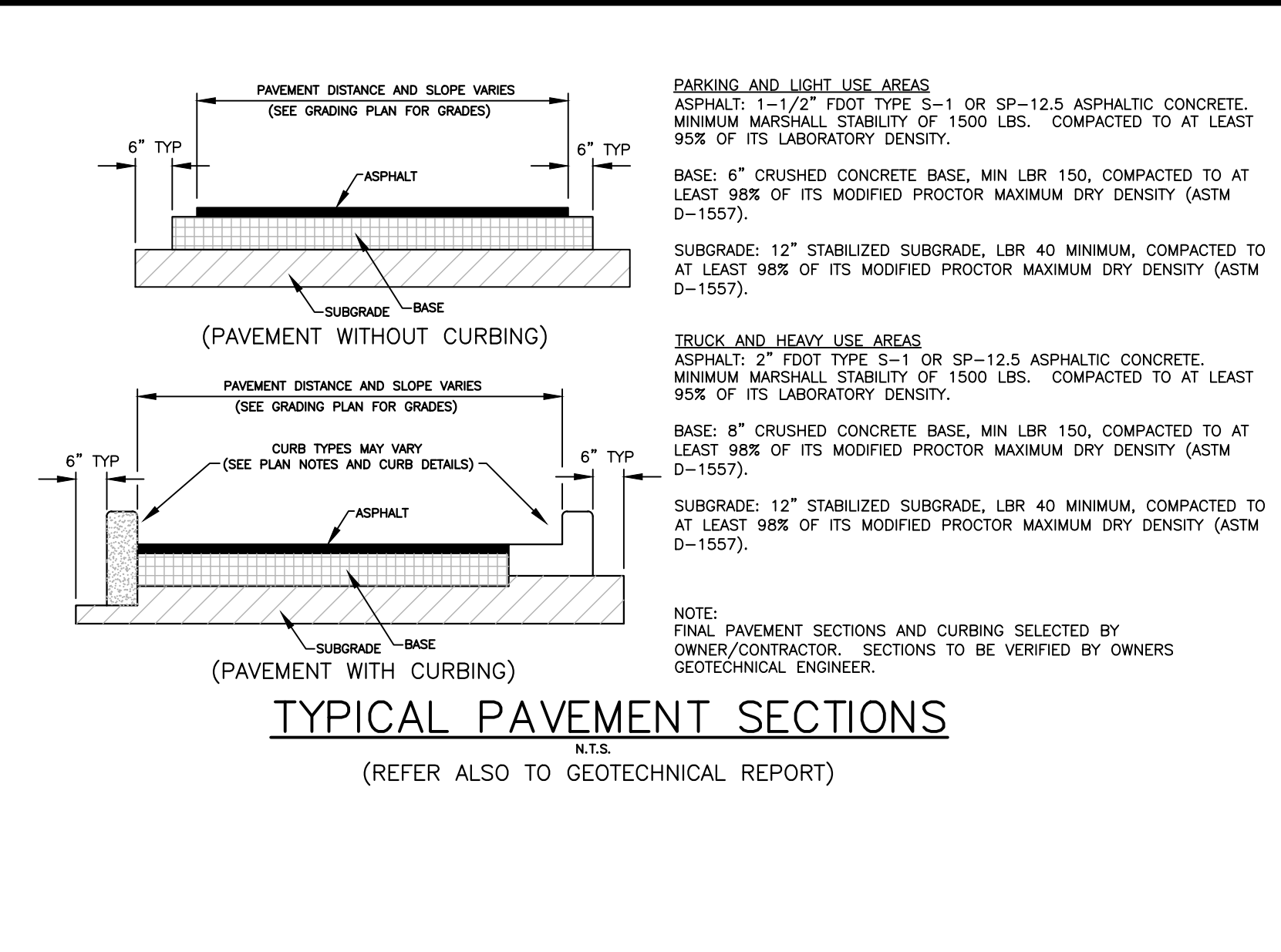
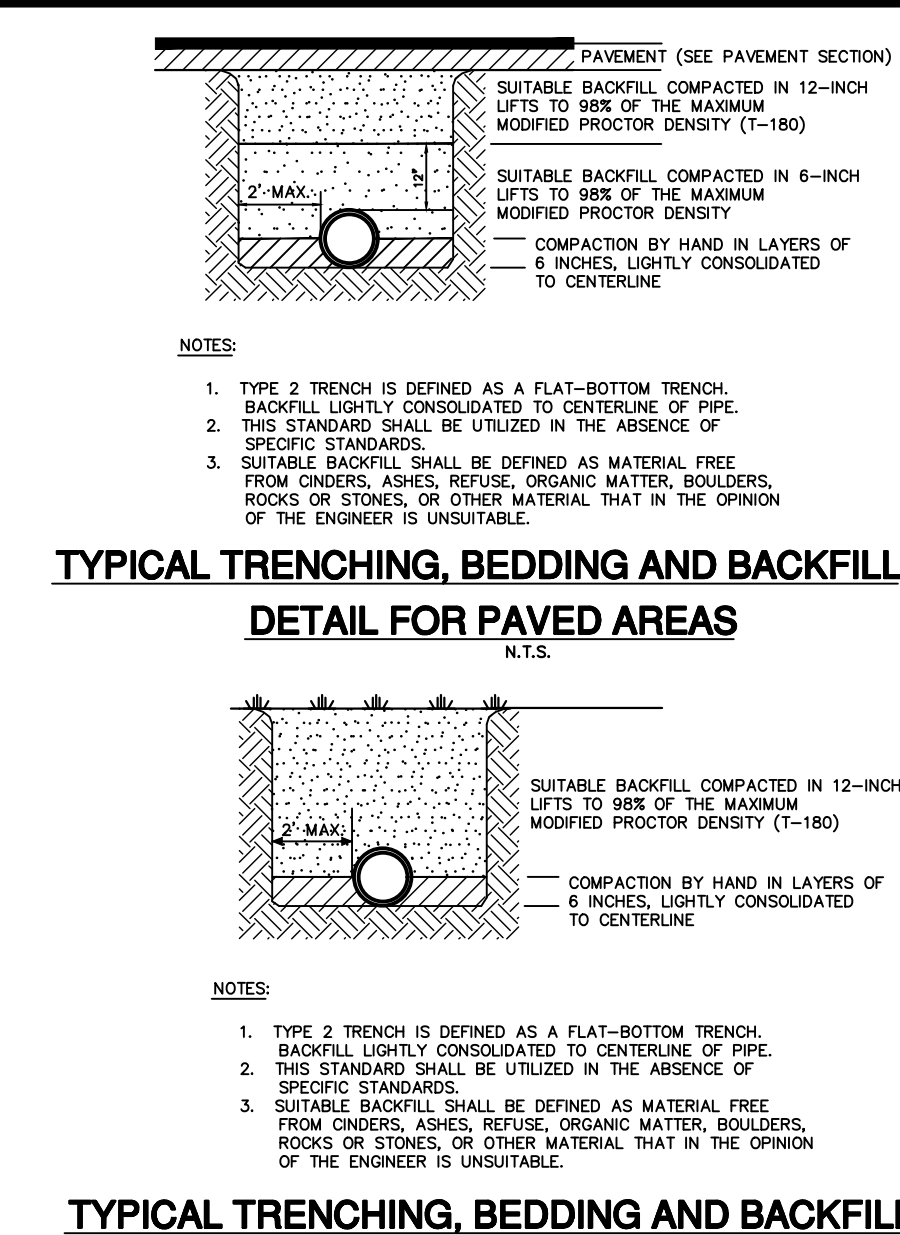
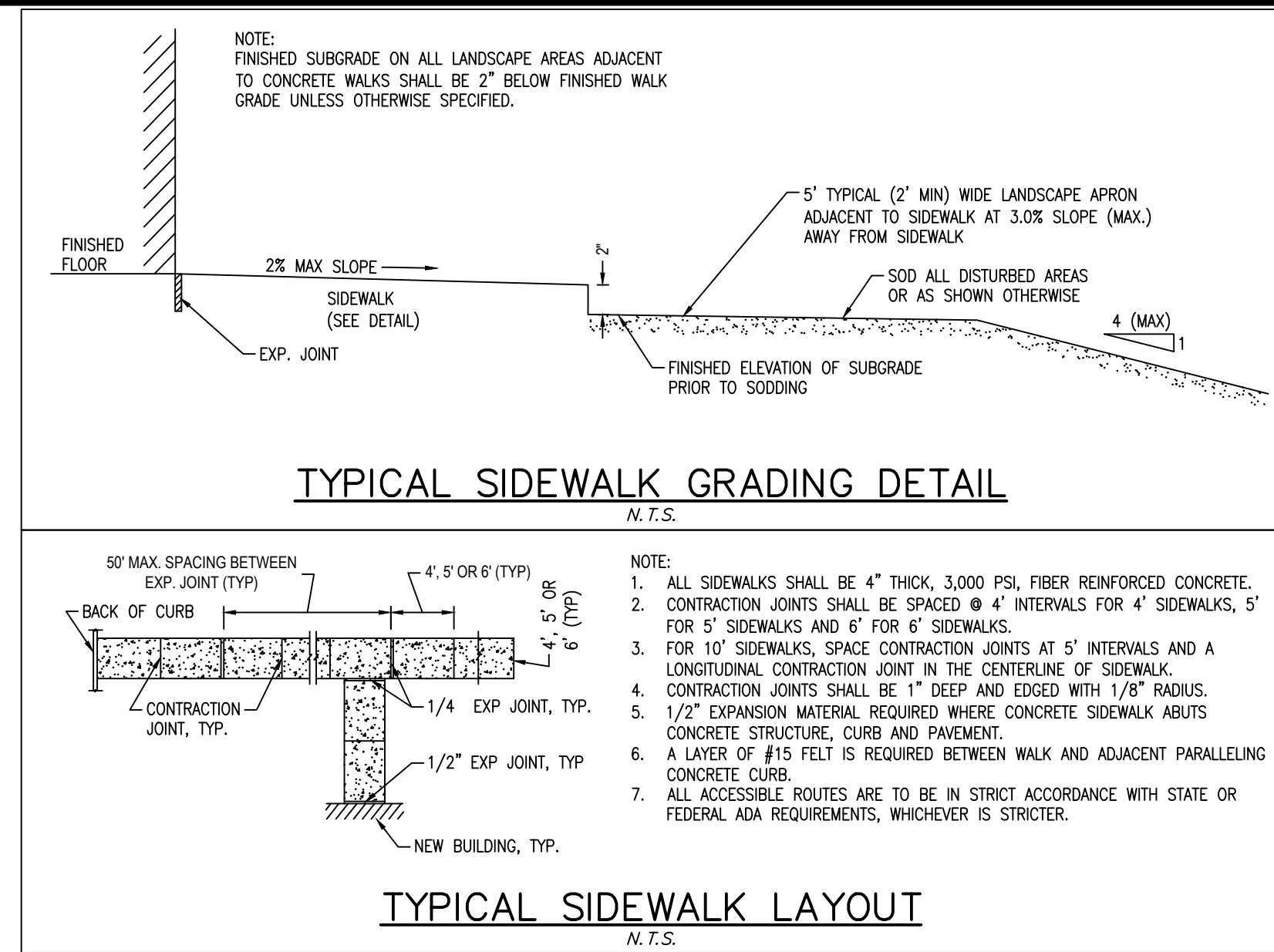
NO.	DATE	DESCRIPTION	BY	CHECKED BY
1	2-22-2021	ISSUED FOR PERMITS	MICHAEL KNIGHT	CHRISTOPHER E. WOODLE
2				
3				
4				
5				

PAVING, GRADING & DRAINAGE PLAN

FERMAN VOLVO TARPON SPRINGS
ISLAND CENTER CORP. INC.
1 W. W. WOODS BLVD.
TAMPA, FLORIDA 33606

AUTRORA
CIVIL ENGINEERING, INC.
610 E. Morgan Street
Brandon, FL 33510 (813)643-9907

CHRISTOPHER E. WOODLE, P.E.
REGISTERED PROFESSIONAL ENGINEER
NO. 12583
FLORIDA
CERTIFICATE OF AUTHORIZATION NO. 0000099



LEVATION

JBBLE RIPRAP. WRAP DES AND BOTTOM WITH IRAFI 140N OR EQUAL

RAP DETAIL

REVISIONS

NO.	DATE	DESCRIPTION
1	2-22-2021	ISSUED BY: CAROL WEDDLE
2		DRAWN BY: MICHAEL KNIGHT
3		CHECKED BY: CAROL WEDDLE
4		
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8		
9		
10		

ISLAND CENTER CORP. INC.
1 W. W. WOODWARD BL.
TAMPA, FLORIDA 33606

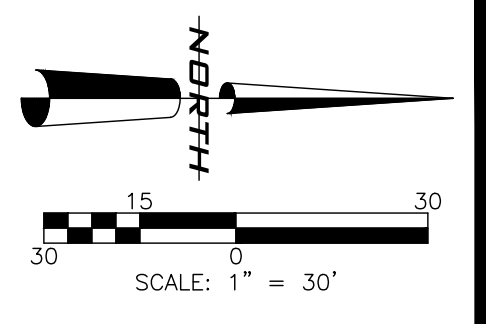
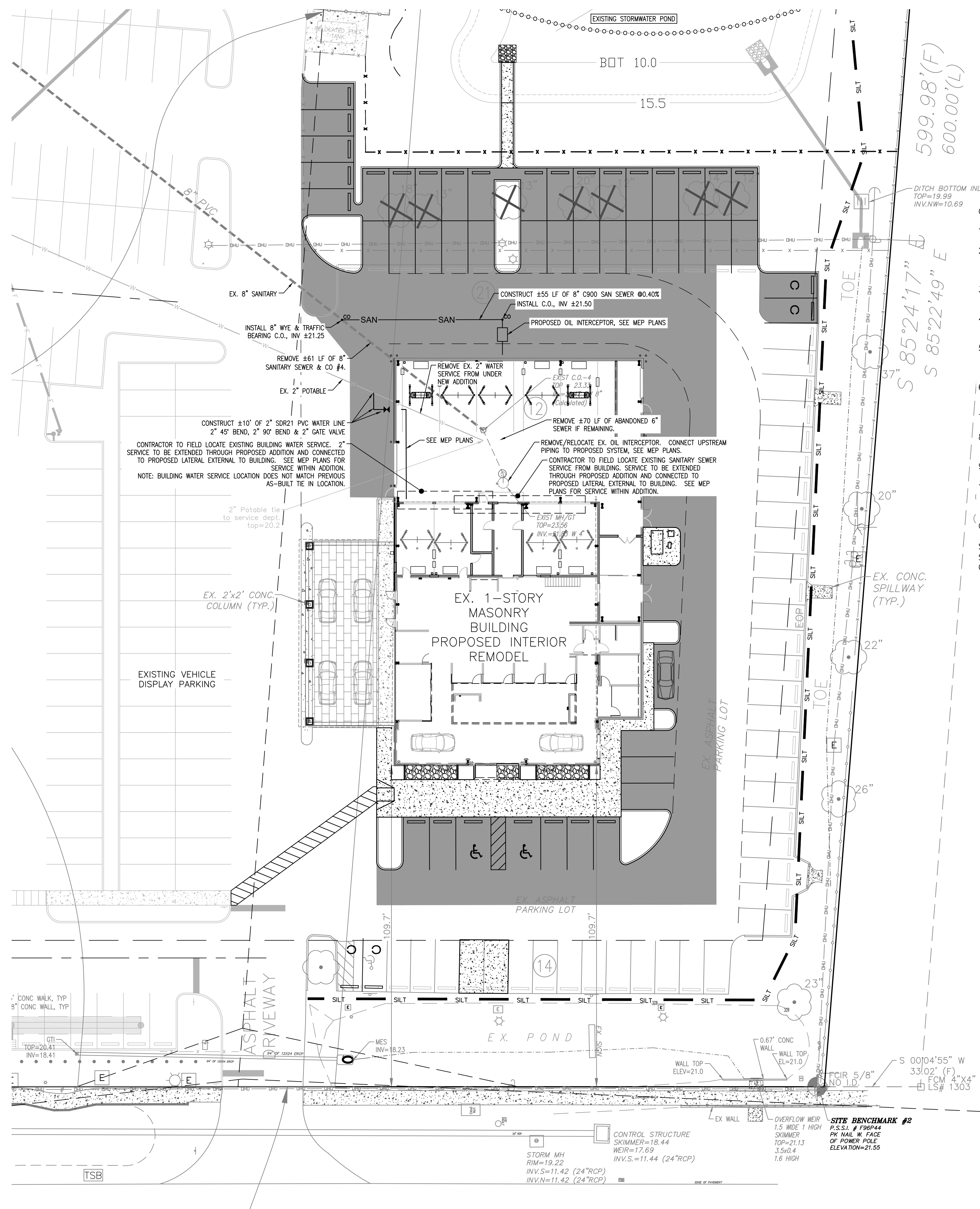
FERMAN VOLVO TARPON SPRINGS

AUTORA CIVIL ENGINEERING, INC.
610 E. Morgan Street Brandon, FL 33510 (813)643-9907

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CHRISTOPHER E. WOODLE, P.E.
ARCHITECT/ENGINEER
FLORIDA REGISTRATION NO. 00000990

C-7



REVISIONS	DATE	BY	DESCRIPTION
1	2-22-2021	MICHAEL KNIGHT	ISSUED FOR PERMITS
2			
3			
4			
5			

DRAWN BY: MICHAEL KNIGHT
 CHECKED BY: CAROL WEDDLE
 PROJECT NO.: 19-168

- GENERAL NOTES:**
- EXISTING UTILITY INFORMATION PROVIDED BY SURVEY.
 - ALL DISTURBED AREAS WITHIN ANY RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITIONS PRIOR TO CONSTRUCTION. DISTURBED AREAS TO BE SODDED.
 - ANY MATERIALS REMOVED FROM THE SITE DURING CONSTRUCTION SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE OWNER.
 - RESTORE ANY DISTURBED AREAS ON-SITE TO EXISTING CONDITIONS. THIS INCLUDES WALKS, LANDSCAPING & IRRIGATION, UTILITIES, ETC.
 - CONFIRM, LOCATE AND PROTECT ALL EXISTING ABOVE AND BELOW GRADE UTILITIES IN THE PROJECT AREA. ADVISE ENGINEER & OWNER OF ANY CONFLICTS OR DISCREPANCIES.
 - CONTRACTOR SHALL INSTALL & MAINTAIN ALL SILT FENCE FOR THE INSTALLATION OF WATER AND SEWER LINES.
 - ALL PROPOSED LINES TO HAVE A MINIMUM OF 36" COVER.
 - THE BACKFLOW PREVENTION DEVICE IS TO COMPLY WITH CITY OF PLANT CITY TECHNICAL SERVICE MANUAL.
 - MAXIMUM PRESSURE DROP OF 5 PSI FOR THE BACKFLOW PREVENTER.
 - ROOT PRUNE ALL EXISTING TREES ALONG WATERLINE ROUTE(S), OUTSIDE OF DRIPLINE.
- GAS MAINS:**
- SHOULD A GAS MAIN BE DETERMINED TO EXIST (FIELD LOCATED) THEN THE MINIMUM SEPARATION BETWEEN THE GAS MAIN AND PROPOSED WATER MAIN SHALL BE 18". CONTRACTOR SHALL NOTIFY ENGINEER ACCORDINGLY.

CALL 48 HOURS BEFORE YOU DIG
It's the Law!
 1-800-432-4770



SUNSHINE STATE ONE CALL OF FLORIDA, INC.

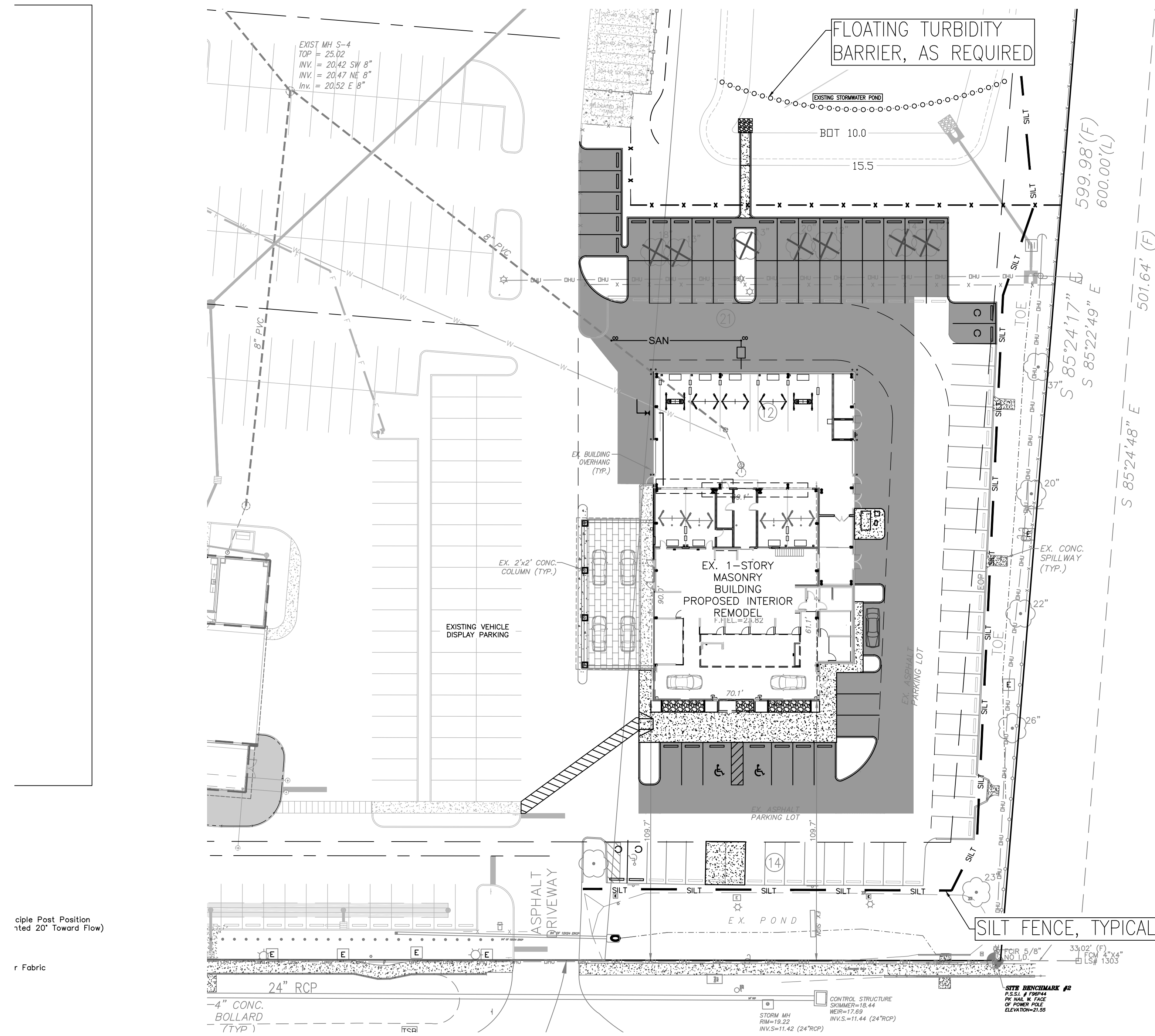
UTILITY PLAN

FERMAN VOLVO TARPON SPRINGS
 ISLAND CENTER CORP. INC.
 1200 N. W. 11TH STREET
 TAMPA, FLORIDA 33606



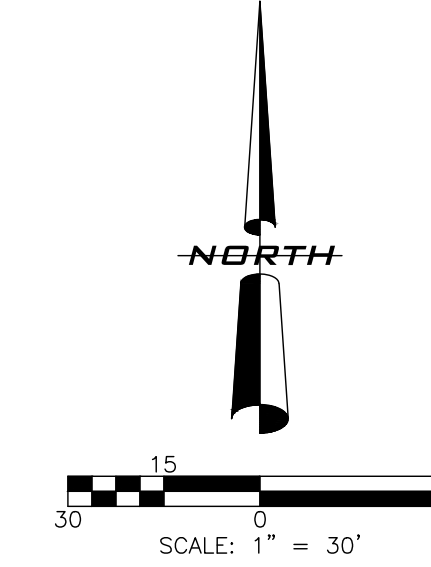
610 E. Morgan Street
 Brandon, FL 33510 (813)643-9907
 CHRISTOPHER E. WEDDLE, P.E.
 AURORA CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 0008999

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 CHRISTOPHER E. WEDDLE, P.E.
 AURORA CIVIL ENGINEERING, INC.



LEGEND

	STORM PIPE
	SANITARY LINE
	WATER MAIN
	FIRE LINE
	POWER LINE
	SETBACK LINE
	EROSION CONTROL
	TREE BARRICADE
	STORM INLET
	MITERED END SECTION



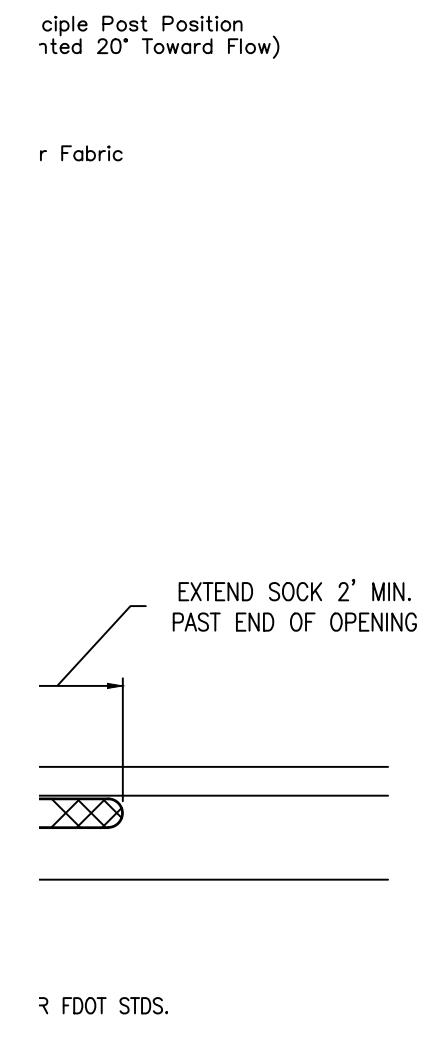
NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	ISSUED FOR PERMITS	02/22/2021	MICHAEL KNIGHT	CARIS WEDDLE
2	REVISION			
3				
4				
5				

APPROVED BY: CARIS WEDDLE
 DATE: 02/22/2021
 PROJECT NO.: 19-168

- STORMWATER POLLUTION PREVENTION NOTES:**
- This plan shall be available on-site at all times during the sitework construction.
 - The "Limits of Disturbance" line shown on this plan indicates the point beyond which the existing vegetation should be impacted.
 - Stormwater Pollution Prevention measures shown herein are the minimum required. Contractor shall be fully responsible for erecting and maintaining an erosion and sediment control system to meet Hillsborough County, South West Florida water Management District, and FDEP NPDES requirements.
 - Each area of the site shall not be disturbed until it is necessary for construction to proceed. Disturbed areas shall be covered or stabilized as soon as possible.
 - Erosion and sediment control measures shall be maintained until the area they protect has been sodded, pavement has been placed, or the area is otherwise completely stabilized.
 - All disturbed areas of the site shall be inspected by qualified personnel of the responsible contractor every seven calendar days and within 24 hours after every rainfall event of 0.25 inches or more to assess the integrity of the erosion and sediment controls. The inspector shall note any damage or deficiencies in the control measures in an inspection report. Problem areas shall be corrected by the responsible contractor within seven calendar days following the inspection.
 - The contractor shall keep a record of construction activities including dates when major grading activities occur in a particular area, date when construction activities cease in an area, whether temporary or permanent, and dates when area is stabilized.
 - If a change in construction schedule occurs or this plan proves, through regular inspections, to be lacking, Aurora Civil Engineering, Inc. Shall be notified so that plan modifications can be made.
 - No excavated material shall be stockpiled in such a manner as to allow rainfall runoff directly from the project site.
 - Inlets and catch basins shall be protected from sediment-laden stormwater runoff until the completion of all construction operations that may contribute sediment to the inlet.
 - If, after fourteen days, grassed areas have not attained a minimum of 75% good grass cover, those areas shall be reworked, and additional seed or sod applied to establish the desired vegetative cover.
 - For wet stormwater ponds, the pond slopes shall be solid sodded to the normal control elevation.
 - All exposed areas within public rights-of-way shall be solid sodded. Other non-pond areas with slopes steeper than 4:1 shall be sodded and staked as necessary.
 - Turf reinforcement mats shall be installed where stormwater pipes outfall at grade or in spreader swales.
 - If construction occurs along a water body, turbidity barrier shall be installed in accordance with FDOT Index 103.
 - A Notice of Termination from the NPDES Construction General Permit shall be submitted to the FDEP NPDES Stormwater Notices Center within 14 days of the date when all areas of the site not otherwise covered by a permanent pavement or structure have been stabilized with a uniform perennial vegetative cover with a density of 70% or greater.

- DESIGN CRITERIA:**
- A stabilized construction entrance (SCE) is appropriate in the following locations:
 - Whenever vehicles are leaving a construction site and enter onto a public road.
 - At any unpaved entrance/exit location where there is a risk of transporting mud or sediment onto paved road.
 - The width should be at least 10 feet to 12 feet or as wide as the entire width of access. At sites where traffic volume is high, the entrance should be wide enough for two vehicles to pass safely.
 - Runoff from a stabilized construction entrance should drain to a sediment trap or sediment basin.
 - Prior to placing geotextile (filter fabric) make sure that the entrance is properly graded and compacted.
 - Inspect the stabilized construction entrance on a regular basis and after there has been a high volume of traffic or storm event. Apply additional stone periodically and when repair is required.
 - Immediately remove sediments or any other materials tracked onto the public roadway.

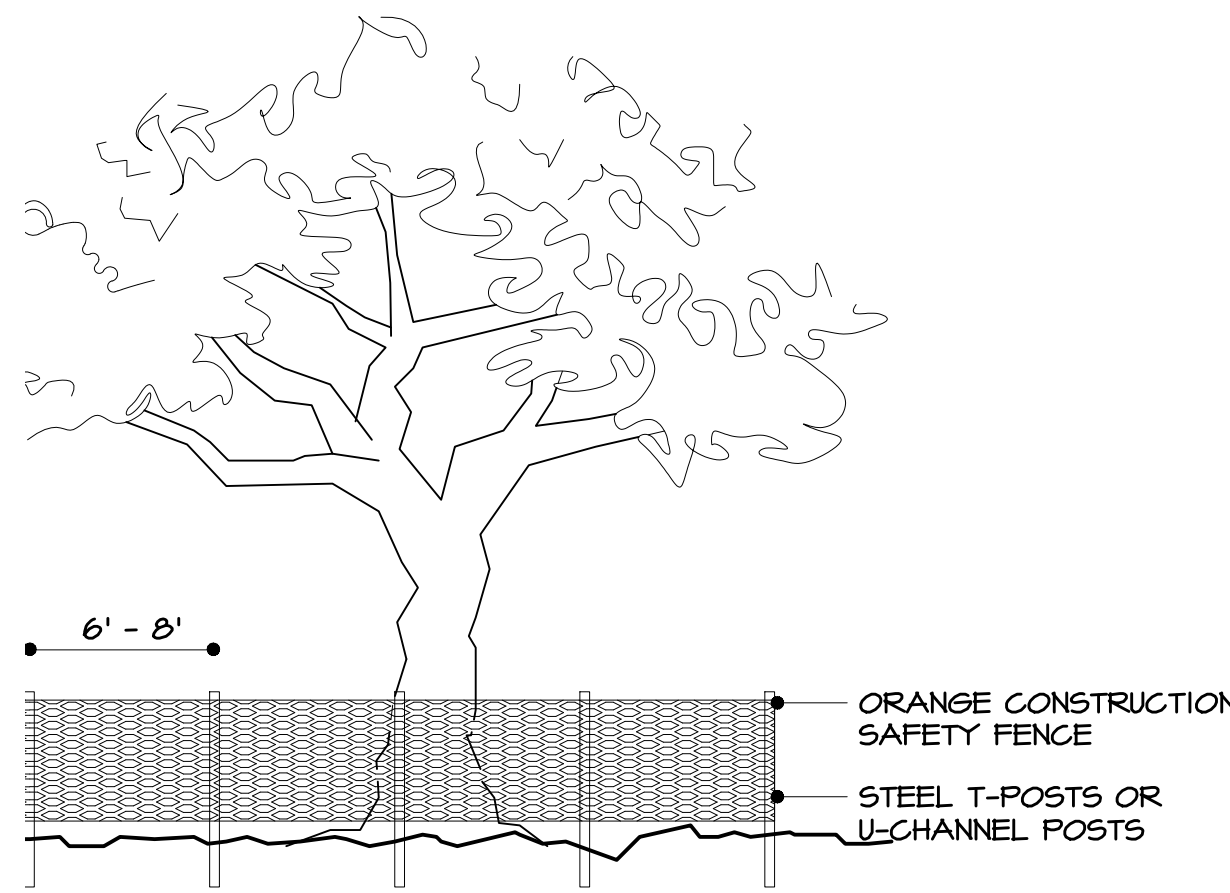
- DUST CONTROL:**
- Contractor shall take measures to ensure dust control during construction. All measures shall meet FDEP regulations.
 - Truck watering of unstabilized areas may be necessary during dry periods. Contractor shall plan for equipment to be at the site as required.
 - Upon completion of final grading, sod shall be provided as soon as possible to minimize wind erosion and dust pollution.



FERMAN VOLVO TARPON SPRINGS STORMWATER POLLUTION PREVENTION PLAN

AURORA CIVIL ENGINEERING, INC.
 610 E. Morgan Street Brandon, FL 33510 (813)643-9907

ISLAND CENTER CORP. INC.
 1100 N. W. 15TH AVE., SUITE 100
 TAMPA, FLORIDA 33606



REE PROTECTION DETAIL

TREES TO REMAIN WITHIN THE PROTECTION AREA SHALL BE AS PER THE DETAIL. BARRICADES SHALL BE ERECTED BEFORE SIGNS AND SHALL REMAIN FOR THE ENTIRE DURATION OF THE WORK.

ST AND BRANCH PRUNING NOTES

1. STRUCTURAL AND ELEVATION PRUNING MUST BE PERFORMED PRIOR TO LANDSCAPE DEVELOPMENT. CONSULT WITH A CERTIFIED ARBORIST ACCORDING TO ANSI 300 PRUNING STANDARDS.

2. ALL TREES TO REMAIN ON SITE MUST BE PRUNED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF ARBORICULTURE (ASCA). PRIOR TO THE PRUNING OF OAKS A NOTARIZED AFFIDAVIT AFFIRMING AN ISA OR AN ASCA REGISTERED CONSULTING ARBORIST WILL CONDUCT OR PROVIDE WRITTEN EVIDENCE OF THE PRUNING SHALL BE SUBMITTED TO THE COUNTY. AN ISA CERTIFIED ARBORIST OR CONSULTING ARBORIST CONTRACTED BY A PROPERTY OWNER TO PRUNE A TREE SHALL BE RESPONSIBLE FOR ALL PRUNING ACTIVITIES DETERMINED IN NONCOMPLIANCE WITH THE LAND DEVELOPMENT CODE.

3. BEFORE GRADING, PAD PREPARATION, OR EXCAVATION FOR PARKING AREA CURBS, DRIVEWAYS, OR PATHS, THE ROOTS OF IMPACTED TREES MUST BE PRUNED WITH APPROVED EQUIPMENT AND METHODS. ALL ROOT PRUNING SHALL BE CONDUCTED BY A LICENSED CERTIFIED ARBORIST. REQUIRE THE CITY'S ARBORIST TO BE PRESENT DURING THIS PROCEDURE.

4. BEFORE OUTLINING THE REQUIRED ROOT PRUNING PROCEDURES SHALL BE PREPARED BY A LICENSED CONSULTING ARBORIST, TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW.

5. ALL ROOT PRUNING SHALL BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY. ROOTS SHALL BE CUT AT LEAST 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES BELOW THE EXISTING GRADE.

6. AFTER PRUNING, TREATMENTS, SUCH AS THE APPLICATION OF FUNGICIDES INTO THE PRUNING TRENCH, WILL BE CONDUCTED TO MINIMIZE THE LEAST AMOUNT OF DAMAGE TO PRUNED ROOTS.

7. AFTER ROOT PRUNING, ALL BARRIERS ARE TO BE REINSTALLED, AND THE AREA INSIDE THE BARRICADE SHALL RECEIVE CORE AERATION.

8. MULCH SHALL BE SUPPLIED TO ROOT PRUNED TREES TO AIDE IN ROOT REGENERATION AND PROTECT THE EXPOSED ROOTS.

PEST PLANT REMOVAL NOTES

1. EXOTIC SPECIES SUCH AS BRAZILIAN PEPPER, CHINESE TALLOW, AND BIGNONIA ALLENI MUST BE REMOVED FROM THE SITE. EXOTIC TREES AND SHRUBS SHALL BE REMOVED WITH FINISH GRADE. RESULTING STUMPS SHALL BE REMOVED FROM THE SITE AND TREATED WITH AN APPROVED HERBICIDE. CONTRACTOR SHALL TREAT THE STUMPS WITH GARLON 3A, TROOPER, OR RODEO HERBICIDE TO THE CAMBIUM PER THE MANUFACTURER'S INSTRUCTIONS, AT THE RECOMMENDED STRENGTH TO PREVENT RE-GROWTH. APPLY HERBICIDE IMMEDIATELY AFTER TRUNKS ARE CUT TO PREVENT SEALING WOUNDS. REMOVE ALL WASTE MATERIALS FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER.

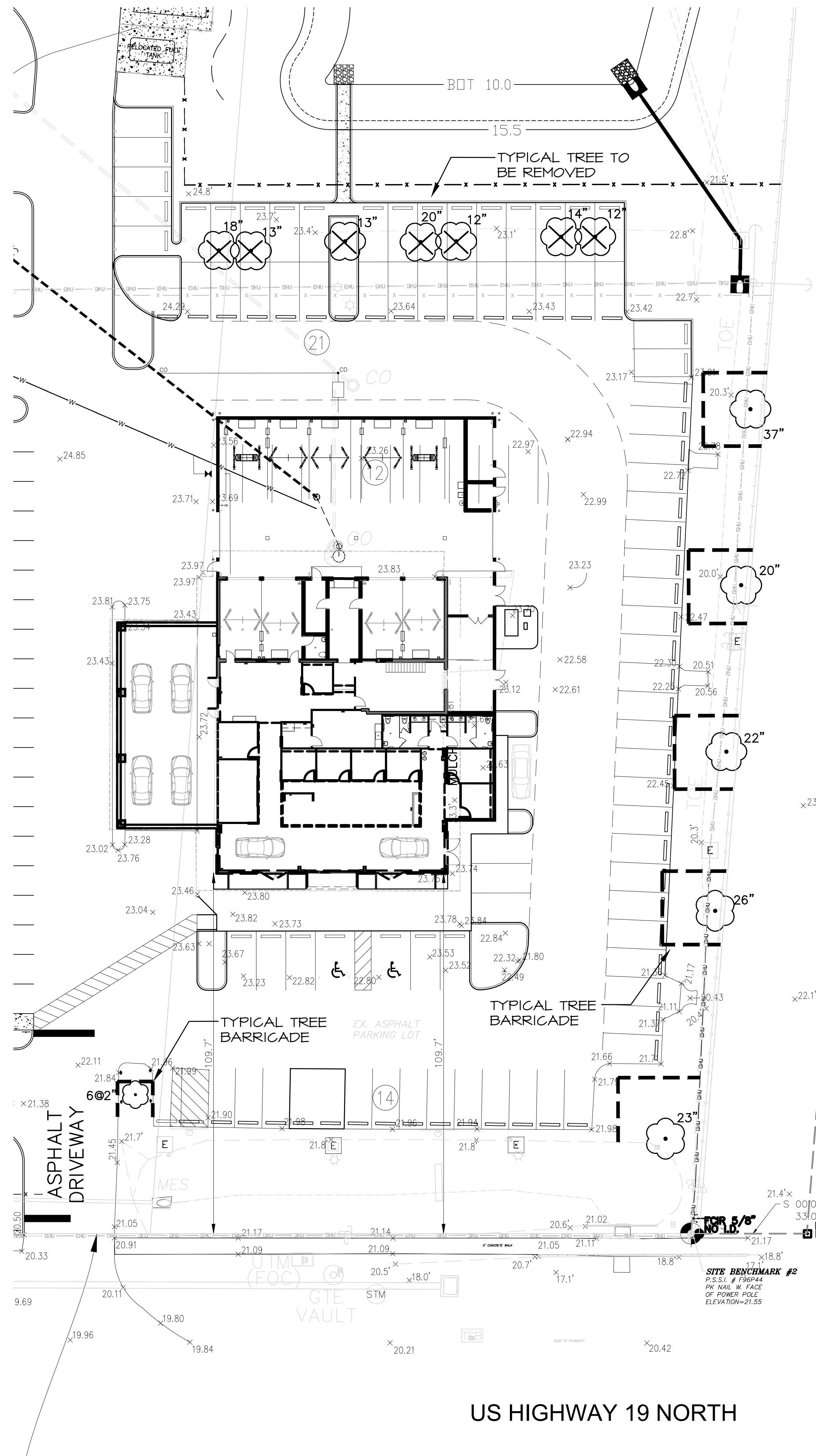
REPLACEMENT REQUIREMENT

TREES TO BE REMOVED ARE AS FOLLOWS
 2 @ 12" + 2 @ 13" + 14" = 64" OAKS REMOVED
 18" + 20" = 38" OAKS REMOVED

12 PINES @ 3" = 36" REPLACEMENTS
 38" - 36" = 2" + 64" = 66" X \$50.00 = \$3,300.00
 PAYMENT FOR REMOVAL OF TREES

SYMBOL LEGEND

- EXISTING TREE TO BE REMOVED
- TREE PROTECTION BARRICADE
- ROOT PRUNING LIMITS



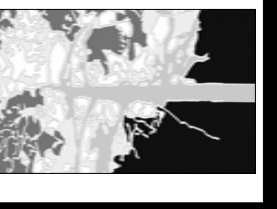
US HIGHWAY 19 NORTH

TREE PRESERVATION PLAN

FERMAN VOLVO TARPON SPRINGS
 ISLAND CENTER CORP., INC.
 1306 W. KENNEDY BLVD.
 TAMPA, FLORIDA 33606

L. ALYSON UTTER
 FLORIDA LANDSCAPE ARCHITECT No. 11974

ANDERSON LESNAK LIMITED, INC.
 landscape architects / land planners
 4921 S. WESTSHORE BOULEVARD
 TAMPA, FLORIDA 33611
 (813) 831-9595
 alyson@andersonlesnak.net
 www.andersonlesnak.net



NO.	REVISION	DATE	BY	DATE	DESCRIPTION
1	ISSUE FOR PERMIT	07-16-2020	LAU		
2	ISSUE FOR PERMIT	07-16-2020	LAU		
3	ISSUE FOR PERMIT	07-16-2020	LAU		
4	ISSUE FOR PERMIT	07-16-2020	LAU		
5	ISSUE FOR PERMIT	07-16-2020	LAU		
6	ISSUE FOR PERMIT	07-16-2020	LAU		
7	ISSUE FOR PERMIT	07-16-2020	LAU		
8	ISSUE FOR PERMIT	07-16-2020	LAU		
9	ISSUE FOR PERMIT	07-16-2020	LAU		
10	ISSUE FOR PERMIT	07-16-2020	LAU		

IT MATERIAL LIST

COMMON NAME	SPECIFICATIONS	SPACING
LASH PINE	12' HT X 5' SPD, 3" CALIPER	AS SHOWN
REE-FORM LIGUSTRUM	6' HT X 3' SPD, MIN. 3 STEMS @ 1/2" CALIPER	AS SHOWN
AVENDER GRAPE MYRTLE	6' HT X 3' SPD, MIN. 3 STEMS @ 1/2" CALIPER	AS SHOWN
ANDANKWA VIBURNUM	18" HT X 18" SPD, 3 GALLON	30" OC
ODOCARPUS	18" HT X 18" SPD, 3 GALLON	30" OC
WARF SCHILLINGS HOLLY	15" HT X 15" SPD, 3 GALLON	30" OC
ARSONI JUNIPER	6" HT X 15" SPD, 3 GALLON	30" OC
COONTIE	15" HT X 15" SPD, 3 GALLON	30" OC

DE REQUIREMENTS

ULAR USE AREA
 3F PER 5 PARKING SPACES
 2ACES / 5 = 15 X 100 = 1500 SF
 E PER ISLAND 12 / 1 = 12 TREES

* PARKING PERIMETER
 (HEAD POWER LINES)
 30 = 6 UNDERSTORY TREES

H PARKING PERIMETER
 - 30 = 10 CANOPY TREES
 O EXISTING TREES = O TREES

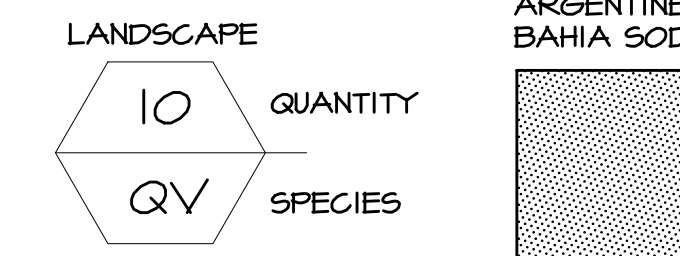
ISTED GROSS REQUIREMENTS
 5 + O = 18 TREES REQUIRED
 EES PROVIDED

REPLACEMENT TREES

TREES TO BE REMOVED ARE AS FOLLOWS
 2 @ 12" + 2 @ 13" + 14" = 64" OAKS REMOVED
 18" + 20" = 38" OAKS REMOVED

12 PINES @ 3" = 36" REPLACEMENTS
 38" - 36" = 2" + 64" = 66" X \$50.00 = \$3300.00
 PAYMENT FOR REMOVAL OF TREES

SYMBOL LEGEND



LANDSCAPE INSTALLATION NOTES

1. PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR TREES AND SHRUBS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND FORESTRY SERVICES.

2. LOCATION OF PLANTS ON THE PLAN ARE DIAGRAMMATIC- SEE THE LANDSCAPE ARCHITECT FOR SPECIFICATIONS ON EXACT LOCATIONS. THE PLANT MATERIALS LIST IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN, THE PLAN SHALL PREVAIL.

3. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.

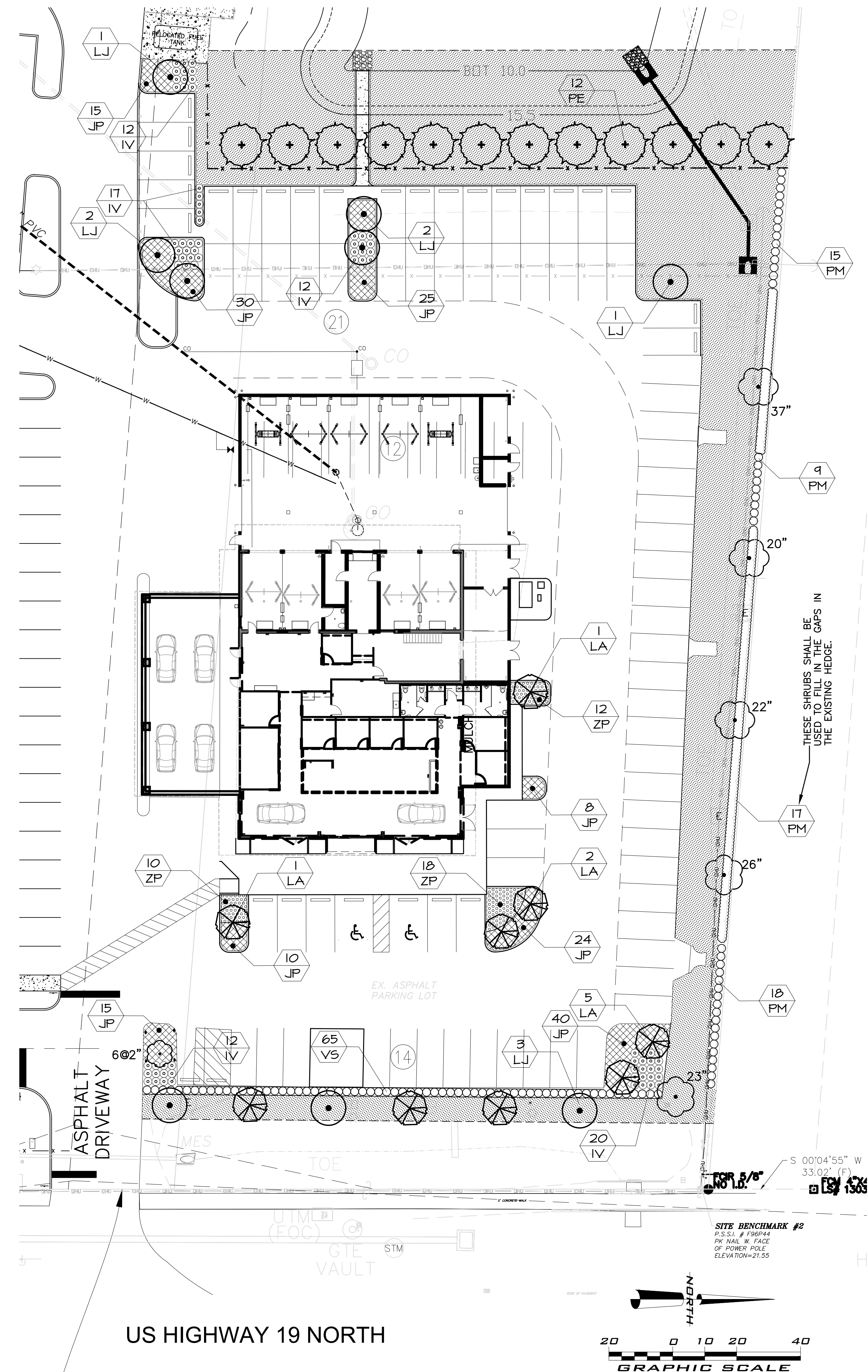
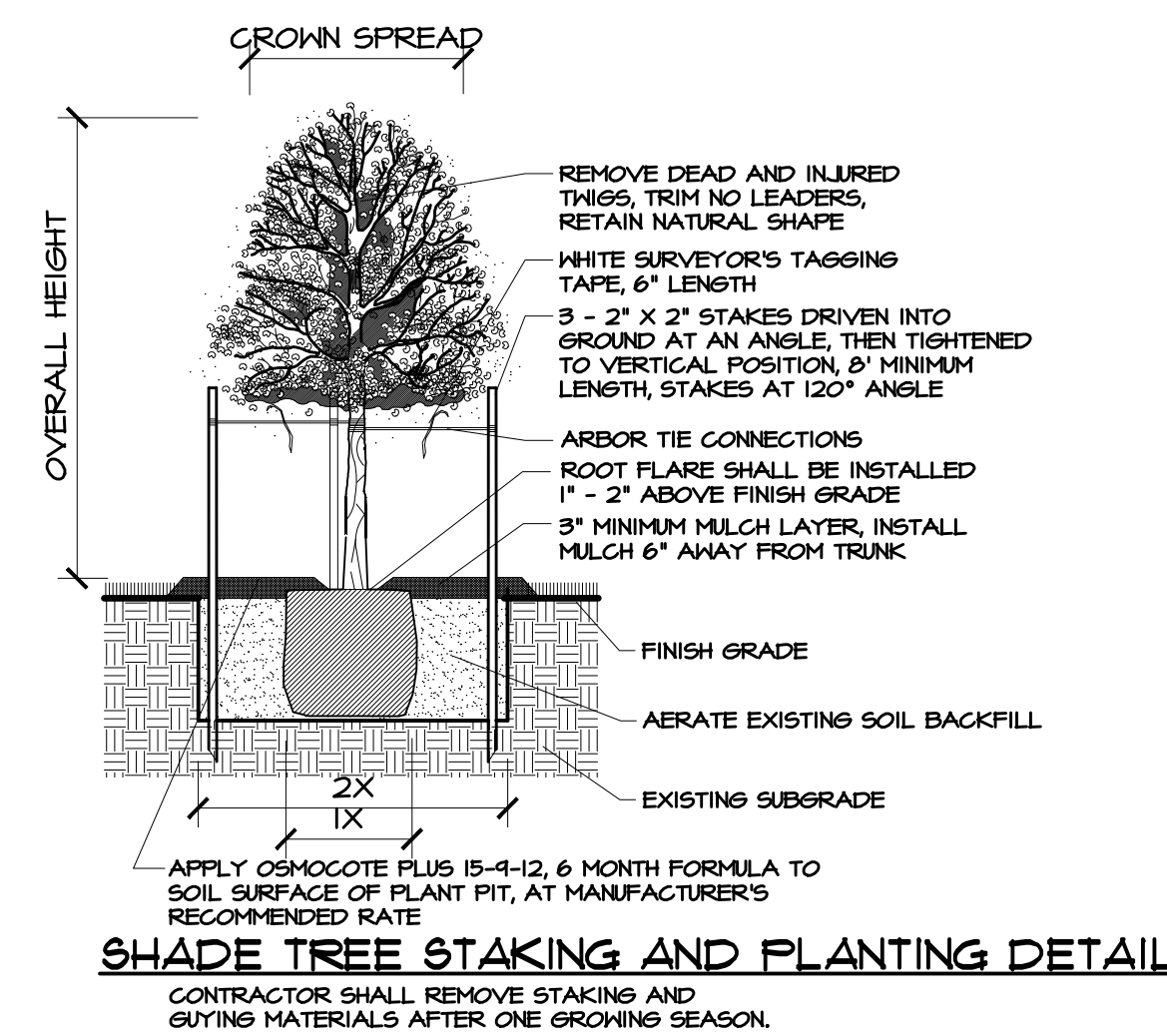
4. THE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF ALL CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.

5. ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN DRESSERED WITH 3" DEEP PINE BARK NUGGET MULCH. ALL NEW TREES SHALL BE STAKED.

6. 3" SOD SHALL BE ARGENTINE BAHIA SOD ± 15500 S.F. IN THE LOCATIONS SHOWN ON THE PLAN. THE CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.

7. TREES, SHRUBS, AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE: PLANT SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL AND BACKFILLING PIT.

8. TREE INSTALLATION: ALL REQUIRED TREES SHALL BE INSTALLED 1" - 2" ABOVE FINISH GRADE. TREES STAKED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE NETS ON ALL B & B STOCK.



LANDSCAPE PLAN

FERMAN VOLVO TARPON SPRINGS
 ISLAND CENTER CORP., INC.
 1306 W. KENNEDY BLVD.
 TAMPA, FLORIDA 33606

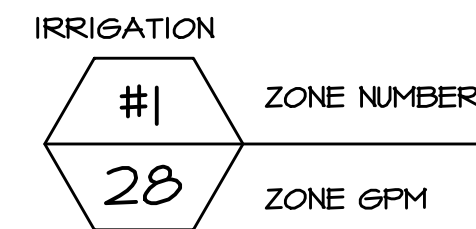
L. ALYSON UTTER
 FLORIDA LANDSCAPE ARCHITECT No. 19168

ANDERSON LESMAK LIMITED, INC.
 Landscaper architects
 4921 S. WESTSHORE BOULEVARD
 TAMPA, FLORIDA 33611
 (813) 831-9999
 alyson@lesmak.com
 www.andersonlesmak.com

ATION MATERIAL LIST

QTY	MODEL NUMBER
2	1B06-1TA, 6" POP-UP SPRAY
1	1B06-15A, 6" POP-UP SPRAY
1	1B06-10A, 6" POP-UP SPRAY
1	1B06-155ST-4X30, SIDE STRIP, 6" POP-UP SPRAY
1	1B06-15EST-4X15, END STRIP, 6" POP-UP SPRAY
2	1404, 1.0 GPM PRESSURE COMPENSATING BUBBLER
1	1401, .25 GPM PRESSURE COMPENSATING BUBBLER
2 LF	XFP-04-12-250, ON-SURFACE DRIPLINE
1	150-FEB-FRS-D, 1.5" ELECTRICAL VALVE
1	XCZ-150-FRB-COM, 1.5" CONTROL ZONE KIT
1	100-FEB-FRS-D, 1" ELECTRICAL VALVE
5 LF	2" PVC, SCHEDULE 40 MAIN LINE
	ESP-BLXME, 8" STATION CONTROLLER
	RAIN CHECK, AUTOMATIC RAIN SHUTOFF

SYMBOL LEGEND



ION INSTALLATION NOTES

QUANTITIES ARE NOT GUARANTEED AS TO ACCURACY AND ARE SHOWN FOR THE CONTRACTOR'S WORK. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO SATISFY ALL REQUIREMENTS IN THE QUANTITIES.

ALL DIMENSIONS BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS; I.E., IN BUILDINGS, UNDER DRIVEWAYS, OR IN PROPERTY LINES. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER DIMENSIONS ARE SHOWN IN SOIL AREAS.

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES.

WHERE AN INCREASE IN SIZE OCCURS, CONTINUE PIPE SIZE UNTIL SIZE OCCURS. ALL PIPING SHALL BE INSTALLED ALONG WALKS, CURBS OR WALLS, THEY SHALL NOT BE INSTALLED IN OPEN AREAS. CONTRACTOR SHALL REVIEW LANDSCAPE PLANS TO DETERMINE TREE DIMENSIONS. TREE DIMENSIONS SHALL BE SCH 40 PVC.

HEADS SHALL BE INSTALLED ON 18" LONG FLEX PIPE CONNECTIONS. ALL HEADS SHALL BE INSTALLED ON 18" LONG FLEX PIPE CONNECTIONS. ALL HEADS SHALL BE INSTALLED ON 18" LONG FLEX PIPE CONNECTIONS.

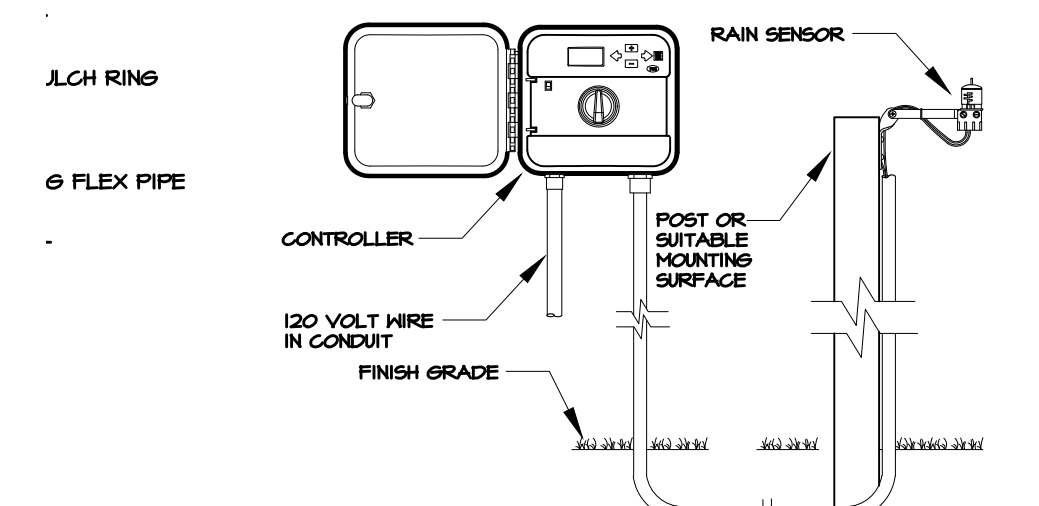
IRRIGATION SYSTEM. IRRIGATION SYSTEM REQUIRES 40 GPM AT 40 PSI. ALL VALVES TO THE EXISTING CONTROLLER SHALL BE TYPE UF, 1/2" AMG WIRE, WHICH SHALL BE COLOR CODED, AND COMMON WIRE SHALL BE WHITE. VALVE BOXES SHALL BE 18" SQUARE WITH GREEN LIDS. PLACE 3" GRAVEL INSIDE VALVE BOXES.

INSTALL A NEW CONTROLLER. AFTER 30 DAY PLANT MATERIAL ESTABLISHMENT AS PER LOCAL WATER RESTRICTIONS. AFTER IRRIGATION SYSTEM IS INSTALLED, CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING SHOWING HEADS, VALVES AND PIPE.

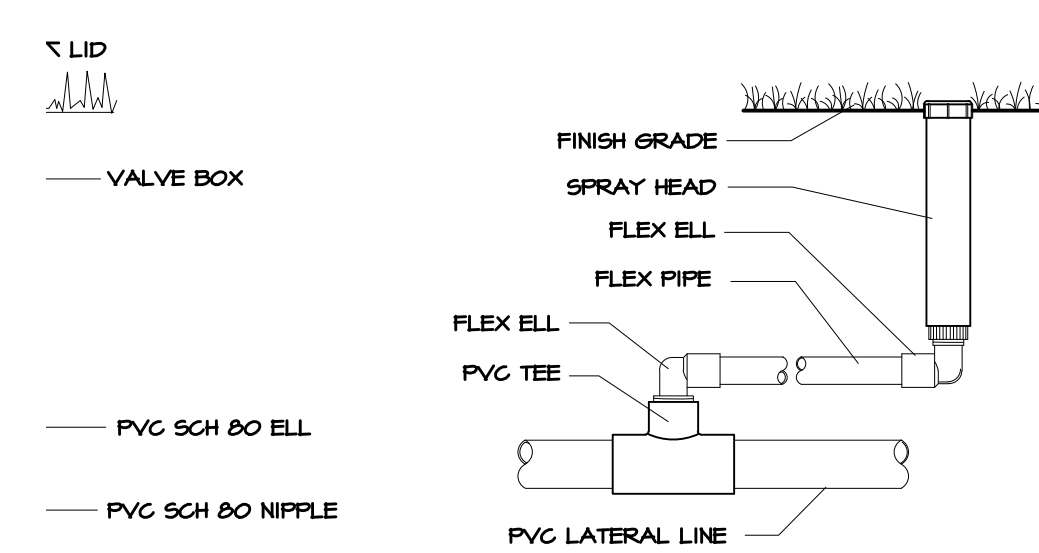
ALL PIPING SHALL BE ROUTED FOR CLARITY. DESIGN MODIFICATIONS SHALL BE MADE TO THE SCHEMATIC IS DESIGNED TO MINIMIZE TRENCHING. WHENEVER POSSIBLE ALL PIPING SHALL BE INSTALLED IN THE SAME TRENCH.

WHERE PIPING CROSSES OVER SURFACES, ALL PIPING UNDER SAID SURFACES SHALL BE SCH 40 PVC, MINIMUM 2" DIAMETER OR AS SPECIFIED ON THE PLAN. ALL PIPING SHALL BE CUT TO INSTALL IRRIGATION PIPE, SAW CUT SIX INCHES WIDER THAN THE PIPE WITH AN EQUIVALENT MATERIAL TO MATCH EXISTING.

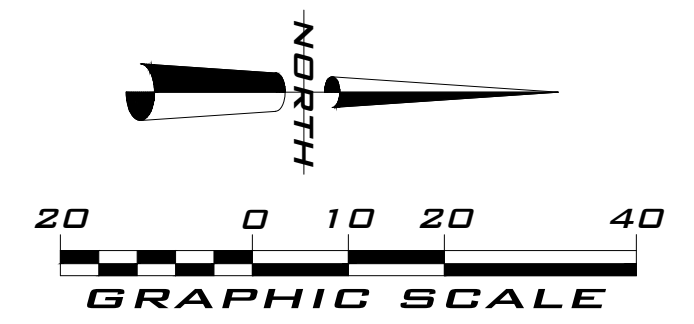
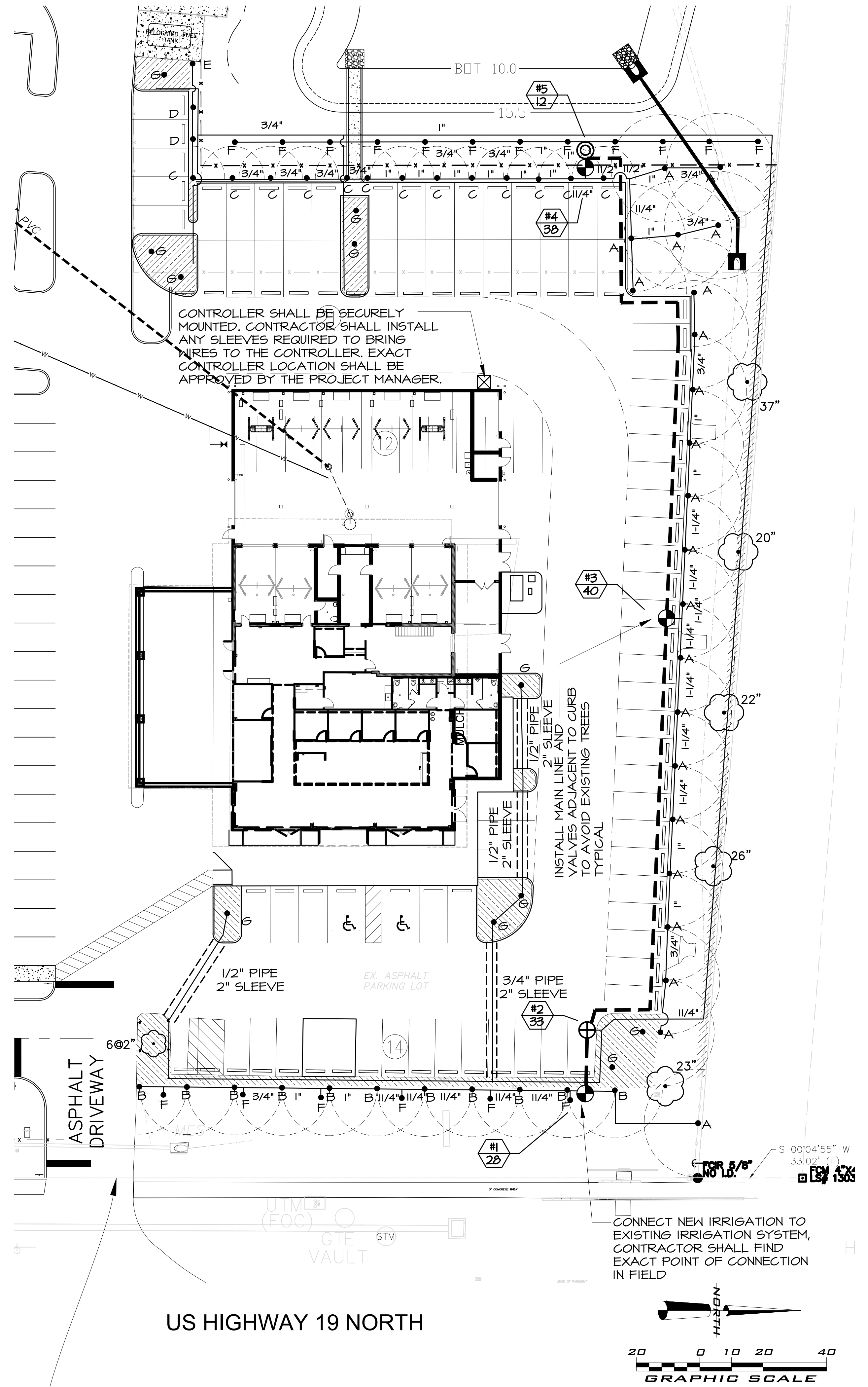
MINIMUM COVER OVER SLEEVES, 18" MINIMUM COVER OVER TOP OF MAIN LINE AND 12" MINIMUM COVER OVER ANY OTHER INSTALLED IRRIGATION PIPING.



CONTROLLER WITH RAIN SENSOR



6" POP-UP SPRAY DETAIL



ANDERSON LESNAK LIMITED, INC.
 landscape architects
 4921 S. WESTSHORE BOULEVARD
 TAMPA, FLORIDA 33611
 (813) 831-9595
 alyson@andersonlesnak.net
 www.andersonlesnak.net

FERMAN VOLVO TARPON SPRINGS
 ISLAND CENTER CORP., INC.
 1306 W. KENNEDY BLVD.
 TAMPA, FLORIDA 33606

L. ALYSON UTTER
 FLORIDA LANDSCAPE ARCHITECT No. 13065

IRRIGATION PLAN

DATE: 07-30-2020
 DRAWN BY: LAU
 CHECKED BY: LAU
 APPROVED BY: LAU
 JOB NO.: 19-168

L-3

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-33 - MARC ANTONIO - MINOR SITE PLAN - 428 N PINELLAS AVE**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Minor Site Plan Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Marc Antonio		Email marc_antonio@rocketmail.com	
Address 1428 Castleworks lane			
City Tarpon Springs		State FL	Zip 34689
Phone 727.793.4502	Fax		Cellular 727.793.4502

Applicant

Name Marc Antonio		Email marc_antonio@rocketmail.com	
Address 1428 Castleworks Lane			
City Tarpon Springs		State FL	Zip 34689
Phone 727.793.4502	Fax		Cellular 727.793.4502

Agent (if applicable)

Name Harry McNeil Builders		Email	
Address 2587 Estancia Blvd			
City Clearwater		State FL	Zip 33761
Phone	Fax		Cellular

General Information

Project Name remodel renovation
Property Location or Address 1428 N Pinellas Ave Tarpon Springs FL 34689
Legal Description (attach additional sheets as necessary) parken's Mrs S Safford lots 1&2
Tax Parcel Number(s) 12-27-15-66573-000-0010

Existing Land Use & Zoning Information

Present Designations of Property		Current Use of Property
Land Use Category Mixed use	Zoning District T5D	vacant

Site Acreage:

Upland _____ Wetland _____ Submerged _____ TOTAL _____

Flood Information: [please check all that apply]

Zone X Zone X Shaded Zone AE Zone VE

Base Flood Elevation (BFE): [please list all elevations] 10

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Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	GPD	GPD	GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis / Review by Engineering Division		
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day
 TPD = trips per day

The following **MUST** be furnished with this application: [incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents
- Application fee (based on site acreage)
 - 0 – 5 acres; \$ 500.00
 - 5.01 – 10 acres; \$ 750.00
 - 10.01 – 15 acres; \$1,000.00
 - 15.01 – 20 acres; \$1,500.00
 - 20.01 acres or more; \$2,000.00
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Endangered/Threatened Species Study, if required by Section 144.00, LDC
- Acknowledge compliance with the City's Public Art Ordinance (see criteria below)
- Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)
- Five (5) complete sets of plans including all the following items.
 - A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
 - B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
 1. All required information shall be submitted on standard sheets (24" x 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

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5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
8. Existing contours and proposed grades at one foot intervals.
9. Flood zone and required first floor elevation(s).
10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
12. Lot dimensions including curve data.
13. Proposed setback dimensions.
14. Gross floor area by type for non-residential uses.
15. Gross density for residential uses and number and types of units.
16. The proposed architectural elevations and floor plans with accurate dimensions.
17. Proposed private and public streets with right-of-way dimensions.
18. Proposed phasing plan by anticipated commencement and completion date.
19. Dumpster location and screening.
20. Required parking calculations (parking provided and required).
21. Size and location of required loading zones.
22. Required (proposed) sidewalks and internal walkways.
23. Driveways and access improvements.
24. Location and type of site lighting including pole height and fixture type.
25. Description of the maintenance of common facilities for residential projects.
26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

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water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

1. Projects with an aggregate job value under \$1,000,000.00.

2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

APPLICANT'S ACKNOWLEDGEMENT:

Type of Public Art Activity [please initial only one]

MA This project is exempt from the Public Art Program requirements.

Please state exemption: _____

_____ I will contract with a professional artist to create a permanent, public artwork as part of the development.

_____ In lieu of an on-site project, I will contribute .75 percent of the aggregate job value* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

**Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.*

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

(A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.

(B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.

(C) Design Requirements for all non-residential site plans.

1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

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- c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.
 - d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.
 - e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.
2. Sidewalks and private frontages (the area between the building and right- of-way)
 - a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.
 3. Landscaping
 - a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.
 4. Elevation of buildings
 - a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.
 5. Pedestrian promenades on waterfront lots
 - a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.
 6. All site plans and building plans shall adhere to the additional building design requirements set out below;
 - a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.
 - b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.
 - c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.
 - d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.
 - e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

CITY OF TARPON SPRINGS, FLORIDA
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- f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.
 - g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.
 - h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.
 - i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.
 - j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.
 - k. Buildings may have flat roofs enclosed by parapets or sloped roofs.
7. Requirements Specific to Hotels:
- a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.
 - b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.
 - c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.
 - d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.
 - e. Multiple connections shall be required between the structure and the public right-of-way.
 - f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

(D) **Waivers**

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

CITY OF TARPON SPRINGS, FLORIDA
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AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Harry McNeil Builders is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

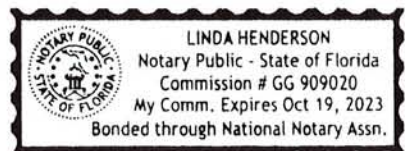
I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: 12mar2021 Title Holder/Property Owner: Marc Antonio
Date: _____ Title Holder/Property Owner: _____
Date: _____ Title Holder/Property Owner: _____
Date: _____ Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 12th day of March, A.D., 20 21
by MARC ANTONIO, who is personally known to me or who has produced
PROPERTY OWNER NAME PRINTED
_____ as identification and who did (did not) take an oath.

NOTARY PUBLIC
Name: Linda Henderson
Signature: [Signature]
Stamp: _____



ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Marc Antonio				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 428 AND 430 North Pinellas Avenue				Company NAIC Number:	
City Tarpon Springs		State Florida		ZIP Code 34689	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) 12-27-15-66573-000-0010					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>28°15'05.33"N</u> Long. <u>82°75'65.42"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1a</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number 120259 City of Tarpon Springs			B2. County Name Pinellas		B3. State Florida
B4. Map/Panel Number 12103C 0019G	B5. Suffix G	B6. FIRM Index Date 09/03/2003	B7. FIRM Panel Effective/ Revised Date 09/03/2003	B8. Flood Zone(s) AE & X	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 10
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 428 AND 430 North Pinellas Avenue			Policy Number:	
City Tarpon Springs	State Florida	ZIP Code 34689	Company NAIC Number	
SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)				
<p>For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.</p> <p>E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).</p> <p style="margin-left: 20px;">a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p style="margin-left: 20px;">b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the LAG.</p> <p>E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p>E3. Attached garage (top of slab) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p>E4. Top of platform of machinery and/or equipment servicing the building is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p>E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown. The local official must certify this information in Section G.</p>				
SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION				
<p>The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.</p>				
Property Owner or Owner's Authorized Representative's Name				
Address	City	State	ZIP Code	
Signature	Date	Telephone		
<p>Comments</p> <div style="border: 1px solid black; width: 100%; height: 100%;"></div>				
<input type="checkbox"/> Check here if attachments.				

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 428 AND 430 North Pinellas Avenue			Policy Number:
City Tarpon Springs	State Florida	ZIP Code 34689	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: FDOT Network Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.
 NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

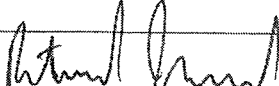
Check the measurement used.

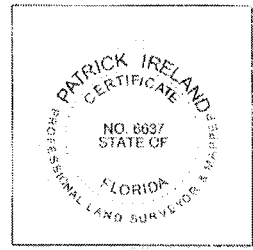
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>10.84</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<u>20.61</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>n/a</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>n/a</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>10.51</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>8.4</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>9.2</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>n/a</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Patrick K. Ireland	License Number 6637
Title Professional Land Surveyor	
Company Name LakeRidge Surveying and Mapping, LLC	
Address 1399 Legendary Boulevard	
City Clermont	State Florida
	ZIP Code 34711
Signature 	Date 2-22-18
	Telephone (407) 365-3151



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 C2e=a/c unit
 job number 18-0363

RE: Request to Install Hidden Driveway Warning Sign

From: Dunn, Kevin (kevin.dunn@dot.state.fl.us)

To: marc_antonio@rocketmail.com

Cc: stephanie.galvan@dot.state.fl.us; genelle.schnedl@dot.state.fl.us

Date: Friday, February 7, 2020, 12:18 PM EST

Mr. Antonio,

As per our discussion, the installation of a Hidden Driveway warning sign would not be warranted based on department criteria. However, as a suggestion, better observe pedestrian traffic on the sidewalk and traffic on the northbound roadway.

Sincerely,

Kevin L. Dunn

District Seven Traffic Operations

Traffic Services & Signing/Pavement Marking Manager

813-975-6631





From: Schnedl, Genelle <Genelle.Schnedl@dot.state.fl.us>
Sent: Friday, February 7, 2020 11:58 AM
To: Dunn, Kevin <Kevin.Dunn@dot.state.fl.us>
Cc: Galvan, Stephanie <Stephanie.Galvan@dot.state.fl.us>
Subject: FW: Phone Message

Kevin, pls. see the telephone message below, and pls. call Mr. Antonio.

Stephanie -- thank you for forwarding this message.

Genelle Schnedl

Florida Department of Transportation
District 7 Traffic Operations M.S. 7-1300
Phone: 813-975-4216
Email: genelle.schnedl@dot.state.fl.us



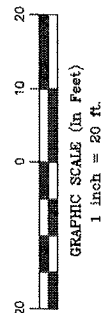
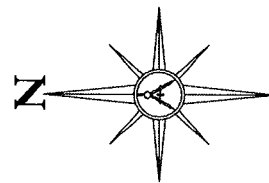
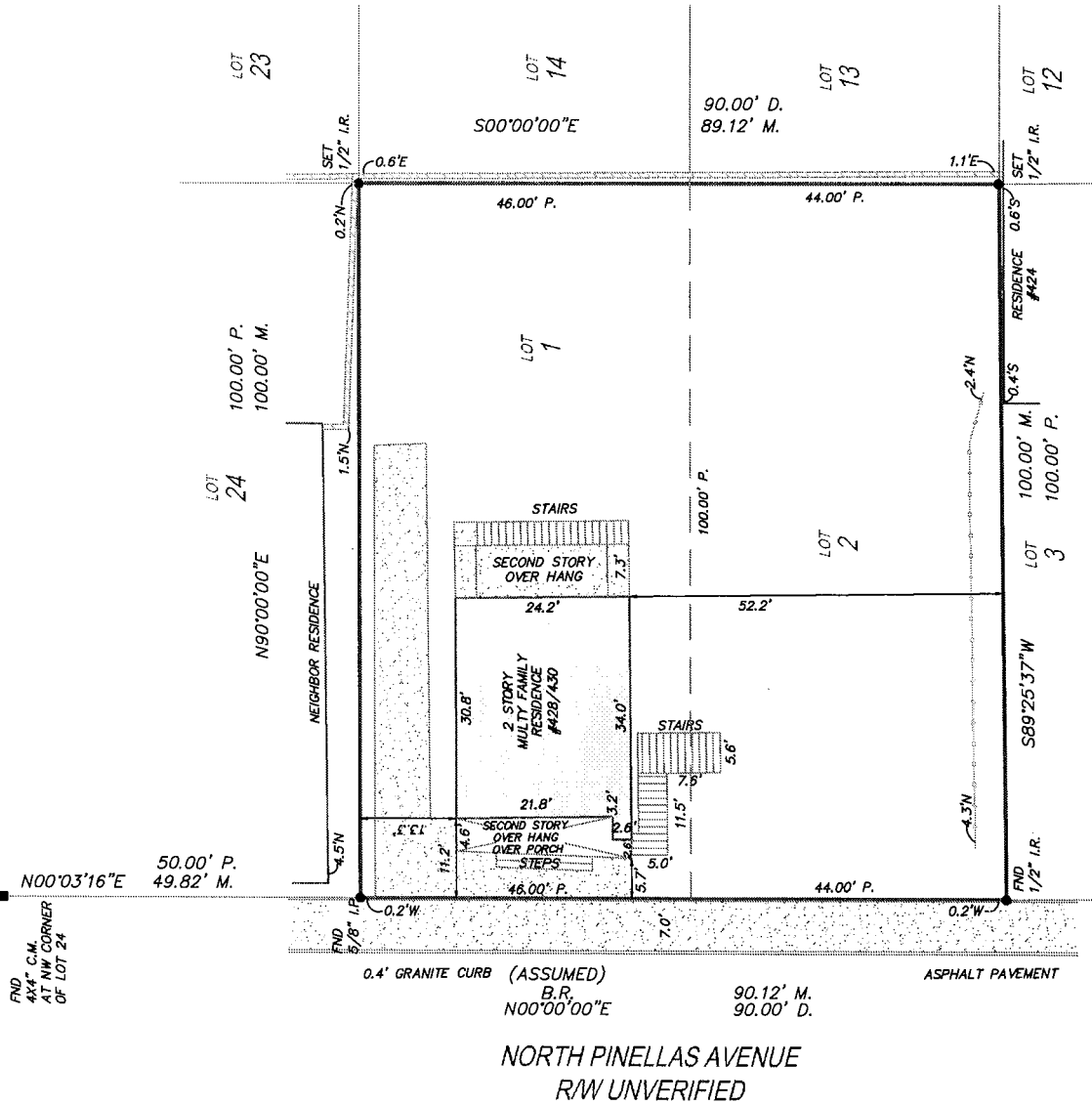
From: Galvan, Stephanie <Stephanie.Galvan@dot.state.fl.us>
Sent: Friday, February 7, 2020 11:28 AM
To: Schnedl, Genelle <Genella.Schnedl@dot.state.fl.us>
Subject: Phone Message

Good Morning (Genelle – Mr. Mark Antonio (727-793-4502) called this morning regarding a possible hidden driveway sign for his home located @ 428 N Pinellas Ave in Tarpon Springs (Alt US

Thank you and have a great weekend!

Stephanie Galvan
Senior Clerk
District Construction
813-975-6016

SKETCH OF SURVEY
TYPE OF SURVEY BOUNDARY



SKETCH OF SURVEY

TYPE OF SURVEY BOUNDARY

GENERAL NOTES:

1. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
2. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
3. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
4. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
5. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
6. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
7. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
8. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
9. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.
10. ALL INFORMATION PROVIDED BY OTHER SURVEYORS AND RECORDS IS SUBJECT TO THE ACCURACY OF SUCH RECORDS AND IS NOT TO BE USED AS A BASIS FOR THIS SURVEY.

Legal Description:
 Lots 1 and 2, MRS. S. SAFFORD
 PARKEN'S SUBDIVISION OF BLK 62 IN
 THE TOWN TARPON SPRINGS,
 according to the map or plat
 thereof as recorded in Plat Book 1,
 Page 99, Public Records of Pinellas
 County, Florida.

Property Address:
 428 AND 430 North Pinellas Avenue
 Tarpon Springs, Florida 34689

CERTIFIED TO:
 Marc Antonio.

NOTE:
 IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 61D.02(1)(b), THE LOCATION OF
 SURVEY POINTS SHALL BE RECORDED IN THE PUBLIC RECORDS OF THE COUNTY AND MAPPER
 AS REQUIRED. THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER.

FLOOD ZONE:
 (FOR INFORMATIONAL PURPOSES ONLY)
 SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X&AE",
 PER F.I.R.M. COMMUNITY & PANEL NUMBER 120259-0019 G. LAST REVISION DATE 09/03/2003.
 THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF
 THE ABOVE INFORMATION. IT IS SUGGESTED THAT A FLOOD ZONE DETERMINATION
 BE VERIFIED FROM THE COUNTY IN WHICH THE SUBJECT PROPERTY LIES.

THIS SURVEY SKETCH IS COPYRIGHTED MATERIAL ©

Section 12, Township 27 South, Range 15 East

NO.	REVISIONS	BY	DATE
4			
3			
2			00-00-0000
1			
NO.			

Prepared By
 Lake Ridge Surveying & Mapping LLC
 1399 LEGENDARY BLVD
 CLEMONT, FL 34711
 PHONE 407-885-3152
 FAX 1-866-841-8789

SURVEYOR'S CERTIFICATION

I, THE UNDERSIGNED REGISTERED SURVEYOR, HEREBY CERTIFY THAT THIS INSTRUMENT WAS PREPARED
 UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND
 BELIEF IT IS TRUE AND ACCURATE REPRESENTATION OF THE FACTS AND CONDITIONS SHOWN HEREON.

LAST DATE OF FIELD SURVEY 2-21-2018
 SIGNATURE DATE 2-20-2018

Patrick K. Ireland
 SIGNATURE

PATRICK K. IRELAND, Professional Land Surveyor & Mapper No. 6837, State of Florida
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED
 SURVEYOR AND MAPPER AND THE APPLICABLE PROFESSIONAL SEAL, AND ELECTRONIC SEAL



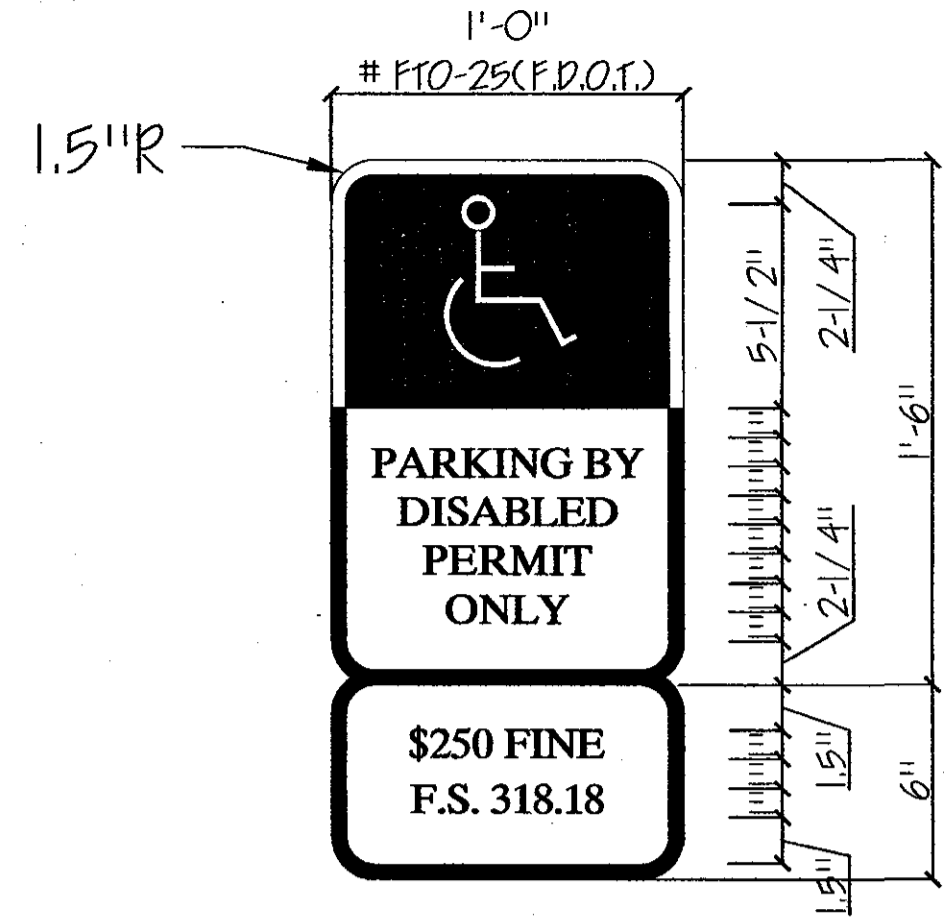
W 1/4 SEC 18N
 N 1/4 SEC 18N
 G.P.S.
 NAD 83
 NAD 83
 NAD 83

W 1/4 SEC 18N
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 G.P.S.
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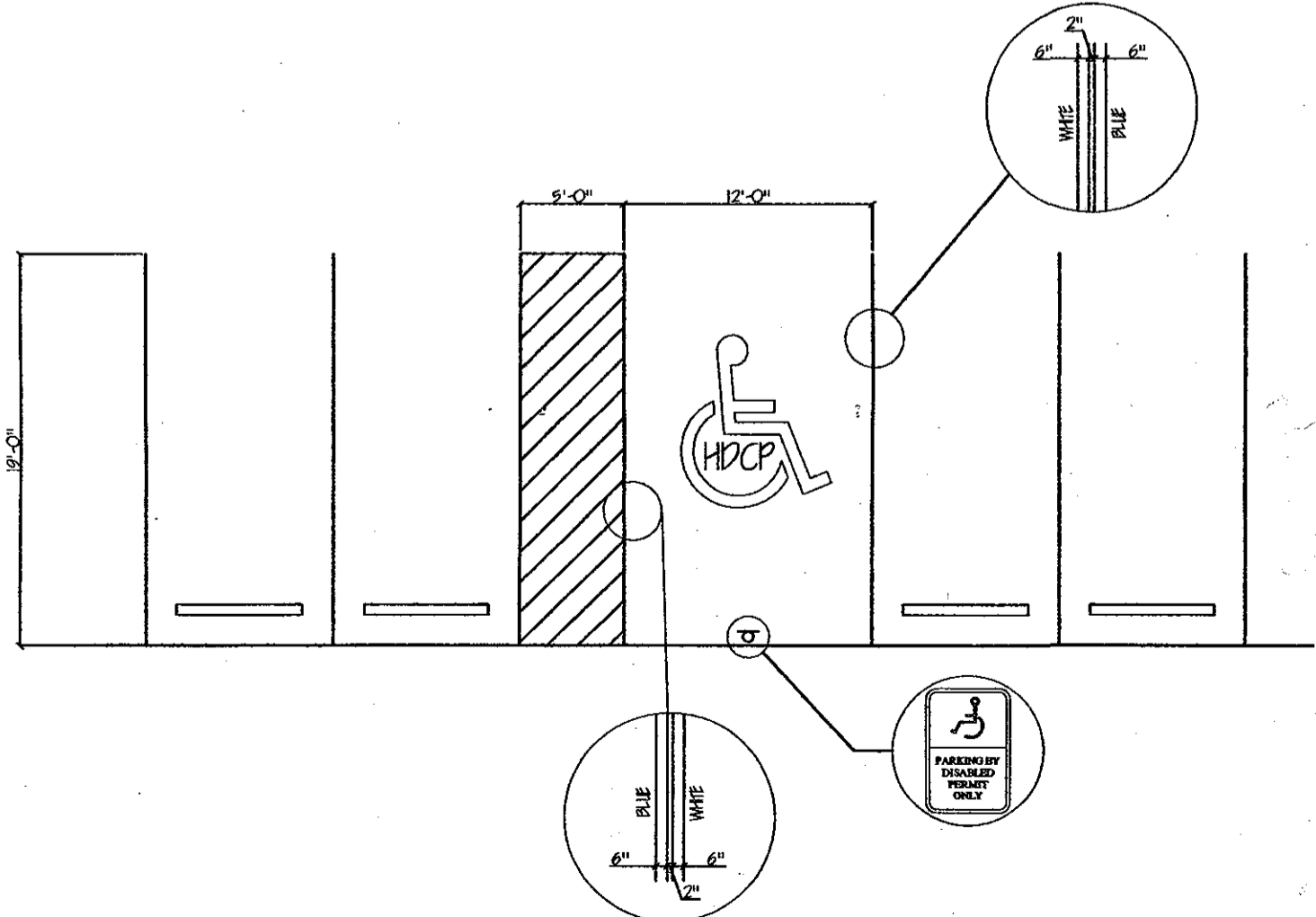
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- G.P.S.
- NAD 83
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- N 1/4 SEC 18N
- G.P.S.
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- N 1/4 SEC 18N
- G.P.S.
- NAD 83
- NAD 83
- NAD 83



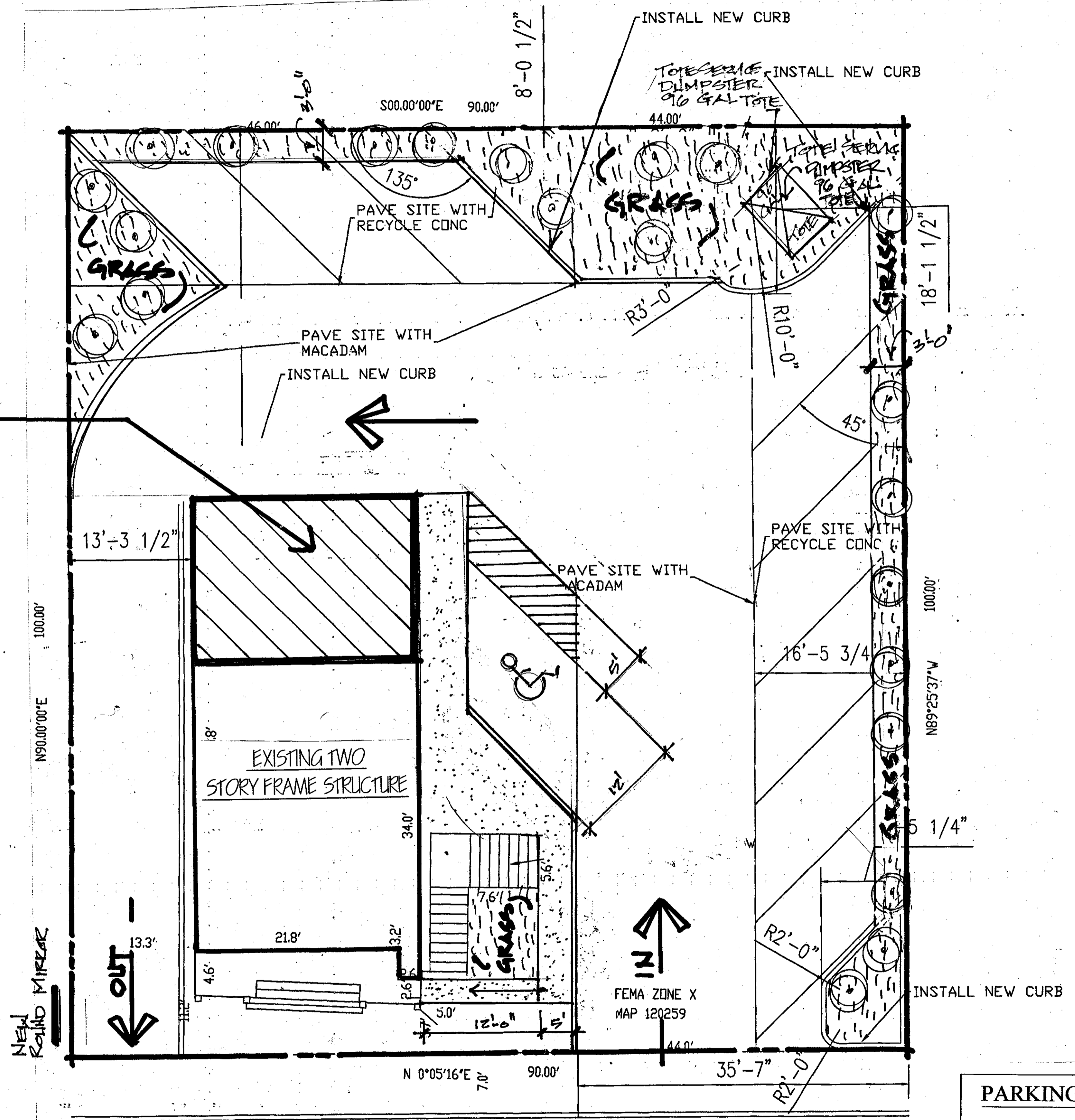
1 ADA PARKING SIGN DETAIL
NOT TO SCALE

- NOTES:
1. ALL LETTERS ARE 1" SERIES "C" (F.D.O.T.)
 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH REFLECTORIZED LEGEND AND BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 4. SIGN FABRICATION FROM 0.063 STEEL, POST TO BE "U" TYPE FLANGED STEEL AND SET IN CONCRETE 12" x 12" x 24" DEEP. BOTTOM OF SIGN TO BE SET AT 7'-0" HIGH.

EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY" OR BEARING BOTH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED & MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.



2 ADA PARKING SPACE DETAIL
NOT TO SCALE



PERVIOUS / IMPERVIOUS	
TOTAL SITE.....	9,000 S.F.
BUILDING, DRIVES, PARKING LOT, & CONCRETE WALKS.....	7,624 S.F.
7,624 S.F. / 9,000 S.F. = 84.5% IMPERVIOUS	
= 15.5% PERVIOUS	

PARKING SPACES	
(10).....	9'-0" x 18'-0" SPACES
(1).....	ADA SPACE

DO NOT SCALE
THE DRAWING AND DESIGN SHOWN ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS

ISSUED FOR
 PRELIMINARY
 BIDDING
 PERMITTING
 CONSTRUCTION

WOOD BURKETT ATELIER SALON
 428 N. PINELLAS AVENUE
 TARPON SPRINGS, FLORIDA

Wood Innovative Design
 Todd Wood
 (772) 641-2729
 P.O. Box 171
 Palm Harbor, FL 34682

02-16-21
 FL PE 62703

DAVID S. McDOUGALL, P.E.
 FL. P.E. 62703
 2340 Surrey Lane
 Clearwater, FL 33763
 (772) 366-5332

JOB# 21-110
 DATE: 02/15/21

SITE PLAN

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-34 - LIVE EDGE SLABS - REZONING AND LUA - 526 E LEMON STREET**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Conventional Rezoning and/or Comprehensive Plan
Amendment Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name LIVE EDGE SLABS HOLDINGS LLC		Email bkent0711@aol.com	
Address 526 E. LEMON ST			
City TARPON SPRINGS	State FL	Zip 34689	
Phone 727-409-5005	Fax	Cellular 727-409-5005	

Applicant

Name LIVE EDGE SLABS HOLDINGS LLC		Email bkent0711@aol.com	
Address 526 E. LEMON ST			
City TARPON SPRINGS	State FL	Zip 34689	
Phone 727-409-5005	Fax	Cellular 727-409-5005	

Agent (if applicable)

Name BRADLEY D. KENT		Email bkent0711@aol.com	
Address 526 E. LEMON ST			
City TARPON SPRINGS	State FL	Zip 34689	
Phone 727-409-5005	Fax	Cellular 727-409-5005	

General Information

Project Name LIVE EDGE SLABS WAREHOUSE EXPANSION
Property Location or Address 526 E. LEMON ST
Legal Description (attach additional sheets as necessary) ATTACHED
Tax Parcel Number(s) 12-27-15-89982-043-0109

Existing Land Use & Zoning Information

Present Designations of Property		Proposed Designations for Property	
Land Use Category 0090	Zoning District R-60	Land Use Category 4800	Zoning District IB
Land Use Plan Amendment Required? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		If yes, Countywide Plan Amendment Required? <input type="checkbox"/> YES <input type="checkbox"/> NO	
Is property defined as a Coastal High Hazard Zone? [s. 163.3178(2) (h), F.S.] <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			

Site Acreage:

Upland _____ Wetland _____ Submerged _____ Total _____

CITY OF TARPON SPRINGS, FLORIDA
Conventional Rezoning and/or Comprehensive Plan
Amendment Application

Flood Information: [please check all that apply]

- Zone X Zone X Shaded Zone AE Zone VE

Base Flood Elevation (BFE): [please list all elevations] _____

Proposed Land Use Information

Residential Development:

Total No. of Units _____

Single Family:

_____ Detached _____ Zero Lot Line _____ Attached
_____ Cluster _____ Semi-Detached

Multi-Family:

_____ Triplex _____ Townhome _____ Other
_____ Apartment _____ Condominium

Non-Residential Development:

Total Non-Residential Floor Area TBD

_____ Commercial _____ Industrial _____ Office
_____ Institutional _____ Mixed Use _____ Other

The following MUST be furnished with this application: [incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents**
- Property survey, signed and sealed by a professional land surveyor
- Appropriate fees: [check only one]
 - \$750.00 for Rezoning only
 - \$750.00 for Land Use Change only plus TBRPC fee, if applicable
 - \$1,250.00 for both a Rezoning and Land Use Change together plus TBRPC fee, if applicable
- \$500.00 advertising cost for each required ad
- \$25.00 for on-site sign notice
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Mailing labels for public notices and applicable postage charges (City staff will prepare the labels and calculate postage charges when a complete application is submitted.)

CITY OF TARPON SPRINGS, FLORIDA
Conventional Rezoning and/or Comprehensive Plan
Amendment Application

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that BRADLEY D. KENT is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: _____

Title Holder/Property Owner: _____

Date: _____

Title Holder/Property Owner: _____

Date: _____

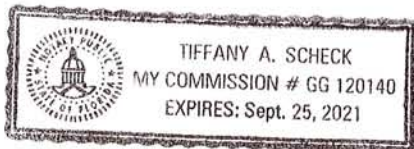
Title Holder/Property Owner: _____

Date: _____

Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 16 day of March, A.D., 2021 by Bradley D. Kent, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.



NOTARY PUBLIC

Name: Tiffany A. Schreck

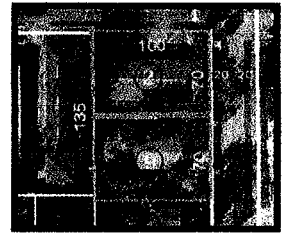
Signature: Tiffany A. Schreck

Stamp: _____

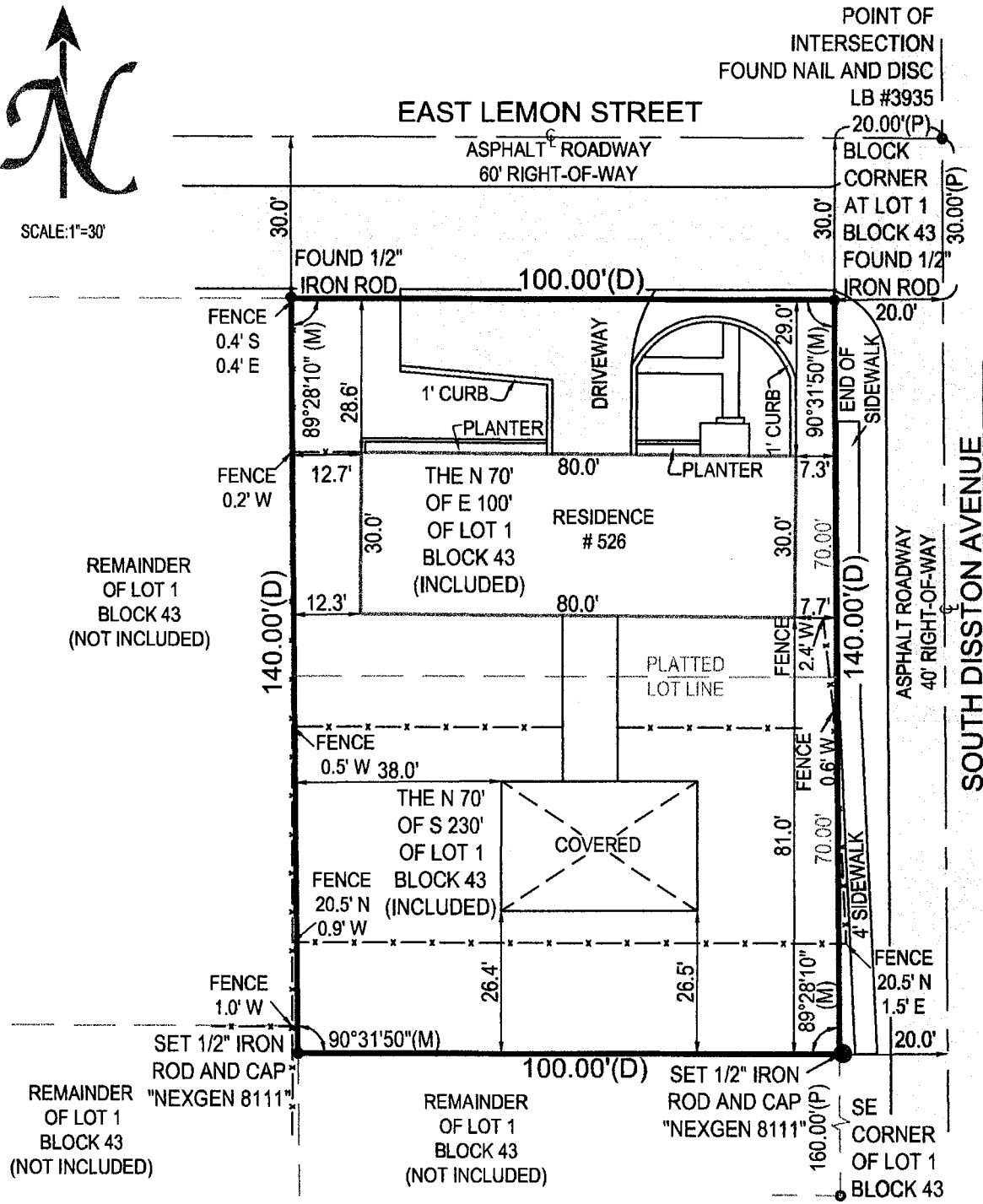
526 EAST LEMON STREET, TARPON SPRINGS, FL. 34689



SCALE: 1"=30'



AERIAL PHOTOGRAPH (NOT-TO-SCALE)

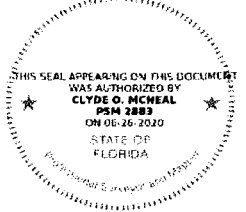
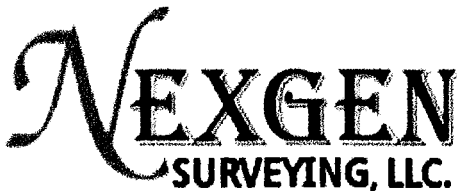


- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 06-25-2020
 Drawn By: Oleg
 Order #: 93312
 Last Revision Date: 06-25-2020
 Boundary Survey prepared by: LB8111
 NexGen Surveying, LLC
 5601 Corporate Way, Suite #103
 West Palm Beach, FL 33407
 561-508-6272



LEGAL DESCRIPTION OF: 526 E LEMON ST, TARPON SPRINGS, FL, 34689

THE NORTH 70 FEET OF THE EAST 100 FEET OF LOT 1, BOCK 43, MAP OF THE TOWN OF TARPON SPRINGS, FLORIDA, A SUBDIVISION LYING IN SECTION 13, TOWNSHIP 7 SOUTH, RANGE 15 EAST, AS SHOWN ON THE PLAT RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA OF WHICH PINELLAS COUNTY, FLORIDA WAS FORMERLY A PART
 AND

THE NORTH 70 FEET OF THE SOUTH 230 FEET OF THE EAST 100 FEET OF LOT 1, BLOCK 43, MAP OF THE TOWN OF TARPON SPRINGS, FLORIDA, A SUBDIVISION LYING IN SECTION 13, TOWNSHIP 7 SOUTH, RANGE 15 EAST, AS SHOWN ON THE PLAT RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, OF WHICH PINELLAS COUNTY, FLORIDA WAS FORMERLY A PART.

CERTIFIED TO:

LIVE EDGE SLABS HOLDINGS, LLC
 HILLSBOROUGH TITLE, INC.
 AGENTS NATIONAL TITLE INSURANCE COMPANY

FLOOD ZONE:

12103C0038G
 ZONE: X
 EFF: 09/03/2003

SURVEY NOTES:

- DRIVEWAY CROSSES THE BOUNDARY LINE ON NORTHERLY SIDE OF LOT AS SHOWN.
- FENCES LIE NEAR BOUNDARY LINES AS SHOWN, OWNERSHIP NOT DETERMINED.
- FENCES CROSS THE BOUNDARY LINES ON NORTHERLY, WESTERLY AND EASTERLY SIDES OF LOT AS SHOWN.

LEGEND

- A/C -AIR CONDITIONER
- WM -WATER METER
- AL -ARC LENGTH
- (C) -CALCULATED
- (M) -MEASURED
- P.O.B. -POINT OF BEGINNING
- P.O.C. -POINT OF COMMENCEMENT
- & -AND
- P.B. -PLAT BOOK
- PG -PAGE
- U.E. -UTILITY EASEMENT
- D.E. -DRAINAGE EASEMENT
- P.U.E. -PUBLIC UTILITY EASEMENT
- L.A.E. -LIMITED ACCESS EASEMENT
- L.M.E. -LAKE MAINTENANCE EASEMENT
- O.H.E. -OVERHEAD EASEMENT
- R -RADIUS
- (R) -RECORD
- O.R.B. -OFFICIAL RECORDS BOOK
- Sq.Ft. -SQUARE FEET
- Ac. -ACRES
- DB -DEED BOOK
- (D) -DEED
- (P) -PLAT
- EOW -EDGE OF WATER
- TOB -TOP OF BANK
- OHL -OVERHEAD LINE
- C/O -CLEAN OUT
- ELEV -ELEVATION
- FF -FINISHED FLOOR
- LS -LICENSED SURVEYOR
- LB -LICENSED BUSINESS
- PSM -PROFESSIONAL SURVEYOR & MAPPER
- x - FENCE
- # -NUMBER
- ± -PLUS OR MINUS
- -ASPHALT
- -CONCRETE
- -PAVER/BRINCK
- -WOOD
- ☼ -LIGHT POLE
- ⊗ -WELL
- ⊗ -WATER VALVE
- ⊗ -CENTER LINE
- ⊗ -CATCH BASIN
- ⊗ -FIRE HYDRANT
- ⊗ -UTILITY POLE
- ⊗ -MANHOLE
- ⊗ -ELEVATION

SOME ITEMS IN LEGEND MAY NOT
 APPEAR ON DRAWING.

GENERAL NOTES:

- 1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
- 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)



www.NexGenSurveying.com

561.508.6272

Fax: 561.508.6309

LB 8111

5601 Corporate Way | Suite 103
 West Palm Beach, FL 33407

12-27-15-89982-043-0109

Compact Property Record Card

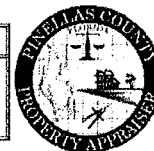
Tax Estimator

Updated March 13, 2021

[Email](#) [Print](#)

[Radius Search](#)

Ownership/Mailing Address Change Mailing Address	Site Address
LIVE EDGE SLABS HOLDINGS LLC 3535 ALT 19 STE A PALM HARBOR FL 34683-1402	DISSTON AVE TARPON SPRINGS



Property Use: 0090 (Vacant Residential Land Current Tax District: TARPON SPRINGS (TS) w/XFSB)

Total Living: SF: Total Gross SF:

[\[click here to hide\]](#) Legal Description

TARPON SPRINGS OFFICIAL MAP BLK 43, N 70FT OF S 230FT OF E 100FT OF LOT 1 (MAP N13-27-15)

Tax Estimator File for Homestead Exemption			2021 Parcel Use	
Exemption	2021	2022		
Homestead:	No	No	Homestead Use Percentage: 0.00%	
Government:	No	No	Non-Homestead Use Percentage: 100.00%	
Institutional:	No	No	Classified Agricultural: No	
Historic:	No	No		

Parcel Information Latest Notice of Proposed Property Taxes (TRIM Notice)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone (NOT the same as a FEMA Flood Zone)	Flood Zone (NOT the same as your evacuation zone)	Plat Book/Page
21084/0138 ■	\$49,700	121030274021	D	Compare Preliminary to Current FEMA Maps	D-G/800

2020 Interim Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2020	\$40,338	\$40,338	\$40,338	\$40,338	\$40,338

[\[click here to hide\]](#) Value History as Certified (yellow indicates correction on file)

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2019	No	\$34,653	\$26,104	\$26,104	\$34,653	\$26,104
2018	No	\$35,652	\$23,731	\$23,731	\$35,652	\$23,731
2017	No	\$33,045	\$21,574	\$21,574	\$33,045	\$21,574
2016	No	\$24,631	\$19,613	\$19,613	\$24,631	\$19,613
2015	No	\$17,830	\$17,830	\$17,830	\$17,830	\$17,830
2014	No	\$21,453	\$17,312	\$17,312	\$21,453	\$17,312
2013	No	\$21,696	\$15,738	\$15,738	\$21,696	\$15,738
2012	No	\$14,307	\$14,307	\$14,307	\$14,307	\$14,307
2011	No	\$18,447	\$18,447	\$18,447	\$18,447	\$18,447
2010	No	\$32,081	\$32,017	\$32,017	\$32,081	\$32,017
2009	No	\$29,106	\$29,106	\$29,106	\$29,106	\$29,106
2008	No	\$31,300	\$31,300	\$31,300	\$31,300	\$31,300
2007	No	\$32,800	\$32,800	\$32,800	N/A	\$32,800
2006	No	\$24,700	\$24,700	\$24,700	N/A	\$24,700
2005	No	\$24,500	\$24,500	\$24,500	N/A	\$24,500
2004	No	\$0	\$0	\$0	N/A	\$0
2003	No	\$0	\$0	\$0	N/A	\$0
2002	No	\$0	\$0	\$0	N/A	\$0

2020 Tax Information

2020 Tax Bill	Tax District: TS
2020 Final Millage Rate	20.0018

Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our new [Tax Estimator](#) to estimate taxes under new ownership.

Ranked Sales (What are Ranked Sales?) [See all transactions](#)

Sale Date	Book/Page	Price	Q/U	V/I
06 Jul 2020	21084 / 0138 ■	\$250,000	M	V

2020 Land Information

Seawall: No

Frontage:

View: None

Land Use	Land Size	Unit Value	Units	Total Adjustments	Adjusted Value	Method
Vacant (00)	70x100	825.00	70.0000	0.7820	\$45,160	FF

[click here to hide] 2021 Extra Features

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
CARPORT	\$0.00	960.00	\$0.00	\$0.00	1940

[click here to hide] Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
---------------	-------------	------------	-----------------

No Permit Data Found



If you are experiencing issues with this map loading, you may need to clear your web browsing history, then close and restart your web browser.

[Interactive Map of this parcel](#)

[Map Legend](#)

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6/12/2020

L20000157907

Florida Department of State
Division of Corporations
Electronic Filing Cover Sheet

Note: Please print this page and use it as a cover sheet. Type the fax audit number (shown below) on the top and bottom of all pages of the document.

((H20000178511 3)))



H200001785113ABCZ

Note: DO NOT hit the REFRESH/RELOAD button on your browser from this page. Doing so will generate another cover sheet.

To: Division of Corporations
Fax Number : (850)617-6381

From: Account Name : BARNETT, BOLT, KIRKWOOD, LONG, KOEHE & FOSTER
Account Number : 072731001155
Phone : (813)253-2020
Fax Number : (813)251-6711

Enter the email address for this business entity to be used for future annual report mailings. Enter only one email address please.

Email Address: sosfilings@barnettbolt.com

FLORIDA LIMITED LIABILITY CO.
Live Edge Slabs Holdings, LLC

Certificate of Status	1
Certified Copy	0
Page Count	03
Estimated Charge	\$130.00

FILED
TALLAHASSEE FLORIDA

2020 JUN 12 PM 1:08

2020 JUN 12 AM 11:07

H20000178511

**ARTICLES OF ORGANIZATION
OF
LIVE EDGE SLABS HOLDINGS, LLC**

The undersigned hereby organizes a limited liability company under the provisions of the Florida Revised Limited Liability Company Act, and pursuant to the following Articles of Organization:

ARTICLE 1

Name

The name of this limited liability company is:

Live Edge Slabs Holdings, LLC

(hereafter, the "Company").

ARTICLE 2

Effective Date

The Company shall have perpetual existence, commencing on the date that these Articles of Organization are filed with the Florida Department of State.

ARTICLE 3

Mailing Address and Principal Office

The address of the principal office and the mailing address of the Company is 3535 Alternate 19, Suite A, Palm Harbor, Florida 34683.

ARTICLE 4

Initial Registered Office and Agent

The street address of the initial registered office of the Company is 3535 Alternate 19, Suite A, Palm Harbor, Florida 34683, and the name of the initial registered agent of the Company at that address is Bradley D. Kent.

H20000178511

H20000178511

ARTICLE 5
Management of the Company

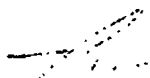
The Company is to be managed by one or more managers and is, therefore, a manager-managed company. The initial manager of the Company shall be:

Bradley D. Kent
3535 Alternate 19
Suite A
Palm Harbor, Florida 34683

ARTICLE 6
Indemnification

The Company shall indemnify its managers and members to the fullest extent authorized by law.

IN WITNESS WHEREOF, the undersigned member has executed these Articles of Organization this 9th day of June, 2020.



BRADLEY D. KENT, Member

2020 JUN 12 PM 1:08
FILED IN THE OFFICE OF THE
CLERK OF THE CIRCUIT COURT
IN AND FOR THE COUNTY OF PALM BEACH
FLORIDA

H20000178511

CERTIFICATE OF DESIGNATION OF REGISTERED AGENT/REGISTERED OFFICE OF LIVE EDGE SLABS HOLDINGS, LLC

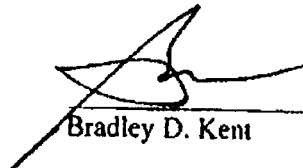
Pursuant to the provisions of Section 605.0113 of the Florida Statutes, the undersigned limited liability company submits the following statement in designating the registered office/registered agent, in the State of Florida.

- 1. The name of the limited liability company is Live Edge Slabs Holdings, LLC.
- 2. The name and address of the registered agent and office are:

Bradley D. Kent
3535 Alternate 19
Suite A
Palm Harbor, Florida 34683

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent as provided for in Chapter 605, Florida Statutes.

Dated: June 9, 2020.


Bradley D. Kent

2020 JUN 12 PM 1:09
TALLAHASSEE, FLORIDA

H20000178511

12-27-15-89982-043-0102

Compact Property Record Card

Tax Estimator

Updated March 13, 2021

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[Radius Search](#)

[FEMA/WLM](#)

Ownership/Mailing Address Change Mailing Address	Site Address
LIVE EDGE SLABS HOLDINGS LLC 3535 ALT 19 STE A PALM HARBOR FL 34683-1402	526 E LEMON ST TARPON SPRINGS



Property Use: 4800 (General Warehouse) Current Tax District: TARPON SPRINGS (TS) Total Heated SF: 2,400 Total Gross SF: 2,400

[\[click here to hide\]](#) Legal Description

TARPON SPRINGS OFFICIAL MAP BLK 43, N 70 FT OF E 100 FT OF LOT 1 (SEE N13-27-15)

File for Homestead Exemption			2021 Parcel Use	
Exemption	2021	2022		
Homestead:	No	No	Homestead Use Percentage: 0.00%	
Government:	No	No	Non-Homestead Use Percentage: 100.00%	
Institutional:	No	No	Classified Agricultural: No	
Historic:	No	No		

Parcel Information Latest Notice of Proposed Property Taxes (TRIM Notice)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone (NOT the same as a FEMA Flood Zone)	Flood Zone (NOT the same as your evacuation zone)	Plat Book/Page
21084/0138	Sales Query	121030274021	D	Compare Preliminary to Current FEMA Maps	D-G/800

2020 Interim Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2020	\$98,000	\$98,000	\$98,000	\$98,000	\$98,000

[\[click here to hide\]](#) Value History as Certified (yellow indicates correction on file)

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2019	No	\$96,000	\$96,000	\$96,000	\$96,000	\$96,000
2018	No	\$95,000	\$91,960	\$91,960	\$95,000	\$91,960
2017	No	\$90,000	\$83,600	\$83,600	\$90,000	\$83,600
2016	No	\$76,000	\$76,000	\$76,000	\$76,000	\$76,000
2015	No	\$74,800	\$74,800	\$74,800	\$74,800	\$74,800
2014	No	\$73,400	\$73,400	\$73,400	\$73,400	\$73,400
2013	No	\$70,000	\$70,000	\$70,000	\$70,000	\$70,000
2012	No	\$67,000	\$67,000	\$67,000	\$67,000	\$67,000
2011	No	\$70,000	\$70,000	\$70,000	\$70,000	\$70,000
2010	No	\$75,000	\$75,000	\$75,000	\$75,000	\$75,000
2009	No	\$90,000	\$90,000	\$90,000	\$90,000	\$90,000
2008	No	\$112,000	\$112,000	\$112,000	\$112,000	\$112,000
2007	No	\$109,000	\$109,000	\$109,000	N/A	\$109,000
2006	No	\$95,000	\$95,000	\$95,000	N/A	\$95,000
2005	No	\$65,000	\$65,000	\$65,000	N/A	\$65,000
2004	No	\$60,000	\$60,000	\$60,000	N/A	\$60,000
2003	No	\$52,000	\$52,000	\$52,000	N/A	\$52,000
2002	No	\$50,300	\$50,300	\$50,300	N/A	\$50,300
2001	No	\$46,100	\$46,100	\$46,100	N/A	\$46,100
2000	No	\$45,100	\$45,100	\$45,100	N/A	\$45,100
1999	No	\$38,600	\$38,600	\$38,600	N/A	\$38,600
1998	No	\$37,200	\$37,200	\$37,200	N/A	\$37,200
1997	No	\$35,700	\$35,700	\$35,700	N/A	\$35,700
1996	No	\$36,500	\$36,500	\$36,500	N/A	\$36,500

2020 Tax Information

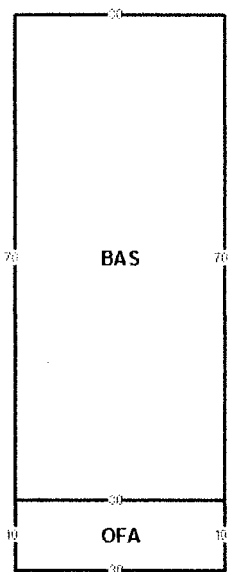
Ranked Sales [\(What are Ranked Sales?\)](#) [See all transactions](#)

<u>2020 Tax Bill</u>	Tax District: TS	Sale Date	Book/Page	Price	Q/U	V/I
2020 Final Millage Rate	20.0018	06 Jul 2020	21084 / 0138	\$250,000	M	I
Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our new <u>Tax Estimator</u> to estimate taxes under new ownership.						

2020 Land Information						
Seawall: No	Frontage:			View: None		
Land Use	Land Size	Unit Value	Units	Total Adjustments	Adjusted Value	Method
Warehouse Stor/Dist (48)	70x100	6.25	7000.0000	1.0000	\$43,750	SF

[click here to hide] 2021 Building 1 Structural Elements Back to Top
Site Address: 526 E LEMON ST

Building Type: Warehouses
Quality: Average
Foundation: Continuous Footing
Floor System: Slab On Grade
Exterior Wall: Concrete Blk/Stucco
Roof Frame: Gable Or Hip
Roof Cover: Composition Shingle
Stories: 1
Living units: 0
Floor Finish: Concrete Finish
Interior Finish: None
Fixtures: 5
Year Built: 1968
Effective Age: 30
Cooling: None



Compact Property Record Card

[Open plot in New Window](#)

Building 1 Sub Area Information

Description	Building Heated SF	Gross Area SF
Office Average (OFA)	300	300
Base (BAS)	2,100	2,100
Total Building Heated SF: 2,400		Total Gross SF: 2,400

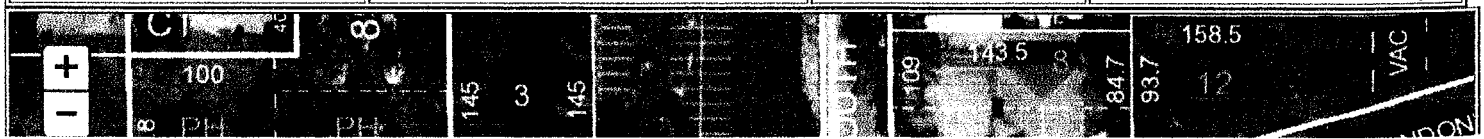
[click here to hide] 2021 Extra Features

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
CANOPY	\$10.00	400.00	\$4,000.00	\$4,000.00	1990

[click here to hide] Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
20-00002964	ROOF	01 Dec 2020	\$9,000
20-00002964A	ROOF	01 Dec 2020	\$9,000
20-00001926	TPP USE	27 Aug 2020	\$2,475
19-00003184	MISCELLANEOUS	12 Dec 2019	\$0
18-00002356	ELECTRICAL	31 Aug 2018	\$2,400
17-00002496	MISCELLANEOUS	18 Oct 2017	\$2,097





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[Interactive Map of this parcel](#)

[Map Legend](#)

[Sales Query](#)

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**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-35 - ELSTEPHMAR LLC - CONDITIONAL USE FOR TOURIST HOME - 12 W ORANGE STREET**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name ELSTEPHMAR LLC		Email Carra3@yahoo.com	
Address 12 WEST ORANGE ST.			
City TARPON Springs	State FLORIDA	Zip 34689	
Phone 347-393-8769	Fax	Cellular	

Applicant

Name Carol Niobas (AMBR) ELSTEPHMAR, LLC		Email Carra3@yahoo.com	
Address 12 WEST ORANGE ST.			
City TARPON Springs	State FL	Zip 34689	
Phone	Fax	Cellular	

Agent (if applicable)

Name N/A		Email	
Address N/A			
City	State	Zip	
Phone	Fax	Cellular	

General Information

Property Location or Address 12 WEST ORANGE ST.		
Legal Description (attach additional sheets as necessary) Begin SEE ATTACHED		
Tax Parcel Number(s) 12-27-15-89982-064-0306		
Current Use of Property Residential Rental		
Conditional Use Requested the Vacation Rental Air B-N-B		
Present City of Tarpon Springs Designations	Land Use Category Mixed	Zoning District SAP

IMPORTANT NOTE: In connection with the approval of any Conditional Use, the Board of Commissioners may make the approval subject to conditions, stipulations and/or safeguards as it deems necessary to ensure compliance with the provisions of the Land Development Code (LDC) and/or Comprehensive Plan. Failure to comply with the approval conditions shall be deemed a violation of the LDC and be enforced as such.

EXHIBIT A

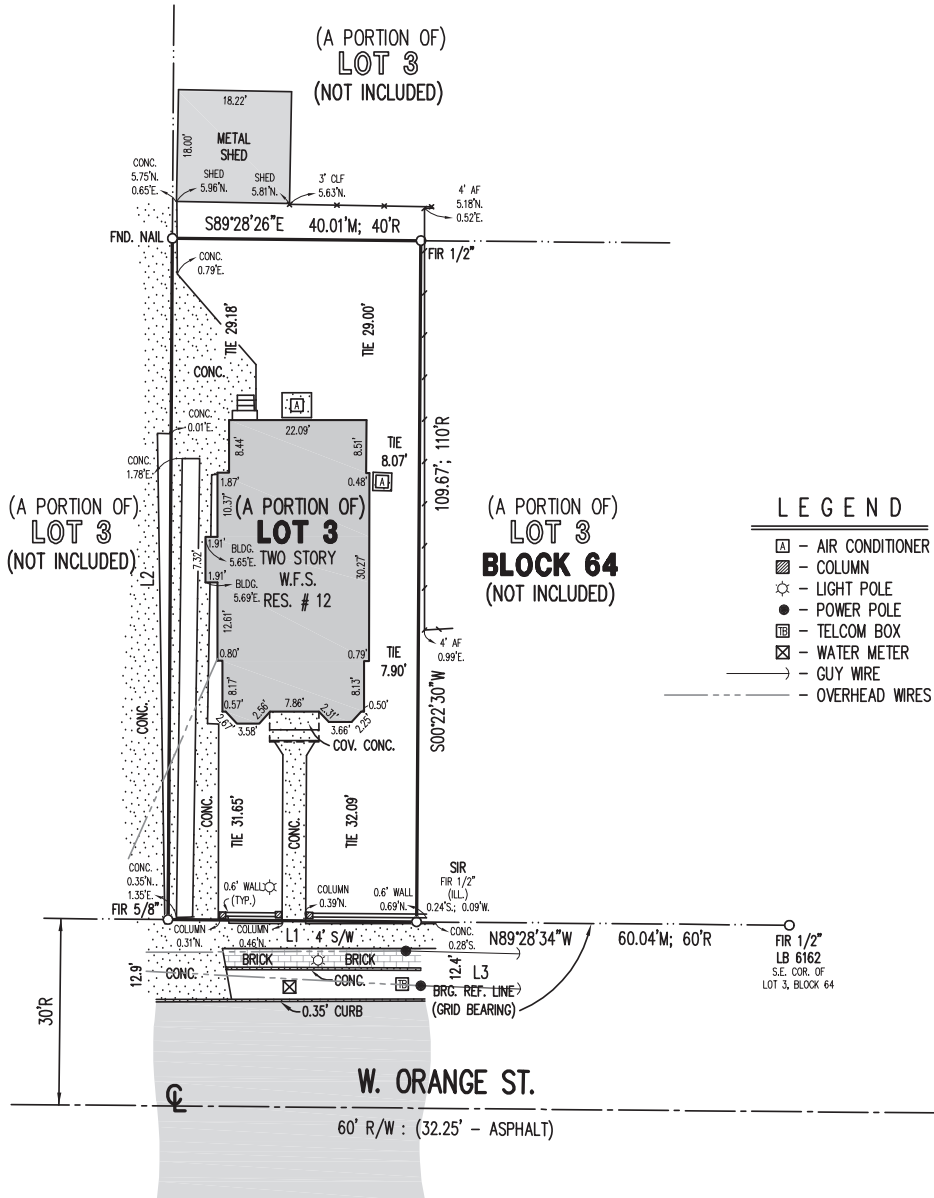
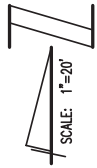
Beginning 60 feet West of the Southeast corner of Lot 3, Block 64, Official Map of the City of Tarpon Springs, running thence North 110 feet; thence West 40 feet; thence South 110 feet; thence East 40 feet along the North side of Orange Street to the Point of Beginning, as shown on Plat recorded in Plat Book G, Pages 800 and 801, of the Public Records of Pinellas County, Florida, also described as beginning 60 feet West of the Southeast corner of Lot 3, Block 64, Official Map of the City of Tarpon Springs, running thence North 110 feet, thence West 40 feet; thence South 110 feet; thence East 40 feet along the North side of Orange Street to the Point of Beginning, as shown on Plat recorded in Plat Book 4, Page 78, of the Public Records of Pinellas County, Florida.

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

The following **MUST** be furnished with this application: [incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents
- \$500.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- Survey, signed and sealed by a professional land surveyor
- Legal description of the property
- Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)
- Written description of proposed use
- Site plan, as applicable
- A copy of the completed DBPR Division of Alcoholic Beverages and Tobacco application if requesting a beer, wine and/or liquor license
- A detailed floor plan and preliminary report from State/County oversight agency if requesting an ACLF/ALF
- If applying to establish a Nonconforming Lot pursuant to Section 209.02, LDC the applicant must also submit an architectural elevation and a complete site plan that meets the requirements of Section 210.00, LDC *et seq.*
- Mailing labels for public notices and applicable postage charges. (City staff will prepare the labels and calculate postage charges when a complete application is submitted.)

BOUNDARY SURVEY - SHEET 1 OF 2



LEGAL DESCRIPTION

- LINE L1
N89°28'34"W - 40.01'M; 40'R
- LINE L2
N00°22'30"E - 109.67'M; 110'R
- LINE L3
N89°28'34"W - 100.05'M; 100'R

BEGINNING 60 FEET WEST OF THE SOUTHEAST CORNER OF LOT 3, BLOCK 64, OFFICIAL MAP OF THE CITY OF TARPON SPRINGS, RUNNING THENCE NORTH 110 FEET, THENCE WEST 40 FEET, THENCE EAST 40 FEET, THENCE SOUTH 110 FEET, THENCE WEST 40 FEET, THENCE EAST 40 FEET ALONG THE NORTH SIDE OF ORANGE STREET TO THE POINT OF BEGINNING, AS SHOWN ON PLAT RECORDED IN PLAT BOOK G, PAGES 800 AND 801, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, ALSO BEING DESCRIBED AS BEGINNING 60 FEET WEST OF THE SOUTHEAST CORNER OF LOT 3, BLOCK 64, OFFICIAL MAP OF THE CITY OF TARPON SPRINGS, RUNNING THENCE NORTH 110 FEET, THENCE WEST 40 FEET, THENCE SOUTH 110 FEET, THENCE EAST 40 FEET ALONG THE NORTH SIDE OF ORANGE STREET TO THE POINT OF BEGINNING, AS SHOWN ON PLAT RECORDED IN PLAT BOOK 4, PAGE 78 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X, IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF TARPON SPRINGS, PINELLAS COUNTY, COMMUNITY NUMBER 120259 (MAP NUMBER 12103C-0019-G), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR

EISTEPH MAR, LLC; CAROL NOTIAS

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George A. Shimp II & Associates, Inc.
Anyone copying this document in any manner without the expressed consent of GEORGE A. SHIMP II & ASSOCIATES, INC. shall be prosecuted to the full extent of the law.
DO NOT COPY OR REPRODUCE.

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 5J-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE

UNOFFICIAL COPY
FOR INFORMATIONAL PURPOSES ONLY FOR THE CERTIFIED PARTIES

JOB NUMBER: 210087	DATE SURVEYED: 3-9-2021
DRAWING FILE: 210087.DWG	DATE DRAWN: 3-18-2021
LAST REVISION: N/A	X REFERENCE: N/A



M.A.
LB 1834

GEORGE A. SHIMP II AND ASSOCIATES, INCORPORATED
LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-30 - NANCY S. WHITE - VARIANCE TO FRONT SETBACK FOR POOL - 533 DORIC COURT**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

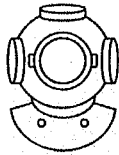
REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

BOARD OF ADJUSTMENT APPLICATION



CITY OF
TARPON SPRINGS
 FLORIDA

TEL: (727) 942-5611
 EMAIL: planning@ctsfl.us

www.ctsfl.us

This application **MUST** be completed **IN FULL** and submitted with all applicable documents listed below in order to be scheduled for a Board or Committee.

All fees **MUST** be paid in full prior to Public Hearing.

- Completed original application form and digital copies of all application documents**
- Application fee:
 - Variance Request \$250.00 each, or
 - Appeal of Administrative Decision \$250.00 each, and
 - Newspaper Ad \$150.00 each, and
 - Postcards to 500 foot radius \$.77 each, and
 - Placard \$ 16.00
- (Call for assistance with fees if needed.)*
- Property survey, signed and sealed by a professional land surveyor
- Site Plan with documentation of variance request (to scale with measurements called out)
- Photographs of site if relevant to request.
- Digital copies of all plans and documents
- Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)
- Other supporting information, as necessary

1. Property Owner(s)

Name <i>Nancy S. White Trust</i>		Email <i>NESWhite@aol.com</i>	
Address <i>533 Doric Court</i>			
City <i>Tarpon Springs</i>		State <i>FL</i>	Zip <i>34689</i>
Phone <i>248 688 7007</i>		Fax	Cellular

2. Applicant

Name <i>same as above</i>		Email	
Address			
City		State	Zip
Phone		Fax	Cellular

3. Agent (if applicable)

Name		Email	
Address			
City		State	Zip
Phone		Fax	Cellular

4. General Information

Property Location or Address <i>533 Doric Court, Tarpon Springs, FL 34689</i>		
Legal Description (attach additional sheets as necessary) <i>lot 12, 13 + 14 plat book 13, Page 26 Bayou Gardens in Pinellas County</i>		
Tax Parcel Number(s) <i>11-27-15-03834-000 -0120</i>	Land Use Category	Zoning District

BOARD OF ADJUSTMENT APPLICATION

Describe Request and how it varies from the code with details that match your site plan. (e.g., A side setback variance reduction from the required 10 feet to 9.5 feet to allow for addition.) Attach additional sheets as necessary.

A setback variance from the fence to build a swimming pool. No other space is available. The other side has the septic tank on it and there is not enough room on the water side (bayou side)

Required LDC Regulation(s): [list all that apply] Follow link below to our Land Development Code.
https://library.municode.com/fl/tarpon_springs/codes/code_of_ordinances?nodeId=COOR_APCOZOLADECO_ARTIIDIRE_S25.00SCDIRE

§ 36.02

Board of Adjustment Review Standards

The Board of Adjustment is unable to grant a variance unless the applicant demonstrates that their application meets the criteria listed below: **(Please review the standards listed in the instructions and explain how your request meets each one, use additional sheets if necessary.)**

(1) Do you have a physical hardship that prevents you from building within the current setbacks? If yes, please explain. If there is no physical hardship, you do not meet the criteria. You may note the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to your property. (Provide photographs if possible.)

(a) You may consider the Preservation of a Protected Tree(s) or Native Tree(s). However, you may not consider the location of an Invasive Tree(s), as your reason for not being able to build within the setbacks.

(b) Location of the property in the Historic District within the City may also be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within that District before any variance may be granted. In addition, any variance applied for within the Historic District shall be considered by the Board of Adjustment only after the Board considers the comments and recommendations of the Heritage Preservation Board.

e.g., Cannot build within setbacks because of non-conforming lot size, septic system or tree in the way, or your property has

topographical limitation.

Cannot build on other side of yard because the septic tank is there.

**BOARD OF ADJUSTMENT
APPLICATION**

(2) Did you create the situation that requires you to have a variance? If no, please explain how your application is not self-created. (e.g., The property was platted but is now non-conforming or a mature tree is in the way.) If the need for the variance is self-created, you do not meet the variance criteria.

We purchased the property on 2/22/21. Septic tank was
already in place.

(3) If the variance is denied, will you still have reasonable use of the property? If no, please explain why. If yes, you do not meet the variance criteria. State the reason you will not be able to efficiently use the property if the variance is not allowed.

No, there is no other place that a pool will fit.
my wife needs a lap pool for her heart disease exercise.

(4) If the variance is approved, will you receive a special privilege that other properties in the area do not have? If no, please state reason. If you will receive a special privilege, you do not meet the variance criteria. (e.g., The Variance would allow you to build a much larger house than what your neighbors are able to build on their property.)

No, our neighbors have pools. other lot ~~is~~ next to
lence is vacant & will not be built on due to mangrove
trees

(5) Will the approval of your variance have an adverse effect on adjacent property? If no, please explain. If yes, you do not meet the variance criteria. The requested variance should not diminish property values, interfere with, or create a nuisance to, property in the surrounding area.

No, lot is vacant & will stay vacant due to
mangrove trees.

**BOARD OF ADJUSTMENT
APPLICATION**

Applicant's Signature:

The information included in and with this application is true and correct to the best of my knowledge.

Nancy White 3/5/2021
Applicant's Signature Date

Agent's Signature: (I represent the applicant/owner)

The information contained in and with this application is true and correct to the best of my knowledge.

N.A.
Agent's Signature Date

Owner's Signature:

I authorize the agent named above on this form to provide subject matter on the application contained herein for the purposes of discussion with City Staff, and to attend public hearings on my behalf. In addition, I authorize the filing of this application and certify ownership of the property described in this application as myself. Within this application, I have included all parties to an existing contract for sale. I further assent to the City's Comprehensive Plan as it applies to the property and it is understood that this application must be complete and accurate, and the appropriate fee paid prior to processing.

Nancy White 3/5/2021
Owner's Signature Date

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this _____ day of _____, A.D., 20 ____
by _____, who is personally known to me or who has produced
PROPERTY OWNER NAME PRINTED
_____ as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name: _____

Signature: _____

Stamp:

Pool Specs

Perimeter: 278' 5" Area: 11919 sq ft
 Envelope: 52' 4" x 21' 3" 55' x 28' 5"
 Depth: 3' to 4' 5" RTNS: _____
 Drains: 0 Lights: 0
 Skim: _____ P.C.: _____
 Dig Type: _____ Volume: 32,039 gallons
 Spillover Length(s): _____
 Coping Material: Pavers, Silver
 Interior Finish: Pool Interiors, Blue Mix, Pool Interiors, Blue
 Notes: _____

Spa Specs

Perimeter: 0' Area: 0 sq ft
 Jets: _____ Height: _____
 Lights: 0 RTNS: _____
 Drains: 0 Spillover Length(s): _____
 Coping Material: _____
 Interior Finish: _____
 Notes: _____

Tile Specs

Raised Beams: _____

Pool Tile Material: Tile, Stone, Blue Beach
 Spa Tile Material: _____
 Notes: _____

Deck Specs

Perimeter: 225' 4" Area: 1195.59 sq ft
 Coping Area: 0 sq ft
 Coping Material: _____
 Surface Material: Pavers, Moroccan, Gray
 Turn Down: _____ Riser: _____

NOTES: _____

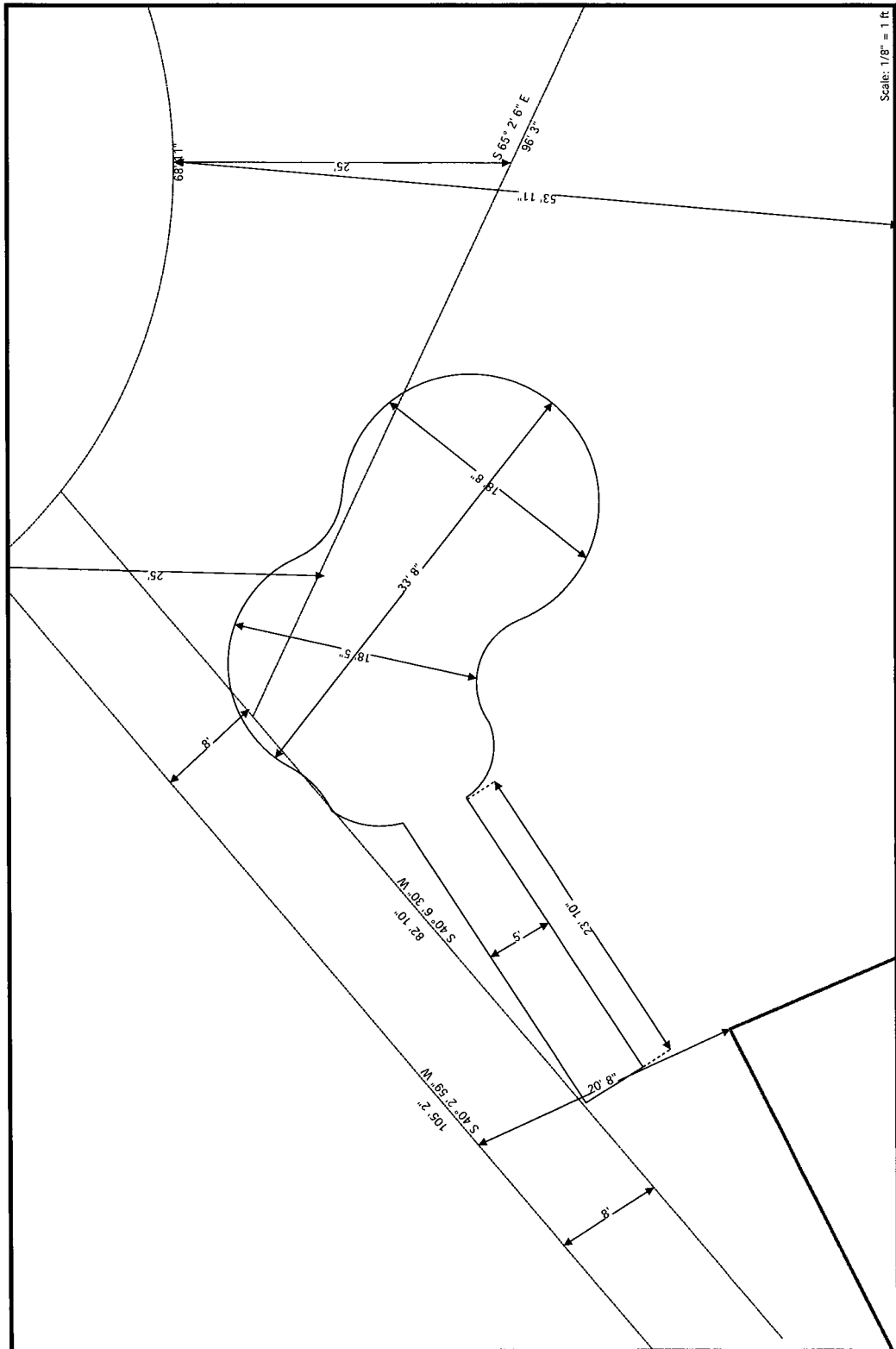
Equipment

Circle Pump: _____ Control Panel: _____
 Pump #2: _____ Remote: _____
 Pump #3: _____ Sanitizer: _____
 Filter: _____ Blower: _____
 Heater: _____ Fill Line: _____
 Cleaner: _____ Other: _____
 Pool Light: _____ Other: _____
 Spa Light: _____ Other: _____
 Other: _____
 Notes: _____

Approval

I/we (the undersigned) have reviewed this plan and approve it as correct within reasonable tolerance. I/we understand that any changes made to a shape or to a location may delay the project and/or result in additional cost.

X

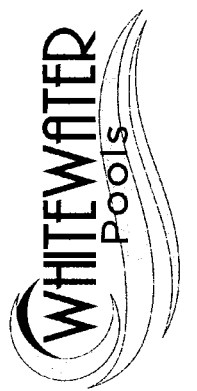


Scale: 1/8" = 1 ft

Pool Depth Profile

Block: _____
 Subdivision: _____
 Lot #: _____
 PG: _____
 Notes: _____

Project Name: White
 Client Name: White
 Client Email: _____
 Client Phone: _____
 Address: 533 Doris court
 City: Tarpon Springs, FL
 State/Province: FL
 Zip/Postal Code: 34689
 Designer Name: Eddie White

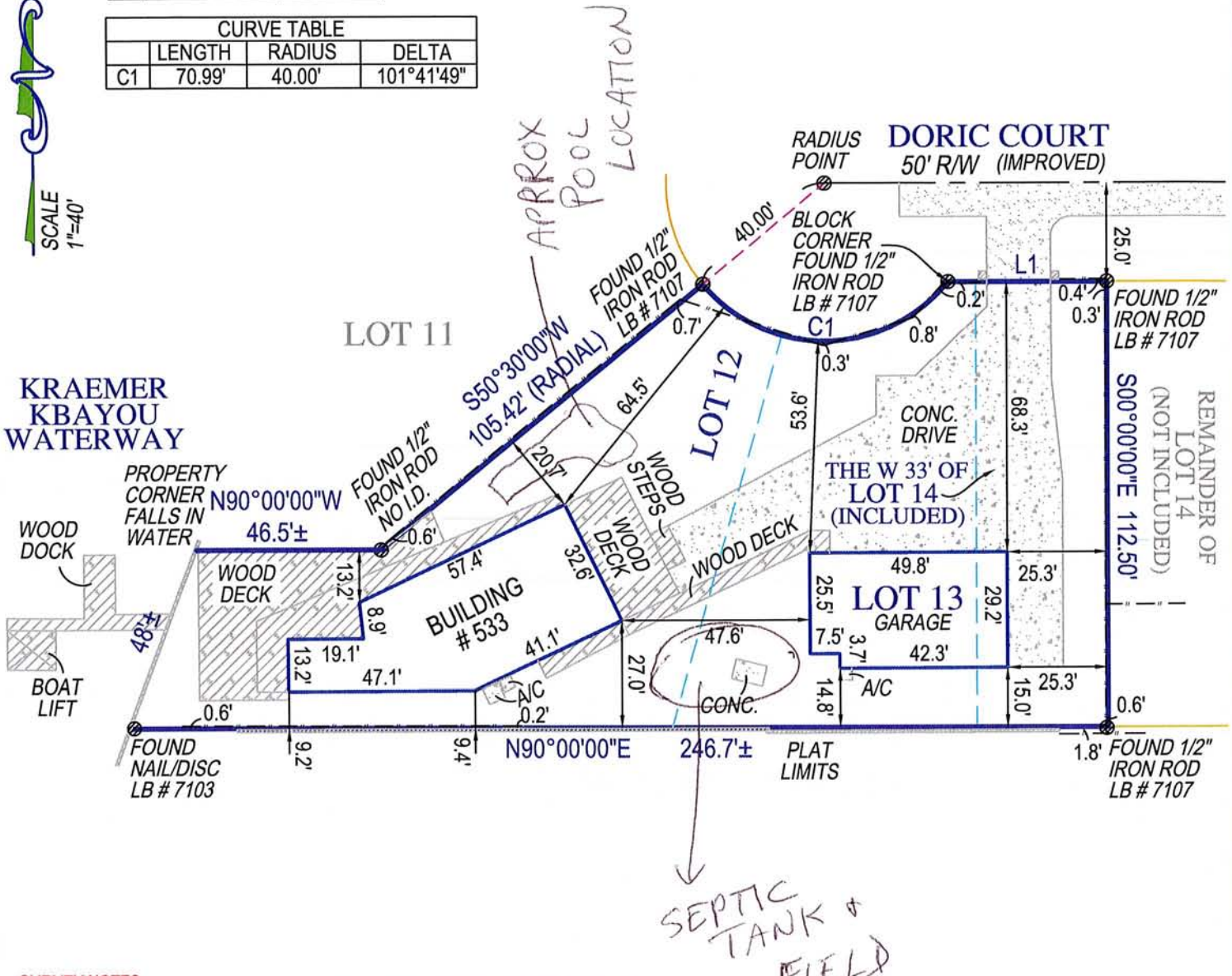


BOUNDARY SURVEY

LINE TABLE		
	BEARING	LENGTH
L1	N90°00'00"W	40.00'

CURVE TABLE			
	LENGTH	RADIUS	DELTA
C1	70.99'	40.00'	101°41'49"

SCALE
1"=40'



SURVEY NOTES
 CONCRETE DRIVE CROSSES THE PROPERTY LINE ON NORTHERLY SIDE OF LOT.
 WOOD DOCK AND BOAT LIFT CROSSES THE PROPERTY LINE ON WESTERLY SIDE OF LOT.
 THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.



SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

Kenneth Osborne
 (SIGNED)

KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

KENNETH OSBORNE
 Digitally signed by KENNETH OSBORNE
 Date: 2021.01.18 14:29:29 -05'00'

PAGE 2 OF 2 PAGES
 (NOT COMPLETE WITHOUT PAGE 1)



TARGET SURVEYING, LLC

LB #7893
 SERVING FLORIDA
 6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>

TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

PROJECT NAME: **21-36 – GIANESKIS - NON-CONFORMING LOT AND SETBACK VARIANCE - CENTER LOT ON WHITCOMB BLVD BETWEEN CAROLINA AND BAYOU AVE**

DATE: 4/1/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:	REVIEWER DEPARTMENT:
<input type="checkbox"/> APPROVE <input type="checkbox"/> DENY <input type="checkbox"/> DEFER <input type="checkbox"/> SEE BELOW <input type="checkbox"/> NO COMMENTS	REVIEWER _____ INITIALS _____

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEARST INFORMATION POSSIBLE TO THE APPLICANT.

**BOARD OF ADJUSTMENT
 APPLICATION**



CITY OF
TARPON SPRINGS
 FLORIDA

TEL: (727) 942-5611
 EMAIL: planning@ctsfl.us

www.ctsfl.us

This application **MUST** be completed **IN FULL** and submitted with all applicable documents listed below in order to be scheduled for a Board or Committee.

All fees **MUST** be paid in full prior to Public Hearing.

- Completed original application form and digital copies of all application documents**
- Application fee:
 - Variance Request \$250.00 each, or
 - Appeal of Administrative Decision \$250.00 each, and
 - Newspaper Ad \$150.00 each, and
 - Postcards to 500 foot radius \$.77 each, and
 - Placard \$ 16.00
- (Call for assistance with fees if needed.)*
- Property survey, signed and sealed by a professional land surveyor
- Site Plan with documentation of variance request (to scale with measurements called out)
- Photographs of site if relevant to request.
- Digital copies of all plans and documents
- Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)
- Other supporting information, as necessary

1. Property Owner(s)

Name		Email	
ANASTASIS ANASTASIADES			
Address			
155 WHITCOMB BLVD.			
City	State	Zip	
TARPON SPRINGS	FL	34689	
Phone		Fax	Cellular

2. Applicant

Name		Email	
J. MARK GIANESKIS		MARK@MARKGIANESKIS.COM	
Address			
487 RIVERSIDE DR.			
City	State	Zip	
TARPON SPRINGS	FL	34689	
Phone		Fax	Cellular
			727-430-4909

3. Agent (if applicable)

Name		Email	
J. MARK GIANESKIS			
Address			
CONTACT SEE INFO ABOVE			
City	State	Zip	
Phone		Fax	Cellular

4. General Information

Property Location or Address		
VACANT LOT ON WHITCOMB		
Legal Description (attach additional sheets as necessary)		
ORANGE HEIGHTS BLK 3, LOT 3 & 1/2 VAC ALLEY ON S OF SD LOT		
Tax Parcel Number(s)	Land Use Category	Zoning District
13-27-15-64188-003-0030	RES: SINGLE FAMILY	R100

**BOARD OF ADJUSTMENT
APPLICATION**

Describe Request and how the Non-Conforming Lot of Record varies from the requirements of Section 25 of the Land Development Code. Attach additional sheets as necessary.

REQUESTING NON-CONFORMING LOT OF RECORD
APPROVAL ^{grd 3/19/21}
REQUESTING R-70 ~~A~~ SIDE YARD SETBACKS.

Required LDC Regulation(s): [list all that apply] Follow link below to our Land Development Code.
https://library.municode.com/fl/tarpon_springs/codes/code_of_ordinances?nodeId=COOR_APCOZOLADECO_ARTIIDIRE_S25.00SCDIRE

Board of Adjustment Review Standards

The Board of Adjustments may grant a variance to allow a nonconforming lot of record to built upon, if the following standards are met and proven by competent substantial evidence: **(Please review the standards listed in the instructions below. For each requirement, explain how your request is met. Use additional sheets if necessary.) You may reference Section 215.02.5 at the link below if needed.**

https://library.municode.com/fl/tarpon_springs/codes/code_of_ordinances?nodeId=COOR_APCOZOLADEC_O_ARTXIIADEN_S215.02.5VANOLORE

(1) Does the lot consist of at least one entire lot of record on the effective date of this Code? (Provide legal description on single deeds going back to 1990.)

e.g., The lot was created in 1926 and has remained a single lot of record since.

ATTACHED IS A WARRANTY DEED DATING BACK
TO MAY 24, 1971 LISTING THE LOT AS
A SINGLE LOT OF RECORD.

**BOARD OF ADJUSTMENT
APPLICATION**

(2) Was the lot created in violation of a previous zoning ordinance? (Explain if or when the lot was separated or subdivided.)

NO

(3) Was the lot combined with a neighboring lot under common ownership in order to allow the existing improvements on the neighboring developed lot to meet applicable setbacks. (Are the neighboring houses on conforming lots?)

NO

You may use the records of Pinellas County to answer some of the questions above. There are links below to the Pinellas County Property Appraiser's website and the Pinellas County Clerk of Court.

Pinellas County Property Appraiser: <https://www.pcpao.org/>

Pinellas County Clerk, Official Records: <https://ccmspa.pinellascounty.org/PublicAccess/default.aspx>

**BOARD OF ADJUSTMENT
APPLICATION**

Applicant's Signature:

The information included in and with this application is true and correct to the best of my knowledge.

Mark Yiannakis _____ 3/10/21
Applicant's Signature Date

Agent's Signature: (I represent the applicant/owner)

The information contained in and with this application is true and correct to the best of my knowledge.

Mark Yiannakis _____ 3/10/21
Agent's Signature Date

Owner's Signature:

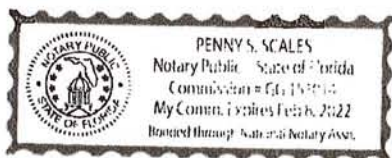
I authorize the agent named above on this form to provide subject matter on the application contained herein for the purposes of discussion with City Staff, and to attend public hearings on my behalf. In addition, I authorize the filing of this application and certify ownership of the property described in this application as myself. Within this application, I have included all parties to an existing contract for sale. I further assent to the City's Comprehensive Plan as it applies to the property and it is understood that this application must be complete and accurate, and the appropriate fee paid prior to processing.

Anastasis Anastasiades dotloop verified
03/17/21 5:13 PM EDT
EJAP-Z8WJ-R3T1-0GHZ

Owner's Signature _____ Date _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

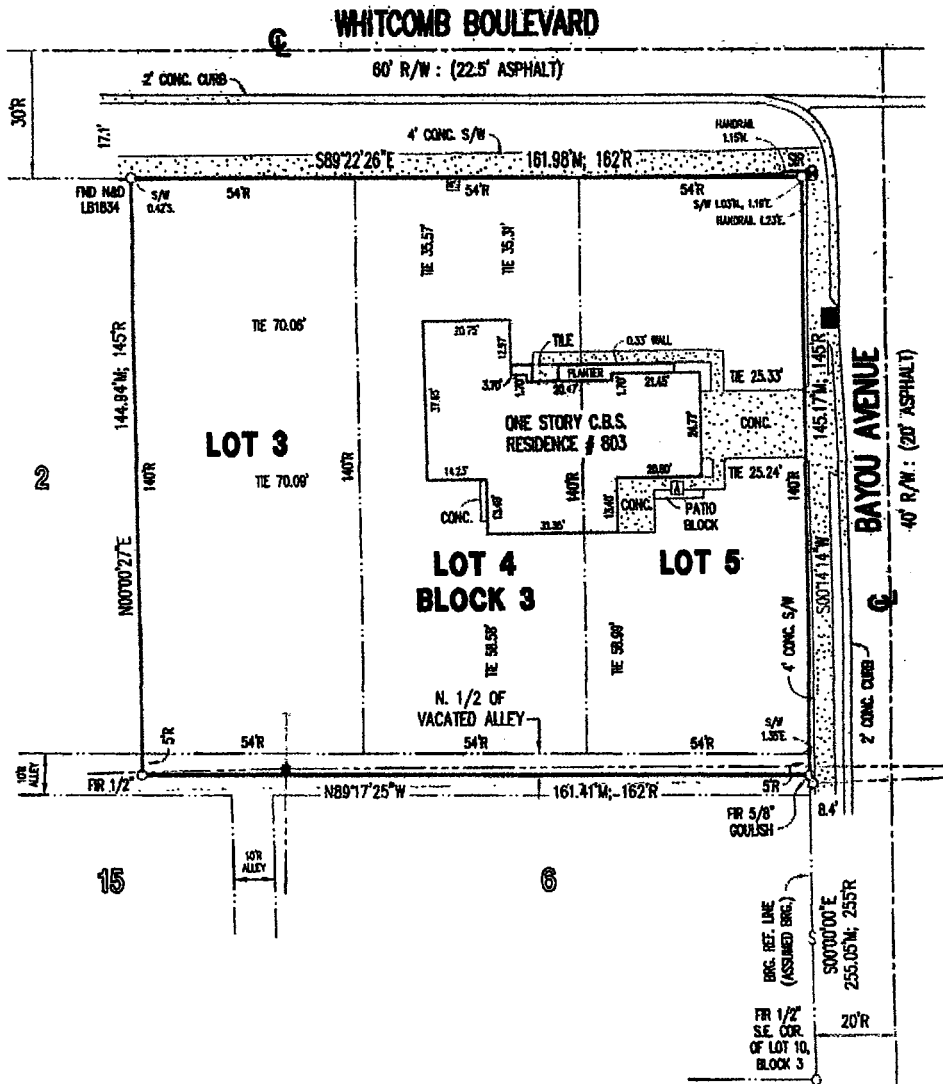
The foregoing instrument was acknowledged before me this 17 day of March, A.D., 20 21
by Anastasis Anastasiades _____, who is personally known to me or who has produced
PROPERTY OWNER NAME PRINTED
_____ as identification and who did (did not) take an oath.



NOTARY PUBLIC

Name: *Penny S. Scales*
Signature: *Penny Scales*
Stamp: _____

BOUNDARY SURVEY - SHEET 1 OF 2



LEGEND

- ☐ - AIR CONDITIONER
- - GRATE INLET
- ☆ - LIGHT POLE
- - POWER POLE
- ⊙ - RECLAIMED WATER VALVE
- - GUY WIRE
- - OVERHEAD WIRES
- ⊠ - WATER SPOUT

LEGAL DESCRIPTION

LOTS 3, 4 AND 5, BLOCK 3, ORANGE HEIGHTS ADDITION TO TARPON SPRINGS, FLA., ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 33, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, TOGETHER WITH THE NORTH 1/2 OF THE VACATED ALLEY ABUTTING ON THE SOUTH SIDE OF SAID LOTS.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE AE (BASE FLOOD ELEVATION OF 10 FEET), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF TARPON SPRINGS, PINELLAS COUNTY, COMMUNITY NUMBER 120259 (MAP NUMBER 12103C-0019-G), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR

ANASTASIS AND DIANE ANASTASIADIS

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 George A. Shimp II & Associates, Inc.
 Anyone copying this document in any manner without the expressed consent of GEORGE A. SHIMP II & ASSOCIATES, INC. shall be prosecuted to the full extent of the law.
 DO NOT COPY OR REPRODUCE

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYS DESCRIBED IN THE STATE OF FLORIDA RULE 5A-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

George A. Shimp II

GEORGE A. SHIMP II, PROFESSIONAL SURVEYOR & MAPPER No. 6137
 THIS SURVEY IS NOT COMPLETE OR VALID WITHOUT THE SURVEYOR'S REPORT (SHEET 2)

JOB NUMBER: 150108
 DRAWING FILE: 150106.DWG
 LAST REVISION: N/A

DATE SURVEYED: 4-21-2015
 DATE DRAWN: 5-11-2015
 X REFERENCE: N/A



GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED
 LAND SURVEYORS LAND PLANNERS
 3301 DeSOTO BOULEVARD, SUITE D
 PALM HARBOR, FLORIDA 34683
 PHONE (727) 784-5496 FAX (727) 786-1256

E.K.M.
 LB 1834

Prepared by and return to:
HERBERT ELLIOTT
Attorney at Law
1111 Riverside Drive
Tarpon Springs, FL 34689

Parcel ID No. 13-27-15-64188-003-0030
Consideration: \$ 95,000.00

WARRANTY DEED

THIS INDENTURE, made this 9th day of February, 2015, Between,

JAMES D. SPIRIDES AND DESPINA SPIRIDES, TRUSTEES UNDER THE SPIRIDES LIVING TRUST U/T/D MARCH 31, 2006, 4953 Killebrew Drive, Annadale Virginia 22003-5322, Grantors, and

ANASTASIS ANASTASIADIS, A MARRIED MAN, 2256 Curlew Road, Palm Harbor, Florida 34683, Grantee,

WITNESSETH that said Grantors, for and in consideration of **** Ten Dollars ****, have granted, bargained and sold to the said Grantee, his heirs and assigns forever, the following described land in Pinellas County, Florida:

Lot 3, Block 3, ORANGE HEIGHTS ADDITION TO TARPON SPRINGS, FLA. according to the map or plat thereof as recorded in Plat Book 3, Page 33, public records of Pinellas County, Florida; together with the North 1/2 of vacated alley abutting on the South thereof.

and the said Grantors do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantors have hereunto set their hand and seal the day and year first above written.

Signed, sealed, and delivered in our presence:

Witness 1: Fere Walker

Printed: Fere Walker

Witness 2: Samina A. Sumi

Printed: SAMINA SUMI

James D. Spirides
James D. Spirides, Trustee

Despina Spirides
Despina Spirides, Trustee

COMMONWEALTH OF VIRGINIA
COUNTY OF Fairfax

The foregoing instrument was acknowledged before me this 9th day of February, 2015, by James D. Spirides and Despina Spirides, who are personally known to me, and who did not take an oath.



Jaswinder Kaur
Notary Public

HOME NEXT DOOR!
PURCHASED FROM
KALEGIS &
BILLIE SPIRIDES
803 WHITCOMB

Prepared by and return to:
Herbert Elliott
Attorney at Law
1111 Riverside Drive
Tarpon Springs, FL 34689

File Number: Spirides
\$245,000

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 12th day of February, 2015 between Kalegis Spirides a/k/a Kalegis D. Spirides and Billie K. Spirides, husband and wife whose post office address is 2605 Oak Circle, Tarpon Springs, FL 34689, grantor, and Anastasis Anastasiades and Diane L. Anastasiades, husband and wife whose post office address is 803 Whitcomb Blvd, Tarpon Springs, FL 34689, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Pinellas County, Florida to-wit:

Lots 4 and 5 and the North 1/2 of vacated alley abutting on the South side of said lots, Block 3, ORANGE HEIGHTS ADDITION TO TARPON SPRINGS, FLA., according to the map or plat thereof as recorded in Plat Book 3, Page 33, Public Records of Pinellas County, Florida.

Parcel Identification Number: 13/27/15/64188/003/0040

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2014.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: Herbert Elliott

[Signature] (Seal)
Kalegis D. Spirides

[Signature]
Witness Name: Rebecca B. Conkling

[Signature] (Seal)
Billie K Spirides

State of Florida
County of Pinellas

The foregoing instrument was acknowledged before me this 12th day of February, 2015 by Kalegis D. Spirides and Billie K Spirides, who are personally known or have produced a driver's license and identification.

[Notary Seal]

[Signature]
Notary Public
Printed Name: Herbert Elliott
My Commission Expires: _____



WARRANTY DEED
INDIVIDUAL
13,007b

CHELSEA TITLE AND GUARANTY COMPANY

66.9.00
3.30
18.30

This Indenture,

Made this 24 day of May, A. D. 19 71
BETWEEN DEON O. ELLIOTT and MARY ELLIOTT, his wife and ALEXANDRA D. G. EMMANUEL, Executrix of Estate of George M. Emmanuel, deceased
of the County of Montrose Pinellas, in the State of Colorado Florida, part ies of the first part, and
ESMINE SPIRIDES
of the County of Pinellas, in the State of Florida, whose post office address is
P. O. Box 794, Tarpon Springs, FL 33589
part y of the second part,

Witnesseth, That the said part ies of the first part, for and in consideration of the sum of other good and valuable considerations and TEN and NO/100----- Dollars, to them in hand paid by the said part y the second part, the receipt whereof is hereby acknowledged, ha ve granted, bargained, and sold to the said part y of the second part, her heirs and assigns forever, the following described land, situate, and being in the County of Pinellas State of Florida, to-wit:

Lot 3, Block 3, ORANGE HEIGHTS
SUBDIVISION, according to the map
or plat thereof as recorded in
Plat Book 3, page 33, of the Public
Records of Pinellas County, Florida.

JUN 8 10 16 AM '71

PHILIP J. ...
Clerk Circuit Court

PINELLAS
COUNTY
011002

FLORIDA
DEPT. OF REVENUE
JUN-8'71
RR. 11067
DOCUMENTARY SUR TAX
03.30

PINELLAS
COUNTY
061723
STATE OF FLORIDA
DOCUMENTARY STAMP TAX
COMPTROLLER
JUN-8'71
09.00

And the said part ies of the first part do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, The said part ies of the first part ha ve hereunto set their hand s and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

Raymond A. Elisha DEON O. ELLIOTT L.S.
John D. Elisha MARY ELLIOTT L.S.
STATE OF ~~FLORIDA~~ Colorado
COUNTY OF Montrose }

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared DEON O. ELLIOTT and MARY ELLIOTT, his wife

to me known to be the person s described in and who executed the foregoing instrument and they acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 24th day of May, A. D. 19 71.

My Commission expires February 11 1975

This instrument was prepared by:
CHELSEA TITLE & GUARANTY COMPANY
BY: J. W. JONES, ASSISTANT VICE PRESIDENT
808 Chestnut Street, Clearwater, Florida 33516
which instrument was recorded for the purpose of writing of a Title

John D. Elisha

[Interactive Map of this parcel](#) [Back to Query Results](#) [New Search](#) [Tax Collector Home Page](#) [Contact Us](#)

13-27-15-64188-003-0030

Compact Property Record Card

**Updated February
27, 2021**

[Tax Estimator](#)

[Email](#) [Print](#) [Radius Search](#)

Ownership/Mailing Address Change Mailing Address	Site Address
ANASTASIADES, ANASTASIS 2256 CURLEW RD PALM HARBOR FL 34683-6826	WHITCOMB BLVD TARPON SPRINGS



Property Use: 0000 (Vacant Residential - lot & acreage less than 5 acres) **Current Tax District:** TARPON SPRINGS (TS) **Total Living SF:** **Total Gross SF:**

[click here to hide] **Legal Description**

ORANGE HEIGHTS BLK 3, LOT 3 & 1/2 VAC ALLEY ON S OF SD LOT

Tax Estimator	File for Homestead Exemption	2021 Parcel Use
Exemption	2021	2022
Homestead:	No	No
Government:	No	No
Institutional:	No	No
Historic:	No	No
Homestead Use Percentage: 0.00%		Non-Homestead Use Percentage: 100.00%
Classified Agricultural: No		

Parcel Information [Latest Notice of Proposed Property Taxes \(TRIM Notice\)](#)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone <small>(NOT the same as a FEMA Flood Zone)</small>	Flood Zone <small>(NOT the same as your evacuation zone)</small>	Plat Book/Page
18676/1886	\$148,000	121030275021	A	Compare Preliminary to Current FEMA Maps	3/33

2020 Interim Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2020	\$124,354	\$122,424	\$122,424	\$124,354	\$122,424

[click here to hide] Value History as Certified (yellow indicates correction on file)

Year	<u>Homestead Exemption</u>	<u>Just/Market Value</u>	<u>Assessed Value</u>	<u>County Taxable Value</u>	<u>School Taxable Value</u>	<u>Municipal Taxable Value</u>
2019	No	\$117,275	\$111,295	\$111,295	\$117,275	\$111,295
2018	No	\$127,166	\$101,177	\$101,177	\$127,166	\$101,177
2017	No	\$105,596	\$91,979	\$91,979	\$105,596	\$91,979
2016	No	\$83,617	\$83,617	\$83,617	\$83,617	\$83,617
2015	No	\$88,385	\$88,385	\$88,385	\$88,385	\$88,385
2014	No	\$87,751	\$87,751	\$87,751	\$87,751	\$87,751
2013	No	\$90,320	\$90,320	\$90,320	\$90,320	\$90,320
2012	No	\$95,164	\$95,164	\$95,164	\$95,164	\$95,164
2011	No	\$111,454	\$111,454	\$111,454	\$111,454	\$111,454
2010	No	\$115,539	\$115,539	\$115,539	\$115,539	\$115,539
2009	No	\$151,521	\$151,521	\$151,521	\$151,521	\$151,521
2008	No	\$186,600	\$186,600	\$186,600	\$186,600	\$186,600
2007	No	\$186,200	\$186,200	\$186,200	N/A	\$186,200
2006	No	\$106,500	\$106,500	\$106,500	N/A	\$106,500
2005	No	\$78,600	\$78,600	\$78,600	N/A	\$78,600
2004	No	\$68,600	\$68,600	\$68,600	N/A	\$68,600
2003	No	\$58,500	\$58,500	\$58,500	N/A	\$58,500
2002	No	\$35,300	\$35,300	\$35,300	N/A	\$35,300
2001	No	\$34,500	\$34,500	\$34,500	N/A	\$34,500
2000	No	\$29,500	\$29,500	\$29,500	N/A	\$29,500
1999	No	\$27,500	\$27,500	\$27,500	N/A	\$27,500
1998	No	\$27,000	\$27,000	\$27,000	N/A	\$27,000
1997	No	\$23,400	\$23,400	\$23,400	N/A	\$23,400
1996	No	\$24,000	\$24,000	\$24,000	N/A	\$24,000

<p align="center">2020 Tax Information</p> <p>2020 Tax Bill Tax District: <u>TS</u></p> <p>2020 Final Millage Rate 20.0018</p> <p>Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our new Tax Estimator to estimate taxes under new ownership.</p>	<p align="center">Ranked Sales (What are Ranked Sales?) See all transactions</p> <table border="1"> <thead> <tr> <th>Sale Date</th> <th>Book/Page</th> <th>Price</th> <th>Q/U</th> <th>V/I</th> </tr> </thead> <tbody> <tr> <td>09 Feb 2015</td> <td>18676 / 1886</td> <td>\$95,000</td> <td>Q</td> <td>V</td> </tr> <tr> <td>1971</td> <td>03556 / 0989</td> <td>\$3,000</td> <td>Q</td> <td></td> </tr> </tbody> </table>	Sale Date	Book/Page	Price	Q/U	V/I	09 Feb 2015	18676 / 1886	\$95,000	Q	V	1971	03556 / 0989	\$3,000	Q	
Sale Date	Book/Page	Price	Q/U	V/I												
09 Feb 2015	18676 / 1886	\$95,000	Q	V												
1971	03556 / 0989	\$3,000	Q													

2020 Land Information						
Seawall: No		Frontage:		View: Water		
<u>Land Use</u>	<u>Land Size</u>	<u>Unit Value</u>	<u>Units</u>	<u>Total Adjustments</u>	<u>Adjusted Value</u>	<u>Method</u>
Vacant (00)	54x145	2600.00	54.0000	1.0296	\$144,556	FF

[click here to hide] 2021 Extra Features				
Description	Value/Unit	Units	Total Value as New	Depreciated Value Year
No Extra Features on Record				
[click here to hide] Permit Data				
<p>Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.</p>				
Permit Number	Description	Issue Date	Estimated Value	
No Permit Data Found				





**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-28 - TARPON SPRINGS PLAZA - DISCUSSION ITEM - 41522 US HWY 19
N

DATE: 4/1/2021

- APPLICATION TYPE:** Site Plan Minor Site Plan Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER
INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Tarpon Springs Plaza LLC		Email cjallo@outlook.com	
Address PO BOX 1098			
City Dunedin		State FL	Zip 34697
Phone 727-254-2190	Fax 727-786-6320		Cellular

Applicant

Name Oliveri Architects		Email scott@oliveriarchitects.com	
Address 32707 US HWY 19			
City Palm Harbor		State FL	Zip 34684
Phone 727 781 7525	Fax		Cellular

Agent (if applicable)

Name Joesph Oliveri		Email jlo@oliveriarchitects.com	
Address 32707 US Hwy 19			
City Palm Harbor		State FL	Zip 34684
Phone 7276864029	Fax		Cellular

General Information

Project Name Office / Warehouse		
Property Location or Address 41522 Us Hwy 19 , Tarpon Springs , FL , 34698		
Legal Description (attach additional sheets as necessary) TARPONSPRINGSOFFICIAL MAP BLK 22, S 150 FT OF LOTS 7 AND 8 LESS RD R/W (SEE S07-27-16)		
Tax Parcel Number(s) 12-27-15-89982-022-0701	Site Acreage 1.46	Percentage of City

Land Use & Zoning Information

Present Designations of Property (County)	
Land Use Category Office / Warehouse	Zoning District HB District

The following should be furnished with this application:

- Completed original application with digital copies of all application documents
- Property survey including legal description
- Written Description of proposal
- Site Plan of proposed project if applicable
- Proof of ownership (warranty deed, title certification, etc.)

**CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application**

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Chamoun Jallo, as Manager is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: <u>03-05-2021</u>	Title Holder/Property Owner: <u>Tarpon Springs Plaza LLC</u>
Date: _____	Title Holder/Property Owner: <u><i>Chamoun Jallo</i></u>
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

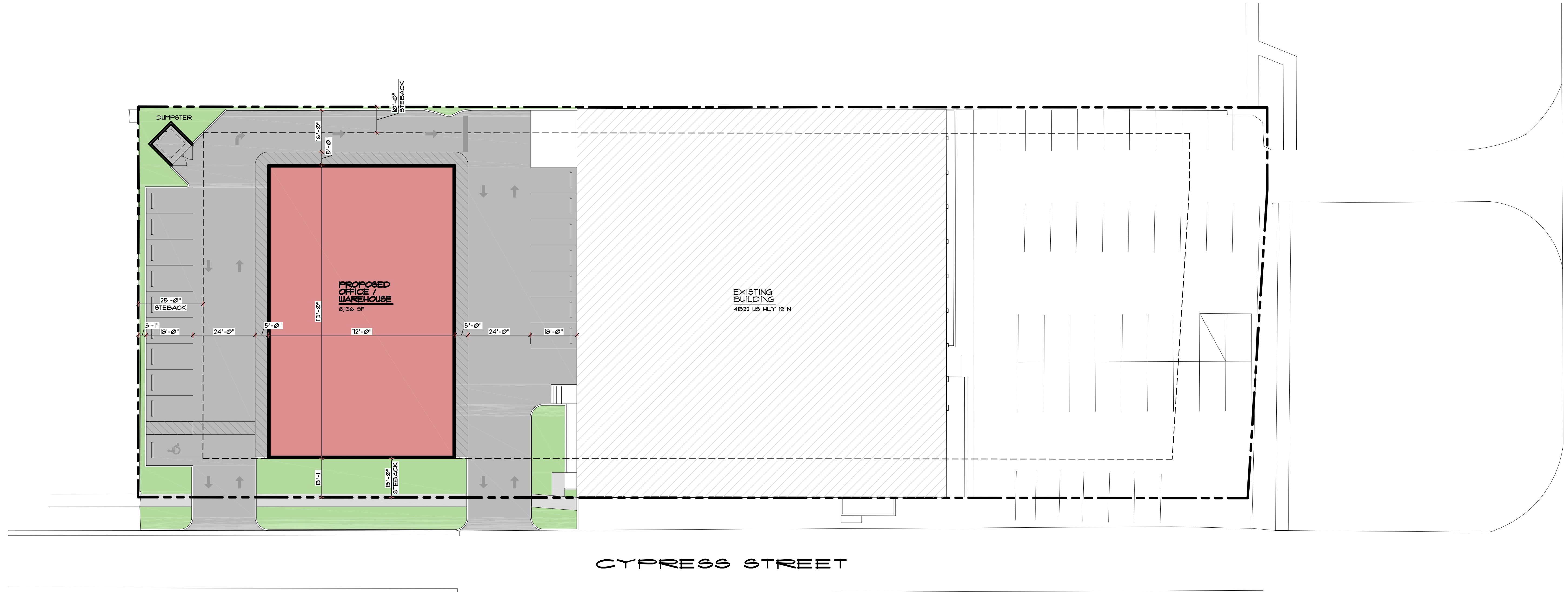
The foregoing instrument was acknowledged before me this 5th day of March, A.D., 20 21
by Chamoun Jallo, as Manager of Tarpon Springs Plaza, LLC, who is personally known to me or who has produced
PROPERTY OWNER NAME PRINTED
_____ as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name: DIMITRA KOUMOUNDOUROU
Signature: *[Signature]*
Stamp:



DIMITRA KOUMOUNDOUROU
Commission # **GG 272173**
Expires **December 18, 2022**
Bonded Thru Budget Notary Services



US HIGHWAY 19 NORTH

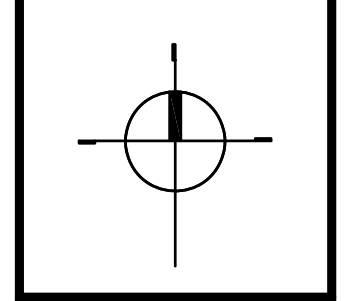
CYPRESS STREET

SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS	BY

OLIVERI ARCHITECTS
 AA 000291
 Member of the American Institute of Architects
 32707 US Hwy. 19 • Palm Harbor, FL 34694
 Phone 727.781.1255 • Fax 727.781.1623
 www.oliveriarchitects.com

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 ALL INFORMATION CONTAINED
 HEREIN IS THE PROPERTY OF
 OLIVERI ARCHITECTS.
 ALL RIGHTS RESERVED.



**CONCEPT SITE PLAN
 SCHEMATIC DESIGN
 SCHEME 'A'**

New Freestanding
OFFICE / WAREHOUSE
 41522 U.S. Highway 19 N.
 Tarpon Springs, FL
 Pinellas County

Date: 02. 22. 21
 Scale: AS NOTED
 Project Mgr: DSH
 Drawn: SEH
 Job: 21-031

Sheet
AS1

\\sfs-4c\Projects\Projects 2021\21031 - Office-WH - Tarpon Springs, FL\02-SD Concept Site Plan\SD A1-FL PL.dwg, 2/22/2021 3:12:19 PM, sharrison, Adobe PDF.pc3

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-31 - City of Tarpon Springs - Discussion Item for Pickle Ball Court - 530 E Live Oak Blvd

DATE: 4/1/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name City of Tarpon Springs		Email amcgee@ctsfl.us	
Address 324 East Pine Street			
City Tarpon Springs		State FL	Zip 34689
Phone 727-938-3711	Fax		Cellular

Applicant

Name same		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

Agent (if applicable)

Name n/a		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

General Information

Project Name pickleball court		
Property Location or Address 230 East Live Oak Street		
Legal Description (attach additional sheets as necessary)		
Tax Parcel Number(s) 12-27-15-89982-016-0101	Site Acreage	Percentage of City

Land Use & Zoning Information

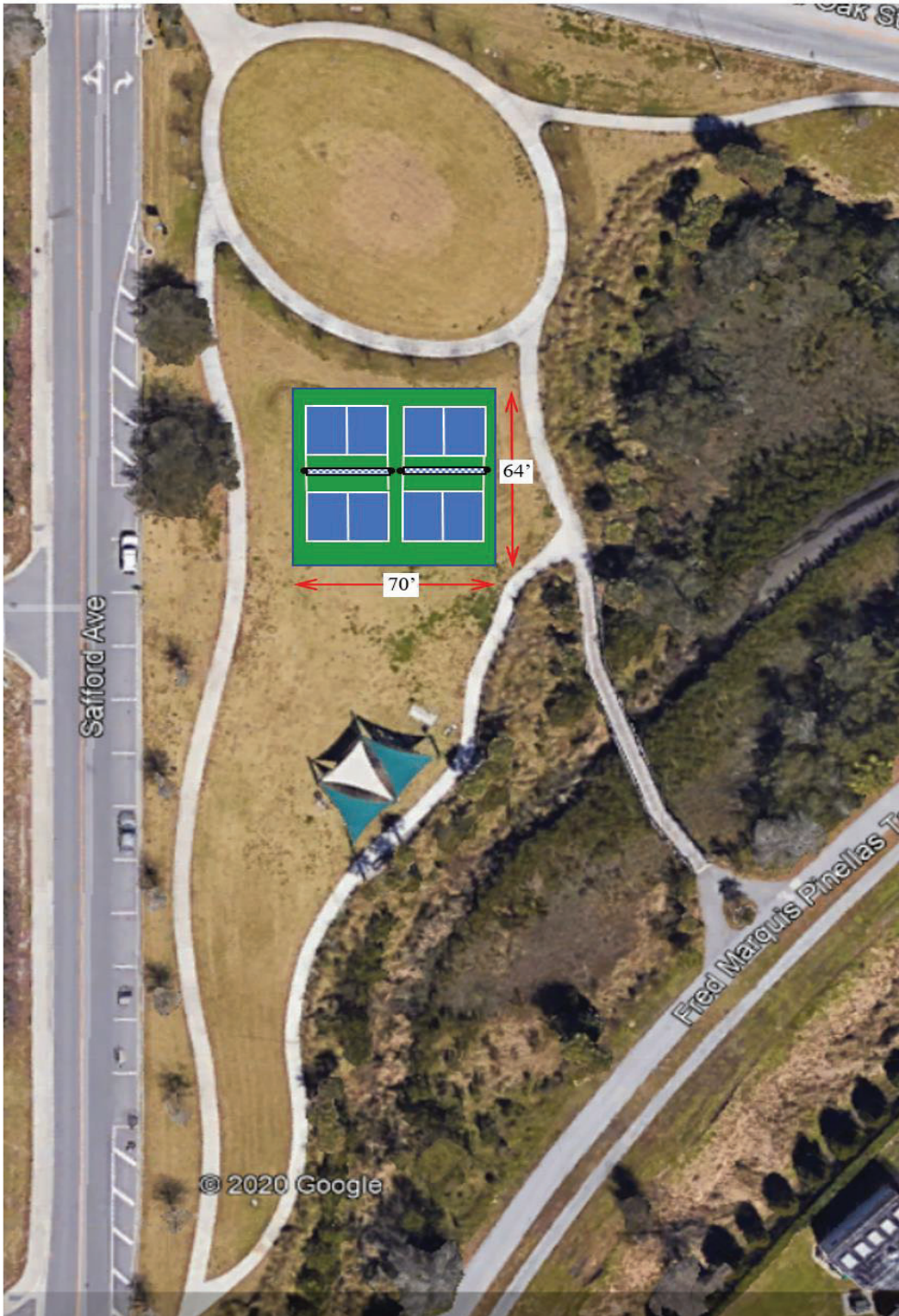
Present Designations of Property (County)	
Land Use Category CRD	Zoning District Civic

The following should be furnished with this application:

- Completed original application with digital copies of all application documents
- Property survey including legal description
- Written Description of proposal
- Site Plan of proposed project if applicable
- Proof of ownership (warranty deed, title certification, etc.)

Proposed Pickleball Court
802 Safford Ave

Site Plan



1. New court

Surface dimensions 64' X 70' (north to south)

Set on 4" crushed concrete base (supplied by city)

Base to be compacted @ 95+ percent prior to slab installation

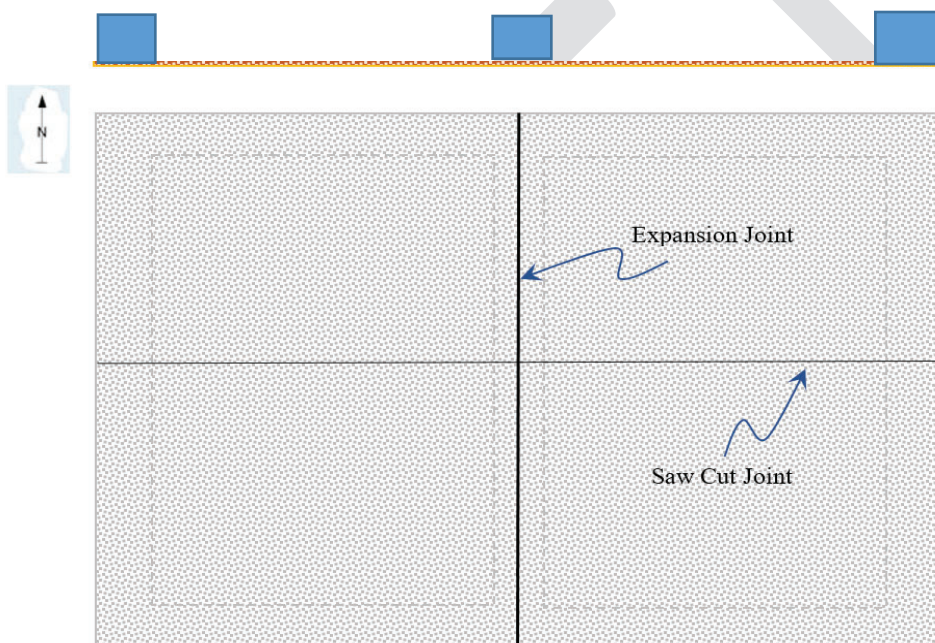
Concrete pad 4" thick with 6" x 10" thickened edge (footer) and north to South center line
3,000 PSI mix

Steel reinforcement 3/8" steel rebar 24 inches to 36 inches on center

Crown from center outward 1/2" – 1" per 16' (1/4% – 1/2% slope)

Light broom finish

Saw cut expansion joints in quadrants N to S and E to W



New Surface:

The entire court will require, at a minimum, two (2) coats of acrylic surface and two (2) coats of sand-fortified acrylic texture

Playing area to be dark Blue, Non-Volley Zone (Kitchen) and outside of play area to be Green (city has right change colors and shades)

2" playing lines white in color, located, marked, and painted using white heavy bodied acrylic latex compound containing pigments and mineral filler to form a high hiding line.

Net:

Pickleball net is to be 36 inches at the furthest sidelines and drops to 34 inches at the center of the court. Overall net size is 20 feet by 3 feet.

A center strap is to be placed at the center of the net to stabilize the net and prevent it from sagging.

Net posts should be placed about 12 inches past the sidelines. The net will be attached to these posts via a cable that runs through the 2-inch white binding located across the top of the net.

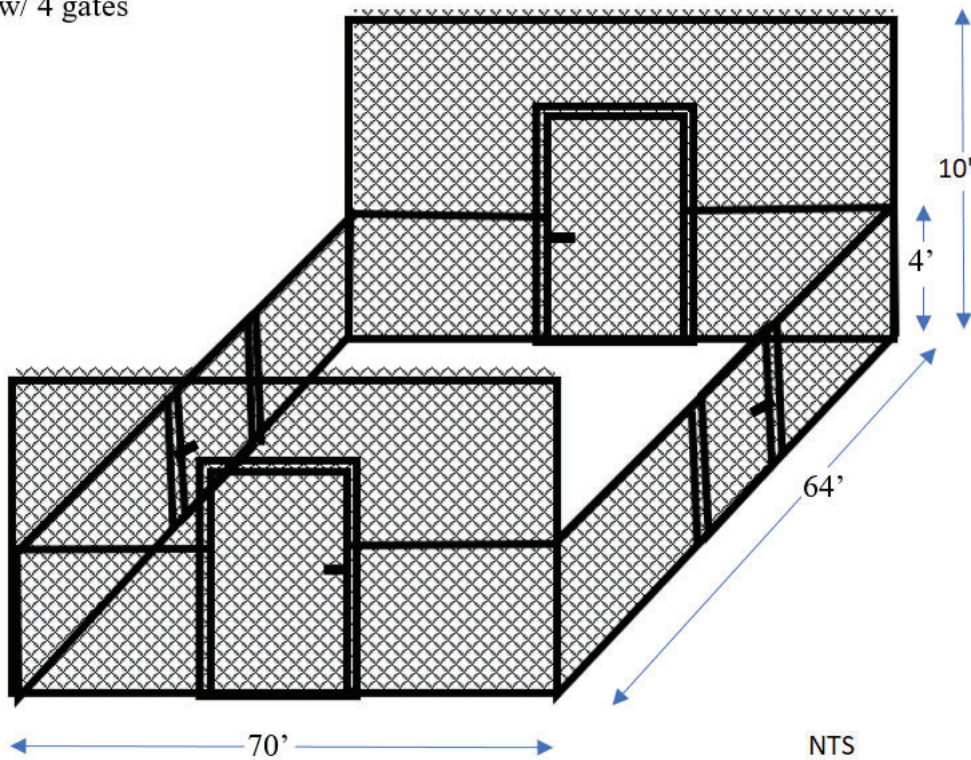
Posts are to be "Douglas Premier XS-36 Pickleball posts, 2-7/8" OD with stainless steel gears" or equivalent

Fencing:

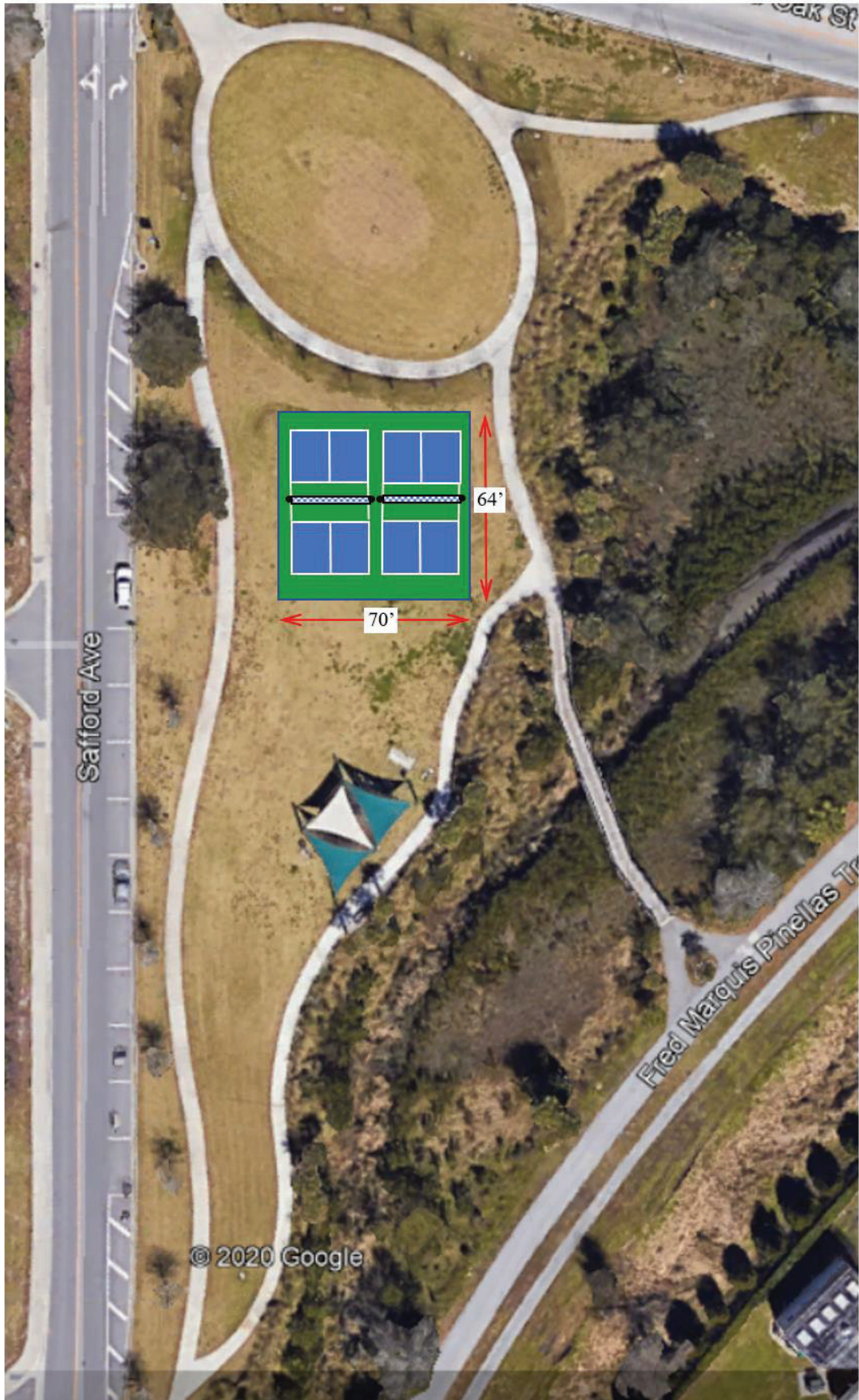
Fencing to encapsulate entire perimeter of courts Chain-link fence to be Black Vinyl coated with 4 lockable man gates at 36" X 80". North and south section to be minimum of 10' in height and east west sections to be minimum of 4' in height

Fencing

Black Vinyl w/ 4 gates



Site Plan



DRAFT

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-37 - Leslie Hale Ministries - Discussion Item - 1355 Rainville Road**

DATE: **4/1/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Faith World Inc.		Email	
Address 1355 Rainville Rd			
City Tarpon Springs		State FL	Zip 34689
Phone (727)938-0112	Fax	Cellular	

Applicant

Name Nathan Dechelbor		Email nathan@dechelbor.com	
Address 12520 Ashdown Dr			
City Odessa		State FL	Zip 33556
Phone (813)598-7009	Fax	Cellular	

Agent (if applicable)

Name		Email	
Address			
City		State	Zip
Phone	Fax	Cellular	

General Information

Project Name Leslie Hale Ministries Parsonage addition		
Property Location or Address 1355 Rainville Rd Tarpon Springs FL 34689		
Legal Description (attach additional sheets as necessary) Attached		
Tax Parcel Number(s) 01-27-15-89136-000-0570	Site Acreage	Percentage of City

Land Use & Zoning Information

Present Designations of Property (County)	
Land Use Category	Zoning District

The following should be furnished with this application:

- Completed original application with digital copies of all application documents
- Property survey including legal description
- Written Description of proposal
- Site Plan of proposed project if applicable
- Proof of ownership (warranty deed, title certification, etc.)

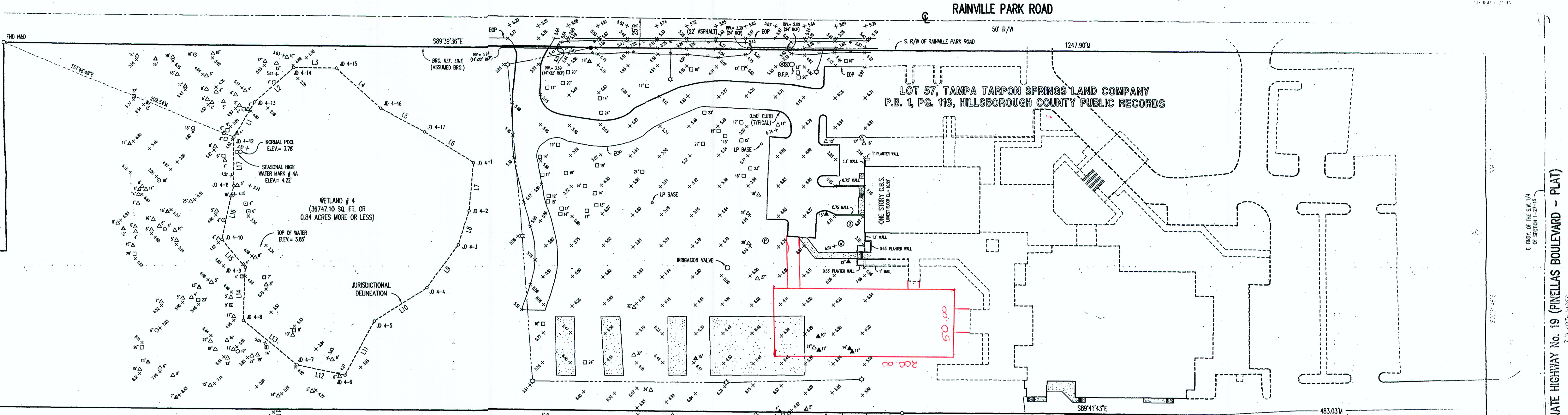
Description of work:

Church parsonage that houses a minimum of 12 – 20 units for out of town teachers and curators for the tabernacle and church. Building would be 200'-0" X 50'-0".

Legal description:

TAMPA & TARPON SPRINGS LAND CO LOT 57 LESS THAT PART LYING WITHIN 50FT OF N/S C/L OF SEC & LESS N 198.86 FT OF W 33FT & LESS N 25FT FOR RAINVILLE PARK RD TOGETHER WITH THAT PART OF SE 1/4 OF SW 1/4 OF SEC DESC AS COM AT NE COR OF SE 1/4 OF S/W 1/4 TH S 333 FT(S) TH W 67FT(S) FOR POB TH S 152.2FT TH W 346FT TH S 152.2FT TH W 130FT TH N 304.4FT TH E 476FT(S) TO POB (PER OR'S 10799/1617 & 10960/1900)

DATE PLOTTED: 12/11/2003
DATE PRINTED: 12/11/2003
DATE OF SURVEY: 12/11/2003



LOT 57, TAMPA TARPON SPRINGS LAND COMPANY
P.B. 1, PG. 116, HILLSBOROUGH COUNTY PUBLIC RECORDS

U.S. ALTERNATE HIGHWAY No. 19 (PINELLAS BOULEVARD - PLAT)
S 7/8 SECTION 15, T27S R15E

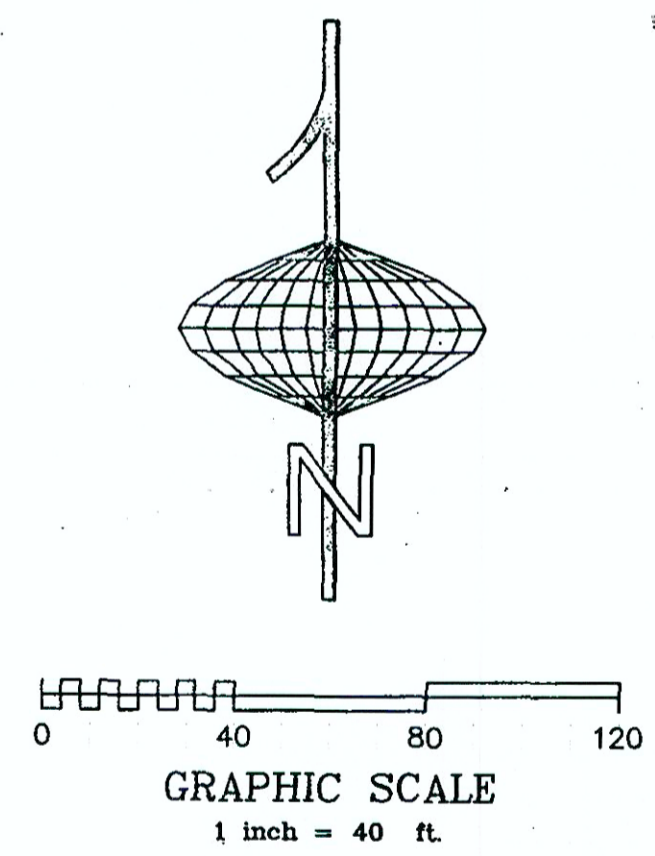


Table with 3 columns: LINE LABEL, BEARING, DISTANCE. Contains 17 rows of survey data points.

SURVEY ABBREVIATIONS

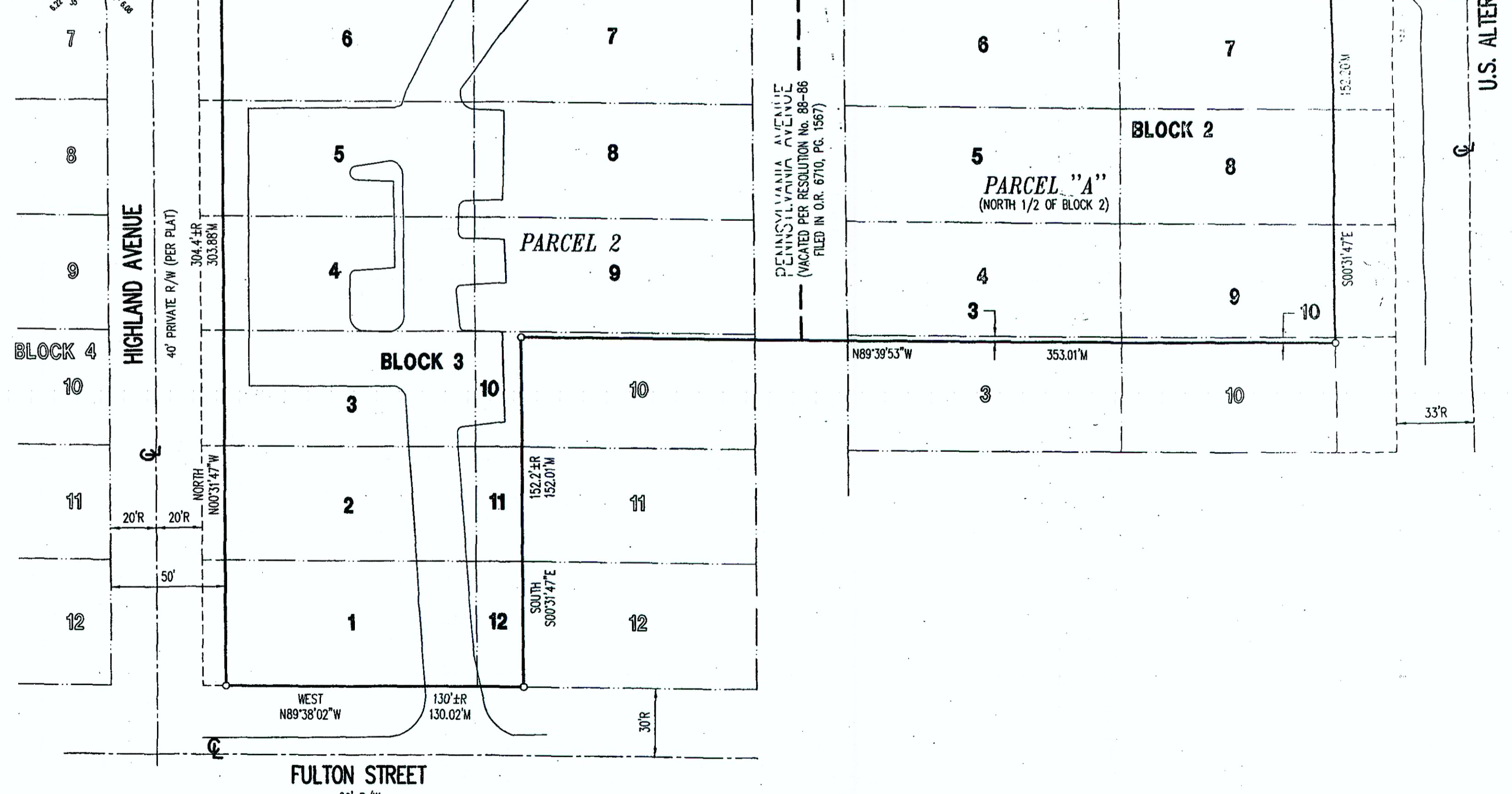
- List of survey abbreviations including A/C, AL, ALU, ASPH, etc., with their corresponding symbols and descriptions.

GENERAL NOTES

- Numbered list of general notes regarding property boundaries, wetlands, and survey standards.

LEGEND

- Legend symbols for various features like POWER POLE, LIGHT POLE, U.G. PROPANE TANK, etc.



REVISIONS

Table with 5 columns: DATE, REVISION MADE, JOB NUMBER, DRAWING FILE. Lists three revision entries.

Professional information block including a certification statement, drawing file details, and the signature of George A. Shimp II, Land Surveyors and Planners.