

City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT 324 EAST PINE STREET P.O. BOX 5004 TARPON SPRINGS, FLORIDA 34688-5004 (727) 942-5611 FAX (727) 943-4651

#### TECHNICAL REVIEW COMMITTEE (TRC) AGENDA THURSDAY, APRIL 1, 2021 CITY AUDITORIUM 324 EAST PINE STREET, TARPON SPRINGS, FLORIDA

TO:	
Karen Lemmons, Economic Dev. Manager	Tom Funcheon, Public Works Director
Pat McNeese, Principal Planner	Anthony Mannello, Streets & Stormwater Sup.
Renea Vincent, Planning & Zoning Director	Bob Robertson, Project Admin. Director
Kevin Powell, Building Development	Paul Smith, Public Services Director
David Gilson, Building Development	Nick Makris, Projects Supervisor
Shannon Brewer, Horticulturalist	Jevon Miller, Project Administration Department
Lisa Godwin, Building Development	Ray Page, Public Services
Anthony Boone, Police Department	Francisco Pavez, Public Services
Sargent Robert Faugno, Police Department	Judy Staley, Research & Information Officer
Captain Rick Kinney, Fire Rescue	Trish Hickey, Executive Secretary
Officer Steve Gassen, Code Enforcement	Megan Araya, Floodplain Coordinator

#### FROM: Kimberly Yothers, Planning and Zoning Coordinator

NOTE: Pursuant to current City protocols, we will meet in the City Auditorium. Please send comments via email to pmcneese@ctsfl.us; kyothers@ctsfl.us

#### DATE: 3/23/2021

#### 1) PREVIOUSLY HEARD APPLICATIONS

a) 20-150 - GEMINI STORAGE - SITE PLAN REVIEW - NW CORNER OF SAFFORD AVENUE AND MERES BLVD

#### 2) NEW APPLICATIONS

- a) 21-37 TIEGUYS TEMPORARY USE FOR CONSTRUCTION TRAILER 338 E LEMON STREET
- b) 21-26 FLAGSHIP BANK SITE PLAN REVIEW SE CORNER OF MERES BLVD AND PINELLAS AVE
- c) 21-32 Ferman Volvo Minor Site Plan 43520 US Highway 19 N
- d) 21-33 MARC ANTONIO MINOR SITE PLAN 428 N PINELLAS AVE
- e) 21-34 Live Edge Slabs Rezoning and LUA 526 E Lemon Street
- f) 21-35 ELSTEPHMAR LLC CONDITIONAL USE FOR TOURIST HOME 12 W ORANGE STREET

#### 3) VARIANCES

- a) 21-30 NANCY S. WHITE VARIANCE TO FRONT SETBACK FOR POOL 533 DORIC COURT
- b) 21-36 GIANESKIS NON-CONFORMING LOT AND SETBACK VARIANCE CENTER LOT ON WHITCOMB BLVD BETWEEN CAROLINA AND BAYOU AVE

#### 4) **DISCUSSION ITEMS**

- a) 21-28 TARPON SPRINGS PLAZA DISCUSSION ITEM 41522 US Hwy 19 N
- b) 21-31 City of Tarpon Springs Discussion Item for Pickle Ball Court 530 E Live Oak Blvd
- c) 21-37 Leslie Hale Ministries Discussion Item 1355 Rainville Road

All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611.

#### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

#### PROJECT NAME: 20-150 - GEMINI STORAGE - NW CORNER OF SAFFORD AVENUE AND MERES BLVD

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Planned Development       Annexation         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other							
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):							
<ul> <li>➢ PLANNING &amp; ZONING BOARD (P&amp;Z) ☐ HERITAGE PRESERVATION BOARD (HPB)</li> <li>☐ BOARD OF ADJUSTMENT (BOA)  ☐ BOARD OF COMMISSIONERS (BOC)</li> <li>☐ TRC ONLY</li> </ul>							
REVIEW COMMENTS: REVIEWER DEPARTMENT:							
REVIEWER APPROVE DENY DEFER SEE BELOW NO COMMENTS INITIALS							
ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC							
CODE / DECULATION /STANDADD SO THAT WE MAY DROVIDE THE CLEADEST							

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

(Please type or print clearly) Property Owner(s)								
Name Mark Moen of Breeze Treasures, LLC					Email markmoen@protonmail.com			
Address 1716 Eagle Trace Blvd. W.				·				
City Coral Springs			Stat FL	e			Zip 33071	
Phone (954) 821-4353		Fax				Cellula	r	
Applicant								
Name Mark Moen of Breeze Treas	ures, LLC	;			Email			
Address								
City			Stat	е			Zip	
Phone		Fax				Cellula	r	
Agent (if applicable)								
Name					Email			
Address								
City			Stat	е			Zip	
Phone		Fax		Cellular			r	
General Information					·			
Project Name Gemini Storage								
Property Location or Address NE corner of Safford and Me	eres							
Legal Description (attach addit See survey provided	ional sheel	ts as necessary	)					
Tax Parcel Number(s) 13-24-15-21348-0131 and -	0132							
Existing Land Use & Zo	ning Inf	ormation						
Present Designat	tions of Pr	operty			Cu	urrent U	se of Property	
Land Use Category Zoning District			Vacant					
Site Acreage:								
Upland 1.23	Wetland .	.33		Submerged _			TOTAL 1.56	
Flood Information: [please	check all	that apply]						
Zone X	🗖 Zo	one X Shaded		Zone /	AE		Zone VE	
Base Flood Elevation (BFI	E): [please	e list all elevati	ions]	10				

Rev. 6/18/19

#### Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change				
Potable Water	GPD	GPD	GPD				
Sanitary Sewer	GPD	GPD	GPD				
Solid Waste TPY		TPY	TPY				
Transportation	Transportation TPD		TPD				
Storm Drainage	Analysis /	Analysis / Review by Engineering Division					
Hurricane Shelter	Spaces	Spaces	Spaces				

GPD = gallons per day TPD = trips per day

#### The following MUST be furnished with this application: [incomplete applications will not be accepted]

#### **Completed original application with digital copies of all application documents**

- Application fee (based on site acreage)
  - □ 0 5 acres; \$ 500.00
  - □ 5.01 10 acres; \$ 750.00
  - □ 10.01 15 acres; \$1,000.00
  - □ 15.01 20 acres; \$1,500.00
  - **2** 20.01 acres or more; \$2,000.00
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Endangered/Threatened Species Study, if required by Section 144.00, LDC
- Aknowledge compliance with the City's Public Art Ordinance (see criteria below)
- Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)
- Five (5) complete sets of plans including <u>all</u> the following items.
  - A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
  - B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
    - 1. All required information shall be submitted on standard sheets (24" × 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
    - 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
    - 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
    - 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

- 5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
- 6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
- 7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
- 8. Existing contours and proposed grades at one foot intervals.
- 9. Flood zone and required first floor elevation(s).
- 10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
- 11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
- 12. Lot dimensions including curve data.
- 13. Proposed setback dimensions.
- 14. Gross floor area by type for non-residential uses.
- 15. Gross density for residential uses and number and types of units.
- 16. The proposed architectural elevations and floor plans with accurate dimensions.
- 17. Proposed private and public streets with right-of-way dimensions.
- 18. Proposed phasing plan by anticipated commencement and completion date.
- 19. Dumpster location and screening.
- 20. Required parking calculations (parking provided and required).
- 21. Size and location of required loading zones.
- 22. Required (proposed) sidewalks and internal walkways.
- 23. Driveways and access improvements.
- 24. Location and type of site lighting including pole height and fixture type.
- 25. Description of the maintenance of common facilities for residential projects.
- 26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

- 1. Projects with an aggregate job value under \$1,000,000.00.
- 2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

#### APPLICANT'S AKNOWLEDGEMENT:

#### Type of Public Art Activity [please initial only one]

\_\_\_\_\_ This project is exempt from the Public Art Program requirements.

Please state exemption:

I will contract with a professional artist to create a permanent, public artwork as part of the development.

In lieu of an on-site project, I will contribute .75 percent of the aggregate job value\* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

\*Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

- (A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.
- (B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.
- (C) Design Requirements for all non-residential site plans.
  - 1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.

d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.

e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.

2. Sidewalks and private frontages (the area between the building and right- of-way)

a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.

3. Landscaping

a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.

4. Elevation of buildings

a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.

5. Pedestrian promenades on waterfront lots

a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.

6. All site plans and building plans shall adhere to the additional building design requirements set out below;

a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.

b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.

c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.

d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.

e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.

g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.

h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.

i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.

j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.

k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.

b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.

c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.

d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.

e. Multiple connections shall be required between the structure and the public right-of-way.

f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

#### (D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.



#### Fuxan Engineering, Inc.

15018 Maurine Cove Ln. Odessa, Florida 33556 Phone: 813-244-6194

March 10, 2021

Ms. Patricia L. McNeese, AICP Principal Planner City of Tarpon Springs 324 East Pine Street P.O. Box 5004 Tarpon Springs, FL 34688-5004

#### Re: Gemini Storage

Application 20-150

Dear Ms. McNeese:

This letter is in response to the Technical Review Comments dated December 11, 2020 and your clarification letter dated January 22, 2021. My responses are as follows:

#### PLANNING & ZONING REVIEW COMMENTS

- 1. The revised plans depict a 6' chain link fence with 3 strand barbed wire on top of the fence. Vines will be added along Safford, and wetland buffer plants will be installed along the south side of the parking area. These measures will preclude the need to buffer the storage spaces with a canopy structure.
- 2. There is insufficient space to provide wetland mitigation onsite. Refer to the attached updated environmental narrative on the mitigation approach.
- 3. The Facilities Impact Table has been added to the right side of plan Sheet 2.
- 4. Refer to the attached soils report. The last paragraph on Page 3 of the soils report states "The existing ground surface was very hard and hand augering was very difficult. We have employed a pickaxe and a core drill machine in order to evaluate the subsurface soils/debris." The surficial soils are virtually impervious, durable, and provide an all-weather surface. The site was used by previous owners for storage of semi-trailers, and the existing surface is strong enough to support fire trucks. Asphalt pavement is not necessary for the intended use. The proposed storage parking use should not require treatment nor attenuation.
- 5. Attached is the updated Operations Narrative. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.
- 6. The internal drives have been revised to improve the site circulation. The driveway onto Safford Avenue will support fire trucks. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.

- 7. The city code for mini warehouses requires 1 parking space per 10 units plus 2 parking spaces for the office. Based on this standard, this project would have to provide 9 parking spaces, compared to the 3 proposed parking spaces shown on the site plan. Based on the developer's experience in the boat and RV storage market, 3 parking spaces are more than adequate.
- 8. See Response Number 4 above.
- 9. Chains laid on the ground, posts, and wheel stops will be used to delineate the storage spaces. Curb is not necessary.
- 10. Curbside pick-up using a 60 gallon trash can will be used for solid waste removal.
- 11. The spaces have been adjusted in the southwest corner of the site as requested. SWFWMD allow a minimum 15' setback line with an average 25' setback line; the project complies with this criteria.
- 12. The buffer has been adjusted, and the plant specifications are on plan Sheet 4.
- 13. The revised plans depict a 6' chain link fence with 3 strand barbed wire on top of the fence. Vines will be added along Safford, and wetland buffer plants will be installed along the south side of the parking area.
- 14. The onsite light fixture at the Safford entrance will match the city preferred fixtures for this area. However, the light pole will be wooden since wooden poles are more durable than the city preferred light poles and since the pole will not be readily visible from the surrounding streets.
- 15. There are now two proposed hose bibbs, which will be within locked enclosures.
- 16. One stop sign will be required at the Safford entrance.
- 17. The developer will negotiate the agreement to maintain the driveway and storm sewer through the city's pond tract.
- 18. Pinellas County has issued an intent to approve the road connection and water connection at Safford Avenue. I will complete the permitting process soon with the county.
- 19. The developer is willing to grant the conservation easement to the city, and to negotiate on the removal of any Brazilian Pepper.
- 20. The developer will soon provide the documentation that the total project cost does not exceed \$1 million, obviate the Public Art requirement.

#### FIRE DEPARTMENT

1. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.

#### PUBLIC SERVICES

- 1. During recent discussions with Fire Rescue it was decided to eliminate the road connection and water connection to Lincoln Avenue. The sole road connection and water connection will be at Safford Avenue.
- 2. The Facilities Impact Table has been added to the right side of plan Sheet 2.
- 3. No temporary water nor sewer connections are proposed.
- 4. The plans demonstrate compliance with the city utility specifications and code.
- 5. The Utility Availability Statement has been approved by the city.
- 6. The developer will negotiate the agreement to maintain the driveway and storm sewer through the city's pond tract.
- 7. The plans now depict the irrigation system.

Attached are 5 sets of revised site construction plans, soils report, Utility Availability Statement, and Operations Narrative.

I trust you can now issue the construction permit.

Sincerely,

FUXAN ENGINEERING, INC.

Qaint P. Juna

David G. Fuxan, PE President

Encls.

#### **OPERATION NARRATIVE**

The storage spaces will be delineated by a combination of chains laid on the ground and posts with numbered designation for each space. A number spot will be assigned to each customer. Drop off and pick up will be the only allowed activity on the property.

The irregular storage spaces will be used for small boats or small RV's.

Locked enclosures will be installed to keep unauthorized use of the two hose bibbs.

Cameras will be mounted on poles at the entrance to record all activity on the lot.

The storage facility will be a drop off and pick up only storage area. There will be a code provided to those who contract to store their boats and RV's to open an automated gate with an SOS emergency vehicle sensor.

Thomas Rice will be available daily to manage the facility, to greet new customers and to assign them their space. Thomas Rice lives 3 minutes from the property and will be reachable by phone.

The sole access will be from Safford Avenue, which will include a gate with lock box for emergency vehicles.

#### CITY OF TARPON SPRINGS, FLORIDA Utility Availability Statement

Please complete this form for confirmation from the City if public utilities such as potable water, sanitary sewer or reclaimed water are available at a specific parcel or property. Please complete Sections A and B of this form and return to the email address provided. Attach a survey of the property if it is available. **RESPONSES WILL BE TRANSMITTED VIA EMAIL ONLY** to the email provided.

Please print clearly or type					
A. Applicant		1			
Name	Phone		Email		
David Fuxan	813-24	4-6194	dfuxan@	fuxaneng.com	
B. Subject Property					
Street address (if available)	Parce	el #		City Limits	
	13-	27-15-21348-005-0131		Inside	Outside
Utility Service Availability Requested [check al	l that apply]				
🔀 Potable Water 🛛 🛛	Sanitary Sewer	Reclaimed Water	Irr	igation (using potab	le water)
Residential	Commercial	Service Line Requested:	3∕₄" □*	1" 2" or larg	er 🗙

\*note: most single family residential properties are served by a  $\frac{3}{4}$ " service line.

#### To Be Completed By the City

**Utilities Availability:** It has been determined that the following public utility service(s) <u>are</u> available through the City of Tarpon Springs for the property described above subject to the following: [check all that apply]

<b>Potable Water Service</b>	□ Yes*	X No	$\Box$ is property served by master meter?
Sanitary Sewer Service	□ Yes*	🗙 No	
Reclaimed (Effluent) Water Service	□ Yes*	🗆 No	

\*If utilities are determined to be available by the City, certain fees and charges will apply as a condition for obtaining service. These fees and charges are outlined in the City Code of Ordinances, *Chapter 20 – Water and Sewers*.

**Property in City Limits** – property owners requesting or required to have either water or sewer service from the City of Tarpon Springs public sewer system or public water system will be provided such services conditioned upon and subsequent to compliance with Section 20-23 of the Tarpon Springs Code of Ordinances (Ordinance 2006-03), which requires annexation. *If your property is not currently in City limits, please see the Planning and Zoning Department for a determination of the applicable required steps.* 

If irrigation or reclaimed water service is available and you wish to connect please contact the Utility Billing Division at 727-942-5609. You will be required to provide this completed form to Utility Billing.

Remarks:

Potable water and sanitary sewer are NOT available for direct connections. Please see the City Ordinances below. The owner will need to extend the

services to the property.

§ 136.01 - Potable water (A) The issuance of all development orders where the site is within ¼ mile of an adequately sized potable water distribution line shall require connection to the public water supply. § 136.02 - Sanitary sewer (B) The issuance of all development orders where the site is within 300 feet of a public sewer line shall require connection to the public sanitary sewer system. The distance shall be measured by following the most direct route along an easement or public right-of-way from the closest point of the property to the point of connection to the public sewer line.

#### Prepared by:

Public Services Department, Water Conveyance Division Department 2/18/21

Date



#### **Heather Freundel**

From: Sent: To: Subject: David Fuxan <noreply@jotform.com> Saturday, February 13, 2021 3:59 PM Judy Staley; Heather Freundel; Howard Matthews Re: Utility Availability Statement

External Email - Use caution with links and attachments

#### 🥬 Utility Availability Statement

Applicant Name	David Fuxan
Contact Phone	(813) 2446194
E-mail	dfuxan@fuxaneng.com
Subject Property Address (if available)	State: Florida
Parcel Number	13-27-15-21348-005-0131
Utility Service Availability Requested (check all that apply)	Potable Water Sanitary Sewer Irrigation (using potable water)
Property Type	Commercial
Service Line Requested	2" or larger
Attach Survey if Available	<u>LOT 13 - 140166F.pdf</u>

1

.



SEWER DEP

RZ#

PARCEL ID NO.

13–27–15–21348–005–0131 and 13–27–15–21348–005–0132

# GEMINI STORAGE

## Construction Plans

LEGAL DESCRIPTION:

Lot 13, Block 5, Disston & Keeney's Subdivision, less and except the North 150 feet of the West one-half thereof, together with the South 55 feet of the North 200 feet of the East one-half of Lot 13, Block 5, Disston & Keeney Subdivision, according to the Map or Plat thereof as recorded in Plat Book 1, Page 31, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part.

BENCH MARK:

The elevations shown hereon are based on the North American Vertical Datum 1988 (N.A.V.D. 1988) as established from N.G.S. Continuously Operating Reference Stations (C.O.R.S.) "BARTOW CORS ARP", DUNNELLON CORS ARP" and "ZEPHYRHILLS CORS ARP" using the Online Positioning User Service (0.P.U.S.) on April 25, 2017.

#### SURVEY DATA:

Boundary survey, topographic survey, tree survey, improvement location and associated survey work shown hereon and used for design purposes is based upon information provided by George A. Shimp II & Assoc., Inc., Job # 140166E. Fuxan Engineering, Inc. has reviewed, but not certified the data provided. This data is the basis for design and Fuxan Engineering, Inc. makes no certifications or representations as to the accuracy of the survey data.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

<u> Prepared For:</u>

Breeze Treasures, LLC.

1716 Eagle Trace Blvd. W. Coral Springs, FL. 33071-5400 INDEX OF CONSTRUCTION PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	AERIAL SITE PLAN
4	GRADING & DRAINAGE PLAN
5	UTILITY PLAN
6	OFF-SITE UTILITY PLAN
7-9	DRAINAGE AND UTILITY DETAILS
1 of 1	PRE-DEVELOPMENT DRAINAGE AREA MAP
1 of 1	POST-DEVELOPMENT DRAINAGE AREA MAP

David G. Fuxan, State of Florida Professional Engineer, Licence No. 33133 This item has been digitally signed and sealed by David G. Fuxan P.E. on the date indicated here		Fuxan Engineering, Inc. 5018 Maurine Cove Ln. Odessa, Florida 33556 Phone: 813-244-6194 email: dfuxan@fuxaneng.com Engineering Business Certificate of Authorization No.: 26548					
Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.		DAVID G. FUXAN	FLORIDA PROFESSIONAL ENGINEER 33133				
		DATE:       7-31-2020       JOB NO.       2020-RV-01         Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet       Section 100 - 1					
03-07-2021 2,4,5,8 02-22-2021 2,4,5,6, Added Pre & Post DRA Maps D 11-03-2020 4 10-16-2020 2,4,5,6	M M M M						
DATE SHEET NO. B	Y	DESIGNED BY: FUXAN DRAWN BY: MIDDLETON					
REVISIONS		CV	SHEET 1 OF 9				

#### STORM WATER POLLUTION PREVENTION PLAN

Contained on these plans and within the following notes is a Storm Water Pollution Prevention Plan (SWPPP) which has been developed by Fuxan Engineering, Inc. in accordance with the Florida Department of Environmental Protection's (FDEP) "National Pollutant Discharge Elimination System" (NPDES) Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

The following entities are identified as team members of "SWPPP": Fuxan Engineering, Inc., the Developer as identified in the title box of these plans, and the site contractor and his sub-contractors. Each team member has specific responsibilities and obligations. In general, all team members, with regard to their involvement and responsibilities on the project, are to implement all necessary storm water management controls to assure compliance with the NPDES Generic Permit for Storm Water Discharges from Construction Activities, the Southwest Florida Water Management District Permit, the applicable local governing agency (i.e. Hillsborough County, City of Tampa, etc) and the guidelines listed in the SWPPP. The duties and responsibilities of the team members as they pertain to the SWPPP are as follows:

#### Fuxan Engineering, Inc.

- A. Develop SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria. This design is included within these construction plans and the following notes and instructions.
- B. Submit and obtain the necessary design related storm water permits from the Florida Department of Environmental Protection, the Southwest Florida Water Management District and other applicable governmental bodies.
- C. Submit to SWFWMD and the operator of the municipal separate storm water system, if applicable, a letter of construction commencement.

#### Contractor

- A. Sign and return to Fuxan a Contractors Certification Form certifying your understanding of and willingness to comply with the Storm Water Pollution Prevention Plan no later than 48 hours prior to commencement of construction. Also, each subcontractor affected by the SWPPP must certify to the contractor that they understand and shall comply with the NPDES permit and SWPPP. A record of these certifications shall be maintained by the contractor on site.
- B. Submit notice of intent to the FDEP. Prepare Dewatering Plan. During construction, assure compliance with the designed Storm Water Pollution Prevention Plans prepared by Fuxan Engineering, Inc. and the NPDES Generic Permit for Storm Water Discharges from Large and Small Construction Activities.
- C. Maintain a copy of the construction plans, which include the Storm Water Pollution Prevention Plan, the NOI, and all inspection reports and certifications on site.
- D. Undertake all reasonable Best Management Practices (BMP's) to assure that silted or otherwise polluted storm water is not allowed to discharge from the site during all phases of construction. Stabilization BMP's that may be used include: temporary or permanent seeding, mulching, geotextiles, sodding, vegetative buffer strips, protection of trees and preservation of mature vegetation. Structural erosion and sediment control BMP's that may be used include: straw bale dikes, silt fences, earth dikes, brush barriers, drainage swales, check dams, subsurface drain, pipe slope drain, level spreaders, storm drain inlet protection, outlet protection, sediment traps, and temporary sediment basins. Detention ponds may also be used as temporary sediment basins. Additional BMP's that may need to be implemented include: providing protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials. Providing waste receptacles at convenient locations and providing regular collection of wastes, including building material wastes. Minimizing off-site tracking of sediments. Making adequate preparations, including training and equipment to contain spills of oil and hazardous materials. Complying with applicable state or local waste disposal, sanitary sewer or septic system regulations and the use of appropriate pollution prevention measures for allowable non-storm water components of discharge.
- E. Notify Fuxan Engineering, Inc. and the developer in writing of any non-storm water pollution sources which are being stored, or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, other chemicals. This notification should be accompanied with the contractor's design and methods to prevent pollution run-off from these sources.
- F. Develop a maintenance and inspection plan which includes, but is not limited to the following:
- A. The specific areas to be inspected and maintained that includes all the disturbed areas and material storage areas of the site.
- B. The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls that the contractor deems necessary.
- C. Maintenance procedures.
- D. The procedure to follow if additional work is required or whom to call.
- E. Inspections and maintenance forms.
- F. The personnel assigned to each task.
- The following shall be inspected a minimum of once a week or within 24 hours after 0.50 inches of rainfall:
  - Stabilization measures (once a month if fully stabilized).
  - Structural controls.
  - Discharge points.
  - Construction entrances and exits.
  - Areas used for storage of exposed materials.

An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures shall be taken no later than 7 days after the inspection occurred. If revisions to the SWPPP are needed, a report form for changes in the SWPPP shall be completed and a copy sent to Fuxan Engineering, Inc. The original shall be kept on-site as documentation of the change. If the inspection passes, a certification that the facility is in compliance with the SWPPP and the NPDES permit must be signed by a duly authorized representative of the principal executive official of the operator of the SWPPP with one of the following qualifications:

- 1. Has successfully completed the Florida Stormwater, Erosion and Sediment Control Inspector Training Program.
- 2. Successfully completed a similar training program.
- 3. Has enough practical on the job training to be qualified to perform the inspections.

Retain inspection reports and certifications for at least three years.

G. Site stabilization measures shall be initiated as soon as practical but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.

H. Releases in Excess of Reportable Quantities.

- 1. The discharge of hazardous substances or oil in the stormwate discharge(s) from a facility or activity shall be prevented or m in accordance with the applicable stormwater pollution prevention for the facility or activity. This permit does not relieve the op of the reporting requirements of 40 CFR part 117 and 40 CFR Where a release containing a hazardous substance in an amoun or in excess of a reporting quantity established under either or 40 CFR 302, occurs during a 24 hour period:
- a. The operator is required to notify the State Warning Point (800-210-0519 or 850-413-9911) as soon as he or she has knowledge of the discharge;
- b. The operator shall submit within 14 calendar days of know the release a written description of: the release (including type and estimate of the amount of material released), the such release occurred, the circumstances leading to the re remedial steps to be taken, to the Florida Department of Environmental Protection, NPDES Stormwater Section, Mail Station 2500, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400: and
- c. The stormwater pollution prevention plan required under Pa this permit must be modified within 14 calendar days of of the release to: provide a description of the release, th circumstances leading to the release, and the date of the In addition, the plan must be reviewed to identify measure prevent the reoccurrence of such releases and to respond releases, and the plan must be modified where appropriate
- 2. This permit does not authorize the discharge of hazardous su or oil resulting from an on-site spill.

#### Developer

A. Notify Fuxan Engineering, Inc. of your intent to commence construct B. Sign a Certification of Storm Water Pollution Prevention Plan and to Fuxan Engineering, Inc.

#### PRE-DEVELOPED SITE INFORMATION:

- 1. Total site acreage: 1.56 2. Land use: VACANT 3. Vegetation: GRASS 4. Receiving waters or municipal separate storm water system: \_\_\_\_\_ 5. 2 Year/24 Hour rainfall depth: 4.3"
- 6. Soil types: \_\_\_\_\_ ASTATULA SOILS, URBAN LAND, SAMS 7. Endangered species: NONE

PROJECT INFORMATION:

- 1. Project type: BOAT STORAGE
- 2. Anticipated construction sequence is as follows:
- 1. Complete erosion control installation 2. Clearing and grubbing
- 3. Earthwork activities
- 4. Storm water system construction 5. Utility construction
- 6. Base and pavement construction 7. Final stabilization

The BMP's listed in Part D of the Contractor section of the SWPPP

- considered during all phases of construction. APRIL 2021 3. Anticipated start date:
- 4. Anticipated completion date: NOVEMBER 2021
- 5. Total acres disturbed: 0.80
- 6. Pre-developed "C" factor: 0.45
- 7. Post-developed "C" factor: 0.45
- 8. The storm water management system, upon completion of construc appropriate certification and as-built submittals will be operated maintained by **BREEZE TREASURES, LLC**
- 9. The potential source of pollution from this project is on-site deve and construction activity.

	GENERAL EROSION AND TURBIDITY CONTROL NOTES	WATER AND SEWER CONSTRUCTION NOTES:
	1. The Site Subcontractor shall be responsible for installation and maintenance of all erosion and turbidity controls and the quality and	1 Prior to construction the Contractor shall obtain from the Engineer or Owner a
er	quantity of offsite or wetland discharges. 2. Prior to construction, the Site Subcontractor is responsible for having	copy of all pertinent permits related to this project. It is the Contractor's
ninimized ion plan	his dewatering plan and turbidity control plan approved by the applicable reviewing agencies. Refer to the project's permit approvals and permit	conditions of all permits and approvals.
operator 2 part 302.	conditions for agencies requiring such review and approval. Questions concerning appropriate techniques should be addressed to those agencies	Tarpon Springs Requirements.
nt equal to 40 CFR 117	and/or discussed with the project engineer and owner. 3. The appropriate turbidity and erosion control methodologies selected by	construction.
	the Site Subcontractor for this project should be made following assessment of the plans and project site specific factors and after	Springs and Pinellas County Requirements rights-of-way with utility companies in order to prevent damage to utility lines and the making of adjustments to same
t as	consultations as needed with the project engineer and appropriate agencies. The Site Subcontractor will be responsible	if required.
	for obtaining any and all necessary permits for such activity; several factors to consider are listed below:	that may damage trees.
vledge of g the	<ul> <li>A. Clay content in excavated materials and/or permeabilities rates</li> <li>B. Depth of cut in ponds, trenches, or utility lines</li> </ul>	prior to beginning construction.
e date that elease, and	C. Ambient ground water levels D. Actual rainfall amounts and time of year relative to normal	utility permits.
	rainy season E. Proximity to wetlands, water bodies or offsite properties	and wastewater facilities prior to construction
	F. 'Class' designation of receiving water bodies (i.e., Outstanding Florida Waters, shellfish harvesting areas, etc.)	9. All PVC pressure pipe shall have a minimum 36" cover. 10. All PVC water main pressure pipe shall conform to the requirements found in
Part V of	G. Density, type, and proximity of upland vegetation to be retained during construction (for use as possible filtration areas)	AWWA Standard C-900, latest edition at the time of plan approval. All fittings and required appurtenances shall meet the requirements of the City of Tarpon
knowledge ne	H. Fill height relative to natural grade and length and steepness of the proposed slopes	Springs. All service pipe less than 4" in diameter shall be PVC Pressure Pipe; Pressure Rate 200; DR 21 Per ASTM Standard D-2241.
release. es to	I. Existing topography and directions of surface flow J. Type of equipment used	11. All water main pipe and fittings installed under this project shall be color code or marked in accordance with subparagraph 62–555.320(21)(b)3, Florida
d to such te.	K. Project type L. Duration of construction activities	Administrative Codes, using blue as the predominant color. 12. Sanitary sewers, force mains and storm sewers should cross under water mains
ubstances	M. Separation distance of onsite ponds N. Ambient quality of surface and groundwater	Sanitary sewers, force mains and storm sewers crossing water mains shall be laid to provide a minimum vertical distance of 18 inches between the invert of
	0. Temporary stockpile locations and heights 4. At the onset of construction, the Site Subcontractor, as the party	the upper pipe and the crown of the lower pipe whenever possible. 13. When sanitary sewers, force mains and storm sewers must cross a water main
	responsible for implementation of the erosion and sediment control plan, shall assess the above described conditions and factors with respect to	with less than 18 inches vertical distance, both the sewer and the water main shall be constructed of ductile iron pipe (DIP) at the crossing. (DIP is not
	relative cost effectiveness and select the appropriate methods of protection. A fairly extensive list of techniques are presented below but	required for storm sewers if it is not available in the size proposed.) Sufficie lengths of DIP must be used to provide a minimum separation of 10 feet betwee
ction	it must be stressed that any or all of the following may be necessary to maintain water quality and quantity standards. The construction	any two joints. All joints on the water main within 20 feet of the crossing mus be leak free and mechanically restrained. A minimum vertical clearance of 6
return	sequencing should be thought out in advance of initiation to provide adequate protection of water quality.	inches must be maintained at the crossing. 14. Where there is no alternative to sewer pipes crossing over a water main, the
	5. Discharges which exceed 29 N.T.U.'s over the background levels are in violation of state water quality standards. Discharges of water quantities	criteria for minimum separation of 18 inches between lines and 10 feet between ioints shall be required.
	which affect offsite properties or may damage wetlands are also prohibited by regulating agencies.	15. All crossings shall be arranged so that the sewer pipe joints and the water ma
	6. The erosion and turbidity control measures shown hereon are the minimum required for agency approval. Additional control and measures may be	crossing). 16 Where a new nine conflicts with an existing nine, the new nine shall be
	required due to the Site Subcontractor's construction sequence & unforeseen weather conditions. Any additional measures deemed necessary by the Site	constructed of DIP and the crossing shall be arranged to meet the requirements
	Subcontractor shall be included in the lump sum bid with no extras for materials and labor allowed.	17. A minimum 10-foot horizontal separation shall be maintained between any type of sever and water main in parallel installations whenever possible
	7. Hay bales or silt screens shall be installed prior to land clearing to protect water quality and to identify areas to be protected from clearing	18. In cases where it is not possible to maintain a 10-foot horizontal separation
	activities and maintained for the duration of the project until all soil is stabilized.	in a separate trench or on an undisturbed earth shelf located one side of the
ANCLOTE RIVER	8. Floating turbidity barriers shall be in place in flowing systems or in open water lake edges prior to initiation of earthwork and maintained for the	least 18 inches above the top of the severill distance of 10 inches on a
	duration of the project until all soil is stabilized. 9. No clay material shall be left exposed in any stormwater storage facility.	19. Where it is not possible to maintain a vertical distance of 18 inches or a horizontal distance of 10 feet in parallel installations, the water main shall be
	If clay or sandy-clays are encountered during stormwater storage excavation, the Site Subcontractor shall notify the Engineer immediately	constructed of DIP and the sewer or the force main shall be constructed of DIP (if available in the size proposed) with a minimum vertical distance of 6 inches.
BULA MUCK	before proceeding with further excavation. If the Engineer of Record has determined that such soils are non-confining and must be excavated to	The water main should always be above the sewer. Joints on the water main sha be located as far apart as possible from joints on the sewer or force main
	meet permit and design conditions, excavation may proceed after obtaining written authorization from the appropriate governing agency.	(staggered joints). 20. All DIP shall be class 50 or higher. Adequate protective measures against
	Site Subcontractor shall over-excavate the pond's bottom and side slopes	corrosion shall be used. 21. The joint deflection method shall be used where practical in lieu of installing
	by a minimum of twelve (12") inches and backfill with clean sands to help prevent suspension of fine particles in the water column.	bends. 22. Fire hydrant, gate valve and blow-off valve assemblies shall consist of all pipe,
	10. The installation of temporary erosion control barriers shall be coordinated with the construction of the permanent erosion control features to the	valves, tees, fittings, and any and all other appurtenances comprising a complet working unit.
	extent necessary to assure effective and continuous control of erosion and water pollution throughout the life of the construction phase.	23. The location of new fire hydrants shall be identified with a blue reflective pavement marker installed on the roadway. The reflective marker shall be
	of the construction operation and soil type that will be exposed. Silty	located perpendicular to the hydrant, in the center of the lane closest to the hydrant.
	water discharge, while sandy material may need only silt screens or hay balas to provent consisting turbidity surfains should generally be	24. On water taps, contractor to provide and install tapping sleeve and valve and al appurtenances for City of Tarpon Springs to make tap.
	used in open water situations. Diversion ditches or swales may be required to prevent turbid stormwater runoff from being discharged to watlands or	25. All valve box assemblies located within roadways or parking areas shall be protected from truck traffic by use of 6" thick reinforced concrete pads poured
P shall be	other water bodies. It may be necessary to employ a combination of	around valve boxes (see detail). 26. All subsurface construction shall comply with the "Trench Safety Act." The
	conditions warrant.	Contractor shall insure that the method of trench protection and construction is in compliance with the Occupational Safety and Health Administration (OSHA)
	the water shall be treated prior to discharge to the wetlands. Treatment	regulations. 27 Contractor to expose water main and furnish tanning sleeve and valve for water
	or appropriate upland vegeted areas (other than upland preservation areas	meter tap. City of Tarpon Springs will perform the tapping operation.
	enclosure such as turbidity barriers or low berms, and kept confined until	29. Water taps, service lines, water meters, shall not be installed in or run under
	13. The Permittee shall schedule his operations such that the area of	30. The location of all newly installed fire hydrants shall be identified with a blue reflective payement marker installed on the roadway, perpendicular to the fire
	minimum area necessary for efficient construction operation, and the duration of exposed uncompleted construction to the elements shall be as	hydrant. The reflective marker will be located in the center of the lane closest
ction and d and	short as practicable. Clearing and grubbing shall be so scheduled and performed such that grading operations can follow immediately thereafter	31. Elevations refer to the North American Vertical Datum of 1988 (NAVD88).
-	Grading operations shall be so scheduled and performed that permanent erosion control features can follow immediately thereafter if conditions	sewers, sanitary sewers, force mains, or reclaimed mains.
relopment	on the project permit. 14. Water derived from various dewatering methods should be passed through	34. Invert elevations at water main conflicts indicate minimum required separation.
	sufficiently wide areas of existing upland vegetation to filter out excess turbidity. If this is not sufficient, the water shall be retained in	35. Invert elevation as shown at utility crossings indicate minimum required
	previously constructed permanent stormwater ponds or else retained in temporary sedimentation basins until the clarity is suitable to allow for	minimum.
	its discharge. Plugging the outfalls from completed stormwater ponds may be needed to avoid discharge. However, such situations should be monitored	
	closely to preclude berm failure if water levels rise too high. 15. Water can be transported around the site by the use of internal swales or	
	by pumps and pipes. 16. Sheet flow of newly filled or scraped areas may be controlled or contained	
	by the use of brush barriers, diversion swales, interceptor ditches or low berms. Flow should be directed toward areas where sediments can	
	sufficiently settle out. 17. Exposed soils shall be stabilized as soon as possible, especially slopes	
	leading to wetlands. Stabilization methods include solid sod, seeding and mulching or hydromulching to provide a temporary or permanent grass	
	cover mulch blankets, filter fabrics, etc., can be employed to provide vegetative cover.	
	18. Energy dissipaters (such as rip rap, a gravel bed, hay bales, etc.) shall be installed at the discharge point of pipes or swales if	
	scouring is observed. 19. Attempt to install roadway curb and gutters as soon as possible to reduce	
	the surface area for erosion to occur. 20. Implement storm drain inlet protection (hay bales or gravel) to limit	
	sedimentation within the stormwater system. Perform inspections and periodic cleaning of sediments which wash out into the streets until all	
	soil is stabilized. 21. Water discharge velocities from impounded areas and temporary sedimentation	
	22. If water clarity does not reduce to state standards rapidly enough in	
	nolding ponds, it may be possible to use chemical agents such as alum to flocculate or coagulate the sediment particles.	
	25. may bales, sit screens, or graver beas can be added around the pipe or swale discharge points to help clarify discharges. Spreader swales may help discipate cloudy water prior to contact with wetlands	
	24. All fuel storage areas or other hazardous storage areas shall conform to accepted state or federal criteria for such containment areas	
	25. Vehicle or equipment washdown areas will be sufficiently removed from wetlands or offsite areas	
	26. Fugitive dust controls (primarily by using water spray trucks) shall be employed as needed to control windhorn omissions	
	<ul> <li>27. If the above controls remain ineffective in precluding release of turbid</li> <li>water, opposibilly during pend or utility line developing then the</li> </ul>	
	contractor may be compelled to use a vertical dewatering system such as well points or sock drains to withdraw groundwater which may already be	
	clear enough to allow for direct discharge to wetlands.	
	shall occur throughout construction as necessary to insure the above methods are working suitably. This may be peeded daily if conditions co	David G. Fuxan, State of Florida Professional Engineer, Licence No. 33133 Engineering Business Certificate of Auth
	warrant. Site Subcontractors are encouraged to obtain and thoroughly review The Elorida Development Manual: A Guide to Sound Land and Water	This item has been digitally signed and sealed by David G. Fuxan, P.E. on the date indicated here.
	Management, which was developed by the State of Florida Department of Environmental Protection in 1988. This provides fairly in-depth	Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.
	discussions of recommended techniques and also provides specific design and technical standards. A copy of this document is available for review	
	at Euxan Engineering Inc	The second se

29. The contractor will perform daily inspections of all on-site wetlands within the construction area to ensure that water levels within those wetlands are not excessively impounded prior to the time when the permitted control structure or outfall is built. Water levels significantly above normal should be corrected at a frequency that prevents a change in the vegetative character or health of any wetlands

#### ER CONSTRUCTION NOTES:

3-07-2021

2-21-202

0-16-2020

DATE

GENERAL NOTES

1. PROPOSED USE 73 BOAT AND RV STORAGE SPACES

- AND 3 PARKING SPACES. 2. NO BUILDINGS, RESTROOMS, NOR WASH DOWN AREAS
- ARE PROPOSED 3. EXISTING LAND USE COMMERCIAL GENERAL LAND USE
- 4. EXISTING ZONING INTENSIVE BUSINESS DISTRICT 5. REQUIRED PARKING 3 SPACES
- PROVIDED PAVED PARKING
  - 1 SPACE FACILITY MANAGER 1 SPACE GUEST
  - 1 SPACE HANDICAPPED PARKING

3 SPACES TOTAL

AREA TABULATION

Existing Crushed Concrete for Proposed Boat Storage 0.80 Ac. Proposed Asphalt ParkinG Area 0.02 Ac. Open Space 041 Ac Total Upland Area 1.23 Ac.

Upland Area 1.23 Ac. Wetland Area 0.33 Ac. Total Site Area 1.56 Ac.

FACILITIES IMPACT TABLE

WATER DEMAND SEWER DEMAND SOLID WASTE TRAFFIC

100 GPD 100 GPD 60 GALLONS PER WEEK *10 TRIPS PER DAY* 

Professional Engineer, Licence No. 33133 Engineering Business Certificate of Authorization No.: 26548 **GENERAL NOTES** digitally signed and sealed by P.E. on the date indicated here. ent are not considered signed and sealed, JOB NO. be verified on any electronic copies. 2020-RV-01 Fuxan Engineering, Inc. **GEMINI STORAGE** DESIGN 15018 Maurine Cove Ln. FUXAN 🚽 Odessa, Florida 33556 DRAWN REPARED FOR: Breeze Treasures, LLC. »Phone: 813-244-6194 : 44 MIDDLETO STATE OF Start Date, Parking Table DATE Elevations based on North American Vertical Datum 1988 (NAVD 88) Facilities Impact Table ORIC Anticipated Start Date 7-31-202 Conversion from NAVD 88 to NGVD 29 = +0.85 Feet DM ONAL DESCRIPTION DAVID G. FUXAN P.E. NO. 33133 SHEET SHEETS GN REVISIONS FLORIDA PROFESSIONAL ENGINEER





NOTES: 1. This Aerial Exhibit has been prepared for illustrative purposes only and is consequently not sufficiently accurate for planning, design or construction. 2. Photo Date: 2017

ofessional Engineer, Licence No. 33133 itally signed and sealed by on the date indicated here.	Engineering Business Certificate of Authorization No.: 26548	AERIAL SITE PLAN					
re not considered signed and sealed, erified on any electronic copies.	Fuxan Engineering, Inc.	JOB NO. 2020-RV-01 DESIGN FUXAN	GE	MIN	I SJ	ΓOF	RAGE
		DRAWN MIDDLETON	PREPARED FOR:	Breez	e Tre	asure	es, LLC.
		DATE 7-31-2020	Elevations bas Conve	ed on North A ersion from N	American Ve AVD 88 to I	ertical Dat NGVD 29	um 1988 (NAVD 88) = +0.85 Feet
DESCRIPTION BY EVISIONS	DAVID G. FUXAN P.E. NO. 33133 FLORIDA PROFESSIONAL ENGINEER	FILE ASP	SHEET	3	OF	9	SHEETS













Professional Engineer, Licence No. 33133 ligitally signed and sealed by 2. on the date indicated here.		Engineering Business Certificate of Authorization No.: 26548	OFF-SITE UTILITY PLAN						
t are not considered signed and seale verified on any electronic copies.	to the considered signed and sealed, ad on any electronic copies. Fuxan Engineering, Inc. 15018 Maurine Cove Ln.		JOB NO. 2020-RV-01 DESIGN FUXAN	GE	EMIN	I SJ	ſOŀ	RAGE	
Diessa, rionda 33556 m Phone: 813-244-6194		drawn MIDDLETON	PREPARED FOR:	Breez	e Tre	asure	es, LLC.		
WATER, COMMENTS SITE TOPO, COMMENTS	DM DM	DATE ONAL	DATE 7-31-2020	Elevations bas Conve	ed on North A ersion from N	American Ve AVD 88 to I	ertical Dat NGVD 29	um 1988 (NAVD 88) = +0.85 Feet	
DESCRIPTION	BY	DAVID G. FUXAN P.E. NO. 33133	FILE	SHEET	6	OF	9	SHEETS	
REVISIONS		FLORIDA PROFESSIONAL ENGINEER	WS	SHELL	0		,	SHELTS	







CITY OF TARPON SPRINGS	SILT FENCE INSTALLATION	DATE <b>1</b> INDEX	2/15/15 G-01
PINELLAS COUNTY, FLORIDA	DETAIL	SCALE N.T.S.	SHEET 1 OF 1



\*TRENCH WIDTH = PIPE OUTSIDE DIAMETER PLIS 2 FEET

#### NOTES:

- 1. OVERLAY REQUIRED AT CITY OF TARPON SPRINGS'S DISCRETION.
- 2. WRAP PIPE JOINTS WITH FILTER FABRIC.
- 3. ALL PIPES SHALL BE CONSTRUCTED WITHIN STEEL CASING PIPE IF INSTALLED ON A ROAD TO BE WIDENED.
- 4. RIGHT-OF-WAY PERMIT STIPULATIONS OVERRIDE THIS DETAIL WHERE TRENCH IS LOCATED WITHIN A CITY RIGHT-OF-WAY.

	CITY OF	STATE ROAD, MAJOR COUNTY ROAD, AND	DATE 1	2/15/15
	TARPON SPRINGS	NUMBERED COUNTY ROAD FLOWABLE	INDEX	G-07
Ì	PINELLAS COUNTY, FLORIDA	FILL ROAD AND TRENCH RESTORATION	SCALE <b>N.T.S.</b>	SHEET 1 OF 1







SPACER

12/15/15

N.T.S. 1 OF

G-08

Professional Engineer, Licence No. 33133 digitally signed and sealed by 3. on the date indicated here		Engineering Business Certificate of Authorization No.: 26548	D	RAINAGE AND UTILITY DETAILS
t are not considered signed and sealed, e verified on any electronic copies.		Fuxan Engineering, Inc.	JOB NO. 2020-RV-01 DESIGN	GEMINI STORAGE
		Odessa, Florida 33556 Phone: 813-244-6194	FUXAN DRAWN MIDDLETON	PREPARED Breeze Treasures, LLC.
		DATE ONAL	DATE 7-31-2020	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.85 Feet
DESCRIPTION B REVISIONS	3Y	DAVID G. FUXAN P.E. NO. 33133 FLORIDA PROFESSIONAL ENGINEER	FILE DETAILS	SHEET 7 OF 9 SHEETS

















**TRACER WIRE INSTALLATION** 

TARPON SPRINGS

PINELLAS COUNTY, FLORIDA

Denne.



IN LINE w/PIPE DIRECTION

LOCK RING 6"PVC(SDR.35) OR APPROVED EQUAL 1"-3" WIDE BAND w/3" SECTION CUT OUT. 2 REQUIRED FOR EACH VALVE

2" CAP

ADJUSTABLE -VALVE BOX

BOTTOM

MIN.

BOX



DATE



🔨 🦕 MES

<u>Б</u>

(Emplical Pipe Similar)								
SINGLE AND MULTIPLE CONCRETE PIPE								
FY 2020-21     CROSS DRAIN MITERED END SECTION       STANDARD PLANS     CROSS DRAIN MITERED END SECTION						≡x 021	<sub>sнеет</sub> 2 of 6	
rofessional Engineer, Licence No. 33133 igitally signed and sealed by . on the date indicated here.	Engineering Business Certificate of Authorization No.: 26548	D	RAINAGE	E AND U	TILITY	DET	TAILS	
are not considered signed and sealed, verified on any electronic copies.	Fuxan Engineering, Inc.	JOB NO. 2020-RV-01 DESIGN FUXAN	GE	MIN	I ST	[0]	RAGI	111
	Duessa, Honda 33330	drawn MIDDLETON	PREPARED FOR:	Breez	e Trea	asur	es, LLC	
	DATE ONAL	DATE 7-31-2020	Elevations bas Conve	ed on North A ersion from NA	merican Ve AVD 88 to N	rtical D IGVD 20	atum 1988 (NA 9 = +0.85 Feet	VD 88)
DESCRIPTION BY REVISIONS	DAVID G. FUXAN P.E. NO. 33133 FLORIDA PROFESSIONAL ENGINEER	FILE DETAILS	SHEET	9	OF	9	SHEE	TS





#### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

#### PROJECT NAME: 21-37 – TIEGUYS - TEMPORARY USE FOR CONSTRUCTION TRAILER - 338 E LEMON STREET

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Annexation         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other						
□ PLANNING & ZONING BOARD (P&Z) □ HERITAGE PRESERVATION BOARD (HPB) □ BOARD OF ADJUSTMENT (BOA) □ BOARD OF COMMISSIONERS (BOC) ☑ TRC ONLY						
REVIEW COMMENTS: REVIEWER DEPARTMENT:						
APPROVE       DENY       DEFER       SEE BELOW       NO COMMENTS       INITIALS						
ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC						

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

#### CITY OF TARPON SPRINGS, FLORIDA Temporary Use Application

(Please type or print clearly) Property Owner(s)								
Name ASKR Enterprises, LLC	Email alex@tieguys.com							
Address 338 E. Lemon St.								
<sup>City</sup> Tarpon Springs	Zip 34689							
Phone 727-475-4452	Fax		Cellular 727-515-6026					
Applicant			-					
Name Alex Jarmolych			Email alex@tieg	uys.com				
Address 338 E. Lemon St.								
City Tarpon Springs		State FL		Zip 34689				
Phone 727-475-4452 x103	Fax		Cellu 727-	lar 515-6026				
Agent (if applicable)			1					
Name			Email					
Address								
City		State		Zip				
Phone	Fax		Cellu	lar				
General Information			I					
Project Name								
Lieguys.com - Lemon St.								
338 E. Lemon St	4	A						
Edmondson's Sub Lots 1 and 2	is as necessary	)						
Tax Parcel Number(s) 13-27-15-25272-000-0010								
Land Use & Zoning Information								
Existing Designations of Property								
Land Use Category:		Zoning Distr	ict:					
General Information								
Temporary Use Requested: (briefly de Two temporary use construction trailers, for se	escribe) cure storage durii	ng renovations and cor	nstruction. The	containers will be approximately 4 feet				
from the rear property line and 6 feet from the	side property line.							
Length of Time Requested:(90 days r	<sub>max.)</sub> 90 Day	s f	rom: $\frac{4}{mm}$ / $\frac{1}{c}$	$\frac{\sqrt{21}}{\sqrt{21}}$ to: $\frac{7}{mm}$ $\frac{1}{dd}$ $\frac{\sqrt{21}}{yy}$				

#### CITY OF TARPON SPRINGS, FLORIDA Temporary Use Application

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding temporary use applications.

§ 56.00 TEMPORARY USES.

- (A) All requests for temporary use permits shall require prior approval from the Technical Review Committee (TRC) prior to the issuance of a building permit.
- (B) All temporary structures shall comply with the requirements of the applicable building codes.
- (C) Temporary structures are not required to comply with the district setback requirements.
- (D) All requests for temporary use permits shall be accompanied by a plot plan or survey showing the nature of the activity and temporary improvements involved, and a time period for which the permit is requested.
- (E) Adequate utility, drainage, refuse management, emergency services and access, parking, and similar necessary facilities and services shall be available for the use. Sanitary facilities shall be approved by the Pinellas County Health Department in writing.
- (F) Special Events on public property or right-of-way shall be processed in accordance with the requirements of Chapter 12.5 Article II of the City of Tarpon Springs Code of Ordinances.
- (G) Unless specified otherwise by this Code, no temporary use permit shall be issued for more than a 90day period.
- (H) Upon a showing of unusual circumstances, the City Manager or his/her designee may grant one extension of the original approval period. No further extensions will be permitted.

#### The following MUST be furnished with this application: [incomplete applications will not be accepted]

#### **Completed original application with digital copies of all application documents**

- **\$100.00** application fee
- Property survey including legal description, signed and sealed by a professional land surveyor
- Proof of ownership (warranty deed, title certification, etc.)

□ Site or Sketch Plan showing the nature of the activity and temporary improvements involved and their relationship to existing uses and structures on the property

Approval of sanitary facilities from the Pinellas County Health Department, if applicable

Flame spread certification (for tents only)

□ If for Construction Trailer, please note above whether there will be plumbing or electrical service used in the trailer.



### LEMON STREET



PLOT PLAN SCALE 1"=10'

#### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

PROJECT NAME: 21-26 - FLAGSHIP BANK - SITE PLAN REVIEW - SE CORNER OF MERES BLVD AND PINELLAS AVE

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision         Certificate of Approval (Historic District)       Conceptual Planned Development       Subdivision         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Spece         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improven         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver	Plat 🗌 Variance n ial Area Plan nent Grant ] Other
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PU HEARING(S):	JBLIC
➢ PLANNING & ZONING BOARD (P&Z) ☐ HERITAGE PRESERVATION ☐ BOARD OF ADJUSTMENT (BOA)  ☐ BOARD OF COMMISSIONERS (BOC ☐ TRC ONLY	BOARD (HPB) C)
REVIEW COMMENTS: REVIEWER DEPARTMENT	':
APPROVE DENY DEFER SEE BELOW NO COMMENTS	REVIEWER INITIALS
ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS	A SPECIFIC

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

Return to Planning & Zoning Department 324 E. Pine Street Tarpon Springs, FL 34689 (727) 942-5611

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(Please type or print clearly) Property Owner(s)							(,
Name Flagship Bank	Email rmcgivnev@flagshipbank.com			flagshipbank.com			
Address 29750 US Hwy 19 N							
City Clearwater			Stat FL	ie Zip 33761			Zip 33761
Phone 727-451-2020		Fax 727-451-507	0	Cellular 727-204-0195			r )4-0195
Applicant Name Same as Property Owner					Email		<u> </u>
Address				I			<u></u>
City			Stat	e – – – – – – – – – – – – – – – – – – –			Zip
Phone		Fax	•	·····	C	elluia	r
Agent (if applicable)					Emoil		
Gary A. Boucher, P.E., Ozo	na Engin	eering, Inc			gbouche	er@o	zonamail.com
Address PO Box 432							
City Ozona			Stat	> Zıp 34660			Zip 34660
Phone 727-785-3939	4	Cellular 727-365-2593			j5-2593		
General Information							
Project Name Flagship Bank							<u> </u>
Property Location or Address SE Corner of Alt19 & Meres	, Meres (	Crossing Shop	ping	Center		<u>-</u>	
Legal Description (attach addit See attached	ional shee	ets as necessary	/)				
Tax Parcel Number(s) 13-27-15-00000-420-0120							
Existing Land Use & Zo	ning Inf	formation					
Present Designa	tions of P	roperty			Curr	rent u	ise of Property
Land Use Category Zoning District Vacant				Vacant			
Site Acreage:							
Upland 0.69	Wetland	0		Submerged_	0		TOTAL 0.69
Flood Information: (please	e check a	II that apply]					
D Zone X	Zone X Shadeo	1	🗄 Zone	AE		Zone VE	
Base Flood Elevation (BF	E): (plea	se list all eleva	tions]	10.0		<u> </u>	

#### Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	🖒 GPD	2.60 GPD	200 GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis	/ Review by Engineer	ring Division
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day TPD = trips per day

The following MUST be furnished with this application: [Incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents
- Application fee (based on site acreage)
  - ☑ 0-5 acres; \$ 500.00
  - □ 5.01 10 acres; \$ 750.00
  - □ 10.01 15 acres; \$1,000.00
  - □ 15.01 20 acres; \$1,500.00
  - 20.01 acres or more; \$2,000.00
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Endangered/Threatened Species Study, if required by Section 144.00, LDC
- Aknowledge compliance with the City's Public Art Ordinance (see criteria below)
- Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)
- Five (5) complete sets of plans including <u>all</u> the following items.
  - A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
  - B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
    - 1. All required information shall be submitted on standard sheets (24" × 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
    - 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
    - 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
    - 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

- 5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
- 6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
- 7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
- 8. Existing contours and proposed grades at one foot intervals.
- 9. Flood zone and required first floor elevation(s).
- 10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
- 11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
- 12. Lot dimensions including curve data.
- 13. Proposed setback dimensions.
- 14. Gross floor area by type for non-residential uses.
- 15. Gross density for residential uses and number and types of units.
- 16. The proposed architectural elevations and floor plans with accurate dimensions.
- 17. Proposed private and public streets with right-of-way dimensions.
- 18. Proposed phasing plan by anticipated commencement and completion date.
- 19. Dumpster location and screening.
- 20. Required parking calculations (parking provided and required).
- 21. Size and location of required loading zones.
- 22. Required (proposed) sidewalks and internal walkways.
- 23. Driveways and access improvements.
- 24. Location and type of site lighting including pole height and fixture type.
- 25. Description of the maintenance of common facilities for residential projects.
- 26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

SUCH attwork may include amenities such as streetscapes, paving treatments, architecturally integrated
water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be

1. Projects with an aggregate job value under \$1,000,000.00.

2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

#### APPLICANT'S AKNOWLEDGEMENT:

Type of Public Art Activity [please Initial only one]

This project is exempt from the Public Art Program requirements.

Please state exemption: under \$1,000,000, CA

\_\_\_ I will contract with a professional artist to create a permanent, public artwork as part of the development.

\_\_\_\_\_ In lieu of an on-site project, I will contribute .75 percent of the aggregate job value\* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

\*Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

- (A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.
- (B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.
- (C) Design Requirements for all non-residential site plans.
  - 1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.

d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.

e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.

2. Sidewalks and private frontages (the area between the building and right- of-way)

a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.

3. Landscaping

a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.

4. Elevation of buildings

a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.

5. Pedestrian promenades on waterfront lots

a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.

6. All site plans and building plans shall adhere to the additional building design requirements set out below;

a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.

b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.

c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.

d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.

e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.

g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.

h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.

i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.

j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.

k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.

b. The use of neori tubirig, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.

c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.

d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.

e. Multiple connections shall be required between the structure and the public right-of-way.

f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

#### (D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

#### AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that <u>Gary P. Boucher, P.E.</u> is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date:		Title Holder: Flagship Bank by Robert B McGivney
Date <sup>.</sup>	2/23/2021	CEONice Chairman
Data:		Title Holder
	an a	
Date:		litle Holder:

#### STATE OF FLORIDA ) COUNTY OF PINELLAS )

NOTARY PUBLIC

Name: Signature Stamp:

anny Brigmond

some	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
5	Notary Public State of Florida
$\mathcal{C}$	My Commission GG 925915
5.5.5	Expires 01/10/2024
Enn	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~

### LEGAL DESCRIPTION

A PORTION OF LAND LYING IN SECTION 13, TOWNSHIP 27 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTER OF SAID SECTION 13, THENCE ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 13, RUN SOUTH 89°51'20" EAST A DISTANCE OF 28.94 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE (STATE ROAD NO. 595 AND ALT. 19) SAID POINT ALSO BEING A POINT OF CURVATURE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 40.79 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 475.51 FEET, A CENTRAL ANGLE OF 4°54'53" AND A CHORD OF 40.78 FEET, WHICH BEARS SOUTH 11°21'30" WEST TO THE POINT OF BEGINNING, THENCE LEAVING SOUTH PINELLAS AVENUE SOUTH 89°51'20" EAST 161.30 FEET, THENCE SOUTH 00°00'00" EAST 110.74 FEET, THENCE SOUTH 20°48'03" WEST 89.29 FEET, THENCE NORTH 69°36'25" WEST 99.25 FEET, THENCE NORTH 66°51'16" WEST 92.31 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE NORTH 26°11'02" EAST29.40 FEET TO A POINT OF CURVATURE, THENCE 103.77 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 477. 15 FEET TO A CENTRAL ANGLE OF 12°27'37" AND A CHORD OF 103.56 FEET, WHICH BEARS NORTH 19°57' 14" EAST TO A POINT OF BEGINNING.

### DATUM INFORMATION

N.A.V.D. 1988 DATUM

### FLOOD ZONE INFORMATION

SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE AE (EL 10 FEET), ACCORDING TO THE NSURANCE RATE MAP. PINELLAS COUNTY. FLORIDA. MAP NUMBER TARPON SPRINGS, 120259, MAP REVISED DATE: SEPTEMBER 26, 2014, MAP INDEX NUMBER 12103CIND1C, MAP REVISED: AUGUST 18, 2009. AN ACCURATE ZONE DETERMINATION SHOULD BE MADE BY THE PREPARER OF SAID MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY. OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS PRIOR TO ANY JUDGMENTS BEING MADE FROM THE ZONE AS NOTED.

### SURVEYOR:

BULLSEYE SURVEYING, INC. 2014 DREW STREET CLEARWATER, FL 33765 (727) 475-8088 FAX (727) 264-0457

### NOTE TO CONTRACTOR

THIS SET OF PLANS IS COMPRISED OF SEVERAL SHEETS THAT REFER TO EACH OTHER FOR VARIOUS DESIGN DATA AND DESCRIPTIVE PURPOSES. NO SHEET SHALL STAND ALONE. FOR BIDDING, CONSTRUCTION AND COORDINATION PURPOSES, ALL PAGES WITHIN THIS SET OF PLANS SHALL BE BE PRESENTED TOGETHER, NOT IN PART. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF PLANS TO ALL THOSE CONDUCTING WORK ON THIS PROJECT. INCOMPLETE PLAN PACKAGES MAY BE CONSIDERED INVALID BY THE ENGINEER OF RECORD.



LOCATION	MA
NTS	



PARKING CALCULATIONS

REQUIRED: 1 SPACE PER 200 SF OF GROSS FLOOR AREA 3327 SF/200 = 16.6 OR 17 SPACES REQUIRED2 DRIVE-THRU LANES =12 SPACES

### SECTION 13, TOWNSHIP 27 S., RANGE 15 E CITY OF TARPON SPRINGS PINELLAS COUNTY, FLORIDA

# **CONSTRUCTION PLANS**

		S	SITE D	АТА				
		BEFC		MENT	AFT	ER DEVELOPM	ENT	NOTES
	ZONING		RO			RO		
	LAND USE		VACANT			COMMERCIAL		
	FACILITY USE		VACANT			BANK		
	LOT AREA	30,010 sf	0.69 Ac MOL	100.0%	30,010 sf	0.69 Ac MOL	100.0%	
BUILDI	NG COVERAGE	0 sf	0.00 Ac MOL	0.0%	3,327 sf	0.08 Ac MOL	11.1%	
TOTAL NUMB	ER OF STORIES	0			1			
GROS	S FLOOR AREA	0 sf		0.00 FAR	3,327 sf		0.11 FAR	MAX. FAR = 0.25
PAVED VEHICU	ILAR USE AREA	0 sf	0.00 Ac MOL	0.0%	16,055 sf	0.37 Ac MOL	53.5%	·
OTHER IMP	ERVIOUS AREA	0 sf	0.00 Ac MOL	0.0%	1,655 sf	0.04 Ac MOL	5.5%	
IMPERVIOUS S	URFACE RATIO	0 sf	0.00 Ac MOL	0.0%	21,037 sf	0.48 Ac MOL	70.1%	MAX. ISR = 0.75
	OPEN SPACE	30,010 sf	0.69 Ac MOL	100.0%	8,973 sf	0.21 Ac MOL	29.9%	
INTERIOR	LANDSCAPING	0 sf	0.00 Ac MOL	#DIV/0!	1,500 sf	0.03 Ac MOL	9.3%	REQ'D=100 SF/5 SPACES
	FRONT	0.0 ft	W		68.5 ft	W		MIN. SETBACKS
BUILDING	SIDE	0.0 ft	S		59.5 ft	S		FRONT = 20.0'
SETBACKS	SIDE	0.0 ft	Ν		53.0 ft	Ν		REAR = 20.0
	REAR	0.0 ft	E		39.2 ft	E		SIDE = 20.0 STREET SIDE = 15.0'
	FRONT	0.0 ft	Ν		8.0 ft	Ν		REQUIRED LS BUFFERS
PERIMETER	SIDE	0.0 ft	S		8.0 ft	S		FRONT = 8.0'
ANDSCAPING	SIDE	0.0 ft	E		8.0 ft	E		REAR = 8.0'
	REAR	0.0 ft	W		8.0 ft	W		SIDE = 8.0'
BU	ILDING HEIGHT	0.0 ft			30.0 ft			MAX. HEIGHT = $35.0'$

PROVIDED: 19 SPACES INCLUDING 2 HANDICAP SPACES

### **PROJECT INFORMATION**

PROPERTY OWNER:

FLAGSHIP BANK 29750 U.S. HWY. 19 CLEARWATER, FLORIDA 33761

DESCRIPTION OF WORK:

CONSTRUCT 3,327 S.F. BANK ON 1.07 AC. VACANT PARCEL ALONG WITH ASSOCIATED PARKING, LANDSCAPING, WATER MANAGEMENT SYSTEM AND WATER/SEWER UTITITIES

### **CIVIL SITE INDEX**

C1.1 CIVIL SITE INFORMATION

- C1.2 CIVIL NOTES AND PROCEDURES
- C1.3 CIVIL NOTES AND SPECIFICATIONS
- C2.1 SITE DEMOLITION PLAN
- **B1.1 CONSTRUCTION SURFACE WATER MANAGEMENT**
- **B2.1 BEST MANAGEMENT PRACTICES FOR EROSION CONTROL**
- B3.1 BEST MANAGEMENT DETAILS
- **B3.2 BEST MANAGEMENT DETAILS**
- C3.1 SITE LAYOUT AND GEOMETRY PLAN
- C4.1 GRADING AND DRAINAGE PLAN
- C5.1 SITE UTILITIES PLAN
- C6.1 ON-SITE PAVEMENT, CURB AND WALK DETAILS
- C6.3 ON-SITE SIGNAGE, STRIPING AND MARKING DETAILS
- C6.5 ON-SITE UTILITY DETAILS
- C7.1 PUBLIC UTILITY DETAILS
- CL1.1 LANDSCAPE PLAN
- CL1.2 LANDSCAPE DETAILS

# CIVIL SITE INFORMATION

SCALE: NONE

REVISIONS						5
STATE CERT. OF AUTH. #:00009422   HEREBY CERTIFY THAT	THIS PLAN AND SPECIALICATION WAS	PREPARED BY ME OR UNDER MY DIRECT	DOIDOOTING. Inc. SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER	Box 432	na, Florida 34660–432 2017 2017 2010 Fundation 2017 2017 2017 2017 2017 2017 2017 2017	ie: (/2/) /83-3939 Fax: (/2/) /83-3434 .ozonawebsite.com Eff 22885
				P.0		2017 WW
EOB.		FLAGSHIP BAN				
				ALL. U.S. 19 & MERES BLVD.		

### **SURVEYS AND AS-BUILTS:**

- 1. The contractor commissioned to do the site work is responsible for providing as-built surveys during the course of the project and at the end of the job.
- 2. As-Built Surveys shall include but not be limited to the following:
- Sanitary Sewer
- Water (Domestic, Fire and Reclaim)
- Stormwater InfrastructureGrading
- Building Tie-in and Finish Floor Elevation
- 3. All surveys shall be conducted and provided in the following manner:
- a. Sanitary Sewer:

The sanitary sewer as-builts shall be provided to the engineer of record prior to any further construction above the underground utilities. The sewer as-builts shall include but not be limited to the following data:

- Manhole locations, top elevations, inverts, etc.
- Pipe run sizes, types and lengths
- Lift station top, inflow inverts and outflow invert
- b. Water:
- All water utility as-builts shall be provided to the engineer of record prior to any further construction above underground utilities. The water as-builts shall include but not be limited to the following data:
- Meter & Backflow preventer locations and sizes
- Pipe run sizes, types and lengths
- Locations and types of fittings such as tees, gate valves, etc.
- c. Stormwater Infrastructure:
- All underground stormwater as-builts shall be provided to the engineer of record prior to any further construction above the underground element. The stormwater infrastructure as-builts shall contain but not be limited to the following data:
- Inlet, junction box or end section type and location including top elevations and all inverts
  Pipe run sizes, types and lengths
- Pond top of bank, bottom, water elevation, geometry, littoral shelf elevation, etc.
- Control structure top and invert elevations.
- Weir invert, width, shape and baffle dimensions.
- d. Grading:
- All pertinent grading such as floodplain mitigation areas, wetland work, paving, etc. shall be provided. The grading as-builts shall include but not be limited to the following data:
  Grades at high points and low points along pavement, swales and other flow lines.
- Grades at immediate perimeter of building(s).
- Grades at top and toe of slope of areas exceeding 5:1 slope.
- Grades at wetland buffer areas.
- Grades at perimeter of site.
- Grades at all handicap ramps and handicap parking.
- e. Building Tie-In and Finish Floor:
   All buildings shall be located on the survey. The as-builts shall include but not be limited to the following data:
- Dimension of all corners of buildings to each other and to the surrounding property lines. The dimensions shall be perpendicular to the property line.
- Finish floor elevation(s) of the buildings.
- 4. All surveys shall be conducted by a licensed surveyor. No as-built information shall be provided to the engineer of record in any other form unless specifically approved by the engineer of record.
- All surveys shall be provided to the engineer of record signed and sealed with a digital copy in CAD form.
- Surveys may require specific criteria per local jurisdictional requirements. Contractor/surveyor shall coordinate such requirements with the local jurisdictions to assure all needed data is provided and is in the proper format.

<u>SHOP DRAWINGS NOTE:</u> CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DRAINAGE STRUCTURES

- DRAINAGE PIPES
- WATER PIPES AND FITTINGS
- VALVES AND RELATED ITEMS SANITARY SEWER MANHOLES
- SANITARY SEWER PIPES, FITTINGS, ETC.
- PAVEMENT SPECIFICATIONS
- HANDRAILS AND GUARDRAILS FENCES, GATES AND RELATED HARDWARE

ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO PURCHASE AND INSTALLATION OF THESE ITEMS.

ADDITIONALLY, SPECIFIC ITEMS CONTAINED WITHIN THE DETAIL PAGES HAVE BEEN FLAGGED INSTRUCTING THE CONTRACTOR TO PROVIDE A SHOP DRAWING. (SHOP DRAWINGS SHALL NOT BE LIMITED TO THE DESIGNATED ITEMS.)

SYMBOL FOR SHOP DRAWING REQUIREMENT:



### **CONTRACTOR PROCEDURE NOTES:**

1. New Water Mains:

After completion of installation of new water mains, pressure testing shall be performed in accordance with the local jurisdiction water system standards and specifications, sampling of new water mains shall conform with county public health unit requirements and results forwarded to the engineer. Under no circumstances shall a new water system be placed into service until the certification by the engineer has been completed and a release from county public health unit and/or the Florida Dept. of Environmental Regulation (or other applicable local authority) has been issued.

- Tree Barricades And Erosion Control Measures: Required tree barricades and erosion control measures must remain intact throughout the project duration. Encroachment into or failure to maintain these barricades will result in enforcement action, which may include citations and/or permit revocations.
   Runoff Management:
- All retention areas, storm sewer piping, storm sewer structures, etc. Must be in place as part of the first phase of construction. It is the responsibility of the contractor to accommodate positive drainage throughout construction to avoid flooding of the adjacent properties. Any flooding that may occur due to this work will be the sole responsibility of the contractor.
  4. Public Utility Connections:
- Any new public utilities to be constructed within the right of way as part of the project must be inspected and accepted by the local jurisdiction prior to private connection from the project.5. Electronically Stored Data:

The use of electronically stored data (i.e. CAD files) whether transmitted via. disk, direct modem, e-mail, digitization, etc. is intended for informational purposes only. This information is not to be used for construction. Contractor must utilize signed and sealed documents for construction.

### **COORDINATION BETWEEN SITEWORK AND BUILDINGS:**

- 1. Most projects have transitional construction items that include, but are not limited to the following:
- Roof leader connections and locations
   Drainage sleeves under walks
- Brainage steeves under walks
   Necessity of a stem wall at grade transitions at the building(s)
- 4. Connection of the fire line into the building from the main
- 5. Transformer pads
- 6. Inverts of sanitary sewer piping at the building edge
- 7. Handicap ramps, walks, etc. leading to the entryways of a building
- 8. Protective pipe bollards
- 9. Dumpster enclosures attached to or near buildings
- 10. Loading areas with specific criteria
- 2. During the bidding process, it shall be the sitework contractor's responsibility to either bid on or acknowledge transitional construction items. The bid shall include a specific description of each item. In cases where the sitework contractor does not provide any particular transitional item, he/she must acknowledge each item in writing attached to their bid.
- 3. Some buildings have specific criteria for sitework adjacent to the buildings. In cases where there is a discrepancy between design items within the site plan and design items within the building plans, the contractor(s) must notify both the engineer of record and the building architect prior to conducting any work related to that item.
- 4. Dumpster enclosures in general may be referenced both on the site plan and on the building plans. If the enclosure is referenced on the site plan, it is only to meet the permit requirements for the site plan. Contractor shall refer to the building plans for additional information as the architectural design of the dumpster enclosure is more specific for purposes of finish, gate design, footings, wind load requirements, etc.



CIVIL NOTES AND PROCEDURES

### FDOT NOTES

- 1. Any new proposed plan shall include cross sections of the state road adequately reflecting all right of way features including existing utilities, storm drain structures and any above or below ground appurtenances where applicable.
- 2. No pedestrian pathway is to be removed, blocked, or disturbed without having a sufficient designated temporary pedestrian pathway with all appropriate pedestrian maintenance of traffic signs (Index 660) in place prior to pathway being affected. 3. All temporary pedestrian pathways must be firm and unyielding.
- 4. Sidewalk must be replaced from property line to property line, using Standard #300, #304 and
- 5. #310 for the construction of sidewalk and meet current ADA Standards. All concrete placed in the right of way shall be a minimum of 6" thick, Class 1 non-structural, 3000 PSI concrete with fiber mesh material.
- The detectible warning surface materials must be on the State's Approved Products List. (Non- proprietary).
- 7. Any sidewalk damaged as a result of work being performed in association with the permittee and contractor shall be removed and replaced per FDOT Specifications.
- 8. Any sidewalk disturbed will be replaced by section within 72 hours, to FDOT specifications 9. Pipe culverts shown on the permit must meet FDOT specifications, type, size, and length
- as described on the permit. Each joint or length of pipe shall have FDOT stamps affixed verifying this approval. All concrete pipe joints other than 1" ring joints must be diapered. All culverts to be inspected by FDOT prior to placement of fill.
- 10. The FDOT retains the right to make alterations to the permit, attached sketch or character of work as may be considered necessary or desirable during the progress of the work for satisfactory completion of the proposed construction.
- 11. The permittee shall notify the FDOT of date of completion, request a final inspection and a notice of final acceptance.
- 12.All construction and/or maintenance on the FDOT right of way shall conform to the federal manual on uniform traffic devices (MUTCD). The FDOT roadway and traffic design standards. The standard specifications for road and bridge construction, plans preparation manual and drainage manual.
- 13.No lane closures of any state road are allowed without 48 hour advance notice and approval from FDOT.
- 14.Lane closures must be limited to Sunday through Thursday 8:00 PM to 5:30 AM unless otherwise approved by the FDOT.
- 15.No work shall be performed during the weeks of any state or federal holidays unless otherwise approved in writing by the FDOT.
- 16.Open cutting of any roadway, driveway, or sidewalk outside those limits identified within the permit are not allowed without prior approval by the FDOT.
- 17.Prior to the removal of any materials the area must be saw-cut to prevent any damage to the roadway
- 18. The contractor shall have an authorized person available at/or near the work site on a 24 hour basis, 7 days a week in order to address emergency issues associated with the project.
- 19.No stock piling, storing, or semi-permanent use of the right of way is authorized unless specifically identified within the permit
- 20. The permitted work schedule is defined as Monday through Friday 7:00 AM to 5:30 PM unless otherwise noted within the permit. Any work desired outside of this period must be requested in advance and approved before working the alternate schedule.
- 21. The Department of Transportation reserves the right to make adjustments to any permitted method of installation, scope, restoration that may be required to positively support life, safety and environmental well-being of all users of the transportation system.
- 22.Roadway restoration shall utilize 100 PSI flowable fill material and asphalt placed within the state right of way shall be placed "Full Depth", (2) 2.5 lifts of SP 12.5, and (2) lifts of SP 9.5 at 1.5" each typical sections will need to be provided within the plans for the pavement placement. A stair step method should be incorporated, prior to placing asphalt, in order to avoid vertical joints. Milling of the patch may be required based on the patched surface performance. The milling shall be utilized for surface leveling to a thickness equal to or greater than the existing friction course material.
- 23. The milling limits are 50 FT of the patch along the longitudinal path of the lane, full lane width and to include any adjacent bike lanes, shared path or urban shoulder sections. " 24. The Department will review the revisions to the plans and if needed changes are necessary the Department will address it at that time.

#### STORM DRAINAGE NOTES:

- directed to it. After completion of all related interim drainage work, remove debris and siltation from the bottom of the retention basin and fine grade the final six inches (6") and sod banks from 2' beyond top of bank to 2' beyond toe of slope or normal water level.
- 1. The retention areas shall be rough graded prior to construction, with all storm water 2. Contractor shall maintain the side slopes required and shown on plans.
- 3. Notify the project engineer prior to sodding.
- 4. The retention areas and outfall control structures shall be constructed early in the construction period to mitigate any adverse water quantity off site.
  - 5. Catch basins within the property shall be of 3,000-psi concrete and reinforced as shown on plans.
  - 6. Contractor shall provide shop drawings of all drainage structures to the project engineer for approval prior to their fabrication.
  - 7. Reinforced concrete pipe within the property shall conform to the requirements of ASTM C-76, Class III, Wall "B" unless otherwise noted.
  - 8. All storm structures shall be grouted to the invert elevations of the storm pipes.
  - 9. Storm pipes shall be saw-cut even with the structure walls 10.Grout around pipes and pipe ends for a smooth and watertight finish.
  - 11.All PVC storm pipes shall comply with AWWA C-900. 12. After completion of the project, the owner will be responsible for the operation and maintenance of the stormwater utilities. Actions included shall be regular mowing of the side slopes and bottoms of dry ponds, plus periodic inspections and removal of debris,
  - trash, etc. that may block the openings in the control structures.
  - 13. The storm sewer system shall be flushed and cleaned as necessary and be free of all silt, sand and debris at time of final inspection.

### WATER/SEWER SEPARATION NOTES

VERTICAL CLEARANCE AT CROSSINGS:

less than 18 inches clearance shall be reviewed by the engineer prior to construction.

18 inches clearance shall be reviewed by the engineer prior to construction.

HORIZONTAL SEPARATION BETWEEN PARALLEL LINES:

and sewer joints shall be staggered.

construction.

WATER SEPARATIONS:

## ACCESS IRRIGATION:

ACCESS IRRIGATION:

protection of the lines themselves.

above, the Department of Environmental Protection (DEP) may allow deviation on a must be obtained prior to construction.

- Gravity sewers or force mains crossing under water mains shall be laid to provide a minimum vertical distance of 18 inches between the invert of the upper pipe and the crown of the lower pipe. The crossing shall be arranged so that no joint is less than 10 feet from the point of crossing. Where the minimum 18-inch separation cannot be maintained, the sewer shall be constructed from water main grade materials and shall be either sleeved or encased in concrete for a distance of at least 20 feet, centered on the point of crossing. All crossings of
- Where there is no alternative to sewer pipes crossing over water mains, the pipes shall be centered at the crossing as indicated above, and the water main shall be placed sleeved or encased in concrete for 20 feet centered on the point of crossing. Adequate structural support shall be provided for the sewer to prevent damage to the water main. All crossings of less than
- Gravity sewers and force mains shall be installed at least 10 feet horizontally from any existing or proposed water main. The distance shall be measured edge to edge. In cases where it is not practical to maintain 10 feet of separation, the water main shall be installed in a separate trench or on an undisturbed earth shelf located on one side of the sewer at an elevation such that the bottom of the water main is at least 18 inches above the top of the sewer with water
- All installations with less than 10 feet of clearance shall be reviewed by the engineer prior to
- SANITARY SEWER/RECLAIMED WATER AND POTABLE WATER/RECLAIMED
- WHEN THE RECLAIMED WATER LINE IS TRANSPORTING WATER FOR PUBLIC
- Maximum obtainable separation of reclaimed water lines and domestic water lines shall be practiced. A minimum horizontal separation of 5 feet (center to center) or 3 feet (outside to outside) shall be maintained between reclaimed water lines and either potable water mains or sewage collection lines. An 18-inch vertical separation shall be maintained at crossings.
- WHEN THE RECLAIMED WATER LINE IS TRANSPORTING WATER FOR NON-PUBLIC
- The reclaimed water main shall be treated like a sanitary sewer, a 10-foot horizontal and 18 inch vertical separation shall be maintained between the reclaimed water main and all existing or proposed potable water mains. No minimum separation is required between the reclaimed water main and sanitary sewers, other than that necessary to ensure structural integrity and
- NOTE: When it is impossible to obtain proper horizontal and vertical separations as stipulated case-by-case basis if supported by data from the design engineer. Approval for the deviation

### **EROSION CONTROL NOTES:**

- Sediment trapping measures: sediment basins and traps, perimeter berms, filter fences, berms, sediment barriers, vegetative buffers, hay bales and other measures intended to trap sediment and/or prevent the transport of sediment into adjacent properties, existing water bodies or public drainage systems must be installed, constructed or (in the case of vegetative buffers) protected from disturbance, as a first step in the land alteration process. Such systems shall be fully operative and inspected by the project engineer before any other disturbance to the site begins.
- 2. Protection of existing storm sewer systems: during construction, all storm sewer inlets in the vicinity of the project shall be protected by sediment traps such as secured hay bales, sod, stone, etc., Which shall be maintained and modified as required as construction progresses. Such systems shall be fully operative and inspected by the project engineer before any other disturbance to the site begins.
- 3. Sedimentation basin: the contractor will be required to prohibit discharge of silt through the outfall structure during construction of any retention area and will be required to clean out the retention area before installing any subdrain pipe. Permanent retention areas must be totally cleaned out and operating per design at final inspection and at the end of the warranty period.
- 4. Swales ditches and channels: all swales ditches and channels leading from the site shall be sodded within three (3) days of excavation. All other interior swales, etc. Including detention areas will be sodded prior to issuance of certificate of occupancy.
- 5. All sod shall be installed green side up, unless otherwise approved in writing by all applicable jurisdictions and the engineer of record.
- 6. Protection and stabilization of soil stockpiles: fill material stockpiles shall be protected at all times by on-site drainage controls, which prevent erosion of the stockpiled material. Control of dust from such stockpiles may be required, depending upon their location and the expected length of time the stockpiles will be present. In no case shall an unstabilized stockpile remain after thirty (30) calendar days.
- Maintenance: all erosion and siltation control devices shall be checked regularly, especially after each rainfall and will be cleaned out and/or repaired as required.

### STANDARD DETAILS, SPECIFICATIONS AND TYPICAL CONCEPTS

- . Standard details, as provided by local jurisdictions for utilities, rights-of-way, etc., are provided as required by the local governing agencies. The engineer of record does not claim himself to be the author or otherwise creator of the jurisdictional details. They are provided as a standard reference or a requirement.
- 2. Items for construction that are to be built per typical standards such as local utilities, right-of-way, etc. shall be built specifically per those standards. The details and notes in this regard provided on the plan are for reference purposes. It is the contractor's responsibility to obtain typical standard details and specifications for such work from the governing municipalities where the work is located and/or referenced. Any jurisdictional details provided herein may not stand alone and may require additional references to published standards. It is also recommended that the contractor coordinate all work with the local inspector(s) to assure proper specifications and practices are used relative to actual field conditions.
- 3. All items called out with an FDOT reference are from the latest edition of the Florida Department of Transportation Design Standards. Some details are provided within the plans, however it is the contractor's responsibility to reference these standards for specific requirements.
- 4. All items called out with a reference to a city or county highway standard are from the latest edition of that standard. Some details are provided within the plans, however it is the contractor's responsibility to reference the relevant standards for specific requirements.
- 5. All items called out with a reference to Handicap Code or ADA standards require a reference to the latest edition of the Accessibility Code or Americans with Disabilities Act. Some details are provided within the plans, however it is the contractor's responsibility to reference this manual for specific requirements.
- 5. All items called out with a reference to LDC (Land Development Code) or other relative source are from the city or county governing manual dictating minimum standards for all work hereon. Some details are provided within the plans, however it is the contractor's responsibility to reference the published standards for specific requirements.
- 7. It is the contractor's responsibility to coordinate final construction with the associated inspectors of that work to guarantee final construction will be acceptable regardless of what the approved plans call out, reference or design.

### **GENERAL CONSTRUCTION NOTES AND SPECIFICATIONS:**

- All design and construction of the project shall conform to all local jurisdictional standards,
- specifications, land development, zoning and/or related ordinances.
- 2. The contractor shall notify all utility companies at least 48 hours prior to the commencement of construction (unless specified otherwise)
- 3. Contractor shall "Call Sunshine" 1-800-432-9770 a minimum of 2 days and a maximum of 5 days prior to the commencement of construction.
- 4. All underground utilities must be installed before base and surfaces are placed.
- 5. Locations of existing utilities are based upon surveys, jurisdictional atlas maps, as-built construction drawings and/or field observation. Locations are therefore considered approximate. Contractor shall conform to the design intent of the plans. Any required changes or adjustments must be approved by the project engineer prior to execution of work.
- 6. It is the responsibility of the contractor to use whatever means necessary to control and prevent erosion and to control the movement of sediment to open surface drains, catch basins, water-bodies and retention ponds. See erosion and siltation control notes for additional information. 7. All pipe lengths are plus or minus. Pipe measurements are center to center of structures or fittings. 8. Existing pavement shall be saw-cut where new pavement is to be added or existing pavement is to be
- eliminated. 9. Contractor is solely responsible for construction safety. Special precautions may be required in the vicinity of power lines and other utilities. Special precautions may be required for site access. 10.Contractor shall restore all areas disturbed by their operation to their original or better condition.
- 11.Contractor shall verify the location and elevation of all utility connection points prior to the start of construction and shall immediately notify the engineer and owner of any discrepancies that may be found.
- 12.Adjustments of existing inlets, junction boxes, manhole tops, water valves, water meters, etc. shall be included in the contractor's bid. No claim shall be made against the owner or the engineer for these adjustments, if required.

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PROJECT #:-ORIG. DATE: -DRAWN BY: AVF

SHEET #:

SCALE: AS SHOWN

- 13.All backfill over any pipe (storm sewer, sanitary sewer, waterlines, etc.) That is installed under roadways or within the embankment of the roadway, shall be compacted in accordance with F.D.O.T. Standard Specifications, Section 125-8.3, latest edition.
- 14. The contractor is responsible for testing all sanitary sewer and water mains in accordance with current standards of the local jurisdiction. Contractor shall notify the local jurisdiction and the owner or his / her authorized representative at least 48 hours in advance of performing tests. (Some jurisdictions may require more notice.)
- 15. The contractor shall provide certified record drawings (as-builts), signed and sealed by a professional land surveyor. The record drawings shall depict final grades for retention basins, control structures and inlets with top and invert elevations, slot and baffle dimensioning and criteria. Locations of all utilities including sanitary sewer and water piping as well as any pertinent private utilities shall be provided. The contractor shall provide two copies of the certified record drawings to the project engineer. These drawings shall be sufficient in detail in order to be accepted by agencies having jurisdiction.
- 16.Site clearing and stripping upon initial site preparation shall consist of clearing the vegetation with their root system and then stripping the surface topsoil.
- 17. After stripping the site, the exposed near surface soil beneath the construction area located at least 6" below grade shall be compacted to densities equivalent to 95% of modified proctor, maximum dry density (ASTM D-1557).
- 18.All sodding, seeding and mulching shall include watering and fertilization. The contractor shall be responsible for maintaining these areas up to and including the initial mowing. 19. The contractor performing trench excavation, in excess of five feet (5') in depth, shall comply
- with the occupational safety and health administration's (OSHA) Trench Excavation Safety Standards, 29 C.F.R., S.1926.650, Subpart P, including all subsequent revisions or updates to the standards as adopted by the department of labor and employment security (DLES). 20.Contractor shall coordinate the points of connections of the utilities with all corresponding
- subcontractors. Site contractor shall construct the underground infrastructures (i.e. sanitary sewer, storm sewer, water lines, fire lines, etc.) To 5' outside of the buildings. The plumbing contractor shall connect and meet the invert elevations of these utilities. Any utility work performed within 5' of the building shall be the responsibility of the plumbing contractor. All work shall comply with all applicable federal, state and local codes, ordinances and requirements. (Local jurisdictions may have different requirements to features such as the fire line.)
- 21.All work shall be performed and completed in a workmanlike manner in complete satisfaction of the owner, architect and the project engineer in full accord with the best recognized trade practices and procedures.
- 22. Deviations to these plans and specifications without consent of the engineer may be cause for the work to be unacceptable. Any deviations must have written approval from the project engineer. 23.All necessary permits and licenses shall be obtained and paid for by the contractor.

24. Signs, buffer walls, fences and construction trailers are subject to separate submittals and permitting.

### **CONSTRUCTION IN RIGHT OF WAY GENERAL NOTES**

- 1. Compaction for pipe backfill shall comply with AASHTO T-99 (100%).
- 2. All proposed work must comply with all applicable FDOT Indexes.
- 3. All right-of-way installations shall comply with the State of Florida Utilities Accommodations
- 4. All construction shall be in compliance with local county and/or city development ordinances and minimum testing frequency requirements.
- 5. Signs and barricades shall be per the FDOT Manual of Safe Practices; reference FDOT Indexes 600 through 650 and 17349 per Roadway and Traffic Design Standards, latest
- 6. A "Maintenance of Traffic Plan" shall be submitted prior to the commencement of right of way construction whenever one or more of the following conditions apply: a. A street is closed to thru traffic for periods exceeding 15 minutes
  - b. One physical lane supports two-way traffic movement.
  - c. Traffic lane(s) normally designed to handle movement in one direction are being rechanneled to accommodate an opposing movement.
- 7. Sidewalks are to be reconstructed within three (3) days after removal and safe pedestrian traffic is to be maintained at all times. When existing sidewalk is removed, it is to be removed to the nearest expansion joint.
- 8. Place expansion joints where 4" and 6" sidewalks abut.
- 9. Saw-cut existing edge of pavement prior to removal of curb.
- 10.Disturbed area within the right-of-way shall be compacted to 100% of maximum density, restore to original conditions and sod.

### **CIVIL NOTES AND SPECIFICATIONS** SCALE: NONE



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	PER CITY		S

CHORD BEARING

<b>DEMOLITION LI</b>	EGEND
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$\sim\sim\sim$	SILT BARRIER
	Building to Architectura Buildings
	PAVEMENT OR REMOVED
	CONCRETE OR
A-	Demolition N Notes for S

DING TO BE REMOVED - REFER TO ITECTURAL PLANS FOR PARTIAL REMOVAL OF DINGS

EMENT OR OTHER VEHICULAR SURFACE TO BE OVED

CRETE OR SIDEWALK TO BE REMOVED

OLITION NOTE FLAG - REFER TO DEMOLITION ES FOR SPECIFIC DESCRIPTIONS OF ITEMS SINGLE TREE BARRICADE - REFER TO TREE BARRICADE DETAIL FOR LIMITS OF BARRICADES AS 0 THEY RELATE TO INDIVIDUAL TREES MULTIPLE TREE BARRICADE - CONFIGURATION WILL VARY DEPENDING UPON TREE LOCATIONS

### **DEMOLITION NOTES**

AND SIZES

Demolition of the site includes the removal/relocation of all existing structures within the project area, paving and base, utility lines (sanitary sewer, storm pipes, water lines, power poles, overhead and underground power and telephone cables gas lines, trees, shrubs, etc.) and is not limited to what is shown. Refer to other plans for the treatment of existing features to remain.

All cavity and excavation resulting from removal of trees, shrubs, pipes, inlets, grease traps, sign and pole bases shall be filled with approved suitable material and compacted in 12" lifts to 95% of max. density.

On-site disposal of construction and demolition debris may occur only after written approval has been given in advance by the project engineer, the property owner, the local engineering department and the local governing jurisdiction. Additional approval may be required by the FDEP. Off-site disposal of such debris must occur in solid waste disposal facilities approved by the FDEP and the local governing jurisdiction.

Prior to the removal of any buildings, pavement or other features, refer to the Phase 1 environmental report for additional information.

Asbestos removal shall be conducted by a licensed asbestos removal contractor and shall be regulated by the local Health Department.





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PROJECT #:-ORIG. DATË: -DRAWN BY: BH SCALE: AS SHOWN SHEET #:

TREATMENT INFORMATION SUCH AS EROSION CONTROL AND

SITE DEMOLITION PLAN

### GENERAL INFORMATION

A. SITE DESCRIPTION:

PROJECT NAME: FLAGSHIP BANK SECTION/TOWNSHIP/RANGE: 13–27–15 LOCATION: ALT U.S. 19 & MEARS BLVD. OWNER'S NAME: FLAGSHIP BANK OWNER'S ADDRESS: 29750 U.S. HWY. 19 CLEARWATER, FL 33761

**B: PURPOSE AND WORK DESCRIPTION:** 

CONSTRUCT 3.327 S.F. BANK ON 1.07 AC. VACANT PARCEL ALONG WITH ASSOCIATED PARKING, LANDSCAPING, WATER MANAGEMENT SYSTEM AND WATER/SEWER UTILITIES

- C. SEQUENCE OF MAJOR EVENTS:
- 1. INSTALL STAKED SILT FENCE AS INDICATED ON THE CONSTRUCTION PLANS
- CLEAR AND GRUB FOR PONDS TO BE USED AS SEDIMENTATION BASINS.
- EXCAVATE POND FOR SEDIMENTATION TRAPS FOR SITE RUNOFFS. BEGIN BUILDING CONSTRUCTION.
- 5. CONSTRUCT DIVERSION SWALES AROUND PERIMETER OF SITE TO PONDS, AS NECESSARY.
- 6. INSTALL STORM SEWER SYSTEM AND ITS SILTATION PROTECTION, UTILITIES AND
- OUTFALL STRUCTURES. 7. EXCAVATE THE REMAINDER OF THE PONDS INCLUDING REMOVAL OF SILT DEPOSITS. 8. STABILIZE STREETS AND PARKING AREAS.
- 9. CONSTRUCT CURB, BASE AND ASPHALT
- 10. COMPLETE FINAL SITE GRADING.
- 11. INSTALL PERMANENT LANDSCAPING ON SITE. REPAIR ANY WASHED OUT AREAS. 12. WHEN CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE PROTECTION DEVICES AND PLACE SOD AS NECESSARY.

D. TIMING OF CONTROL MEASURES:

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, STAKED SILT FENCING, STABILIZED CONSTRUCTION ENTRANCES AND SEDIMENT BASINS SHALL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASS AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY, THAT AREA SHALL BE STABILIZED WITH PERMANENT SOD. AFTER THE ENTIRE SITE STABILIZED, THE ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE TRAPS AND THE STAKED SILT FENCES SHALL BE REMOVED.

A. EROSION AND SEDIMENT CONTROLS

WIND EROSION STABILIZATION THE CONTRACTOR SHALL DENUDE ONLY AREAS WHERE IT IS EXPECTED TO BE GRADED OR ALTERED WITH A TWO (2) WEEK TIME FRAME. ALL PERVIOUS AREAS OF THE SITE INCLUDED IN GRADING THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE GRADED AND PREPARED WITH A COMBINATION OF SOD AND/OR SEEDING AND MULCHING. PAD AREAS CONSTRUCTED IN FUTURE WORK AREAS, WHERE GRADING IS COMPLETE, SHALL BE COMPLETELY SEEDED AND MULCHED. AREAS WHERE CONSTRUCTION OPERATIONS WILL BE CONTINUOUS, FUGITIVE DUST SHALL BE MANAGED BY APPLYING A WATER SPRAY TO SATURATE THE SOIL ON A DAILY BASIS (OR MORE OFTEN IF NEED) TO MAINTAIN MINIMAL DUST TRANSPORT. FUGITIVE DUST SHALL BE MONITORED CONTINUOUSLY AND ADDITIONAL MEASURES MAY NEED TO BE TAKEN TO CONTROL OFF SITE TRANSPORT OF UNACCEPTABLE LEVELS OF DUST.

TEMPORARY STABILIZATION THE TOPS OF SOILS STOCK PILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY WILL CEASE FOR 21 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. GRASS SEED SHALL BE AS MIXTURE OF 20 PARTS OF BERMUDA AND 80 PARTS OF PENSACOLA BAHIA. THE SEPARATE TYPES OF SEED USED SHALL BE THOROUGHLY DRY MIXED IMMEDIATELY BEFORE SOWING. SEED WHICH HAS BECOME WET SHALL NOT BE USED. THE MULCH MATERIAL USED SHALL NORMALLY BE DRY MULCH. DRY MULCH SHALL BE STRAW OR HAY CONSISTING OR OAT, RYE OR WHEAT STRAW, OR OF PANGOLA, PEANUT, COASTAL BERMUDA OR BAHIA GRASS HAY. ONLY UNDETERIORATED MULCH WHICH CAN BE READILY CUT INTO THE SOIL, SHALL BE USED. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASE.

PAVEMENT STABILIZATION ACTIVITY.

2. STRUCTURAL PRACTICES:

EROSION PROTECTION DURING THE CONSTRUCTION PHASES, APPROPRIATE PRACTICES INCLUDING BUT NOT LIMITED TO SILT FENCE BARRIERS, HAY BALES AND WATERING OR OTHER METHODS NECESSARY WILL BE IMPLEMENTED TO CONTROL FUGITIVE DUST.

SEDIMENT BASINS THE STORM WATER MANAGEMENT AREAS (RETENTION AREAS) WILL SERVE AS SEDIMENT BASINS DURING THE CONSTRUCTION PERIOD. AT THE CONTRACTOR'S DISCRETION, THE SEDIMENT BASINS WILL BE CONSTRUCTED TO THE DESIGN CROSS-SECTION OR A MINIMUM OF 2-FEET BELOW EXISTING GROUND TO ALLOW THE SILT TO BE COLLECTED AND REMOVED PRIOR TO COMPLETION OF THE GRADING.

- 5. STORM WATER MANAGEMENT: PLANS.
- B. SPECIFIED OTHER CONTROLS
- WASTE DISPOSAL:

WASTE MATERIALS ALL WASTE MATERIAL SHALL BE COLLECTED AND CONTAINED IN A CONTROLLED AREAS PURSUANT TO STATE AND LOCAL SOLID WASTE REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS GENERATED FROM CONSTRUCTION IS TO BE REMOVED FORM THE SITE AND DISPOSED OF APPROPRIATELY. NO CONSTRUCTION MATERIAL SHALL BE BURIED ON SITE. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE ON-SITE OFFICE TRAILER. THE CONSTRUCTION MANAGER RESPONSIBLE FOR THE DAILY SITE OPERATIONS SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE IF ENCOUNTERED, ALL WASTE MATERIAL SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE AND REGULATIONS.

2. OFF-SITE VEHICLE TRACKING: STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO HELP REDUCE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS SHALL BE CLEANED AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL SHALL BE COVERED WITH A TARPAULIN AT ALL TIMES.

### **III. MAINTENANCE INSPECTION PROCEDURES**

EROSION AND SEDIMENT CONTROL - INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES SHALL BE USED TO CONTROL EROSION AND SEDIMENT:

- THE JOB SITE.
- INSPECTION AND MAINTENANCE REPORTS.

### **II. POLLUTION PREVENTION CONTROLS**

### STABILIZATION PRACTICES:

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 14 DAY AFTER LAST CONSTRUCTION

STORM WATER DRAINAGE WILL BE PROVIDED BY A CURB, STORM WATER AND CATCH BASINS SYSTEM FOR THE DEVELOPED AREAS. THE AREAS NOT DEVELOPED SHALL BE GRADED TO LESS THAN 2% SLOPES AND HAVE PERMANENT SEEDING OR PLANTINGS. WHEN CONSTRUCTION IS COMPLETE THE SITE WILL DRAIN TO STORM WATER PONDS THAT WERE UTILIZED AS THE TEMPORARY SEDIMENT BASINS DURING THE CONSTRUCTION PROCESS. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED FORM THE SEDIMENT BASINS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT AL RETENTION/DETENTION AREAS IN ACCORDANCE WITH THE APPROVED CONSTRUCTION

ALL SANITARY WASTE SHALL BE COLLECTED FORM PORTABLE UNITS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE AND LOCAL CODES

. NO MORE THAN ONE HALF OF THE SITE IS TO BE DENUDED AT ONE TIME. 2. ALL CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR'S REPRESENTATIVE AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT WITH A RAINFALL AMOUNT OF 1/-INCH OR GREATER.

3. ALL CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AND REPAIRED AS NECESSARY WITHIN 24 HOURS OF REPORT. 4. BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHED

ONE-THIRD THE HEIGHT OF THE SILT FENCE. . SILT FENCE SHALL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT AND TEARS AND TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS AND TO SEE IF THE POST REMAIN FIRMLY IN THE GROUND.

. THE SEDIMENT BASINS SHALL BE INSPECTED FOR DEPTH OF SEDIMENT. BUILT-UP SEDIMENT SHALL BE REMOVED WHEN THE DEPTH REACHES 10% OF THE DESIGN CAPACITY AND AT THE END OF THE PROJECT.

TEMPORARY AND PERMANENT GRASSING, MULCHING AND SODDING SHALL BE INSPECTED FOR BARE SPOTS, WASH-OUTS AND CONDITION. 8. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN AN ACTIVE LOG THAT IS READILY AVAILABLE AT

D. EITHER THE SITE SUPERINTENDENT OR HIS DESIGNEES SHALL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, REPAIR ACTIVITIES AND FOR COMPLETION OF THE

PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE TRAINING AND INSTRUCTION FROM THE SITE SUPERINTENDENT AND BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION CONTROLS USED ON-SITE IN GOOD WORKING ORDER.

### **IV. SPILL PREVENTION**

A. MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

<u>GENERAL MANAGEMENT:</u> THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION PROJECT TO MAINTAIN ORDER:

EFFORTS SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT TO COMPLETE THE PROJECT. ALL MATERIALS STORED ON SITE SHALL KEPT IN A NEAT ORDERLY MANNER IN APPROPRIATE CONTAINERS AND, IF POSSIBLE AND APPROPRIATE, UNDER A ROOF, OR IN A CONTAINER OR ENCLOSURE.

PRODUCTS SHALL BE KEPT IN THE ORIGINAL MANUFACTURER'S LABELED CONTAINER. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS IT IS RECOMMENDED TO DO SO BY THE MANUFACTURER.

WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER. EMPTY CONTAINERS SHALL BE DISPOSED PROPERLY ON A REGULAR BASIS.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. THE SITE SUPERINTENDENT SHALL INSPECT THE SITE DAILY FOR PROPER USE AND DISPOSAL OF CONSTRUCTION MATERIAL.

#### HAZARDOUS PRODUCTS:

THE FOLLOWING PRACTICES ARE TO BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RE-SEALABLE.

ORIGINAL LABELS AND MATERIAL SAFETY INFORMATION SHALL BE RETAINED, AS THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S AS WELL AS LOCAL AND STATE RECOMMENDED DISPOSAL METHODS SHALL BE FOLLOWED.

#### PETROLEUM PRODUCTS

ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE POSSIBILITY OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY

LABELED. ANY ASPHALT SUBSTANCES USED ON THE SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS: FERTILIZERS USED ON-SITE SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNT RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, THE FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE SHALL BE IN A COVERED SHED. THE CONTENTS ON ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS: ALL PAINT CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT BEING USED. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM WATER SYSTEM OR TO THE GROUND, BUT MUST BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

#### CONCRETE TRUCKS:

THE CONTRACTOR SHALL DESIGNATE AN AREA FOR THE DISCHARGE OF SURPLUS CONCRETE OR DRUM WASH WATER AND SHALL INSTALL A CONTAINMENT BERM AROUND THE AREA TO PREVENT RUNOFF TO THE SITE. HARDENED CONCRETE WASTE SHALL BE DISPOSED OF BY CONTRACTOR UPON COMPLETION OF THE PROJECT.

**B. SPILL CONTROL PRACTICES** 

IN ADDITION TO THE GENERAL SITE AND MATERIAL MANAGEMENT PRACTICES PRESENTED IN PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND THE CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN UP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON THE SITE. EQUIPMENT AND MATERIAL SHALL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, GLOVES, GOGGLES, RAGS, SHOVELS, SAND, SAWDUST AND PLASTIC AND METAL TRASH CONTAINERS.

ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER THEY ARE DISCOVERED.

SPILLS SHALL BE KEPT WELL-VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FORM CONTACT WITH HAZARDOUS SUBSTANCES.

SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE STATE OF LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

THE SPILL PREVENTION PLAN SHALL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT SPILLS FROM REOCCURRING AND THE PROPER CLEANUP PROCEDURES FOR FUTURE USE. A DESCRIPTION OF THE SPILL, ITS CAUSE AND THE CLEANUP MEASURES USED SHALL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAILY SITE OPERATION SHALL BE THE SPILL PREVENTION AND CLEAN UP COORDINATOR. HE OF SHE SHALL DESIGNATE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEAN UP TRAINING. THESE INDIVIDUALS SHALL EACH BECOME RESPONSIBLE FOR T A PARTICULAR PHASE(S) OF PREVENTION AND CLEAN UP. THE NAMES OF THE RESPONSIBLE SPILL PERSONNEL SHALL BE POSTED IN THE MATERIAL STORAGE AREA OR IN THE OFFICE TRAILER.

### V. NON-STORMWATER DISCHARGE

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FORM THE SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER MAIN FLUSHING.
- 2. PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED)
- 3. UNCONTAMINATED GROUNDWATER (FROM EXCAVATION DEWATERING).
- CLEAN DISCHARGES FROM WELLPOINTING MAY BE DISCHARGED DIRECTLY TO

COMPLETED/CONNECTED STORM SEWER AND/OR COMPLETED AND STABILIZED STORMWATER OUTFALLS. ALL OTHER DISCHARGES SHALL BE DIRECTED TO SEDIMENT BASINS PRIOR TO DISCHARGE.

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES SHALL NOT OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

FERTILIZERS TAR STONE GLASS PAINT

DETERGENTS SAND WOOD METAL STUDS

CONCRETE

CLEANING SOLVENTS MASONRY BLOCKS ROOFING SHINGLES PETROLEUM PRODUCTS

VI. COMPL			
NOTICE OF TERMINATIC	DN:		
A NOTICE OF TERMINATION CONSTRUCTION HAS BEEN	SHALL BE SUBMITTED TO THE COMPLETED AND THE SITE HAS	EPA, OR ITS DESIGNEE, AFTER THE UNDERGONE FINAL STABILIZATION.	
REGULATORY COMPLIAN	NCE:		$\left \frac{O}{O}\right $
CERTIFICATION OF COMPLIA	NCE WITH FEDERAL, STATE AND	LOCAL REGULATIONS:	
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PREPARER'S CERTIFICA POLLUTION PREVENTION PL	<u>ATION:</u> AN CERTIFICATION:		HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS REPARED BY ME OR UNDER MY DIRECT PERVISION AND THAT I
TO THE BEST OF MY KNO AND ALL ATTACHMENTS WE ACCORDANCE WITH A SYST GATHER AND EVALUATE TH PERSON OR PERSON DESI RESPONSIBLE FOR GATHER KNOWLEDGE AND BELIEF, SIGNIFICANT PENALTIES FO FINES AND IMPRISONMENT OWNER:	WLEDGE, I CERTIFY UNDER PENA ERE PREPARED UNDER MY DIREC TEM DESIGNED TO ASSURE THAT E INFORMATION SUBMITTED. BAS GNATED TO MANAGE THE SYSTEM RING THE INFORMATION SUBMITTED TRUE, ACCURATE AND COMPLETE R SUBMITTING FALSE INFORMATIC FOR KNOWING VIOLATIONS.	LTY OF LAW THAT THIS DOCUMENT TION OR SUPERVISION IN QUALIFIED PERSONNEL PROPERLY SED ON MY INQUIRY OF THE I, OR THOSE PERSON DIRECTLY D IS, TO THE BEST OF MY I AM AWARE THAT THERE ARE IN, INCLUDING THE POSSIBILITY OF	E CERT. OF AUTH. #:00009422
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SCALE: NONE

WATER MANAGEMENT



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I M	BEST MANAGEMENT LEGEND
	OTHER SILT BARRIER TREATMENT IF REQUIRED
	A B3.1 CONTROL DESCRIPTION TAG – REFER TO CORRESPONDING DETAIL SHEET
	CONSTRUCTION NOTES
	<ol> <li>ALL PONDS SHALL BE SODDED FROM THE NORMAL WATER LEVEL TO 2' BEYOND THE TOP OF BANK.</li> <li>SOD A 2' WIDE STRIP BEHIND ALL CURBING AND EDGES OF PAVEMENT WHERE CURB IS NOT PRESENT. (MINIMUM REQUIREMENT – REFER TO ADDITIONAL PLANS FOR</li> </ol>
BY CERTIFY THAT S PLAN AND IFICATION WAS RED BY ME OR RMY DIRECT SION AND THAT I DULY LICENSED NGINEER UNDER IS OF THE STATE RIDA AS SIGNED HAND AND SEAL. OUCHER, PE# 22885	<ul> <li>EXTENTS OF SURFACE TREATMENT)</li> <li>3. SOD AROUND ALL INLETS, JUNCTION BOXES, ETC. AT NON-PAVED AREAS AND GRASS ALL SWALES.</li> <li>4. PROVIDE EROSION CONTROL AROUND OR ON NEW INLETS AT PAVED AREAS UNTIL ALL SURROUNDING AREAS ARE STABILIZED.</li> </ul>
009422 I HEREE THI SPEC PREPAI UNDE AM A AM A CIVIL E THE LAW BY MY Gary A. B	<u>BEST MANAGEMENT PRACTICES (BMP)</u> <u>GUIDELINES</u>
CERT. OF AUTH. #:00	TYPICAL BEST MANAGEMENT PRACTICES DEVICE LOCATION. SEE BMP DETAIL DRAWINGS FOR BMP PLACEMENT AND DETAILS.
<b>STATE</b> <b>ODDD</b> <b>ODDD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>ODD</b> <b>OD</b> <b>O</b>	1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITY OR AS INSTRUCTED BY THE ENGINEER OF RECORD.
DIN CONTRACTOR CONTRAC	2. PRIOR TO ANY EARTHMOVING OPERATIONS, THE CONTRACTOR SHALL INSTALL BMP DEVICES A, B AND C IN THE LOCATIONS SHOWN ON THE PLAN.
	3. ALL GRASSING BY EITHER SEED OR SOD SHALL BE INSTALLED AS SOON AS PRACTICALLY POSSIBLE UPON THE COMPLETION OF FINAL GRADING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL ACCEPTANCE BY THE ENGINEER OF RECORD.
OR: HIP BANK	4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WIND AND DUST DURING ALL PHASES OF CONSTRUCTION ACTIVITY BY USING WATER TRUCKS, WIND FENCING OR OTHER DEVICES AS APPROVED BY THE ENGINEER OF RECORD.
FLAGSH	5. THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZERDOUS MATERIALS AND DEVICES IN A MANNER TO PREVENT GREASE, OILS, FUEL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.
<b>XN</b>	
RES BLV	
PON SF	
ALT.	
Ē	
PROJECT #:- ORIG. DATE:- DRAWN BY: BH	NORTH
SCALE: AS SHOWN	SCALE: 1: = 20' 20 10 5 0 20
	NACEMENT DRACTICES
DZ.I	SION CONTROL
	INVOIVIN GUNIAUL

NOTES FOR SILT FENCES:

1. Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart I.

2. Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.

3. Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.

4. Where used as slope protection, silt fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.

5. Silt fence to be paid for under the contract unit price for Staked Silt Fence, ( L.F. ).





Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.











SHOP DRAWING REQUIRED = REFER TO STANDARD NOTES FOR CONDITIONS

BEST MANAGEMENT DETAILS SCALE: NONE



## SECTION 23, TOWNSHIP 27 S., RANGE 15 E

### PINELLAS COUNTY, FLORIDA



BEARING

F	AVEMENT LEGEND
	STANDARD ON-SITE ASPHALT PAVEMENT
	HEAVY DUTY ON-SITE ASPHALT PAVEMENT
	RIGHT-OF-WAY ASPHALT PAVEMENT
	PAVEMENT PATCH, REPAIR OR OVERLAY
	TURF-BLOCK PAVEMENT
	GRAVEL SURFACE
	CONCRETE SURFACE OR WALK
	CURB LEGEND
<b> </b>	CURB AND GUTTER
	VERTICAL CURB OR EXTRUDED CURB (CALLED OUT ON THE PLAN)
	CURB WALL OR GRAVITY WALL
SUR	FACE UTILITY LEGEND
FHA	FIRE HYDRANT – REFER TO UTILITY PLAN
FDC	FIRE DEPT. CONNECTION - REFER TO UTILITY PLAN
	WATER METER – REFER TO UTILITY PLAN
	SITE LIGHTS – REFER TO UTILITY PLANS AND ARCHITECTURAL PLANS
	CATCH BASIN – REFER TO GRADING PLAN
	CURB INLETS – REFER TO GRADING PLAN
	MITERED OR FLARED END SECTION — REFER TO GRADING PLAN
۲	MANHOLE – REFER TO UTILITY PLAN
REFER TO	TO OTHER PLANS FOR LEGENDS RELATIVE WORK CALLED OUT ON THOSE PLANS



# SITE LAYOUT AND GEOMETRY PLAN

REVISIONS	A BH						
00009422   HEREBY CERTIFY THAT	THIS PLAN AND Specification was	PREPARED BY ME OR UNDER MY DIRECT	SUPERVISION AND THAT I	AM A DULT LICENSED CIVIL ENGINEER UNDER	THE LAWS OF THE STATE	BY MY HAND AND SEAL.	Gary A. Boucher, PE# 22885
STATE CERT. OF AUTH. #:C		<b>N</b>		<b>Engineering. Inc.</b>	P.O. Box 432	Ozona, Florida 34660–432	rnone: (/2/) /83-3339 Fax: (/2/) /83-3434 www.ozonawebsite.com
		FI AGSHID RANK					
				ALT ILE 40 & MEDEC DI VN	ALI, U.O. 19 & MEREO BLVD. Titton: Otherson - I other	I AKPON SPRINGS, FLORIDA	



DR	AINAGE	STRU	CTUR
STR. #	DESCRIPTION	TOP ELEVATION	INVERT ELEV
€	TYPE C INLET	8.51	5.97
2	TYPE C INLET	8.75	5.79

	DR	AINAG	E PIPE	S
STRUC	TURES	LENGTH	DIAMETER	PIPE
FROM	TO	(FT.)	(IN.)	TYPE
€	2	36	15	HDP
2	E	22	15	HDP



 $\times$ 

•

	GRADING LEGEND
$\sim\!\!\sim\!\!\sim$	SILT BARRIER
× 10.00	EXISTING SPOT GRADE - REFER TO SHEET C2.1 FOR DATUM
10.00	PROPOSED SPOT GRADE - REFER TO SHEET C2.1 FOR DATUM
/HP=10.00	PROPOSED HIGH-POINT GRADE
/[10.00_TW]	PROPOSED TOP-OF-WALK GRADE
,·····10	EXISTING TOPOGRAPHIC CONTOUR
,	PROPOSED TOPOGRAPHIC CONTOUR
	SWALE/INVERTED CROWN ARROW
~~	FLOW DIRECTION ARROW
	EXISTING STORMWATER PIPE
	PROPOSED STORMWATER PIPE
	EXISTING/PROPOSED GRATED INLET – TYPE SPECIFIED ON THE PLAN
	EXISTING/PROPOSED JUNCTION BOX – TYPE SPECIFIED ON THE PLAN
	PROPOSED CURB INLET – TYPE SPECIFIED ON THE PLAN
	EXISTING/PROPOSED MITERED END SECTION
8	EXISTING/PROPOSED FLARED END SECTION



# **GRADING AND DRAINAGE PLAN**

REVISIONS					
STATE CERT. OF AUTH. #:00009422   HEREBY CERTIFY THAT	THIS PLAN AND	PREPARED BY ME OR UNDER MY DIRECT	Engineering, Inc. Supervision and that I am a duly licensed civil engineer under	P.O. Box 432 Ozona: Florida 34660–432	Phone: (727) 785–3939 Fax: (727) 785–3434 www.ozonawebsite.com Gary A. Boucher, PE# 22885
EOB.		FLAGSHIP BANK			
		ANK		Ň	
	rrole l	FI AGCHID R/		TARPON SPRINGS, FLORID	



### FHA EXISTING FIRE HYDRANT

\_\_\_\_SS \_\_\_\_\_

\_\_\_\_

	UTILITY LEGEND
W	EXISTING/PROPOSED WATER LINE – SIZE AND TYPE NOTED ON THE PLAN
SS SS	EXISTING/PROPOSED SEWER LINE – SIZE AND TYPE NOTED ON THE PLAN
——— FM ——— ——— FM ———	EXISTING/PROPOSED FORCE MAIN — SIZE AND TYPE NOTED ON THE PLAN
	EXISTING/PROPOSED REUSE LINE – SIZE AND TYPE NOTED ON THE PLAN
	EXISTING/PROPOSED STORM SEWER LINE – REFER TO GRADING PLAN FOR SIZES AND TYPES
	EXISTING/PROPOSED OVERHEAD UTILITY LINES
	EXISTING/PROPOSED UNDERGROUND UTILITY LINES
ø 🗯	EXISTING/PROPOSED POWER POLE
	SITE LIGHTS – REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS
FHA FHA	EXISTING/PROPOSED FIRE HYDRANT ASSEMBLY
FDC FDC	EXISTING/PROPOSED FIRE DEPARTMENT CONNECTION
	EXISTING/PROPOSED WATER METER EXISTING/PROPOSED IRRIGATION METER
	EXISTING/PROPOSED DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCVA)
× ×	EXISTING/PROPOSED GATE VALVE
$\bigcirc$	EXISTING/PROPOSED SANITARY MANHOLE
0 <sup>CO</sup> • <sup>CO</sup>	EXISTING/PROPOSED SANITARY CLEANOUT
	EXISTING/PROPOSED GRATED INLET – REFER TO GRADING PLAN FOR SIZES AND TYPES
$\langle \bigcirc \rangle$	EXISTING/PROPOSED JUNCTION BOX – REFER TO GRADING PLAN FOR SIZES AND TYPES
	PROPOSED CURB INLET – TYPE SPECIFIED ON THE PLAN
	EXISTING/PROPOSED MITERED END SECTION
	EXISTING/PROPOSED FLARED END SECTION
××	POINT OF CONNECTION

![](_page_50_Picture_6.jpeg)

# UTILITIES SITE PLAN

REVISIONS	Д — — Вн					
STATE CERT. OF AUTH. #:00009422   HEREBY CERTIFY THAT	THIS PLAN AND SPECIFICATION WAS	PREPARED BY ME OR UNDER MY DIRECT	Encineering. Inc. and that I am a duly licensed civil fnginffr lindfr	P.O. Box 432	Ozona, Florida 34660–432 PL2000 (727) 765 2020 F200 (727) 765 2424	rnone: (/2/) /03-3339 rax: (/2/) /03-3434 Gary A. Boucher, PE# 22885 www.ozonawebsite.com
EOR.		FLAGSHIP BANK				
		EI ACCHID RANK		ALI. U.S. 19 & MEKES BLVD.		
J PR OR DR SC	OJE RIG. AWM ALE	CT # DATE N BY: : ET #	: - BH AS	SHO	WN	

![](_page_51_Figure_0.jpeg)

1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES. 2. SUBSTITUTIONS OF BASE MATERIAL MUST BE APPROVED BY THE ENGINEER.

STANDARD PAVEMENT DETAIL

![](_page_51_Picture_3.jpeg)

12" COMPACTED SUBGRADE 98%

MAX. DENSITY PER AASHTO

T-180

# **PAVEMENT TRANSITION DETAIL**

2. SAW CUT EXISTING PAVEMENT AT ALL PAVEMENT TRANSITIONS BEFORE NEW PAVEMENT IS

1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES.

-NEW SUBBASE

EXISTING SUBBASE-

NOTES:

NTS

APPI IFD.

![](_page_51_Figure_6.jpeg)

### FLARED HANDICAP RAMP DETAIL NTS

![](_page_51_Picture_8.jpeg)

![](_page_51_Figure_9.jpeg)

### PLACEMENT OF SOD AT PAVEMENT

![](_page_51_Figure_11.jpeg)

![](_page_51_Figure_12.jpeg)

1. INSTALL EXPANSION JOINTS EVERY 50 FEET. 2. CURBS SHALL HAVE 1" DEEP CONTROL JOINT EVERY 10 FEET. 3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.

### DROP CURB DETAIL

NTS

![](_page_51_Figure_16.jpeg)

NOTES: 1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES. 2. SUBSTITUTIONS OF BASE MATERIAL MUST BE APPROVED BY THE ENGINEER.

### **CONCRETE PAVEMENT DETAIL**

NTS

![](_page_51_Figure_20.jpeg)

![](_page_51_Figure_22.jpeg)

![](_page_51_Figure_24.jpeg)

![](_page_51_Figure_27.jpeg)

![](_page_51_Picture_32.jpeg)

![](_page_52_Figure_0.jpeg)

HANDICAP PARKING SIGN DETAIL

NTS

![](_page_52_Figure_3.jpeg)

![](_page_52_Figure_4.jpeg)

![](_page_52_Figure_6.jpeg)

![](_page_52_Figure_7.jpeg)

![](_page_52_Figure_9.jpeg)

![](_page_52_Figure_10.jpeg)

NTS

![](_page_53_Figure_0.jpeg)

![](_page_54_Figure_0.jpeg)

![](_page_54_Figure_1.jpeg)

![](_page_54_Figure_2.jpeg)

![](_page_54_Figure_3.jpeg)

![](_page_54_Figure_8.jpeg)

![](_page_54_Figure_9.jpeg)

![](_page_54_Figure_10.jpeg)

![](_page_54_Picture_11.jpeg)

![](_page_55_Figure_0.jpeg)

	TREE SCHEDULE								
ľ		TREE NO.	QTY.	SCIENTIFIC NAME	COMMON NAME	MINIMUM SIZE REQUIREMENTS	APPROX. MATURE HT.	NATIVE Florida	DROUGHT TOLERANT
		A1	3	QUERCUS VIRGINIANA	LIVE OAK	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	70'	YES	NO
	S	A2	4	QUERCUS LAURIFOLIA	LAUREL OAK	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	75'	YES	YES
		A3	4	ACER RUBRUM, A. BARBATUM	RED MAPLE	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	40'	YES	YES
	HADE	A4	2	MAGNOLIA GRANDIFLORA	SOUTHERN-MAGNOLIA	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	50'	YES	YES
	Ø	PALMS N	MAY BE SU	JBSTITUTED, 3 PALMS PER	1 SHADE TREE.				
ſ	ž	B1	5	ILEX X NELLIE R. STEVENS	NELLIE STEVENS HOLLY	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	20'	YES	YES
	STO	B2	5	ILEX DECIDUA	DECIDUOUS HOLLY	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	25'	NO	YES
		B3	8	LAGERSTROEMIA INDICA	CREPE MYRTLE	2" CALIPER, 6' HEIGHT (AT INSTALLATION)	25'	NO	NO
	5	UNDERSTORY TREES ARE USED NEAR UTILITIES AND FOUNDATIONS OF STRUCTURES.							
		C1	64	PITTOSPORUM TOBIRA	PITTOSPORUM	36" HEIGHT (AT INSTALLATION)	10'	YES	YES
	S	C2	80	RAPHIOLEPIS INDICA	INDIAN HAWTHORN	36" HEIGHT (AT INSTALLATION)	5'	YES	NO
		C3	98	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	36" HEIGHT (AT INSTALLATION)	5'	YES	NO
	S								
		D1	_	(TURF-GRASS)	BAHIA SOD				
	E I	D2	3456 SF	MULCH	MULCH	SURROUND ALL PLANTS 3' DEEP	<u> </u>		
	S	D3	466 SF	TRACHELOSPERMUM ASIATICUM	CONFEDERATE JASMINE	PARKING ISLANDS	8"	YES	YES
	2								
	<b>GRO</b>								
= \/									

### TREE SUBSTITUTIONS:

DUE TO AVAILABILITY AND PREFERENCES, CONTRACTOR MAY SUBSTITUTE TREE SPECIES FOR OTHERS IN THE SCHEDULE, SO LONG AS DIVERSITY AND SIZES ARE MAINTAINED AND PROPOSED TREES ARE ON THE APPROVED SPECIES LIST. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LOCAL JURISDICTION BEFORE INSTALLATION.

### **PLANTING SPECIFICATIONS** MINIMUM TREE HEIGHT UPON PLANTING 2" MINIMUM CALIPER MINIMUM SHRUB HEIGHT UPON PLANTING 36" 30" O.C. MINIMUM SPACING OF SHRUBS ALL PROPOSED PLANTINGS SHALL BE FLORIDA GRADE #1 OR BETTER EXOTIC SPECIES NOTE: ALL EXOTIC SPECIES, I.E., BRAZILIAN PEPPER (<u>SCHINUS TEREBINTHIFOLIUS</u>), PUNK TREES (<u>MELALEUCA QUINQUENERVIA</u>), AND CHINESE TALLOW (APIUM SEBIFERUM) MUST BE REMOVED FROM THE SITE. WHERE NECESSARY DUE TO THEIR PROXIMITY TO PROTECTED PLANT MATERIAL, HAND REMOVAL WILL BE REQUIRED. SHOULD THIS REMOVAL BE TO A DEGREE THAT A POTENTIAL FOR EROSION IS CREATED, THE AREA MUST BE RESTABILIZED WITH SUITABLE MATERIAL.

**IRRIGATION NOTES:** 1. SHALLOW WELLS, OPEN SURFACE WATER BODIES OR RECLAIMED WATER MUST BE USED AS A SOURCE OF IRRIGATION WATER. THE DISTRIBUTION SYSTEM FOR IRRIGATION SHALL NOT BE CONNECTED TO COUNTY OR MUNICIPAL WATER SOURCES, UNLESS IT CAN BE DEMONSTRATED THAT THESE SOURCES ARE NOT AVAILABLE.

2. IRRIGATION SYSTEMS MUST UTILIZE LOW VOLUME DESIGN SUCH AS LOW TRAJECTORY HEADS OR SOAKER HOSES TO PROVIDE DIRECT APPLICATION AND LOW EVAPORATION. SYSTEMS THAT OVER SPRAY AREAS THAT DO NOT REQUIRE IRRIGATION, SUCH AS PAVED AREAS WILL NOT BE ACCEPTABLE. HIGH IRRIGATION NEED AREAS MUST NOT OVERSPRAY LOW NEED AREAS.

3. HIGH WATER DEMAND LANDSCAPE AREAS SUCH AS TURF MUST BE SERVED BY A SEPERATE IRRIGATION ZONE THAN LOW WATER NEED AREAS, SUCH AS PLANTER BEDS, OR MULCHED AREAS WITH TREES. IN NO CASE SHALL ANY PLANTED VEGETATION AREA BE MORE THAN 50' FROM A WATER SUPPLY HOSE BIB.

4. IRRIGATION SYSTEMS MUST BE OPERATED BY AN IRRIGATION CONTROLLER CAPABLE OF DIFFERENTIATING BETWEEN THE SCHEDULES OF HIGH AND LOW WATER DEMAND AREAS. CONTROLLERS MUST HAVE MULTIPLE CYCLE START CAPICITY AND A FLEXIBLE CALENDAR PROGRAM ABLE TO BE SET TO COMPLY WITH LOCAL OR WATER MANAGEMENT DISTRICT IMPOSED RESTRICTIONS.

5. THE SYSTEM MUST BE EQUIPPED WITH A RAIN SENSOR DEVICE OR SWITCH WHICH WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. GROUND MOISTURE SENSING DEVICES ARE ENCOURAGED WHERE APPROPRIATE.

6. IRRIGATION SYSTEM SHALL BE DESIGNED BY A LICENSED IRRIGATION CONTRACTOR.

# LANDSCAPE CODE PLAN

L	ANDSCAPE LEGEND
	GRASS
	GROUNDCOVER
$(\cdot)$	EXISTING TREE CANOPY (APPROX.)
<b>A</b> ?	PROPOSED TREE - REFER TO SCHEDULE FOR TYPE
	PROPOSED SHRUBS - REFER TO SCHEDULE FO TYPE
C1 20	SHRUB TYPE TAG WITH QUANTITY

GROUNDCOVER TYPE TAG

![](_page_55_Picture_14.jpeg)

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![](_page_55_Picture_16.jpeg)

FOR	FLAGSHIP

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![](_page_55_Picture_18.jpeg)

PROJECT #:-ORIG. DATE: -DRAWN BY: BH SCALE: AS SHOWN

SHEET #:

# SHRUB PLANTING DETAIL

![](_page_56_Figure_1.jpeg)

SHRUB PLANTING NOTES: 1. REFER TO LANDSCAPE PLAN FOR GROUPINGS. 2. PLANTING HOLES MUST BE SLOPED (NOT COMPACTED) 3. SHRUBS SHALL BE INSTALLED SUCH THAT THE TOP OF THE ROOT MASS IS LEVEL WITH THE SURFACE OF THE PLANTING HOLE. 4. TO PREVENT FUNGAL INFECTION, MULCH SHALL BE PULLED BACK A FEW INCHES FROM THE BASE OF NEW SHRUBS. 5. ALL REQUIRED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.

# TREE PLANTING DETAIL

![](_page_56_Figure_4.jpeg)

TREE PLANTING NOTES: 1. REMOVE STAKES AND SUPPORT WIRE AFTER

COMPACTED) AND A MINIMUM OF 18-24 INCHES WIDER THAN THE DIAMETER OF THE ROOT BALL.

3. TREES SHALL BE INSTALLED SUCH THAT THE

2. PLANTING HOLES MUST BE SLOPED (NOT

ONE COMPLETE GROWING SEASON.

![](_page_56_Figure_5.jpeg)

![](_page_56_Figure_6.jpeg)

# PROTECTIVE BARRIER DETAIL

![](_page_56_Figure_8.jpeg)

![](_page_56_Picture_9.jpeg)

### LANDSCAPE AND IRRIGATION NOTES AND SPECIFICATIONS

- ALL PROPOSED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.
   ALL MINIMUM STANDARDS PER THE LOCAL LAND DEVELOPMENT CODE SHALL BE FOLLOWED. <u>HIGHER</u> STANDARDS SUCH AS HEIGHT, CALIPER OR DBH MAY BE SPECIFICALLY CALLED OUT ON THE PLAN AND SHALL BE INSTALLED PER THAT SPECIFICATION.
- 3. PRUNING OF EXISTING TREES MAY BE REQUIRED AND SHALL BE DONE IN A MANNER IN ACCORD WITH GOOD PRACTICE AND LOCAL CODES.

SHOP DRAWING REQUIRED = REFER TO STANDARD NOTES FOR CONDITIONS

![](_page_56_Picture_14.jpeg)

### **BOUNDARY/TOPOGRAPHIC SURVEY** THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.

#### SURVEYOR'S REPORT LEGAL DESCRIPTION:

A PORTION OF LAND LYING IN SECTION 13, TOWNSHIP 27 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTER OF SAID SECTION 13, THENCE ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 13, RUN SOUTH 89°51'20" EAST A DISTANCE OF 28.94 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE (STATE ROAD NO. 595 AND ALT. 19) SAID POINT ALSO BEING A POINT OF CURVATURE, THENCE ALONG SAID EASTERLY RIGHT OF THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE (STATE ROAD NO. 393 AND ALT. 19) SAID FOINT ALSO BEING A FOINT OF CORVATORE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 40.79 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 475.51 FEET, A CENTRAL ANGLE OF 4°54'53" AND A CHORD OF 40.78 FEET, WHICH WAY LINE 40.79 FEET ALONG THE ARG OF A CORVETO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 475.51 FEET, A CENTRAL ANGLE OF 4 54 55 AND A CHORD OF 40.76 FEET, WHICH BEARS SOUTH 11°21'30" WEST TO THE POINT OF BEGINNING, THENCE LEAVING SOUTH PINELLAS AVENUE SOUTH 89°51'20" EAST 161.30 FEET, THENCE SOUTH 00°00'00" EAST 110.74 FEET, THENCE BEARS SOUTH 11 2130 WEST TO THE POINT OF BEGINNING, THENGE LEAVING SOUTH PINELLAS AVENUE SOUTH 89 51 20" EAST 101.30 FEET, THENGE SOUTH 00-0000" EAST 110.14 FEET, THENGE SOUTH 20°48'03" WEST 89.29 FEET, THENGE NORTH 69°36'25" WEST 99.25 FEET, THENGE NORTH 66°51'16" WEST 92.31 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SOUTH PINELLAS AVENUE, SOUTH 20-4803 WEST 69.29 FEET, THENCE NORTH 69-30 25 WEST 99.20 FEET, THENCE NORTH 60-51 10 WEST 92.31 FEET TO THE EASTERLY RIGHT OF WAT LINE OF SOUTH FINELLAS AVENUE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE NORTH 26°11'02" EAST29.40 FEET TO A POINT OF CURVATURE, THENCE 103.77 FEET ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST HAVING A RADIUS OF 477. 15 FEET TO A CENTRAL ANGLE OF 12°27'37" AND A CHORD OF 103.56 FEET, WHICH BEARS NORTH 19°57' 14" EAST TO A POINT OF BEGINNING

ALL MEASUREMENTS, DISTANCES, ELEVATIONS (IF SHOWN) AND FEATURES WERE PERFORMED IN STRICT ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE SET FORTH IN CHAPTER

2. METHODS FOR ALL CONTROL MEASUREMENTS WERE MADE WITH A TRANSIT AND STEEL TAPE, OR DEVICES WITH EQUIVALENT OR HIGHER DEGREES OF ACCURACY.

THE ACCURACY STANDARD USED FOR THIS SURVEY, AS CLASSIFIED IN THE MINIMUM STANDARDS OF PRACTICE (5J-17 FAC), IS "COMMERCIAL/HIGH RISK". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE MET THIS REQUIREMENT. DATA SOURCES:

- BASIS OF BEARING IS THE EAST LINE OF THE SURVEYED PARCEL, BEING S00°00'00"E. (L)
- 2. PLAT OF MERES TOWN CENTER PHASE II, RECORDED PLAT BOOK 140, PAGE 39, PUBLIC RECORDS, PINELLAS COUNTY, FLORIDA.
- 3. FIRST AMERICAN TITLE INSURANCE COMPANY, ALTA COMMITMENT FOR TITLE INSURANCE, ISSUED BY: WOLLINKA-WIKLE TITLE INSURANCE AGENCY, INC., FILE NO.: TIA20156, EFFECTIVE DATE: 4. ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC BENCHMARK "AL 0305", HAVING AN ELEVATION OF 28.40'. (NORTH AMERICAN VERTICAL DATUM 1998)

SCHEDULE BII EXCEPTIONS ARE AS FOLLOWS:

DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DEFECTS, LIENS, ENCOUNDRAINCES, ADVERSE CLAINING OR OTHER WATTERS, IF ANT, CREATED, FIRST AFFEARING IN THE FODLIC RECORDS OR ATTACHING SOBSEQUENT TO THE EFF

- 2. ANY RIGHTS, INTERESTS OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
- 3. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND
- ANY LIEN, FOR SERVICES, LABOR OR MATERIALS IN CONNECTION WITH IMPROVEMENTS, REPAIRS OR RENOVATIONS PROVIDED BEFORE, ON, OR AFTER DATE OF POLICY, NOT SHOWN BY THE PUBLIC RECORDS. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.
- ANY DISPUTE AS TO THE BOUNDARIES CAUSED BY A CHANGE IN THE LOCATION OF ANY WATER BODY WITHIN OR ADJACENT TO THE LAND PRIOR TO DATE OF POLICY, AND ANY ADVERSE ANY DISPUTE AS TO THE BOUNDARIES CAUSED BY A CHAINGE IN THE LOCATION OF ANY WATER BODY WITHIN OR ADJACENT TO THE LAND PRIOR TO DATE OF POLICY, AND ANY ADVERS CLAIM TO ALL OR PART OF THE LAND THAT IS, AT DATE OF POLICY, OR WAS PREVIOUSLY UNDER WATER. SURVEYOR'S COMMENT: NO VISUAL EVIDENCE OF WATER BODIES WITHIN OR
- TAXES OR SPECIAL ASSESSMENTS NOT SHOWN AS LIENS IN THE PUBLIC RECORDS OR IN THE RECORDS OF THE LOCAL TAX COLLECTING AUTHORITY, AT DATE OF POLICY. SURVEYOR'S
- 7. ANY MINERALS OR MINERAL RIGHTS LEASED, GRANTED OR RETAINED BY CURRENT OR PRIOR OWNERS. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.

8. TAXES AND ASSESSMENTS FOR THE YEAR 2018 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE. SURVEYOR'S COMMENT: NOT A SURVEY RELATED EXCEPTION.

9. EASEMENT GRANTED TO FLORIDA POWER CORPORATION BY INSTRUMENT RECORDED IN BOOK 3675, PAGE 104. SURVEYOR'S COMMENT: SUBJECT TO NON-DELINEABLE BLANKET EASEMENT

10. TERMS AND CONDITIONS OF THE RECIPROCAL EASEMENT AGREEMENT WITH COVENANTS, CONDITIONS AND RESTRICTIONS BETWEEN ARMSTRONG TARPON SPRINGS, LLC, A FLORIDA LIMITED 10. TERMS AND CONDITIONS OF THE RECIPROCAL EAGEINENT AGREEMENT WITH COVENANTS, CONDITIONS AND RESTRICTIONS BETWEEN ARMSTRONG TARFON SPRINGS, LLC, A FLORIDA LINITED LIABILITY COMPANY AND REGIONS BANK, AN ALABAMA BANKING CORPORATION RECORDED IN BOOK 16030, PAGE 1298, AS AMENDED IN BOOK 19484, PAGE 1369. SURVEYOR'S COMMENT: SUBJECT

11. TERMS AND CONDITIONS OF ANY EXISTING UNRECORDED LEASE(S), AND ALL RIGHTS OF LESSEE(S) AND ANY PARTIES CLAIMING THROUGH THE LESSEE(S) UNDER THE LEASE(S). SURVEYOR'S

LIMITATIONS:

- 1. PURPOSE OF SURVEY: TO DOCUMENT THE PERIMETERS, OR ANY ONE OF THEM, OF A PARCEL OR TRACT OF LAND BY ESTABLISHING OR RE-ESTABLISHING CORNERS, MONUMENTS, AND BOUNDARY LINES FOR THE PURPOSES OF DESCRIBING THE PARCEL, LOCATING FIXED IMPROVEMENTS ON THE PARCEL, DIVIDING THE PARCEL, OR PLATTING, AND SELECTED NATURAL AND ARTIFICIAL FEATURES OF A PART OF THE EARTH'S SURFACE TO DETERMINE HORIZONTAL
- 2. USE OF THIS SURVEY BY ANYONE OTHER THAN THOSE PREPARED FOR / CERTIFIED TO, WILL BE THE RE-USERS SOLE RISK WITHOUT LIABILITY TO THE SURVEYOR.
- 3. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- . UNDERGROUND FOUNDATIONS AND THEIR LOCATIONS HAVE NOT BEEN DETERMINED.
- SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE AE (EL 10 FEET), ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, PINELLAS COUNTY, FLORIDA, MAP NUMBER 12101C0345 F COMMUNITY: CITY OF TARPON SPRINGS, 120259, MAP REVISED DATE: SEPTEMBER 26, 2014, MAP INDEX NUMBER 12103CIND1C, MAP REVISED: AUGUST 18, 2009. AN ACCURATE ZONE DETERMINATION SHOULD BE MADE BY THE PREPARER OF SAID MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS PRIOR TO ANY

JUDGMENTS BEING MADE FROM THE ZONE AS NOTED.

- 6. IRRIGATION EQUIPMENT AND / OR THEIR APPURTENANCES HAVE NOT BEEN MAPPED.
- 7. THERE MAY EXIST ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT CAN BE FOUND IN THE
- 8. ONLY THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES WHICH WERE READILY APPARENT FROM GROUND LEVEL TO THE SURVEYOR ON THE ACTUAL DAY OF THE FIELD SURVEY WERE LOCATED. NO EXCAVATIONS OR SUBSURFACE WORK EFFORTS OF ANY KIND WERE PERFORMED BY THE SURVEYOR TO VERIFY THE EXISTENCE OF ANY UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
- 9. THERE MAY BE ADDITIONAL UTILITY STRUCTURES (DRAINAGE, SANITARY, ELECTRIC, COMMUNICATIONS, ETC.) THAT WERE NOT READILY APPARENT AT THE TIME OF THE SURVEY.

BOUNDARY INCONSISTENCIES:

ANY ANGULAR AND/OR DIMENSIONAL DISCREPANCIES BETWEEN THE DESCRIPTION AND THE FIELD LOCATED OCCUPATION BOUNDARY CORNERS, AND BOUNDARY CORNERS WITH MULTIPLE BOUNDARY MONUMENTS ALONG WITH THEIR CORRESPONDING QUADRANT DIRECTIONAL MISSES, ARE SHOWN ON THE MAP OF SURVEY. ALL PERIMETER BEARINGS AND DISTANCES ARE BY FIELD MEASURED UNLESS SO NOTED

![](_page_57_Figure_39.jpeg)

![](_page_58_Picture_0.jpeg)

City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT 324 EAST PINE STREET P.O. BOX 5004 TARPON SPRINGS, FLORIDA 34688-5004 (727) 942-5611 FAX (727) 943-4651

#### TECHNICAL REVIEW COMMITTEE (TRC) AGENDA THURSDAY, APRIL 1, 2021 CITY AUDITORIUM 324 EAST PINE STREET, TARPON SPRINGS, FLORIDA

TO:	
Karen Lemmons, Economic Dev. Manager	Tom Funcheon, Public Works Director
Pat McNeese, Principal Planner	Anthony Mannello, Streets & Stormwater Sup.
Renea Vincent, Planning & Zoning Director	Bob Robertson, Project Admin. Director
Kevin Powell, Building Development	Paul Smith, Public Services Director
David Gilson, Building Development	Nick Makris, Projects Supervisor
Shannon Brewer, Horticulturalist	Jevon Miller, Project Administration Department
Lisa Godwin, Building Development	Ray Page, Public Services
Anthony Boone, Police Department	Francisco Pavez, Public Services
Sargent Robert Faugno, Police Department	Judy Staley, Research & Information Officer
Captain Rick Kinney, Fire Rescue	Trish Hickey, Executive Secretary
Officer Steve Gassen, Code Enforcement	Megan Araya, Floodplain Coordinator

#### FROM: Kimberly Yothers, Planning and Zoning Coordinator

NOTE: Pursuant to current City protocols, we will meet in the City Auditorium. Please send comments via email to <u>pmcneese@ctsfl.us; kyothers@ctsfl.us</u>

#### DATE: 3/23/2021

#### 1) PREVIOUSLY HEARD APPLICATIONS

a) 20-150 - GEMINI STORAGE - SITE PLAN REVIEW - NW CORNER OF SAFFORD AVENUE AND MERES BLVD

#### 2) NEW APPLICATIONS

- a) 21-37 TIEGUYS TEMPORARY USE FOR CONSTRUCTION TRAILER 338 E LEMON STREET
- b) 21-26 FLAGSHIP BANK SITE PLAN REVIEW SE CORNER OF MERES BLVD AND PINELLAS AVE
- c) 21-32 FERMAN VOLVO MINOR SITE PLAN 43520 US HIGHWAY 19 N
- d) 21-33 MARC ANTONIO MINOR SITE PLAN 428 N PINELLAS AVE
- e) 21-34 LIVE EDGE SLABS REZONING AND LUA 526 E LEMON STREET
- f) 21-35 ELSTEPHMAR LLC CONDITIONAL USE FOR TOURIST HOME 12 W ORANGE STREET

#### 3) VARIANCES

- a) 21-30 NANCY S. WHITE VARIANCE TO FRONT SETBACK FOR POOL 533 DORIC COURT
- b) 21-36 GIANESKIS NON-CONFORMING LOT AND SETBACK VARIANCE CENTER LOT ON WHITCOMB BLVD BETWEEN CAROLINA AND BAYOU AVE

#### 4) **DISCUSSION ITEMS**

- a) 21-28 TARPON SPRINGS PLAZA DISCUSSION ITEM 41522 US HWY 19 N
- b) 21-31 City of Tarpon Springs Discussion Item for Pickle Ball Court 530 E Live Oak Blvd
- c) 21-37 Leslie Hale Ministries Discussion Item 1355 Rainville Road

All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611.

#### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

### PROJECT NAME: 21-32 - FERMAN VOLVO - MINOR SITE PLAN - 43520 US HIGHWAY 19 N

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Minor Site Plan       Re-zoning         □       Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         □       Certificate of Approval (Historic District)       □       Conceptual Planned Development       Image: Non-example       Non-example         □       Preliminary Planned Development       □       Temporary Use       □       Amendment to the LDC       □       Special Area Plan         □       Planned Development Modification       □       License to Encroach       □       Sidewalk Café         □       Non-Conforming Lot of Record       □       Minor Subdivision       CRA Façade Improvement Grant         □       CRA Restaurant Recruitment Grant       □       CRA Building Code Assistance Grant         □       Comprehensive Plan Amendment       □       ROW Utilization Permit       □       Design Review         □       Appeal of an Administrative Decision       □       Discussion Item       □       Sidewalk Waiver       Other				
HEARING(S):				
□ PLANNING & ZONING BOARD (P&Z) □ HERITAGE PRESERVATION BOARD (HPB) □ BOARD OF ADJUSTMENT (BOA) □ BOARD OF COMMISSIONERS (BOC) ☑ TRC ONLY				
REVIEW COMMENTS: REVIEWER DEPARTMENT:				
REVIEWER				
ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC				

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

Property Owner(s)								
Name						Email	1947 B	
Island Center Corp., Inc.					sstarke@ferman.com			
Address 1306 W. Kennedy Blvd.								
City Sta			Stat	te			Zip	
Tampa	ampa Flo		Flor	rida			33606	
Phone 813-251-2765		Fax N/A	Cellular		Cellular			
Applicant		IN/A			_			
Name						Email		
Same as owner								
Address								
City			Stat	e			Zip	
A (51,000)								
Phone		Fax				(	Cellular	
Agent (if applicable)								
Name						Email		
Chris Weddle, P.E.						chris@	auroracivil.com	
Address 610 E. Morgan Street								
City			State	ite Zip				
Brandon			Flori	orida 33510		33510		
Phone 813-643-9907 Ext. 101		Fax N/A		Cellular 813-690-8424		Cellular 13-690-8424		
General Information								
Project Name	1000	NET STATE OF						
Ferman Volvo Tarpon Sprir	ngs Remo	del & Expansio	on					
Property Location or Address 43520 US Hwy 19 N., Tarpo	on Springs	s, Florida						
Legal Description (attach addi See attached legal descript	tional sheet ion	ts as necessary)						
Tax Parcel Number(s)								
Existing Land Use & Zo	ning Inf	ormation		-				
Present Designations of Property			Current Use of Property					
Land Use Category	Zoning Di	strict						
ROR		100100.047**		Dealership			Dealership	
Site Acreage:								
Upland 11.06	Wetland	0	9	Subm	erged 0		TOTAL 11.06	
Flood Information: [please check all that apply]								
Zone X	🖬 Zo	one X Shaded			Zone A	E	Zone VE	
Base Flood Elevation (BF	E): [please	e list all elevatio	ons]_	N/A				

#### Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change			
Potable Water	GPD	GPD	GPD			
Sanitary Sewer	GPD	GPD	GPD			
Solid Waste	TPY	TPY	TPY			
Transportation	TPD	TPD	TPD			
Storm Drainage	Analysis /	/ Review by Engineering Division				
Hurricane Shelter	Spaces	Spaces Spac				

GPD = gallons per day TPD = trips per day

#### The following MUST be furnished with this application: [incomplete applications will not be accepted]

#### Completed original application with digital copies of all application documents

- Application fee (based on site acreage)
  - □ 0 5 acres; \$ 500.00
  - □ 5.01 10 acres; \$ 750.00
  - □ 10.01 15 acres; \$1,000.00
  - □ 15.01 20 acres; \$1,500.00
  - **2** 20.01 acres or more; \$2,000.00
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Endangered/Threatened Species Study, if required by Section 144.00, LDC
- Aknowledge compliance with the City's Public Art Ordinance (see criteria below)
- Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)
- Five (5) complete sets of plans including <u>all</u> the following items.
  - A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
  - B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
    - 1. All required information shall be submitted on standard sheets (24" × 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
    - 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
    - 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
    - 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

- 5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
- 6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
- 7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
- 8. Existing contours and proposed grades at one foot intervals.
- 9. Flood zone and required first floor elevation(s).
- 10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
- 11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
- 12. Lot dimensions including curve data.
- 13. Proposed setback dimensions.
- 14. Gross floor area by type for non-residential uses.
- 15. Gross density for residential uses and number and types of units.
- 16. The proposed architectural elevations and floor plans with accurate dimensions.
- 17. Proposed private and public streets with right-of-way dimensions.
- 18. Proposed phasing plan by anticipated commencement and completion date.
- 19. Dumpster location and screening.
- 20. Required parking calculations (parking provided and required).
- 21. Size and location of required loading zones.
- 22. Required (proposed) sidewalks and internal walkways.
- 23. Driveways and access improvements.
- 24. Location and type of site lighting including pole height and fixture type.
- 25. Description of the maintenance of common facilities for residential projects.
- 26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

- 1. Projects with an aggregate job value under \$1,000,000.00.
- 2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

#### APPLICANT'S AKNOWLEDGEMENT:

#### Type of Public Art Activity [please initial only one]

\_\_\_\_ This project is exempt from the Public Art Program requirements.

Please state exemption:\_

\_\_\_\_\_ I will contract with a professional artist to create a permanent, public artwork as part of the development.

XX In lieu of an on-site project, I will contribute .75 percent of the aggregate job value\* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

\*Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

- (A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.
- (B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.
- (C) Design Requirements for all non-residential site plans.
  - 1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.

d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.

e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.

2. Sidewalks and private frontages (the area between the building and right- of-way)

a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.

3. Landscaping

a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.

4. Elevation of buildings

a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.

5. Pedestrian promenades on waterfront lots

a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.

6. All site plans and building plans shall adhere to the additional building design requirements set out below;

a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.

b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.

c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.

d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.

e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.

g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.

h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.

i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.

j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.

k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.

b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.

c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.

d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.

e. Multiple connections shall be required between the structure and the public right-of-way.

f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

#### (D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

Island Center Corporation, Inc. 1306 W. Kennedy Blvd. Tampa, FL 33606 813-251-2765

Date: March 2, 2021

To Whom It May Concern:

Please accept this letter as authorization for Chris Weddle or Michael Knight of Aurora Civil Engineering, Inc. to act as agent for Island Center Corp, Inc. for the purposes of applying for and obtaining required permits for the Ferman Sunshine Motors, Inc., d/b/a Ferman Volvo Cars Remodel & Expansion project

Feel free to contact me with any questions.

Sincerely,

Island Center Corporation, Inc.

Stephen B. Straske II Vice President

#### STATE OF FLORIDA COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this <u>3</u><sup>(\*)</sup> day of March 2021, by <u>Stephen B. Straske II</u>, who is personally known to me.

![](_page_67_Picture_11.jpeg)

Notary Public State of Florida

2Db

(Typed or Printed Name) My Commission Expires:

# NGS

<u>U.</u>	LATEST DATE
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021
	02-15-2021

# SITE CONSTRUCTION PLANS

# for

# FERMAN VOLVO TARPON SPRINGS **REMODEL AND EXPANSION**

# (PID 06-27-16-00000-240-0100)

# **CITY OF TARPON SPRINGS, FLORIDA**

# VICINITY MAP

![](_page_68_Picture_9.jpeg)

SECTION 6 TOWNSHIP 27S RANGE 16E

### LEGAL DESCRIPTION: (as provided by others)

A portion of Section 6, Township 27 South, Range 16 East, Pinellas County, Florida, being further described as follows:

Commence at the intersection of the easterly extension of the centerline of Beckett Way (County Road No. 71) as said centerline is shown on plat of Villanova, recorded in Plat Book 14, page 38 of the Public Records of Pinellas County, Florida, with the westerly right-of-way line of State Road No. 55, Section 15150-2106 (U.S. Highway No. 19) as it is now established for a POINT OF BEGINNING; said westerly right-of-way line of State Road No. 55 being 132 feet west of the centerline of survey of said State Road No. 55; the centerline of Beckett Way as shown on said plat of Villanova being on the centerline of paving of County Road No. 71 as it is now constructed; from the POINT OF BEGINNING herein described run along the centerline of Beckett Way, North 85° 22' 49" West a distance of 600 feet; thence run parallel to the westerly right-of-way line of said State Road No. 55, North 0° 04' 31" East a distance of 833.10 feet; thence run parallel to the centerline of Beckett Way, South 85° 22' 49" East a distance of 600 feet to the westerly right—of—way line of said State Road No. 55; thence run along the westerly right—of—way line of said State Road No. 55, South 0° 04'31" West a distance of 833.10 feet to the POINT OF BEGINNING; LESS the southerly 33 feet thereof for Beckett Way (County Road No. 71) right-of-way; said 33 feet being measured at right angles to the centerline of said Beckett Way.

Containing 478,597 square feet, or 10.99 acres, more or less.

# **PREPARED FOR**

ISLAND CENTER CORP. INC. 1306 W. KENNEDY BLVD. TAMPA, FL 33606

CALL 48 HOURS REFORE YOU DIG It's the Law! 1-800-432-477

![](_page_68_Picture_18.jpeg)

SUNSHINE STATE ONE CALL

### **PROJECT SUMMARY:**

- THIS PROJECT PROPOSES TO CONSTRUCT A 1,752 SF SERVICE ADDITION TO AND REMODEL OF THE EXISTING VOLVO CAR DEALERSHIP AND THE ASSOCIATED INFRASTRUCTURE.
- THE PROPERTY'S ACCESS IS US HIGHWAY 19 NORTH.
- THE PROJECT IS ZONED: HB

# **LOCATION MAP**

![](_page_68_Picture_25.jpeg)

URORA CIVIL ENGINEERING. INC 610 E. Morgan Street Brandon, FL 33510 (813)643-9907

signature must be verified on any

CHRISTOPHER E. WEDDLE, P.E. FLORIDA P.E. No. 35446 AURORA CIVIL ENGINEERING, INC. CERTIFICATE OF AUTHORIZATION No. 00008909

electronic copies.

PROJECT 19-168

INFORMATION SHALL CLEARLY AND ACCURATELY REPRESENT ALL ITEMS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

G OF ALL STORM SEWER AND SANITARY SEWER STRUCTURE BOT RTS

JRED LENGTHS OF PIPES FOR ALL INSTALLED UTILITIES, CONDU

OF ALL STRUCTURES, PIPES, CONDUITS, SLEEVES, ETC.

) SLOPE OF ALL SANITARY SEWER AND STORM SEWER LINES. AND VERTICAL CONTROL OF ALL WATER MAIN FITTINGS AND

ES, AND HORIZONTAL AND VERTICAL CONTROL OF THE TOPS OF ROSSINGS, AND A MINIMUM OF EVERY 200 LINEAL FEET OF PIPE.

AND VERTICAL CONTROL OF ALL TOP OF BANKS, TOE OF SLOPE , BUILDINGS, PONDS, DITCHES, LITTORAL ZONES, ETC.

AND VERTICAL CONTROL ELEVATIONS OF ALL ELEMENTS OF S ATIONS INCLUDING TOP AND BOTTOM SLABS, INVERTS, ELEVATI AT SWITCHES ENGAGE, ALL VALVES AND ASSOCIATED APPURTE

CERTIFICATE CAN BE SUBMITTED TO OBTAIN A CERTIFICATE O ITIL THE "AS-BUILT" INFORMATION IS RECEIVED, REVIEWED, AND "HE ENGINEER AND THE APPROPRIATE AGENCIES. THE CONTRA HE ENGINEER A MINIMUM OF FOUR WEEKS UPON RECEIPT TO C THE "AS-BUILT" INFORMATION AND COMPILE THE NECESSARY TO THE APPROPRIATE AGENCIES.

ONS SHOWN ON THE PLANS ARE TO FACE OF BUILDING, FACE OF S OF STRUCTURES, UNLESS OTHERWISE NOTED ON THE PLANS

)EMOLITION

Y SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED I AND LANDSCAPE PLANS SHALL BE PROTECTED IN ACCORDANCE DINANCES AS WELL AS DETAILS AND NOTES PROVIDED IN THIS E CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITT M CITY OF TARPON SPRINGS.

CTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL I IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. COPIES ARE AVAILABLE THROUGH THE OWNER. QUESTIONS REGARDIN REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE D ESTING COMPANY.

CTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE R CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCH ANTED WITH OTHER APPROVED LANDSCAPE MATERIALS IMMED NSTRUCTION.

JCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPO CORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREM Y THE OWNER.

GRADING

IOUS SUBSURFACE MATERIAL, (I.E. MUCK, PEAT, BURIED DEBRI ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OW JEER. OR THE OWNER'S SOIL TESTING COMPANY. DELETERIOUS PILED OR REMOVED FROM THE SITE AS DIRECTED BY OWNER. EAS TO BE BACKFILLED WITH APPROPRIATE MATERIALS AND CO THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIR ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM

**CTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS** WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSAF ETHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DR RTENANCES ARE BEING PLACED.

**ARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRU** OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COM BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR OIL REPORT.

POT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUN S OTHERWISE NOTED ON PLANS. FINISHED GRADES OR CONTO REPRESENT FINISH GRADES AFTER PLACEMENT OF SOD.

CTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT L VEMENT MEETS EXISTING PAVEMENT.

L BE PLACED AT THE EDGE OF ALL PAVEMENT, WHERE SHOWN (

E LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN )R DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. CURBING AND THESE PLANS. REFER TO DETAILS IN THESE PLANS FOR MODIF

OR TO PROVIDE 1/2" TO 1" BITUMINOUS EXPANSION JOI TH SEALER AT ABUTMENT OF CONCRETE AND OTHER MA )THER PLACED CONCRETE, ETC...).

INT MARKINGS WITHIN RIGH-OF-WAY SHALL BE MADE W **FHERMOS=PLASTIC AND SHALL CONFORM TO F.D.O.T. S** 346, SHEETS 1-7. PARKING TALL STRIPING TO BE 4" WIDE SITE STRIPING COLORS AS SHOWN ON THESE PLANS.

**DR IS TO PROVIDE EROSION CONTROL AND SEDIMENT** ND/OR SILTATION CURTAIN), TO PREVENT SILTATION OF OPERTIES, STREETS, STORM SEWERS AND WATERWAY NTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER S GROUND IN AREAS WHERE CONSTRUCTION RELATED D EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER **RITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANS** IER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC **LIS TO REMOVE SAID EARTH TO THE SATISFACTION OF** D/OR AUTHORITIES.

OSION BECOMES SIGNIFICANT DURING CONSTRUCTION **SHALL STABILIZE THE AFFECTED AREAS USING SPRIN** R OTHER ACCEPTABLE METHODS.

ACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR ATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FO ON OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. **SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTAN** 

**RACTOR IS RESPONSIBLE FOR COORDINATING APPLICA 3TS WILL BE REQUIRED PURSUANT WITH THE TESTING** CATED ON TABLE SC-1 ON THIS SHEET. UPON COMPLE HE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO **JINEER STATING THAT ALL REQUIREMENTS HAVE BEEN** 

D TESTING LABORATORY SELECTED BY THE OWNER SHA . TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN LIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS HOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ) MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL ID RETESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING.

<sup>2</sup>LACE OF SOIL CEMENT WILL NOT BE ALLOWED.

ALL	VI. DRAINAGE A. STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND
OTTOMS,	B. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III, (ASTM C-76)
UITS,	UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
	C. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES WITH THE EXCEPTION OF MITERED AND FLARED END SECTIONS WHICH ARE NOT INCLUDED IN LENGTHS, THE CONTRACTOR SHALL VERIFY ALL QUANTITIES SUBMITTED FOR BID.
F WATER E.	D. ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
PES, ALL	E. ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND <u>CITY OF TARPON SPRINGS</u> 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS
SANITARY IONS AT 'ENANCES. 0F	F. THE CONTRACTOR SHALL MAINTAIN AND PROTECT THE STORM DRAINAGE SYSTEM FROM MUD, DIRT, DEBRIS, ETC., UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.
D ACTOR COMPLETE DRAWINGS DF CURBING,	VII. SANITARY SEWER A. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS SHOULD ALWAYS CROSS UNDER WATER MAINS. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
D ON THE CE WITH PLAN SET. IN GOOD TEN	WHERE SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS IF IT IS NOT AVAILABLE IN THE SIZE PROPOSED). SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE LEAK FREE AND MECHANICALLY RESTRAINED.
OF THE	ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
DIRECTED	WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.
E SITE HED, DIATELY	B. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
OSED OF MENTS, OR	IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
IS), IS TO /NER, THE IS MATERIAL OMPACTED RING ANY	WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP (IF AVAILABLE IN THE SIZE PROPOSED) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
M THE SITE.	C. ALL SANITARY SEWER MAINS, LATERALS, AND FORCE MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
S AGAINST RY. RY WHILE	D. ALL ON SITE PVC GRAVITY SANITARY SEWER PIPE SHALL BE MADE OF MATERIAL HAVING A CELL CLASSIFICATION OF 12454 B, 12454 C, OR 13354 B AS DEFINED IN ASTM-1784 AND CONFORM TO THE REQUIREMENTS OF SDR 26. ELASTOMERIC GASKET JOINTS SHALL BE
JCTION PANY OR R THE	E. ALL ON SITE DUCTILE IRON PIPE SHALL BE CLASS 52 AND SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51.
ID SURFACE DURS IN	F. POINTS OF CONNECTION FOR THE SANITARY SEWER LINES ARE TO BE COORDINATED WITH THE BUILDING PLUMBING PLANS. SANITARY SEWER CONNECTION LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE.
OCATIONS	G. ALL SANITARY SEWER WORK SHALL CONFORM WITH APPLICABLE STANDARDS AND SPECIFICATIONS FOR <u>CITY OF TARPON SPRINGS</u> .
ON THE N D GUTTERS FIED CURB	H. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW SANITARY SEWER LINES TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES NEAR THE POINT OF CONNECTION AND NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH DESIGN INFORMATION SHOWN IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND <u>CITY OF TARPON SPRINGS</u> AT LEAST 48 HOURS IN ADVANCE OF SCHEDULED WORK.
INT IATERIALS,	I. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VIDEO AND VISUAL INSPECTION BY THE OWNER'S ENGINEER AND <u>CITY OF TARPON SPRINGS</u> PRIOR TO PLACEMENT OF BASE AND PAVING AND AGAIN PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.
VITH STADARD E PAINTED BARRIERS,	J. THE CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE AN INFILTRATION OR EXFILTRATION TEST, A TELEVISION INSPECTION, AND A MANDREL (GO, NO GO) TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE ENGINEER'S REQUIREMENTS AND THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION OF TESTING AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
NF YS. IN SUITABLE TRAFFIC IS R AND/OR SPORTED C, THE	VIII. WATER DISTRIBUTION A. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS SHOULD ALWAYS CROSS UNDER WATER MAINS. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
THE N, THE IKLING,	WHERE SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS IF IT IS NOT AVAILABLE IN THE SIZE PROPOSED). SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE LEAK FREE AND MECHANICALLY RESTRAINED.
OTHER OLLOWING	ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
THE NCE BY	WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.
ABLE SOILS	B. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
ETION OF THE	IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
HALL	WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP (IF AVAILABLE IN THE SIZE PROPOSED) WITH A MINIMUM VERTICAL

DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE

WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR

FORCE MAIN (STAGGERED JOINTS).

C. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER. D. ALL WATER SYSTEM WORK SHALL CONFORM WITH CITY OF TARPON AND SPECIFICATIONS.

E. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER ARE ADJUSTING THE WATER LINES AS NECESSARY.

F. ALL ON SITE PVC WATER MAINS 4 INCHES THROUGH 12 INCHES SHAL WITH AWWA C-900 AND SHALL BE CLASS 150 DR 18. ALL ON SITE PVC W TO 3 INCHES SHALL BE CLASS 1120 AND MEET REQUIREMENTS OF SDR 2 WITH ASTM D-2241.

G. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF MINIMUM CLASS 50. JOINTS FOR DUCTILE IRON PIPE SHALL BE MECHAN JOINTS. PIPE SHALL HAVE AN EXTERIOR BITUMINOUS COATING IN ACCO A21.51. PIPE INTERIOR SHALL HAVE A CEMENT MORTAR LINING WITH A CONFORMING TO AWWA /ANSI C104/A21.4. THE WEIGHT AND CLASS DES PAINTED IN WHITE ON THE EXTERIOR SURFACE OF ALL PIPES AND FIT CODE OR SERIAL NUMBER SHALL BE PROVIDED ON THE BELL OF EACH F

H. ALL DUCTILE FITTINGS SHALL BE MECHANICAL JOINT WITH A MINIMUM 250 PSI AND SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA A FITTINGS SHALL BE COATED AND LINED AS SPECIFIED ABOVE FOR DUCT

I. THE CONTRACTOR IS TO INSTALL TEMPORARY BLOWOFFS AT THE END LATERALS TO BUILDINGS TO ASSURE ADEQUATE FLUSHING AND DISINFI

J. THRUST BLOCKING SHALL BE PROVIDED AT ALL FITTINGS AND HYDRA DETAILS. ALL JOINTS SHALL BE RESTRAINT JOINT FITTINGS.

K. POINTS OF CONNECTION OF THE EXTERNAL WATER LINES ARE TO CO BUILDING PLUMBING AS SHOWN ON THE BUILDING PLUMBING PLANS. SHOWN ARE APPROXIMATE.

L. FIRE LINES TO BUILDINGS WITH FIRE SPRINKLER SYSTEMS SHALL BE CONTRACTOR DULY LICENSED BY THE STATE FIRE MARSHAL'S OFFICE. SHALL VERIFY REQUIREMENTS PRIOR TO CONSTRUCTION.

M. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HY AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY INSPECTED OWNER'S ENGINEER AND CITY OF TARPON SPRINGS UTILITY DEPARTME THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER AND CITY OF INSPECTORS 72 HOURS IN ADVANCE OF PERFORMING TESTS.

N. THE CONTRACTOR SHALL CONTRACT WITH A QUALIFIED LABORATOR CHLORINATION AND BACTERIOLOGICAL SAMPLING. COPIES OF ALL BAC TO BE SUBMITTED TO THE OWNER'S ENGINEER.

O. WATER MAIN SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPE BURI MAIN.

### SC-1 TESTING SCHEDULE

ITEM	TEST	TEST FREQUENCY			
BUILDING PADS	IN ACCORDANCE WITH GEOTECHNICAL REPORT				
EMBANKMENT	OPTIMUM MOISTURE/MAXIMUM DENSITY 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70)	PER SOIL TYPE ONE PER 500 FEET HORIZONTALLY, IN 12 INCH LIFTS			
UTILITY TRENCH BACKFILL OVER PIPELINES AND AROUND STRUCTURES WITHIN THE RIGHT-OF-WAY AND IN STRUCTURAL AREAS	OPTIMUM MOISTURE/MAXIMUM DENSITY 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70)	PER SOIL TYPE *, **			
UTILITY TRENCH BACKFILL OVER PIPELINES OUTSIDE THE RIGHT-OF-WAY AND IN NON-STRUCTURAL AREAS	OPTIMUM MOISTURE/MAXIMUM DENSITY 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70)	PER SOIL TYPE *, **			
STABILIZED SUBGRADE	SUBGRADE OPTIMUM MOISTURE/MAXIMUM DENSITY MINIMUM LBR 40 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70)				
BASE (OTHER THAN SOIL CEMENT)	OPTIMUM MOISTURE/MAXIMUM DENSITY MINIMUM LBR 100, (150 CRUSHED CONCRETE) 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - NO TOLERANCE GRADATION, ATTERBURG LIMITS	PER SOURCE PER SOURCE *** EACH LIFT PER SOURCE			
CONCRETE	SLUMP TEST COMPRESSIVE STRENGTH CYLINDERS AIR CONTENT	ONE PER SET OF CYLINDERS ONE SET OF (3) CYLINDERS FOR 100 CUBIC YARDS OR FRACTION THEREOF ONE PER SET OF CYLINDERS			
SOIL CEMENT BASE (NO IN-PLACE MIXING ALLOWED) (TO BE USED IF SEPARATION BETWEEN SHWT & BOTTOM OF BASE IS < 1.5')	MIX DESIGN/PER SPECIFICATION AS DETERMINED BY PORTLAND CEMENT ASSOCIATION SPECIFICATIONS MAXIMUM DENSITY AS DETERMINED BY AASHTO T13 OPTIMUM MOISTURE (STANDARD) COMPRESSIVE STRENGTH SPECIMENS AS DETERMINED BY PORTLAND CEMENT ASSOCIATION SPECIFICATIONS - 300 PSI @ 7 DAYS, TYPE DAILY **** TEST CORES AS DETERMINED BY PORTLAND CEMENT ASSOCIATION SPECIFICATIONS - 400 PSI @ 21 DAYS, SET OF COMPRESSIVE **** FIELD DENSITY AND THICKNESS 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T192, T238, ASTM D1556, D2922	ONE PER SOIL TYPE ONE PER SOIL TYPE DAILY ONE SET OF (3) PER SOIL TYPE DAILY ONE SET OF (3) CORES PER TEST STRENGTH SPECIMENS ONE PER 2500 SF HORZONTAL			
ASPHALTIC CONCRETE	AGGREGATE ANALYSIS DESIGN MIX BITUMEN CONTENT GRADATION STABILITY FLOW PROPERTIES OF IN-PLACE MATERIALS (MARSHALL) THICKNESS 95% OF LAB DENSITY				

\*TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. TESTS SHALL BE PERFORMED ON EACH LIFT, EXCEPT THAT TESTS SHALL NOT BE FURTHER APART THAN ONE (1) FOOT VERTICALLY. FIELD DENSITIES SHALL BE TAKEN OVER ALL ROAD CROSSINGS. FIELD DENSITIES FOR SANITARY LINES SHALL BE STAGGERED TO INCLUDE RESULTS OVER SERVICE LATERALS. THERE SHALL BE A MINIMUM OF ONE (1) TEST SERIES FOR EACH 12 INCHES OF LIFT OVER PIPELINE BETWEEN MANHOLES. TESTS AROUND STRUCTURES SHALL BE SPIRALED IN 12 INCH LIFTS.

R. <u>I SPRINGS</u> STANDARDS E TO BE RESOLVED BY	IX. EROSION/TURBIDITY CONTROL A. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.				PTION	ит: 2-22-2021	B No: 19-168
LL BE IN ACCORDANCE WATER MAINS 2 INCHES & 21 IN ACCORDANCE	B. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO	1	1	1 1	- DESCRI	۳ <u>م</u>	N BY: JO
OF ANSI STANDARD A21.51, NICAL OR PUSH-ON CORDANCE WITH ANSI AN ASPHALTIC SEAL COAT	PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED INTO WETLAND OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.		1		- DATE	HT DRAWN BY	APROVEC
INGS. MANUFACTURER'S	C, CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.				- Ja	EL KNIG	
IM PRESSURE RATING OF A21.10/C110. ALL CTILE IRON PIPE.	D. EXCEPT AS NECESSARY FOR CONSTRUCTION, EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN THE WETLANDS OR IN A POSITION CLOSE ENOUGH THERETO TO BE WASHED AWAY BY HIGH WATER OR RUNOFF.	s S	4 r		- 9 ਤਬ	DESIGNED	CHECKED
ND OF WATER SERVICE FECTION. ANTS AS SHOWN ON	E. WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS. TREATMENT METHODS INCLUDE AND ARE NOT LIMITED TO, TURBID WATER BEING PUMPED INTO GRASSY SWALES OR APPROPRIATE VEGETATED AREAS, SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.			DTES		DULE	
COINCIDE WITH THE CONNECTION LOCATIONS	F. THE CONTRACTOR SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE			Z		Τ	
E INSTALLED BY A E. THE CONTRACTOR	MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS, AND THE DURATION OF EXPOSED, UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICAL. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND PERFORMED THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER, AND GRADING OPERATIONS SHALL BE SCHEDULED AND PERFORMED THAT PERMANENT			TION		いつ	
YDRANTS, CONNECTIONS, D AND ACCEPTED BY THE IENT SPECIFICATIONS.	EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.			<u>-0</u>		Ž	
OF TARPON SPRINGS	G. THE CONTRACTOR AND/OR THE OWNER'S REPRESENTATIVE SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARED SOILS ARE STABILIZED.			TR		5	
RY TO PERFORM CTERIOLOGICAL TESTS	X. DEWATERING			SN	) i		
RIED OVER THE WATER	A. DEWATERING OF THE SITE FOR ANY CONSTRUCTION REQUIRING DEWATERING SHALL BE BY WELL POINT. THE WELL POINT SYSTEM MAY DISCHARGE DIRECTLY INTO WETLAND AREAS. ANY OTHER METHOD OF DEWATERING WILL REQUIRE A DESIGNED SETTLING			000		N N	

\*\*FOR FLEXIBLE PIPE, (CORRUGATED STEEL OR ALUMINUM), 95% OF MAXIMUM DENSITY (AASHTO-T99) PER F.D.O.T. SUPPLEMENTAL SPECIFICATIONS SUBARTICLE 125-8.3.2 MODIFIED. \*\*\*TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. THERE SHALL BE NO LESS THAN ONE (1) TEST PER STREET. \*\*\*\*MAXIMUM STRENGTH LIMITS, AS ESTABLISHED BY THE SOILS TESTING COMPANY, SHALL NOT BE

EXCEEDED

BASIN PRIOR TO DISCHARGE INTO WETLANDS.

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![](_page_70_Figure_0.jpeg)

![](_page_71_Figure_0.jpeg)

FIR 1/2" NO I.D. N 00'04'31" E 33.05' (F) FCM 4"X4" (4) (4) (4) (4) (5) 86 58 58 50 50 50 50 50 50 50 50 50 50	SITE DATA 43520 US HWY 19 N PROJECT ACREAGE: 10.99 ACRES PARCEL ID: 06-27-16-00000-240-0100 OWNER: ISLAND CENTER CORP, INC. SECTION 6 / TOWNSHIP 27S / RANGE 16E CURRENT ZONING: HB (ANNEXATION PENDING) FUTURE LAND USE: ROR FLOOD ZONE: X FEMA FLOOD MAP: 12103 CO036G (9/3/2003) MAX FAR: 0.20 (0.17 PROPOSED) MAX ISR: 0.85 (0.79 PROPOSED) MAX BLDG HEIGHT: 35' (21' TOP OF PARAPET)	1/2         -
FCM 4"X4" 	MINIMUM SETBACKS: FRONT: 30' SIDE: 10' SIDE ST: 15' REAR: 25' STANDARD SPACES: 9'x19' ACCESSIBLE SPACES: 12'x19' W/5' ADJACENT AISLE BUILDINGS (ROOFED): 1.86 Ac. (17%) ONSITE PAVEMENT: 6.76 Ac. (62%) TOTAL IMPERVIOUS: 8.63 Ac. (78.5%) (INCLUDES ROOFED) TOTAL IMPERVIOUS: 8.63 Ac. (78.5%) (INCLUDES ROOFED) TOTAL OPEN SPACE: 1.44 Ac. (13.1%) TOTAL POND AREAS: 0.92 Ac. (8.4%) EXISTING SIGNS TO REMAIN. IF CHANGES ARE PROPOSED IN FUTURE, A SIGN PERMIT WILL BE REQUESTED BUILDING AREAS: <u>EXISTING CONDITIONS (S.F.)</u> <u>ROOFED ENCLOSED ROOFED ENCLOSED</u> CHEVY SHOWROOM 18,955 12,961 18,955 12,961 18,955 12,961	OVERALL SITE PLAN
S 85 <sup>-</sup> 24 <sup>'</sup> 48" E 501.64 <sup>'</sup> (F)	CHEVY BODY SHOP 21,082 13,551 21,082 13,551 DETAIL (CANOPY) 4,207 149 4,207 149 (OFFICE) VOLVO 10,648 10,648 14,374 12,400 TOTAL 77,412 59,829 81,138 61,581 16.2% 12.5% 17.0% 12.9% PARKING REQUIREMENTS PER CODE 127.04: 1 PER 500 SF (ENCLOSED FLOORSPACE) 1 PER 4,500 SF (OPEN DISPLAY AREA) ADDITIONAL SPACES FOR SERVICE: 2 PER BAY + 1 PER EMPLOYEE PARKING REQUIRED: LOADING: 15'x35' TOTAL GFA 3 SPACES CHEVY SHOWROOM: 12,931 $@$ 1:500 = 26 (+) 1:4500 DISPLAY = 6 SERVICE: 16 BAY'S $@$ 3/BAY = 48 VOLVO: SHOWROOM 12,400 $@$ 1:500 = 25 (+) 1:4500 DISPLAY = 2 SERVICE: 9 BAY'S $@$ 3/BAY = 51 TOTAL REQUIRED: 185 PARKING PROVIDED: CHEVY STORAGE: 51 (INCLUDES 3 ACCESSIBLE) CHEVY STORAGE: 213 EMPLOYEE: 75 BODY SHOP 68 VOLVO CUSTOMER: 25 (INCLUDES 2 ACCESSIBLE) VOLVO CUSTOMER: 25 (INCLUDES 2 ACCESSIBLE)	FERMAN VOLVO TARPON SPRINGS ISLAND CENTER CORP. INC. 1306 W. KENNEDY BLVD. TAMPA, FLORIDA 33606
4 <sup>3</sup>	VOLVO SERVICE: 15 TOTAL PROVIDED: 682 ADA ACCESSIBLE PATH	igned and lie, PE on and the any F.E. CIVIL ENCINEERING, 133510 (813)643-9907 00008909 Street Brandon, FL 33510 (813)643-9907

t'55" ₩ 2' (F) CM 4"x4" S# 1303

> This item has been digitally signed and sealed by Christopher E. Weddle, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. CHRISTOPHER E. WEDDLE, P.E. CHRISTOPHER E. WEDDLE, P.E. CHRISTOPHER E. WEDDLE, P.E. CHRISTOPHER E. WEDDLE, P.E.


POOF	1 84	۵c
.001).	6.55	Ac
DHW 14.4:	0.77	Ac
@ TOB:	0.10	Ac
	1.73	Ac
	10.99	Ac

# MASTER DRAINAGE PLAN

ЕD	2021	VOLVO	SHE	MOI
S ( T: ) @ <u> </u> ON  <u>  </u> PA(	ROOF) DHW D@T CE:	: 14.4: OB:	1.86 6.76 0.77 0.10 <u>1.50</u> 10.99	Ac Ac Ac Ac <u>Ac</u> Ac



	GINEERING, NGHALKWIGH 2-22-200 Officients Approved Big Jack Jack Big Ja				5         -         -         -           6         -         -         -         -           6         -         -         -         -           7         -         -         -         -           7         -         -         -         -           0.         BY         DATE         DESCRIPTION           ABE         MARN BY:          2-22-202           4D BY:           2-22-202           4D BY:	
FERMAN VOLVO TARPON SPRINGS MASTER DRAINAGE PLAN ISLAND CENTER CORP. INC. ISLAND CENTER CORP. IN	FERMAN VOLVO TARPON SPRINGS MASTER DRAINAGE PLAN ISLAN CENTR CORP. NO.	FERMAN VOLVO TARPON SPRINGS MASTER DRAINAGE PLAN			1	
FERMAN VOLVO TARPON SPRINGS       MASTER DRAINAGE PLAN       MASTER DRAINAGE PLAN         Island Confer Corp. Inc.       Island Confer Corp. Inc.       Island Confer Corp. Inc.         Island Confer Corp. Inc.       Island Confer Corp. Inc.       Island Confer Corp. Inc.       Island Confer Corp. Inc.	FERMAN VOLVO TARPON SPRINGS MASTER DRAINAGE PLAN ISLAN CAPE OR INC.	FERMAN VOLVO TARPON SPRINGS MASTER DRAINAGE PLAN FERMAN VOLVO TARPON SPRINGS	FERMAN VOLVO TARPON SPRINGS		1	





GENERAL GEOMETRY NOTES:

- 1. DIMENSIONS AND RADII IN PAVEMENT AREAS WITHOUT CURBING ARE SHOWN TO THE EDGE OF PAVEMENT. DIMENSIONS AND RADII IN PAVEMENT AREAS WITH CURBING ARE SHOWN TO THE FACE OF CURB. FACE OF CURB OR EDGE OF PAVEMENT RADII ARE 3' UNLESS NOTED OTHERWISE.
- 2. STORMWATER POND DIMENSIONS ARE SHOWN TO THE INSIDE TOP OF BANK.
- 3. STORMWATER STRUCTURE AND PIPE DIMENSIONS ARE CALCULATED AND SHOWN TO THE C/L OF STRUCTURES. MITERED END SECTION LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD ADJUST PIPE LENGTHS IF NEEDED TO ENSURE THE MITERED ENDS FIT THE SIDE SLOPES. PIPE LENGTHS SHOWN DO NOT INCLUDE THE LENGTH OF THE MITERED END SECTION.
- 4. ALL DISTURBED AREAS WITHIN ANY RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- 5. ANY MATERIALS REMOVED FROM THE SITE DURING CONSTRUCTION SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE OWNER.
- 6. BUILDING DIMENSIONS AND TIES SHOWN ARE TO THE FACE OF BUILDING BASED ON THE INFORMATION PROVIDED BY THE ARCHITECT. COORDINATE AND VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- 7. DUMPSTER ENCLOSURES SHALL BE 6' HIGH AND CONSTRUCTED OF THE SAME MATERIAL AS BUILDING FRONTS WITH SOLID GATES THAT CAN BE LOCKED OPEN.
- 8. ALL SIGNS AND PAVEMENT MARKING TO CONFORM TO MUTCD LATEST EDITION.
- 9. ALL STRIPING AND PAVEMENT MARKING TO BE PAINT.
- 10. SIDEWALK CURB RAMPS TO BE IN ACCORDANCE WITH CR21 FDOT INDEX 304 WITH RED TRUNCATED DOMES (TYPICAL)

EROSION CONTROL: SILT FENCE TO BE INSTALL ALONG THE ENTIRE PROPERTY BOUNDARY AND SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION.



- EXISTING FENCE - EXISTING GRADE



C-6







LEVATION

IRAFI 140N OR EQUAL RAP DETAIL





SUNSHINE STATE ONE CALL OF FLORIDA, INC. ----



ciple Post Position nted 20° Toward Flow)

r Fabric



R FDOT STDS.

LEGEND	
	STORM PIPE
SAN	SANITARY LINE
W	WATER MAIN
————F ————	FIRE LINE
OHE	POWER LINE
	SETBACK LINE
SILT	EROSION CONTROL
	TREE BARRICADE
	STORM INLET
	MITERED END SECTION



STORMWATER POLLUTION PREVENTION NOTES:

1. This plan shall be available on-site at all times during the sitework construction.

- 2. The "Limits of Disturbance" line shown on this plan indicates the point beyond which the existing vegetation should be impacted.
- 3. Stormwater Pollution Prevention measures shown herein are the minimum required. Contractor shall be fully responsible for erecting and maintaining an erosion and sediment control system to meet Hillsborough County, South West Florida water Management District, and FDEP NPDES requirements.
- 4. Each area of the site shall not be disturbed until it is necessary for construction to proceed. Disturbed areas shall be covered or stabilized as soon as possible.
- 5. Erosion and sediment control measures shall be maintained until the area they protect has been sodded, pavement has been placed, or the area is otherwise completely stabilized.
- 6. All disturbed areas of the site shall be inspected by qualified personnel of the responsible contractor every seven calendar days and within 24 hours after every rainfall event of 0.25 inches or more to assess the integrity of the erosion and sediment controls. The inspector shall note any damage or deficiencies in the control measures in an inspection report. Problem areas shall be corrected by the responsible contractor within seven calendar days following the inspection.
- 7. The contractor shall keep a record of construction activities including dates when major grading activities occur in a particular area, date when construction activities cease in an area, whether temporary or permanently, and dates when as area is stabilized.
- 8. If a change in construction schedule occurs or this plan proves, through regular inspections, to be lacking, Aurora Civil Engineering, Inc. Shall be notified so that plan modifications can be made.
- 9. No excavated material shall be stockpiled in such a manner as to allow rainfall runoff directly from the project site.
- 10. Inlets and catch basins shall be protected from sediment-laden stormwater runoff until the completion of all construction operations that may contribute sediment to the inlet.11. If, after fourteen days, grassed areas have not attained a minimum of 75% good grass
- cover, those areas shall be reworked, and additional seed or sod applied to establish the desired vegetative cover. 12. For wet stormwater ponds, the pond slopes shall be solid sodded to the normal control
- elevation. 13. All exposed areas within public rights—of—way shall be solid sodded. Other non—pond areas
- with slopes steeper than 4:1 shall be sodded and staked as necessary. 14. Turf reinforcement mats shall be installed where stormwater pipes outfall at grade or in
- spreader swales. 15. If construction occurs along a water body, turbidity barrier shall be installed in accordance with FDOT Index 103.
- 16. A Notice of Termination for the NPDES Construction General Permit shall be submitted to the FDEP NPDES Stormwater Notices Center within 14 days of the date when all areas of the site not otherwise covered by a permanent pavement or structure have been stabilized with a uniform perennial vegetative cover with a density of 70% or greater.

### DESIGN CRITERIA:

- 1. A stabilized construction entrance (SCE) is appropriate in the following locations:
  - A. Whenever vehicles are leaving a construction site and enter onto a public road.
     B. At any unpaved entrance/exit location where there is a risk of transporting mud or sediment onto paved road.
- 2. The width should be at least 10 feet to 12 feet or as wide as the entire width of access. At sites where traffic volume is high, the entrance should be wide enough for two vehicles to pass safely.
- 3. Runoff from a stabilized construction entrance should drain to a sediment trap or sediment basin.
- 4. Prior to placing geotextile (filter fabric) make sure that the entrance is properly grades and compacted.
- 5. Inspect the stabilized construction entrance on a regular basis and after there has been a high volume of traffic or storm event. Apply additional stone periodically and when repair is required.
- 6. Immediately remove sediments or any other materials tracked onto the public roadway.

DUST CONTROL:

- Contractor shall take measures to ensure dust control during construction. All measures shall meet FDEP regulations.
- Truck watering of unstabilized areas may be necessary during dry periods. Contractor shall plan for equipment to be at the site as required.
   Upon completion of final grading, sod shall be provided as soon as possible to minimize wind erosion and dust pollution.





REE PROTECTION DETAIL TREES TO REMAIN WITHIN THE PROTECTION AREA SHALL BE AS PER THE DETAIL. BARRICADES SHALL BE ERECTED BEFORE EGINS AND SHALL REMAIN FOR THE ENTIRE DURATION OF THE WORK.

### Y AND BRANCH PRUNING NOTES

\_L STRUCTURAL AND ELEVATION PRUNING MUST BE PERFORMED PRIOR TO LAND ED CERTIFIED ARBORIST ACCORDING TO ANSI 300 PRUNING STANDARDS.

ON SITE MUST BE PRUNED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL \_TURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF 3 (ASCA). PRIOR TO THE PRUNING OF OAKS A NOTARIZED AFFIDAVIT AFFIRMING AN 3T OR AN ASCA REGISTERED CONSULTING ARBORIST WILL CONDUCT OR PROVIDE - THE PRUNING SHALL BE SUBMITTED TO THE COUNTY. AN ISA CERTIFIED ARBORIST OR CONSULTING ARBORIST CONTRACTED BY A PROPERTY OWNER TO PRUNE A GRAND \_L RESPONSIBILITY FOR ALL PRUNING ACTIVITIES DETERMINED IN NONCOMPLIANCE WITH WITHIN THE LAND DEVELOPMENT CODE.

ORE GRADING, PAD PREPARATION, OR EXCAVATION FOR PARKING AREA CURBS, JAYS, THE ROOTS OF IMPACTED TREES MUST BE PRUNED WITH APPROVED EQUIPMENT BARRIERS. ALL ROOT PRUNING SHALL BE CONDUCTED BY A LICENSED CERTIFIED EQUIRE THE CITY'S ARBORIST TO BE PRESENT DURING THIS PROCEDURE.

OUTLINING THE REQUIRED ROOT PRUNING PROCEDURES SHALL BE PREPARED BY A ONSULTING ARBORIST, TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT

IS ARE TO BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY. ROOTS SHALL BE = 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS HE EXISTING GRADE.

ATMENTS, SUCH AS THE APPLICATION OF FUNGICIDES INTO THE PRUNING TRENCH, WILL E THE LEAST AMOUNT OF DAMAGE TO PRUNED ROOTS.

OF ROOT PRUNING, ALL BARRIERS ARE TO BE REINSTALLED, AND THE AREA INSIDE CEIVE CORE AERATION.

UST BE SUPPLIED TO ROOT PRUNED TREES TO AIDE IN ROOT REGENERATION AND

# <u>> PEST PLANT REMOVAL NOTES</u>

EXOTIC SPECIES SUCH AS BRAZILIAN PEPPER, CHINESE TALLOW, AND IUST BE REMOVED FROM THE SITE. EXOTIC TREES AND SHRUBS SHALL WITH FINISH GRADE. RESULTING STUMPS SHALL BE REMOVED FROM REATED WITH AN APPROVED HERBICIDE. CONTRACTOR SHALL TREAT TH GARLON 3A, TROOPER, OR RODEO HERBICIDE TO THE CAMBIUM 2 MANUFACTURER'S INSTRUCTIONS, AT THE RECOMMENDED STRENGTH E-GROWTH. APPLY HERBICIDE IMMEDIATELY AFTER TRUNKS ARE CUT AP FROM SEALING WOUNDS. REMOVE ALL WASTE MATERIALS THIS WORK FROM THE SITE AND DISPOSE OF THEM IN A LEGAL

### REPLACEMENT REQUIREMENT

TREES TO BE REMOVED ARE AS FOLLOWS 2 @ 12" + 2 @ 13" + 14" = 64" OAKS REMOVED 18" + 20" = 38" OAKS REMOVED

12 PINES @ 3" = 36" REPLACEMENTS 38" - 36" = 2" + 64" = 66" X \$50.00 = \$3,300.00 PAYMENT FOR REMOVAL OF TREES

# SYMBOL LEGEND



EXISTING TREE TO BE REMOVED

TREE PROTECTION BARRICADE



ROOT PRUNING LIMITS



ORANGE CONSTRUCTION SAFETY FENCE - STEEL T-POSTS OR <u>U-</u>CHANNEL POSTS





### IT MATERIAL LIST

COMMON NAME	SPECIFICATIONS	SPACING
LASH PINE	12' HT X 5' SPD, 3" CALIPER	AS SHOWN
REE-FORM LIGUSTRUM	6' HT X 3' SPD, MIN. 3 STEMS @ I/2" CALIPER	AS SHOWN
AVENDER CRAPE MYRTLE	6' HT X 3' SPD, MIN. 3 STEMS @ 1/2" CALIPER	AS SHOWN
ANDANKWA VIBURNUM	18" HT X 18" SPD, 3 GALLON	30" OC
ODOCARPUS	18" HT X 18" SPD, 3 GALLON	30" OC
WARF SCHILLINGS HOLLY	15" HT X 15" SPD, 3 GALLON	30" OC
'ARSONI JUNIPER	6" HT X 15" SPD, 3 GALLON	30" OC
OONTIE	15" HT X 15" SPD, 3 GALLON	30" 00

### DE REQUIREMENTS

JULAR USE AREA F PER 5 PARKNG SPACES PACES / 5 = 15 X 100 = 1,500 SF E PER ISLAND 12 / I = 12 TREES

· PARKING PERIMETER EHEAD POWER LINES) 30= 6 UNDERSTORY TREES

"H PARKNG PERIMETER  $\overline{30} = 10 \text{ CANOPY TREES}$ O EXISTING TREES = O TREES

ISTED GROSS REQUIREMENTS 3 + 0 = 18 TREES REQUIRED 'EES PROVIDED

### LANDSCAPE INSTALLATION NOTES

L PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN, GRADES AND STANDARDS FOR ERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND SUMER SERVICES.

OCATION OF PLANTS ON THE PLAN ARE DIAGRAMMATIC- SEE THE LANDSCAPE ARCHITECT FOR STIONS ON EXACT LOCATIONS. THE PLANT MATERIALS LIST IS PROVIDED FOR THE CONVENIENCE OF THE DISCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN, PLAN SHALL PREVAIL.

IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.

HE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF 3H, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE ALLATION.

\_L PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN DRESSED WITH 3" DEEP PINE BARK NUGGET MULCH. ALL NEW TREES SHALL BE STAKED.

EW SOD SHALL BE ARGENTINE BAHIA SOD ± 15,500 S.F. IN THE LOCATIONS SHOWN ON THE PLAN. TRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS SHALL BE MAINTAINED BY CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.

2EES SHRUBS, AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE: PLANT SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL ORE BACKFILLING PIT.

2EE INSTALLATION: ALL REQUIRED TREES SHALL BE INSTALLED I" - 2" ABOVE FINISH GRADE. TREES ALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE LETS ON ALL B & B STOCK.



### REPLACEMENT TREES

TREES TO BE REMOVED ARE AS FOLLOWS 2 @ 12" + 2 @ 13" + 14" = 64" OAKS REMOVED 18" + 20" = 38" OAKS REMOVED

12 PINES @ 3" = 36" REPLACEMENTS 38" - 36" = 2" + 64" = 66" X \$50.00 = \$3,300.00 PAYMENT FOR REMOVAL OF TREES

STMBOL	LEGEND

ARGENTINE LANDSCAPE |O|QUANTITY QV / SPECIES



REMOVE DEAD AND INJURED TWIGS, TRIM NO LEADERS,

RETAIN NATURAL SHAPE - WHITE SURVEYOR'S TAGGING

- TAPE, 6" LENGTH - 3 - 2" X 2" STAKES DRIVEN INTO GROUND AT AN ANGLE, THEN TIGHTENED TO VERTICAL POSITION, &' MINIMUM LENGTH, STAKES AT 120° ANGLE
- ARBOR TIE CONNECTIONS
- ROOT FLARE SHALL BE INSTALLED I" 2" ABOVE FINISH GRADE - 3" MINIMUM MULCH LAYER, INSTALL MULCH 6" AWAY FROM TRUNK
- FINISH GRADE
- AERATE EXISTING SOIL BACKFILL

- EXISTING SUBGRADE

SHADE TREE STAKING AND PLANTING DETAIL





# ATION MATERIAL LIST

	MODEL NUMBER
2	1806-17A, 6" POP-UP SPRAY
I	1806-15A, 6" POP-UP SPRAY
;	1806-10A, 6" POP-UP SPRAY
2	1806-1555T-4X30, SIDE STRIP, 6" POP-UP 5
	1806-15EST-4X15, END STRIP, 6" POP-UP SP
2	1404, I.O GPM PRESSURE COMPENSATING B
	1401, .25 GPM PRESSURE COMPENSATING BI
2 LF	XFP-09-12-250, ON-SURFACE DRIPLINE
;	150-PEB-PRS-D, I.5" ELECTRICAL VAL
	XCZ-150-PRB-COM, 1.5" CONTROL ZONE
	100-PEB-PRS-D, I" ELECTRICAL VALVE
5 LF	2" PVC, SCHEDULE 40 MAIN LINE
	ESP-8LXME, 8 STATION CONTROLLER
	RAIN CHECK, AUTOMATIC RAIN SHUTOFF

### ION INSTALLATION NOTES

WINGS ARE NOT GUARANTEED AS TO ACCURACY AND ARE SHOWN FOR THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO SATISFY HE QUANTITIES.

ES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS; I.E., IN BUILDINGS, E PROPERTY LINES. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER **D IN SOIL AREAS.** 

CORDANCE WITH ALL APPLICABLE CODES.

ATIONS WHERE AN INCREASE IN SIZE OCCURS. CONTINUE PIPE SIZE UNTIL SIZE - BE INSTALLED ALONG WALKS, CURBS OR WALLS, THEY SHALL NOT BE ERS. CONTRACTOR SHALL REVIEW LANDSCAPE PLANS TO DETERMINE TREE JD LATERALS SHALL BE SCH 40 PVC.

EADS SHALL BE INSTALLED ON 18" LONG FLEX PIPE CONNECTIONS. ALL RAINBIRD, UNLESS OTHERWISE STATED ON THE PLAN.

2IGATION SYSTEM. IRRIGATION SYSTEM REQUIRES 40 GPM AT 40 PSI. ALVES TO THE EXISTING CONTROLLER SHALL BE TYPE UF, 16 AWG WIRE, WITH BE COLOR CODED, AND COMMON WIRE SHALL BE WHITE. VALVE BOXES : WITH GREEN LIDS. PLACE 3" GRAVEL INSIDE VALVE BOXES.

O AN NEW CONTROLLER. AFTER 30 DAY PLANT MATERIAL ESTABLISHMENT AS PER LOCAL WATER RESTRICTIONS. AFTER IRRIGATION SYSTEM STOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING SHOWING LVES AND PIPE.

1ATICALLY ROUTED FOR CLARITY. DESIGN MODIFICATIONS SHALL BE MADE 'ING SCHEMATIC IS DESIGNED TO MINIMIZE TRENCHING. WHENEVER POSSIBLE SAME TRENCH.

AVED SURFACES CROSS IRRIGATION LINES, ALL PIPING UNDER SAID EEVES SHALL BE SCH 40 PVC, MINIMUM 2" DIAMETER OR AS SPECIFIED ON JUST BE CUT TO INSTALL IRRIGATION PIPE, SAW CUT SIX INCHES WIDER THAN NITH AN EQUIVALENT MATERIAL TO MATCH EXISTING.

.IMUM COVER OVER SLEEVES, 18" MINIMUM COVER OVER TOP OF MAIN LINE JM COVER OVER ANY OTHER INSTALLED IRRIGATION PIPING.











#### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

#### PROJECT NAME: 21-33 - MARC ANTONIO - MINOR SITE PLAN - 428 N PINELLAS AVE

#### DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Minor Site Plan       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Number of Approval (Historic District)       Conceptual Planned Development         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other			
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):			
☐ PLANNING & ZONING BOARD (P&Z) ☐ HERITAGE PRESERVATION BOARD (HPB) ☐ BOARD OF ADJUSTMENT (BOA) ☐ BOARD OF COMMISSIONERS (BOC) ☑ TRC ONLY			
REVIEW COMMENTS: REVIEWER DEPARTMENT:			
REVIEWER			

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

(Please type or print clearly) Property Owner(s)							
Name	Name			Email			
Marc Antonio	arc Antonio		marc_antonio@rocketmail.com		io@rocketmail.com		
Address 1428 Castleworks lane							
City Tarpon Springs			Stat FL	e Zip 34689		Zip 34689	
Phone		Fax				Cellula	ar
727.793.4502						727.79	93.4502
Applicant							
Name Marc Antonio					Emai marc	l _anton	io@rocketmail.com
Address 1428 Castleworks Lane							
City Tarpon Springs			Stat FL	e			Zip 34689
Phone		Fax				Cellula	ar
727.793.4502						727.79	93.4502
Agent (if applicable)					-		
Name Harry McNeil Builders					Emai		
Address							
2587 Estancia Blvd							
City			Stat	е			Zip
Clearwater		-	FL				33761
Phone	Fax					Cellula	ar
General Information							
Project Name							
Proportiul existing or Address							
1428 N Pinellas Ave Tarpor	n Springs	FL 34689					
Legal Description (attach addi	tional shee	ets as necessary	/)				
Tax Parcel Number(s)	102						
12-27-15-66573-000-0010							
Existing Land Use & Zo	oning Inf	ormation					
Present Designa	tions of P	roperty			С	urrent L	Jse of Property
Land Use Category	Zoning D	District					4
Mixed use	use T5D					Va	acant
Site Acreage:							
Upland	Wetland			Submerged			TOTAL
Flood Information: [please	e check a	ll that apply]					
Zone X	Zone X Zone X Shaded		I	Zone	AE		Zone VE
Base Flood Elevation (BF	E): [pleas	e list all elevat	tions]	10			

#### Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	GPD	GPD	GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis /	Review by Engineeri	ng Division
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day TPD = trips per day

The following MUST be furnished with this application: [incomplete applications will not be accepted]

Completed original application with digital copies of all application documents

- Application fee (based on site acreage)
  - □ 0 5 acres; \$ 500.00
  - □ 5.01 10 acres; \$ 750.00
  - □ 10.01 15 acres; \$1,000.00
  - □ 15.01 20 acres; \$1,500.00
  - **D** 20.01 acres or more; \$2,000.00
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Endangered/Threatened Species Study, if required by Section 144.00, LDC
- Aknowledge compliance with the City's Public Art Ordinance (see criteria below)
- Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)
- Five (5) complete sets of plans including <u>all</u> the following items.
  - A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
  - B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
    - 1. All required information shall be submitted on standard sheets (24" × 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
    - 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
    - 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
    - 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

- 5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
- 6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
- 7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
- 8. Existing contours and proposed grades at one foot intervals.
- 9. Flood zone and required first floor elevation(s).
- 10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
- 11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
- 12. Lot dimensions including curve data.
- 13. Proposed setback dimensions.
- 14. Gross floor area by type for non-residential uses.
- 15. Gross density for residential uses and number and types of units.
- 16. The proposed architectural elevations and floor plans with accurate dimensions.
- 17. Proposed private and public streets with right-of-way dimensions.
- 18. Proposed phasing plan by anticipated commencement and completion date.
- 19. Dumpster location and screening.
- 20. Required parking calculations (parking provided and required).
- 21. Size and location of required loading zones.
- 22. Required (proposed) sidewalks and internal walkways.
- 23. Driveways and access improvements.
- 24. Location and type of site lighting including pole height and fixture type.
- 25. Description of the maintenance of common facilities for residential projects.
- 26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

- 1. Projects with an aggregate job value under \$1,000,000.00.
- 2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

a. The application is approved within six months of the date of application.

b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

#### APPLICANT'S AKNOWLEDGEMENT:

#### Type of Public Art Activity [please initial only one]

MA This project is exempt from the Public Art Program requirements.

Please state exemption:

\_\_\_\_\_ I will contract with a professional artist to create a permanent, public artwork as part of the development.

In lieu of an on-site project, I will contribute .75 percent of the aggregate job value\* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

\*Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

- (A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.
- (B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.
- (C) Design Requirements for all non-residential site plans.
  - 1. Parking

a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.

b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.

d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.

e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.

2. Sidewalks and private frontages (the area between the building and right- of-way)

a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.

3. Landscaping

a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.

4. Elevation of buildings

a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.

5. Pedestrian promenades on waterfront lots

a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.

6. All site plans and building plans shall adhere to the additional building design requirements set out below;

a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.

b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.

c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.

d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.

e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.

g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.

h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.

i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.

j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.

k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.

b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.

c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.

d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.

e. Multiple connections shall be required between the structure and the public right-of-way.

f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

#### (D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

### AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that HArry McNeil Builders \_\_\_\_ is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: 12mar2021		Title Holder/Property Owner:	Marc Antonio
		Title Holder/Property Owner:	
Date:		Title Holder/Property Owner:	
Date:		Title Holder/Property Owner:	
STATE OF FLORIDA	)		
COUNTY OF PINELLAS	)		

The foregoing instrument was acknowle	ged before me this day of March , A.D., 20 2-1
by MARC HATONIO PROPERTY OWNER NAME PRIN	, who is personally known to me or who has produced
a	dentification and who did (did not) take an oath.

- cha

Name: Signature: Stamp:



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### **ELEVATION CERTIFICATE**

Important: Follow the instructions on pages 1-9,

***************************************	SEC	TION A - PROPERT	Y INFORMATION		FOR INSURANC	CE COMPANY US
A1. Building Owr Marc Antonio	her's Name				Policy Number:	
A2. Building Stre Box No. 428 AND 430 Nor	et Address (ind th Pinellas Ave	cluding Apt., Unit, Sui enue	te, and/or Bldg. No.) or	P.O. Route and	Company NAIC I	Number:
City Tomon Covin			State		ZIP Code	
	ys		Florida		34689	
12-27-15-66573-(	000-0010	nd Block Numbers, Tr	ax Parcel Number, Leg	al Description, etc.)		
A4 Building Use	(e.g., Residen	tial, Non-Residential,	Addition, Accessory, e	tc.) Residential		
A5. Latitude/Long	gitude: Lat. 28	3º15'05.33"N	Long, 82°75'65.42"W	Horizontal Datum	n: 🗍 NAD 1927	X NAD 1983
A6. Attach at leas	st 2 photograpi	hs of the building if th	e Cortificate is being us	sed to obtain flood insura	ance.	
A7. Building Diag	ram Number	la				
A8. For a building	with a crawls	pace or enclosure(s);				
a) Square fo	otage of crawls	space or enclosure(s)	0 st	a ft		
b) Number of	f permanent flo	od openings in the cr	awispace or enclosure	(s) within 1.0 for show	Indianant avera	0
c) Total net a	rea of flood op	penings in A8.b	0 sn in	(a) within 1.0 loot above	aulaceur Grade	U
d) Engineere	d flood openin					
			10			
A9. For a building	with an attach	an arana.				
		iou galage.				
a) Square for	otage of attach	ed garage0	sq ft			
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				OMB No. 1660-0008 Expiration Date: No.	3 vember 30, 2018
MPORTANT: In these spaces, copy the corres	ponding information	on from Section A.	ľ	FOR INSURANCE	COMPANY USF
Building Street Address (including Apt., Unit, Suit 428 AND 430 North Pinellas Avenue	te, and/or Bldg. No.)	or P.O. Route and Bo	ox No.	Policy Number:	
City	State	ZIP Code		Company NAIC Nu	mber
Tarpon Springs	Florida	34689			
SECTION E – BUILDIN FOR	IG ELEVATION IN ZONE AO AND ZO	FORMATION (SURV	'EY NOT FE)	REQUIRED)	
For Zones AO and A (without BFE), complete Iter complete Sections A, B,and C. For Items E1–E4, enter meters.	ms E1–E5. If the Ce use natural grade, i	rtificate is intended to favailable. Check the	support a measurer	LOMA or LOMR-F rennent used. In Puerto	equest, Rico only,
<ul> <li>E1. Provide elevation information for the followin the highest adjacent grade (HAG) and the lo</li> <li>a) Top of bottom floor (including basement, crawlspace, or enclosure) is</li> </ul>	ig and check the app west adjacent grade	ropriate boxes to sho (LAG).	w whether	the elevation is abo	ve or below
<ul> <li>b) Top of bottom-floor-(including basement, crawlspace, or enclosure) is</li> </ul>	,			above or	below the HAG.
E2. Eas Building Diagonate 8. Out 19		teet	] meters	above or	below the LAG.
the next higher floor (elevation C2.b in the diagrams) of the building is	lood openings provid	ted in Section A Items	8 and/or	9 (see pages 1-2 of	Instructions),
E3 Attached earage (ten of alab) in			] meters	s above or	below the HAG.
E4. Top of platform of machinery and/or equipme	ent	feet	meters	above or	below the HAG.
servicing the building is	, , , , , , , , , , , , , , , , , , ,	[] feet	meters	above or	below the HAG.
E5 Zoop AO ophy If an Breef doubt number of	vailable, is the top of	the bottom floor eleva	ated in acc	ordance with the cor	mmunity's
floodplain management ordinance?	s []No []Unk	nown. The local offic	cial must c	ertify this information	n in Section G.
floodplain management ordinance? [] Ye. SECTION F - PROPERTY	IS [] NO [] Unk	nown. The local offic	TIVE) CE	ertify this information	1 In Section G.
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FEMA Form 086-0-33 (7/15)

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Replaces all previous editions.

Form Page 3 of 6

		-		Lynatio	i wate. i	November 30, 20
Building Street Address (including Apt	the corresponding information	a from Section	on A.	FOR INS	URAN	E COMPANY U
128 AND 430 North Pinellas Avenue	, One, Sulle, and/or Blug, No.) o	r P.O. Route	and Box No.	Policy N	umber:	
Dity Farnon Rosiana	State	ZIP Co	ode	Compan	y NAIC	Number
	Florida	34689				
SECTION	C - BUILDING ELEVATION IN	NFORMATIC	N (SURVEY I	REQUIRED	)	
C1. Building elevations are based or	1: Construction Drawings*	🗌 Buildir	ng Under Const	ruction* (	X] Finis	hed Construction
CD Elevations Zanas A4 A22 AE	be required when construction o	it the building	is complete.			
C2. Elevations – Zones A1–A30, AE Complete Items C2.a–h below a	, AH, A (with BFE), VE, V1-V30 coording to the building diagram	V (with BFE) specified in 1	), AR, AR/A, Al Item A7. In Pue	R/AE, AR/A	1A30, . v. onter	AR/AH, AR/AO.
Benchmark Utilized: FDOT Netw	vork Verti	cal Datum: N	AVD 1988	100 1100 011	y. 01.101	inotora.
Indicate elevation datum used fo	or the elevations in items a) throu	ugh h) below.			*******	
🗌 NGVD 1929 🔀 NAV	D 1988 D Other/Source:					
Datum used for building elevatio	ns must be the same as that use	ed for the BFE		Oters		
a) Top of bottom floor (including	basement, crawlspace, or enclo	osure floor)	10 84	Gnec	Kineine ZI foot	asurement used
b) Top of the next higher floor			20 61	E	Al foot	
c) Bottom of the lowest horizont	al structural member (V Zones c		n/a	(: 	ieet Sieet	
d) Attached garage (top of slab)		///y/		[j	KI TGEL	meters
e) Lowest elevation of machine	' N or equipment servicing the bu	ildina	10 51	L	n neer	
(Describe type of equipment	and location in Comments)	nong		[	K] teet	[_] meters
<li>f) Lowest adjacent (finished) gr</li>	ade next to building (LAG)		<u>8, 4</u>		<] feet	meters
<li>g) Highest adjacent (finished) gi</li>	rade next to building (HAG)		<u> </u>		k] feet	meters
<ul> <li>h) Lowest adjacent grade at low structural support</li> </ul>	est elevation of deck or stairs, in	ncluding _	<u>n/a</u> ,		<li>♂ feet</li>	meters
SECTION	D - SURVEYOR, ENGINEER	R OR ARCH	ITECT CERTI	FICATION		
This certification is to be signed and s I certify that the information on this C statement may be punishable by fine	sealed by a land surveyor, engin ertificate represents my best effo or imprisonment under 18 U.S.	eer, or archite orts to interpre Code, Sectio	ect authorized I of the data avai n 1001.	by law to ce lable. Lund	rtify elev arstand	etion information
Were latitude and longitude in Sectio	n A provided by a licensed land	surveyor?	□Yes ⊠No	КС	eck her	e if attachments.
Certifier's Name	License N	umber		<u> </u>	469- <b>0</b>	
Patrick K. Ireland	6637				*******	
Title Professional Land Suprover						K IRA
	***	·····			optier	TIFICAT
LakeRidge Surveying and Mapping, I	LLC				2 N	Ю 8697 - <sup>6</sup>
Address	······································				s S	TATE OF
1399 Legendary Boulevard					A. A.	(0810 <sup>P</sup>
	State	7	7IP Code		"C CAN	D SURVERO
City	0.000					
City Clermont	Florida	3	34711			
	Florida Date 2.1	m-10 (	34711 Felephone 407) 385-3151			
City Clermont Signature Copy all pages of this Elevation Certific	Florida Date 2-7 cate and all attachments for (1) co	2-(8 mmunity offic	14711 Felephone 407) 385-3151 ial. (2) insurance	agent/com	bany ar	d (3) building own
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#### RE: Request to Install Hidden Driveway Warning Sign

- From. Dunn, Kevin (kevin.dunn@dot.state.fl.us)
- Te: marc\_antonio@rocketmail.com
- $\label{eq:constraint} Cc: \qquad stephanie.galvan@dot.state.fl.us; genelle.schnedl@dot.state.fl.us \\$
- Date. Friday, February 7, 2020, 12:18 PM EST

#### Mr. Antonio,

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As per our discussion, the installation of a Hidden Driveway warning sign would not be warranted based on department criteria. However, as a suggestion, better observe pedestrian traffic on the sidewalk and traffic on the northbound roadway.

Sincerely,

#### Kevin L. Dunn

District Seven Traffic Operations Traffic Services & Signing/Pavement Marking Manager 813-975-6631





From: Schnedl, Genelle <Genelle.Schnedl@dot.state.fl.us> Sent: Friday, February 7, 2020 11:58 AM To: Dunn, Kevin <Kevin.Dunn@dot.state.fl.us> Cc: Galvan, Stephanie <Stephanie.Galvan@dot.state.fl.us> Subject: FW: Phone Message

Kevin, pls. see the telephone message below, and pls. call Mr. Antonio.

Stephanie -- thank you for forwarding this message.

#### Genelle Schnedl

Florida Department of Transportation District 7 Traffic Operations M.S. 7-1300 Phone: 813-975-4216 Email: <u>genetile\_schnedi@dot.state.fl.us</u>



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From: Galvan, Stephanie <<u>Stephanie Galvan@dot state II us</u>> Sent: Friday, February 7, 2020 11:28 AM To: Schnedl, Genelle <<u>Genelle Schnedl@dot state II us</u>> Subject: Phone Message

Good Morning Genelle - Mr. Mark Antonio (727-793-4502) called this morning regarding a possible hidden driveway sign for his home located @ 428 N Pinellas Ave in Tarpon Springs (Alt US

Thank you and have a great weekend!

Stephanie Galvan Senior Clerk District Construction 813-975-6016



SKETCH OF SURVEY	Lego	d Description:	
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#### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

### PROJECT NAME: 21-34 - LIVE EDGE SLABS - REZONING AND LUA - 526 E LEMON STREET

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Image:       Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Image:       Certificate of Approval (Historic District)       Conceptual Planned Development       Subdivision Plat       Variance         Image:       Preliminary Planned Development       Final Planned Development       Annexation         Image:       Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Image:       Planned Development Modification       License to Encroach       Sidewalk Café         Image:       Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         Image:       CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Image:       Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Image:       Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other				
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):				
<ul> <li>➢ PLANNING &amp; ZONING BOARD (P&amp;Z) ☐ HERITAGE PRESERVATION BOARD (HPB)</li> <li>☐ BOARD OF ADJUSTMENT (BOA)  ☐ BOARD OF COMMISSIONERS (BOC)</li> <li>☐ TRC ONLY</li> </ul>				
REVIEW COMMENTS: REVIEWER DEPARTMENT:				
APPROVE DENY DEFER SEE BELOW NO COMMENTSINITIALS				
ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC				

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

#### CITY OF TARPON SPRINGS, FLORIDA Conventional Rezoning and/or Comprehensive Plan Amendment Application

(Please type or print clearly) Property Owner(s)					
Name LIVE EDGE SLA	BS HOLDINGS	LLC	<sup>Email</sup> bkent0711	@aol.com	
Address 526 E. LEM	ION ST				
City TARPON SPF	RINGS	State FL	<sup>zip</sup> 3468	9	
Phone 727-409-5005 Fax Cellular 727-409-5005					
Applicant	· · · · · · · · · · · · · · · · · · ·				
Name LIVE EDGE SLA	BS HOLDINGS	LLC	<sup>Email</sup> bkent0711	@aol.com	
Address 526 E. LEM	ION ST	<b>.</b>			
City TARPON SPE	RINGS	State FL	<sup>Zip</sup> 3468	9	
Phone 727-409-500	)5 <sup>Fax</sup>		<sup>Cellular</sup> 727-4(	)9-5005	
Agent (if applicable)	······································				
BRADLEY D	. KENT	<u>,</u>	bkent0711	@aol.com	
Address 526 E. LEN	ION ST				
City TARPON SPE	RINGS	State FL	<sup>zip</sup> 3468	9	
Phone 727-409-500	)5		<sup>Cellular</sup> 727-4(	)9-5005	
General Information					
Project Name LIVE EDGE SLABS WAREHOUSE EXPANSION					
Property Location or Address	26 E. LEMO	N ST			
Legal Description (attach additi	onal sheets as necessary	<sup>//</sup> ATTACH	ED		
Tax Parcel Number(s) 12-2	7-15-89982-	043-0109			
Existing Land Use & Zo	ning Information		····		
Present Designat	ions of Property	P	roposed Designations for P	Property	
Land Use Category 0090	R-60		4800 200 4800		
Land Use Plan Amendment Re YES INO	quired?	If yes, Count	ywide Plan Amendment Requ ] NO	uired?	
Is property defined as a Coasta □ YES ■ NO	II High Hazard Zone? [s.	163.3178(2) (h), F.S	5.]		
Site Acreage:					
Upland	Wetland	Submerged	Total		

#### CITY OF TARPON SPRINGS, FLORIDA Conventional Rezoning and/or Comprehensive Plan Amendment Application

Flood Information: [please	e check all that apply]		
Zone X	Zone X Shaded	Zone AE	Zone VE
Base Flood Elevation (BF	E): [please list all elevation	ns]	
Proposed Land Use Inf	ormation		
Residential Development	:		
Total No. of Units			
Single Family:			
Detache	d	Zero Lot Line	Attached
Cluster		Semi-Detached	
Multi-Family:			
Triplex		Townhome	Other
Apartme	nt	Condominium	
Non-Residential Develop	nent:		
Total Non-Residential F	loor Area TBD		
Comme	rcial	Industrial	Office
Institutio	nal	Mixed Use	Other
The following MUST be fu	urnished with this applic oplication with digital co	ation: [incomplete applica pies of all application doc onal land surveyor	ations will not be accept cuments
<ul> <li>Appropriate fees: [check</li> </ul>	k only onel	ond hand barveyor	
<b>D</b> \$750.00 for Rezoni	na only		
<b>a</b> \$750.00 for Land U	lse Change only plus TBR	PC fee, if applicable	
<b>1</b> \$1,250.00 for <u>both</u>	a Rezoning and Land Use	Change together plus TBR	RPC fee, if applicable
□ \$500.00 advertising co	st for each required ad		
□ \$25.00 for on-site sign	notice		
Proof of ownership (wa	rranty deed, title certificati	on, etc.)	
Hurricane Shelter Space	e Impact Study, if required	d by Section 122.12, LDC	
Traffic Impact Study, if	required by Section 122.1	1, LDC	

Mailing labels for public notices and applicable postage charges (City staff will prepare the labels and calculate postage charges when a complete application is submitted.)

#### CITY OF TARPON SPRINGS, FLORIDA Conventional Rezoning and/or Comprehensive Plan Amendment Application

### AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that BRADLEY D. KENT	is (are) duly designated as the agent(s) for the
owner, that the agent(s) is (are) authorized to pro	vide subject matter on the application contained
herein, whether verbal or written, and appear at any	public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date:	Title Holder/Property Owner:
Date:	Title Holder/Property Owner:
Date:	Title Holder/Property Owner:
Date:	Title Holder/Property Owner:

STATE OF FLORIDA	)
COUNTY OF PINELLAS	

EXPIRES: Sept. 25, 2021

1

The foregoing instrument was acknow	dged before me this 16 day of Mourch, A.D., 20	21
by Bradley D. Vent PROPERTY OWNER NAME PRI	, who is personally known to me or who has produce	d
Known personally	s identification and who did (did not) take an oath.	
	NOTARY PUBLIC	
	Name: Albanjaschor	
TIFFANY A. SCHECK	Signature: Tiffan A. School	

Stamp:

### 526 EAST LEMON STREET, TARPON SPRINGS, FL. 34689



sheet 2 OF 2 (CERTIFICATIONS) SEE SHEET OF 2 FOR SKETCH OF SURVEY. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS	<b>Order #:</b> 93312
LEGAL DESCRIPTION OF: 526 E LEMON ST, TARPON SPRINGS, FL, 34689	
THE NORTH 70 FEET OF THE EAST 100 FEET OF LOT 1, BOCK 43, MAP OF THE TOWN OF TARPON SPRINGS,	155510
FLORIDA, A SUBDIVISION LYING IN SECTION 13, TOWNSHIP 7 SOUTH, RANGE 15 EAST, AS SHOWN ON THE PLAT	
RECORDED IN PLAT BOOK 4. PAGE 8. OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA OF WHICH	WAA WATED METED
PINELLAS COUNTY ELOPIDA WAS FORMERI YA PART	$\Delta I = \Delta R C I ENGTH$
	(C) -CALCULATED
	(M) -MEASURED
THE NORTH 70 FEET OF THE SOUTH 230 FEET OF THE EAST 100 FEET OF LOTT, BLOCK 43, MAP OF THE TOWN OF	P.O.BPOINT OF BEGINNING
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SHOWN ON THE PLAT RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF HILLSBOROUGH	& -AND
COUNTY, OF WHICH PINELLAS COUNTY, FLORIDA WAS FORMERLY A PART.	P.BPLAT BOOK
	PG -PAGE
	U.EUTILITY EASEMENT
CERTIFIED TO:	D.EDRAINAGE EASEMENT
LIVE EDGE SLABS HOLDINGS, LLC	P.U.E PUBLIC UTILITY EASEMENT
	L.A.ELINHTED ACCESS EASEINENT
	OHE -OVERHEAD FASEMENT
	R -RADIUS
	(R) -RECORD
	O.R.B OFFICIAL RECORDS BOOK
FLOOD ZONE:	Sq.FtSQUARE FEET
12103C0038G	AcACRES
ZONE: X	DB -DEED BOOK
EFF: 09/03/2003	(D) -DEED
	(P) -PLAI FOW FDCE OF WATER
SURVEY NOTES:	TOR -TOP OF BANK
- DRIVEWAY CROSSES THE BOUNDARY LINE ON NORTHERLY SIDE OF LOT AS SHOWN.	OHI -OVERHEAD LINE
- FENCES LIE NEAR BOUNDARY LINES AS SHOWN, OWNERSHIP NOT DETERMINED.	C/O -CLEAN OUT
- FENCES CROSS THE BOUNDARY LINES ON NORTHERLY, WESTERLY AND EASTERLY SIDES	ELEV -ELEVATION
OF LOT AS SHOWN.	FF -FINISHED FLOOR
	LS -LICENSED SURVEYOR
	LB -LICENSED BUSINESS
	PSM -PROFESSIONAL SURVEYOR & MAPPER
	-X
	+ -NUMBER + -DUIS OD MINUS
	-CONCRETE
	-PAVER/BRINCK
	-wood
	🌣 -LIGHT POLE
	🛞 -WELL
	-WATER VALVE
	۲ -CENTER LINE
	-CATCH BASIN
	THE HIDRANI
	-FLEVATION
	SOME ITEMS IN LEGEND MAY NOT
	APPEAR ON DRAWING.

#### **GENERAL NOTES:**

1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED. 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE. 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES. 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS. 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988). 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE. 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)



561.508.6272

Fax: 561.508.6309 LB 8111

5601 Corporate Way | Suite 103 West Palm Beach, FL 33407

Interactive	Map of this parcel		Back to	<u>Query Res</u>	<u>sults</u>	<u>New Search</u>	<u>Tax</u>	Collector Home Page	<u>C</u>	ontact Us	
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	Exemption	2021			2022	[					
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(	Government:	No		<u></u>	No	Homestead Us	se Percen	itage: 0.00%			
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	Historic:	No			No	Classified Agi	icultural				l
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2018	No		\$35,6	52	\$23,731	\$	23,731	\$35,652		\$	23,73
2017	No		\$33,0	45	\$21,574	\$	21,574	\$33,045		\$	21,574
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2015	No		\$17,8	30 52	\$17,830	5	17,830	\$17,830		\$	17,830
2014	No		ቅ21,4 \$21.6	55 06	\$17,312 \$15,738	¢	17,312	\$21,433		¢ 4	17,517 215 739
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2010	No		\$32,0	81	\$32,017	\$	32,017	\$32,081		\$	32,01
2009	No		\$29,1	06	\$29,106	\$	29,106	\$29,106		\$	29,10
2008	No		\$31,3	00	\$31,300	\$	31,300	\$31,300		\$	31,30
2007	No		\$32,8	00	\$32,800	\$	32,800	N/A		\$	32,80
2006	No		\$24,7	00	\$24,700	\$	24,700	N/A		\$	24,70
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Interactive Map of this parcel Map Legend

Back to Query Results

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Contact Us

BarnettBolt

6/12/2020



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(((H200001785113)))



H200001785113ABCZ

Note: DO NOT hit the REFRESH/RELOAD button on your browser from this page. Doing so will generate another cover sheet.

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From:			چ	NUL
	Account Name	: BARNETT, BOLT, KIRKWOOD, LONG, KOCHE & FOSTER	S.	_
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Email Address: \_\_\_\_\_sosfilings@barnettbolt.com

#### FLORIDA LIMITED LIABILITY CO.

#### Live Edge Slabs Holdings, LLC

Certificate of Status	1
Certified Copy	
Page Count	03
Estimated Charge	\$130.00

**Electronic Filing Menu** 

Corporate Filing Menu

Help

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#### H20000178511

#### ARTICLES OF ORGANIZATION OF LIVE EDGE SLABS HOLDINGS, LLC

The undersigned hereby organizes a limited liability company under the provisions of the Florida Revised Limited Liability Company Act, and pursuant to the following Articles of Organization:

#### ARTICLE 1 Name

The name of this limited liability company is:

Live Edge Slabs Holdings, LLC

(hercafter, the "Company").

#### ARTICLE 2 Effective Date

The Company shall have perpetual existence, commencing on the date that these Articles of

Organization are filed with the Florida Department of State.

ARTICLE 3 Mailing Address and Principal Office

The address of the principal office and the mailing address of the Company is 3535 Alternate

19, Suite A, Palm Harbor. Florida 34683.

#### ARTICLE 4 Initial Registered Office and Agent

The street address of the initial registered office of the Company is 3535 Alternate 19, Suite

A, Palm Harbor, Florida 34683, and the name of the initial registered agent of the Company at that address is Bradley D. Kent.
H20000178511

#### ARTICLE 5 Management of the Company

The Company is to be managed by one or more managers and is, therefore, a manager-

managed company. The initial manager of the Company shall be:

Bradley D. Kent 3535 Alternate 19 Suite A Palm Harbor, Florida 34683

#### ARTICLE 6 Indemnification

The Company shall indemnify its managers and members to the fullest extent authorized by law,

IN WITNESS WHEREOF, the undersigned member has executed these Articles of Organization this 9th day of June, 2020.

BRADLEY D. KENT, Member

.

APENANGSEL CANADA

#### H20000178511

#### CERTIFICATE OF DESIGNATION OF REGISTERED AGENT/REGISTERED OFFICE OF LIVE EDGE SLABS HOLDINGS, LLC

Pursuant to the provisions of Section 605.0113 of the Florida Statutes, the undersigned limited liability company submits the following statement in designating the registered office/registered agent, in the State of Florida.

- 1. The name of the limited liability company is Live Edge Slabs Holdings, LLC.
- 2. The name and address of the registered agent and office are:

Bradley D. Kent 3535 Alternate 19 Suite A Palm Harbor, Florida 34683

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent as provided for in Chapter 605, Florida Statutes.

Dated: June 9, 2020.

Bradley D. Kent



H20000178511

Interactiv	e Map of this parcel	Sales	<u>s Query</u>	Bac	k to Query R	<u>esults</u>	New Se	arch	Tax Collecto	r Home Page		Contact Us
	12-27-15-89982-043-0102											
	Compact Property Record Card											
Tax Es	timator		l	Jpdat	<u>ted Ma</u>	irch	13, 2021	E	mail Print	<u>Radius S</u>	earch	FEMA/WLM
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	3	535 ALT 19 STE	A	LC				526 E	LEMON ST			
L	PALM HARBOR FL 34683-1402											
	Current Tay District: TAPPON Total Heated SE.											
Proper	ty Use: 4800 (Ger	neral Warehouse)	SPR	INGS (]	District. 1 [ <u>S</u> ]	AITO	2,400	calcu or	. Total (	Gross SF: 2	,400	
				ſc	lick here t	o hide]	Legal Descript	ion				
		TARPON SPRIN	NGS OF	FICIAL	MAP BLI	K 43, N	70 FT OF E 10	0 FT O	F LOT 1 (SEE	EN13-27-1	5)	
	រា	л. с. н.							2021 P	arcel Use		1
	، مربعہ الم	Fue for Homes	tead Ex	emptior	<u>l</u>							
<u> </u>	Exemption	<u>2021</u>			2022							
	Homestead:	No No			No No		Homestead Us	e Percei	ntage: 0.00%			
	Institutional:	No No			No		Non-Homestea	id Use F	ercentage: 10	00.00%		
	Historic:	No			No		Classified Agr	icultura	: No			
			1				L	- <b>F</b>	(TDIN )			
		Parcel	Informa	tion L	atest Noti	ce of Pi	roposed Proper	ty Taxe	<u>s (TRIM Not</u>	<u>ice)</u>		·
I	Most Recent	Sales	Censu	s Tract	EN NOT the	acuations and a same as	on Zone a FEMA Flood		Flood	l Zone		Plat
	Recording	<u>Comparison</u>		<u>o maet</u>	<u>(110 1 the</u>	Zon	<u>e)</u>	<u>(NC</u>	)T the same as y	our evacuati	<u>on zone)</u>	Book/Page
2	084/0138	Sales Ouerv	121030	274021		D	,	Com	oare Prelimina	ry to Curre	nt FEMA	D-G/800
									<u>M</u>	aps		
Vara	2020 Interim Value Information											
2020	2021/		15565560	value /	001-117 C	- <u>ab</u>	County Taxable		SCHOOL 14X4		Municipat	
		<i>\$</i> >0,000								490,000		
		[click he	re to hic	le] Valu	e History	as Cer	tified (yellow in	dicates	correction of	n file)		
Year	Homestead Exen	nption Just/Mar	ket Valu	<u>e Ass</u>	essed Valu	<u>e C</u>	ounty Taxable V	<u>/alue</u>	School Taxal	ble Value	<u>Municipal</u>	Taxable Value
2019	NO		\$96,0 \$95.0	00	\$96,0	00 60	\$ <u>5</u>	76,000		\$96,000		\$96,000
2018	No		\$90,0 \$90,0	00	\$83.6	00	ው: \$1	23 600		\$93,000		\$83,600
2016	No		\$76.0	00	\$76.0	00	\$	76.000		\$76.000		\$76.000
2015	No		\$74,8	00	\$74,8	00	\$1	74,800		\$74,800		\$74,800
2014	No		\$73,4	00	\$73,4	00	\$1	73,400		\$73,400		\$73,400
2013	No		\$70,0	00	\$70,0	00	\$1	70,000		\$70,000		\$70,000
2012	No		\$67,0	00	\$67,0	00	\$0	57,000		\$67,000		\$67,000
2011	No		\$70,0	00	\$70,0	00	\$	70,000		\$70,000		\$70,000
2010	No		\$75,0	00	\$75,0	00	\$	75,000		\$75,000		\$75,000
2009	No		\$90,0	00	\$90,0	00	\$ <u>_</u>	10,000		\$90,000		\$90,000
2008	NO		ալլ∠,0 Տլներ	00 00	\$112,0 \$100 0	00 00	ን1. ሮ1/	.∠,000 )9.000		⊅112,000 NI/A		\$112,000 \$100.000
2007	No		\$95.0	00	ም109,0 \$95 በ	00	916 <u>8</u> 1	),000 )5.000		N/A		\$95,000
2005	No		\$65.0	00	\$65.0	00	\$. \$(	55,000		N/A		\$65.000
2004	No		\$60,0	00	\$60,0	00	\$	50,000		N/A		\$60,000
2003	No		\$52,0	00	\$52,0	00	\$:	52,000		N/A		\$52,000
2002	No		\$50,3	00	\$50,3	00	\$	50,300		N/A		\$50,300
2001	No		\$46,1	00	\$46,1	00	\$4	16,100		N/A		\$46,100
2000	No		\$45,1	00	\$45,1	00	\$4	45,100		N/A		\$45,100
1999	No		\$38,6	00	\$38,6	00	\$.	38,600		N/A		\$38,600
1998	No		\$37,2 \$37,2	00	\$37,2	00 00	\$.	37,200		N/A		\$37,200
1997	ino No		фээ,/ \$365	00	\$30,1 \$36 5	00 00	С. Э:	36,500		N/A N/A		\$35,700 \$36 500
		2020 Tay I_f	φ50,5		φ.0,5		φ. 	kad S-	0.0.00		all trans-	
1		2920 IAX IIIOFI	шанон				ran	ncu Odi	ico <u>(what are Rank</u>	<u>er danks?)</u> <u>DC</u>	<u>, all (l'allsa</u>	AIVIIS

2020 Tax Bill 2020 Final Millage Rate	n optimate fallensi	Tax District: <u>TS</u> 20.0018	Sale Date 06 Jul 2020	<b>Book/Page</b> 21084/0138	<b>Price <u>Q/U</u></b> \$250,000 M	I <u>V/I</u> I
A significant change in taxable of the save conditions. Please use our new ownership.	value may occur after our Homes or 10% <u>Tax Estimator</u> to esti	a criange in ownership. r a transfer due to a loss Cap, and/or market mate taxes under new				
		2020 Land I	Information			
Seawall: No	0	From	tage:		View: None	
Land Use Warehouse Stor/Dist (48	Land Size ) 70x100	e Unit Value 6.25 7	Units <u>1</u> 2000.0000	<u>lotal Adjustments</u> 1.0000	<u>Adjusted Value</u> <u>M</u> \$43,750	<u>ethod</u> SF
	[click here t	o hide] 2021 Building	1 Structural	Elements <u>Back to Top</u>		
		Site Address: 52	6 E LEMON S	Τ		
Building Type: Warehouses		· · · · · · · · · · · · · · · · · · ·				
Quality: Average						
Foundation: Continuous Foot	ing					
Floor System: Slab On Grade	:					
Exterior Wall: Concrete Blk/S	tucco					
Roof Frame: Cable Or Hin						
Doof Caver Came at a Cl	<b>n</b> ala	 70 ₿/	AS 70			
Roor Cover: Composition Shi	ngie			ſ	ompact Pronerty Record	d Card
Stories: 1				<u> </u>	<u>ompret i opti () i tetori</u>	
Living units: 0						
Floor Finish: Concrete Finish						
Interior Finish: None						
Fixtures: 5						
Vear Built: 1968			.()			
Tear Built. 1908		i O	FA 10			
Effective Age: 30		43	0			
Cooling: None	<u>Open plot in</u>	New Window				
		Building 1 Sub A	rea Informat	tion		
Description		Bui	ilding Heated S	<u>F</u>	Gross /	Area S
Office Average (OFA)			30	0		30
<u>Dase (DAS)</u>		Total Building	L, IC Heated SE: 2.40	10 10	Total Gross S	2,10 F• <b>7 40</b>
		Ioliak hara ta hidal 7	110alcu Sr. 2,40			Ľ. 2,40
Description	Value/Unit	Inita	Total Val		Depresisted Volus	Vaar
CANOPY	\$10.00	400.00	TUtal Va	\$4 000 00	S4 000 00	1990
		faliak have to hi	dol Downit Dat	•	\$1,000.00	
Bormit in	formation is ray	poived from the Cou	nty and Citi	a This data may be	incomplete	
and may	exclude permits	s that do not result i	n field revie	ws (for example for )	water heater	
replace	ement permits).	. We are required to	list all impro	ovements, which ma	y include	
unpermitte	d construction	. Any questions reg	arding perm	its, or the status of r	on-permitted	
improven	nents, should b	e directed to the per	rmitting juris	sdiction in which the	structure is	
		loca				
Permit Number		Description		Issue Date	Estimated Value	¢0.04
20-0002904 20_0002964 A		ROOF		01 Dec 2020		39,00
20-00001926		TPP USE		27 Aug 2020		\$2.4
19-00003184		MISCELLANEOUS		12 Dec 2019		5
18-00002356		ELECTRICAL		31 Aug 2018		\$2,4
17-00002496		MISCELLANEOUS		18 Oct 2017		\$2,09
	5 5	3 <u>8</u>		8 - 143 5 3 2 <b>2</b> 8	158.5 <sup>1</sup> / <sub>8</sub> 12	VAC



Interactive Map of this parcel

Map Legend

Sales Query

Back to Query Results

New Search

Tax Collector Home Page

### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

#### PROJECT NAME: 21-35 - ELSTEPHMAR LLC - CONDITIONAL USE FOR TOURIST HOME - 12 W ORANGE STREET

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Annexation         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other								
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):								
➢ PLANNING & ZONING BOARD (P&Z) ☐ HERITAGE PRESERVATION BOARD ( ☐ BOARD OF ADJUSTMENT (BOA)  ☐ BOARD OF COMMISSIONERS (BOC) ☐ TRC ONLY	HPB)							
REVIEW COMMENTS: REVIEWER DEPARTMENT:								
	WER LS							

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

#### CITY OF TARPON SPRINGS, FLORIDA Conditional Use Application

Return to: Planning & Zoning Department 324 E. Pine Street Tarpon Springs, FL 34689 (727) 942-5611

(Please type or print clearly) Property Owner(s)			
Name ELSTEPHMAR LLC		Email Car	rra 3 @ Yahoo.com
Address 12 WEST ORIANGE	ST.		
City TARPON Springs	State FLCK	104	Zip 34689
Phone 347-393-8769 Fax		Cellula	ar
Applicant			
Carol Niotus (AMBR) ELST	EPHMAR, LLC	- Email Carr	a 3 a yanou. com
Address 12 West Uringe	57-		
City TARPON Springs	State FL		Zip 34689
Phone Fax		Cellula	ar
Agent (if applicable)			
Name		Email	
Address Address			
City	State		Zip
Phone Fax		Cellul	ar
General Information			
Property Location or Address	t orange	ST.	
Legal Description (attach additional sheets as nec	essary) Beginin	SEE ATT	Ached
Tax Parcel Number(s) 12 - 27 - 1	5-89982	-064-0	3306
Current Use of Property Residutio	I Rental		
Conditional Use Requested	Vacation U	luntal #	fiv B-N-B
Present City of Tarpon Springs Designations	Land Use	Category	Zoning District

**IMPORTANT NOTE:** In connection with the approval of any Conditional Use, the Board of Commissioners may make the approval subject to conditions, stipulations and/or safeguards as it deems necessary to ensure compliance with the provisions of the Land Development Code (LDC) and/or Comprehensive Plan. Failure to comply with the approval conditions shall be deemed a violation of the LDC and be enforced as such.

# **EXHIBIT A**

Beginning 60 feet West of the Southeast corner of Lot 3, Block 64, Official Map of the City of Tarpon Springs, running thence North 110 feet; thence West 40 feet; thence South 110 feet; thence East 40 feet along the North side of Orange Street to the Point of Beginning, as shown on Plat recorded in Plat Book G, Pages 800 and 801, of the Public Records of Pinellas County, Florida, also described as beginning 60 feet West of the Southeast corner of Lot 3, Block 64, Official Map of the City of Tarpon Springs, running thence North 110 feet; thence West 40 feet; thence South 110 feet; thence East 40 feet along the North side of Orange Street to the Point of Beginning, as shown on Plat recorded in Plat Book 4, Page 78, of the Public Records of Pinellas County, Florida.

### CITY OF TARPON SPRINGS, FLORIDA Conditional Use Application

The following MUST be furnished with this application: [incomplete applications will not be accepted]

**D** Completed original application with digital copies of all application documents

S500.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff

Survey, signed and sealed by a professional land surveyor

Legal description of the property

D Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)

U Written description of proposed use

Site plan, as applicable

A copy of the completed DBPR Division of Alcoholic Beverages and Tobacco application if requesting a beer, wine and/or liquor license

A detailed floor plan and preliminary report from State/County oversight agency if requesting an ACLF/ALF

□ If applying to establish a Nonconforming Lot pursuant to Section 209.02, LDC the applicant must also submit an architectural elevation and a complete site plan that meets the requirements of Section 210.00, LDC *et seq*.

☐ Mailing labels for public notices and applicable postage charges. (City staff will prepare the labels and calculate postage charges when a complete application is submitted.)



### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

# PROJECT NAME: 21-30 - NANCY S. WHITE - VARIANCE TO FRONT SETBACK FOR POOL - 533 DORIC COURT

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Annexation         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other							
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):							
□ PLANNING & ZONING BOARD (P&Z) □ HERITAGE PRESERVATION BOARD (HPB) ⊠ BOARD OF ADJUSTMENT (BOA) □ BOARD OF COMMISSIONERS (BOC) □ TRC ONLY							
REVIEW COMMENTS: REVIEWER DEPARTMENT:							

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

Planning and Zoning Department 324 Pine Street Tarpon Springs, Florida 34689

	APPLICATION						
	1. Property Ow	/ner(s)					
	Name	,		Email			
CITY OF	Namer S.	White T	Trust	NË	, white Gaolic		
TARPON SPRINGS	Address						
FLORIDA	533 V	Poric Cour	t				
TEL: (727) 942-5611 EMAIL: planning@ctsfl.us	City Tay a daya	SALIACE	State F1		Zip 34689		
www.ctsfl.us		A					
This application MUST be							
completed <u>IN FULL</u> and submitted with all applicable documents liste	1 Phone d 74868876	Fax		Cellu	ılar		
Board or Committee	a ~1080010						
	2. Applicant	· · · · · · · · · · · · · · · · · · ·		Emoil	]		
ll fees <u>MUST</u> be paid in full prior t Public Hearing.	Sa Sa	me as a	boue	Email			
	Address						
<u>Completed</u> original application form <i>and</i> digital copies of all application documents							
Application fee:	City		State		Zip		
Variance Request \$250.00 each or	11.5 1997						
Appeal of Administrative Decision	Phone	Fax		Cellu	ılar		
\$250.00 each, and	3. Agent (if apr	plicable)					
Newspaper Ad \$150.00 each, and	Name			Email			
<ul> <li>Postcards to 500 foot radiu</li> <li>.77 each, and</li> </ul>							
Placard \$ 16.00							
(Call for assistance with fees if needed.			State		Zip		
Property survey, signed and sealed a professional land surveyor	by City						
Site Plan with documentation of variance request (to scale with measurements called out)	Phone	Fax		Cellu	ılar		
Photographs of site if relevant to request.	4. General Infc	ormation					
Digital copies of all plans and documents	Property Location of Control of C	or Address	Turner	Envine	1-1 74109		
Proof of ownership (a copy of the deed which conveyed title to the	Legal Description (	attach additional sh	neets as necess	sary) Lut	- 12, 13 + 14		
present owner of the property	Alut book 13	, Pago 76 B	bavon bonn.	dans in	Pinellas County		
Other supporting information, as necessary	Tax Parcel Number	r(s)	Land L	Jse	Zoning District		
	11-27-15	-03834-0 -0120	ου <sub>Ο</sub> Catego	огу			
		-140					

**BOARD OF ADJUSTMENT** 

# BOARD OF ADJUSTMENT APPLICATION

Describe Request and how it varies from the code with details that match your site plan. (e.g., A side setback variance reduction from the required 10 feet to 9.5 feet to allow for addition.) Attach additional sheets as necessary.

A setback variance from the fence to build a swimming pool. No other space is mailable. The other side has the septie touch on it and there is not enough room on the water side (bayou side)

Required LDC Regulation(s): [list all that apply] Follow link below to our Land Development Code. <u>https://library.municode.com/fl/tarpon\_springs/codes/code\_of\_ordinances?nodeld=COOR\_APCOZOLADECO\_ARTIIDIRE\_S25.00SCDIRE</u>

\$ 36.02

### **Board of Adjustment Review Standards**

The Board of Adjustment is unable to grant a variance unless the applicant demonstrates that their application meets the criteria listed below: (Please review the standards listed in the instructions and explain how your request meets each one, use additional sheets if necessary.)

(1) Do you have a physical hardship that prevents you from building within the current setbacks? If yes, please explain. If there is no physical hardship, you do not meet the criteria. You may note the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to your property. (Provide photographs if possible.)

(a) You may consider the Preservation of a Protected Tree(s) or Native Tree(s). However, you may not consider the location of an Invasive Tree(s), as your reason for not being able to build within the setbacks.

(b) Location of the property in the Historic District within the City may also be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within that District before any variance may be granted. In addition, any variance applied for within the Historic District shall be considered by the Board of Adjustment only after the Board considers the comments and recommendations of the Heritage Preservation Board.

Cunnet build on other side of yord

e.g., Cannot build within setbacks because of non-conforming lot size, septic system or tree in the way, or your property has

topographical limitation.

herause the septic tank is there.

# BOARD OF ADJUSTMENT APPLICATION

(2) Did you create the situation that requires you to have a variance? If no, please explain how your application is not self-created. (e.g., The property was platted but is now non-conforming or a mature tree is in the way.) If the need for the variance is self-created, you do not meet the variance criteria.

e purchased the property on 2/22/21. Saptie tank was already in place-

(3) If the variance is denied, will you still have reasonable use of the property? If no, please explain why. If yes, you do not meet the variance criteria. State the reason you will not be able to efficiently use the property if the variance is not allowed.

No, there is no other place that a pool will fixe my wife needs a lap pool for har heart disease excercise

(4) If the variance is approved, will you receive a special privilege that other properties in the area do not have? If no, please state reason. If you will receive a special privilege, you do not meet the variance criteria. (e.g., The Variance would allow you to build a much larger house than what your neighbors are able to build on their property.)

No, our weightous have nools other lot an next to ence is vacant & will not be built on due to mangrove Evers

(5) Will the approval of your variance have an adverse effect on adjacent property? If no, please explain. If yes, you do not meet the variance criteria. The requested variance should not diminish property values, interfere with, or create a nuisance to, property in the surrounding area.

No, lot is vacant & will stay vacant due to mongouve trees\_

Planning and Zoning Department 324 Pine Street Tarpon Springs, Florida 34689

# BOARD OF ADJUSTMENT APPLICATION

Date

3/5/2021

Applicant's Signature:

The information included in and with this application is true and correct to the best of my knowledge.

Applicant's Signature

Agent's Signature: (I represent the applicant/owner)

The information contained in and with this application is true and correct to the best of my knowledge.

N-A-

Agent's Signature

Owner's Signature:

I authorize the agent named above on this form to provide subject matter on the application contained herein for the purposes of discussion with City Staff, and to attend public hearings on my behalf. In addition, I authorize the filing of this application and certify ownership of the property described in this application as myself. Within this application, I have included all parties to an existing contract for sale. I further assent to the City's Comprehensive Plan as it applies to the property and it is understood that this application must be complete and accurate, and the appropriate fee paid prior to processing.

5/2021 Owner's Signature STATE OF FLORIDA ) **COUNTY OF PINELLAS** ) The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20 \_\_\_ \_\_, who is personally known to me or who has produced by \_\_\_\_\_ PROPERTY OWNER NAME PRINTED as identification and who did (did not) take an oath. NOTARY PUBLIC Name: Signature: Stamp:





#### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

#### PROJECT NAME: 21-36 – GIANESKIS - NON-CONFORMING LOT AND SETBACK VARIANCE - CENTER LOT ON WHITCOMB BLVD BETWEEN CAROLINA AND BAYOU AVE

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Numeration         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other							
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):							
<ul> <li>□ PLANNING &amp; ZONING BOARD (P&amp;Z)</li> <li>□ HERITAGE PRESERVATION BOARD (HPB)</li> <li>□ BOARD OF ADJUSTMENT (BOA)</li> <li>□ BOARD OF COMMISSIONERS (BOC)</li> <li>□ TRC ONLY</li> </ul>							
REVIEW COMMENTS: REVIEWER DEPARTMENT:							
REVIEWER APPROVE DENY DEFER SEE BELOW NO COMMENTS INITIALS							

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

#### Planning and Zoning Department 324 Pine Street Tarpon Springs, Florida 34689

# BOARD OF ADJUSTMENT APPLICATION

	1. Property Owner(s)	
No.	Name	Email
CITY OF TARPON SPRINGS	ANASTASIS AMASTASI Address	ADES
FLORIDA	155 WHITCOMB BLUD	e
TEL: (727) 942-5611 EMAIL: planning@ctsfl.us	TARPON SPRINUS FE	34689
www.ctsfl.us		
This application <u>MUST</u> be completed <u>IN FULL</u> and submitted with all applicable documents listed below in order to be scheduled for a	Phone Fax	Cellular
Board or Committee.	2. Applicant	
All fees <u>MUST</u> be paid in full prior to Public Hearing.	J. MARK GIANESKIS	MARKA MARK GIANESKIS. COM
Completed original application form and digital copies of all application documents	487 RIVERSIDE DR.	
Application fee:	City State	210,1,00
Variance Request \$250.00 each, or	IARPON SPRINTLIS PR	S4Log
Appeal of Administrative Decision	Phone Fax	727-430-4909
\$250.00 each, and	3. Agent (if applicable)	
\$150.00 each, and	Name	Email
Postcards to 500 foot radius \$ .77 each, and	J. MARK GIAZESKIS	
Placard \$ 16.00	Address CUNTAC	ABOVE
(Call for assistance with fees if needed.)	City State	Zip
Property survey, signed and sealed by a professional land surveyor		
Site Plan with documentation of variance request (to scale with measurements called out)	Phone Fax	Cellular
Photographs of site if relevant to	4 General Information	
Picital applies of all plans and	Property Location or Address	
documents	VACANT LOT ON WHITCH	OMB
Proof of ownership (a copy of the deed which conveyed title to the present owner of the property	Legal Description (attach additional sheets as nec ORANGE HEIGHTS OLK 3, L	essary) g 1/2 VAC ALLEY
<ul> <li>Other supporting information, as necessary</li> </ul>	Tax Parcel Number(s)	d Use Zoning District
	13-27-15-6418B-003- Cat	egory
	0030 RI	SINGE RIOU
		FAMILY Page 1 of 4

Non-Conforming Lot of Record Variance

Planning and Zoning Department 324 Pine Street Tarpon Springs, Florida 34689

# BOARD OF ADJUSTMENT APPLICATION

Describe Request and how the Non-Conforming Lot of Record varies from the requirements of Section 25 of the Land Development Code. Attach additional sheets as necessary.

CBUESTING NON-CONFORMILLES LOT OF RECORD EQUESTING R-TO & SIDE YARD SET BALKS.

Required LDC Regulation(s): [list all that apply] Follow link below to our Land Development Code. <u>https://library.municode.com/fl/tarpon\_springs/codes/code\_of\_ordinances?nodeld=COOR\_APCOZOLADECO\_ARTIIDIRE\_S25.00SCDIRE</u>

#### **Board of Adjustment Review Standards**

The Board of Adjustments may grant a variance to allow a nonconforming lot of record to built upon, if the following standards are met and proven by competent substantial evidence: (Please review the standards listed in the instructions below. For each requirement, explain how your request is met. Use additional sheets if necessary.) You may reference Section 215.02.5 at the link below if needed. https://library.municode.com/fl/tarpon springs/codes/code of ordinances?nodeld=COOR APCOZOLADEC O ARTXIIADEN S215.02.5VANOLORE

(1) Does the lot consist of at least one entire lot of record on the effective date of this Code? (Provide legal description on single deeds going back to 1990.)

e.g., The lot was created in 1926 and has remained a single lot of record since.

ATTA	TCHED	15	A WAR	RALITY	DEED	AA	TING	BACK	
TO	MAY	24,	1971	LISTIM	16 7	HE	LOT	AS	
A.	SINGI	EI	LOT C	F RECC	RD.				

## BOARD OF ADJUSTMENT APPLICATION

(2) Was the lot created in violation of a previous zoning ordinance? (Explain if or when the lot was separated or subdivided.)

ND

(3) Was the lot combined with a neighboring lot under common ownership in order to allow the existing improvements on the neighboring developed lot to meet applicable setbacks. (Are the neighboring houses on conforming lots?)

ND

You may use the records of Pinellas County to answer some of the questions above. There are links below to the Pinellas County Property Appraiser's website and the Pinellas County Clerk of Court.

Pinellas County Property Appraiser: https://www.pcpao.org/

Pinellas County Clerk, Official Records: https://ccmspa.pinellascounty.org/PublicAccess/default.aspx

Planning and Zoning Department 324 Pine Street Tarpon Springs, Florida 34689

# BOARD OF ADJUSTMENT APPLICATION

10/21

Applicant's Signature:

The information included in and with this application is true and correct to the best of my knowledge.

Applicant's Signature

Agent's Signature: (I represent the applicant/owner)

The information contained in and with this application is true and correct to the best of my knowledge.

10/2 Agent's Signature

**Owner's Signature:** 

I authorize the agent named above on this form to provide subject matter on the application contained herein for the purposes of discussion with City Staff, and to attend public hearings on my behalf. In addition, I authorize the filing of this application and certify ownership of the property described in this application as myself. Within this application, I have included all parties to an existing contract for sale. I further assent to the City's Comprehensive Plan as it applies to the property and it is understood that this application must be complete and accurate, and the appropriate fee paid prior to processing.

Anastasis Anastasiades	dotloop verified 03/17/21 5:13 PM EDT FJAP-Z8WJ-R3T1-0GHZ	
Owner's Signature	and a given and an a state of the second	Date
STATE OF FLORIDA	)	
COUNTY OF PINELLAS	)	
The foregoing instrument was by <u>Amastasis</u> Ama PROPERTY OWNER	s acknowledged b a stas i a de R NAME PRINTED as identi	efore me this <u>17</u> day of <u>March</u> , A.D., 20 <u>21</u> <u>S</u> , who is personally known to me or who has produced fication and who did (did not) take an oath.
		NOTARY PUBLIC
PENNY S. SCA	LES	Name: Jenny S. Scales
Notary Public State Commission # 66	od Porida 153014	Signature: May Ice
Brouted through National	en 6. 2022 Notaty Aser,	Stamp:
		Page 4 of 4

Non-Conforming Lot of Record Variance



I#: 2015041541 BK: 18676 PG: 1886, 02/13/2015 at 08:28 AM, RECORDING 1 PAGES \$10.00 D DOC STAMP COLLECTION \$665.00 KEN BURKE, CLERK OF COURT AND COMPTROLLER PINELLAS COUNTY, FL BY DEPUTY CLERK: CLKDMC3

Prepared by and return to: HERBERT ELLIOTT Attorney at Law 1111 Riverside Drive Tarpon Springs, FL 34689

Parcel ID No. 13-27-15-64188-003-0030 Consideration: \$ 95,000.00

# WARRANTY DEED

THIS INDENTURE, made this \_\_\_\_\_ day of February, 2015, Between,

JAMES D. SPIRIDES AND DESPINA SPIRIDES, TRUSTEES UNDER THE SPIRIDES LIVING TRUST U/T/D MARCH 31, 2006, 4953 Killebrew Drive, Annadale Virginia 22003-5322, Grantors, and

ANASTASIS ANASTASIADES, A MARRIED MAN, 2256 Curlew Road, Palm Harbor, Florida 34683, Grantee,

WITNESSETH that said Grantors, for and in consideration of \*\*\*\* Ten Dollars \*\*\*\*, have granted, bargained and sold to the said Grantee, his heirs and assigns forever, the following described land in Pinellas County, Florida:

Lot 3, Block 3, ORANGE HEIGHTS ADDITION TO TARPON SPRINGS, FLA. according to the map or plat thereof as recorded in Plat Book 3, Page 33, public records of Pinellas County, Florida; together with the North 1/2 of vacated alley abutting on the South thereof.

and the said Grantors do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantors have hereunto set their/hand and seal the day and year first above written.

Signed, sealed, and delivered in our presence:

Witness 1:

Printed:

Witness 2:

Printed:

SAMINA SUMI

COMMONWEALTH OF VIRGINIA COUNTY OF <u>Fairfor</u>

The foregoing instrument was acknowledged before me this  $q^{H}$  day of February, 2015, by James D. Spirides and Despina Spirides, who are personally known to me, and who did not take an oath:



Notary Public

James D. Spirides, Trustee

Despina Spirides, Trustee

I#: 2015041518 BK: 18676 PG: 1863, 02/13/2015 at 08:21 AM, RECORDING 1 PAGES \$10.00 D DOC STAMP COLLECTION \$1715.00 KEN BURKE, CLERK OF COURT AND HOME NEAL DECK. HOME NEAL DECK. PULLINGED & SPIRIDEND. NALEDIS SPIRIDEND. DILLIE WHITCOMD. COMPTROLLER PINELLAS COUNTY, FL BY DEPUTY CLERK: CLKDMC3

Prepared by and return to: Herbert Elliott Attorney at Law 1111 Riverside Drive Tarpon Springs, FL 34689

File Number: - Spirides \$245,000-

[Space Above This Line For Recording Data]

#### Warranty Deed

This Warranty Deed made this 12th day of February, 2015 between Kalegis Spirides a/k/a Kalegis D. Spirides and Billie K. Spirides, husband and wife whose post office address is 2605 Oak Circle, Tarpon Springs, FL 34689, grantor, and Anastasis Anastasiades and Diane L. Anastasiades, husband and wife whose post office address is 803 Whitcomb Blvd, Tarpon Springs; FL 34689, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Pinellas County, Florida to-wit:

Lots 4 and 5 and the North 1/2 of vacated alley abutting on the South side of said lots, Block 3, ORANGE HEIGHTS ADDITION TO TARPON SPRINGS, FLA., according to the map or plat thereof as recorded in Plat Book 3, Page 33, Public Records of Pinellas County, Florida.

Parcel Identification Number: 13/27/15/64188/003/0040

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever."

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2014.

Kalegis D. Spiride

Billie K Spirides

Notary Public

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

our presence: Signe

Witness Name: H

Witness Name: Repe

State of Florida County of Pinellas

The foregoing instrument was acknowledged before me this 12th day of February, 2015 by Kalegis D. Spirides and Billie K Spirides, who have personally known or [X] have produced a driver licence and optification.

[Notary Seal]



Herbert Elliott Printed Name:

(Seal)

ude (Seal)

My Commission Expires:

71051834 O.R. 3556 PAGE 989 WARRANTY DEED CHELSEA TITLE AND GUARANTY COMPANY 13,007Ъ 6. 9. 3. ò 00 Э is Indenture, 8 Made this 24 day of May , A. D. 19 71 BETWEEN DEON O. ELLIOTT and MARY ELLIOTT, his wife and ALEXANDRA D. G. EMMANUEL, Executive of Estate of George M. Emmanuel, deceased of the County of Pinellas , in the State of Florida , part ies of the first part, a of the first part, and ESMINE SPIRIDES of the County of Pinellas , in the State of Florida , whose post office address is P. 0. Box 794, Tarpon Springs, FL 33589 part of the second part, v Witnesseth, That the said part ies of the first part, for and in consideration of the sum of other good and valuable considerations and TEN and NO/100----- Dollars, them in hand paid by the said part Y the second part, the receipt whereof is hereby acknowledged, ve granted, bargained, and sold to the said part Y of the second part, her heirs and them in hand paid by the said part y to ha assigns forever, the following described land, situate, and being in the County of Pinellas State of Florida . to-wit: Ē Lot 3, Block-3, ORANGE HEIGHTS SUBDIVISION, according to the map æ or plat thereof as recorded in Plat Book 3 page 33, of the Public Records of Pinellas County, Florida. 5 5 E H DOCUMENTARY TAX ST/ Docu OF ORIDA COUNTY COUNTY FLORIDA 03.30 DEPT, ds JUH - 9171 And the said part ies of the first part do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever. In Witness Wherenf, The said part ies of the first part ha ve bereunto set their hand s and seal she day and year first above written. Signed, sealed and delivered in the presence of LS. DEON O. ELLIOTT LS. MARY ELLIOT STATE OF KLOKNAN .Colorado COUNTY OF Montrose I HEREBY CERTIFY that on this day, before me, an office duly authorized in the State aforesaid and in the County aforesaid to take acknowledgmments, personally appeared DEON O. ELLIOTT and MARY ELLIOTT, his wife to me known to be the person S described in and who executed the foregoing instrument and they acknowledged before me that they executed the same. WITNESS my hand and official seal in the County and State last aforesaid this 24th day of A De 19 71. May My Commission expires February 11 1975 This Instrument was prepared by: CHELSEA TITLE & GUARANNY COMPANY (J. W. JONES, ASSISTANT VICE (FRESIDENT 06 Chesnut Street, Claudinter, Florida 33516 White Instrument which instrument was a shirt incidental to writing of a Title a size incidental to " size introly.

nteractive Map of this	s parcel Back	to Query I	Results	No	ew Search	Tax	Collector Home Pag	e	Contact Us
13-27-15-64188-003-0030									
	g	Compact	t Prope	erty	Record	Car	1		
Tax Estimator <b>Updated February</b> <b>27</b> 2021 Email Print Radius Search									
		_ , , -							
Ownership/Ma Mail	iling Address	Change			Site A	Addr	ess		ASCOLO
ANASTASIA 2256 (	ADES, ANASTA CURLEW RD	ASIS		N T	VHITCC FARPON	OMB I SPH	BLVD RINGS	PHONE	X
Property Use: 000 Residential - lot & less than 5 acres)	PALM HARBOR FL 34683-6826       Third off off diffed         Property Use:       0000 (Vacant       Current Tax District:         Residential - lot & acreage       TARPON SPRINGS       Total Living:       Total Gross         less than 5 acres)       (TS)       SF:       SF:								
ORAN	NGE HEIGHTS	BLK 3,	LOT 3	& 1/	2 VAC	ALLI	EY ON S OF SD I	LOI	Γ
Tax Estimator     Image: File for Homestead     2021 Parcel Use       Exemption     2021 Parcel Use									
Exemption	2021	202	22			_			
Homestead:	No	No	o		mestead	Use	Percentage: 0.00	%	
Government:	No	No	0		on-Home	estead	Use Percentage:	10	0.00%
Institutional:	No	No	0	C	assified	Agric	cultural: No		
Historic:	No		0			Q			
Parcel I	nformation La	itest Not	ice of P	Prop	osed Pro	opert	y Taxes (TRIM I	Noti	ice)
Most Recent Recording	<u>Sales</u> Comparison	<u>Census</u>	Tract	E (NC a)	vacuatio Zone <u>T the san</u> FEMA Flo Zone)	on ne as ood	Flood Zone (NOT the same as your evacuation zor	<u>1e)</u>	Plat Book/Page
18676/1886 💹	\$148,000	1210302	275021		А		<u>Compare</u> <u>Preliminary to</u> <u>Current FEMA</u> <u>Maps</u>		<u>3/33</u>
		2020 Int	erim V	alue	Inform	atior			
Year	Just/Market Value	Assesse Non-F	d Value IX Cap	<u>e /</u>	Coun Taxable	i <u>ty</u> √alue	School Taxable Value	<u>M</u> Tax	<u>lunicipal</u> able Value
2020	\$124,354		\$122,4	24	\$12	2,424	\$124,354		\$122,424
				_					

	[click here to hide] Value History as Certified (yellow indicates correction on file)								
Voor	Homestead	Just/Market	Assessed	County	School	Municipal			
Tear	Exemption	Value	Value	Taxable Valu	e Taxable Value	e <u>Taxable Value</u>			
2019	No	\$117,275	\$111,295	\$111,2	95 \$117,27	5 \$111,295			
2018	No	\$127,166	\$101,177	\$101,1	\$127,16	6 \$101,177			
2017	No	\$105,596	\$91,979	\$91,9	79 \$105,59	6 \$91,979			
2016	No	\$83,617	\$83,617	\$83,6	17 \$83,61	7 \$83,617			
2015	No	\$88,385	\$88,385	\$88,3	85 \$88,38	5 \$88,385			
2014	No	\$87,751	\$87,751	\$87,7	51 \$87,75	1 \$87,751			
2013	No	\$90,320	\$90,320	\$90,3	20 \$90,32	0 \$90,320			
2012	No	\$95,164	\$95,164	\$95,1	64 \$95,16	4 \$95,164			
2011	No	\$111,454	\$111,454	\$111,4	54 <b>\$</b> 111,454	4 \$111,454			
2010	No	\$115,539	\$115,539	\$115,5	39 \$115,53	9 \$115,539			
2009	No	\$151,521	\$151,521	\$151,5	21 \$151,52	1 \$151,521			
2008	No	\$186,600	\$186,600	\$186,6	00 \$186,60	0 \$186,600			
2007	No	\$186,200	\$186,200	\$186,2	00 N/A	A \$186,200			
2006	No	\$106,500	\$106,500	\$106,5	00 N/A	<b>\$106,500</b>			
2005	No	\$78,600	\$78,600	\$78,6	00 N/A	A \$78,600			
2004	No	\$68,600	\$68,600	\$68,6	00 N/A	<b>\$68,600</b>			
2003	No	\$58,500	\$58,500	\$58,5	00 N/A	<b>A</b> \$58,500			
2002	No	\$35,300	\$35,300	\$35,3	00 N/A	<b>A</b> \$35,300			
2001	No	\$34,500	\$34,500	\$34,5	00 N/2	<b>4</b> \$34,500			
2000	No	\$29,500	\$29,500	\$29,5	00 N/A	A \$29,500			
1999	No	\$27,500	\$27,500	\$27,5	00 N/2	<b>A</b> \$27,500			
1998	No	\$27,000	\$27,000	\$27,0	00 N/A	A \$27,000			
1997	No	\$23,400	\$23,400	\$23,4	00 N/2	A \$23,400			
1996	No	\$24,000	\$24,000	\$24,0	00 N/2	A \$24,000			
	2020 7	<b>Fax Information</b>		Ranked	Sales (What are Ranke	ed Sales?) See all			
2020	Tax Bill	Tax Dis	trict: TS		transaction	<u>s</u>			
2020	Final Millage	Rate	20.0018	Sale Date	<b>Book/Page</b>	Price <u>Q/U</u> <u>V/I</u>			
Do no	t rely on curre	ent taxes as an estin	nate	09 Feb	8676 / 1886 📕	\$95.000 O V			
follow	ing a change	in ownership. A sigi	nificant	2015					
chang	e in taxable v	alue may occur after	ra	1971 (	)3556 / 0989 🔛	\$3,000 Q			
Save	er due to a los	ss of exemptions, re	set of the arket						
condi	tions. Please	use our new Tax Est	timator to						
estima	ate taxes unde	er new ownership.							
		2	020 Land 1	nformation					
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Vaca	ant (00) 54:	x145 2600.00	54.0000	1.0296	9	5144,556 FF			
Vaca	ant (00) 54:	x145 2600.00	54.0000	1.0296	\$	6144,556 FF			

Lakab kana ta hidal 2021 Extre Footures							
[click here to hide] 2021 Extra Features							
Description	v aluc/ Ollit	No Extr	a Feature	s on Record	Depreciate	u vulue reur	
		[click her	e to hide	Permit Data			
[click here to hide] Permit DataPermit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non- permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.							
Permit N	Number	Description	on	Issue Date	Estimat	ed Value	
No Permit Data Found							



### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

PROJECT NAME: 21-28 - TARPON SPRINGS PLAZA - DISCUSSION ITEM - 41522 US HWY 19 N

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Minor Site Plan       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other					
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):					
□ PLANNING & ZONING BOARD (P&Z) □ HERITAGE PRESERVATION BOARD (HPB) □ BOARD OF ADJUSTMENT (BOA) □ BOARD OF COMMISSIONERS (BOC) ☑ TRC ONLY					
REVIEW COMMENTS: REVIEWER DEPARTMENT:					
APPROVE DENY DEFER SEE BELOW NO COMMENTSINITIALS					
ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC					

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

#### **CITY OF TARPON SPRINGS, FLORIDA Discussion Item/Meeting Request Application**

Return to: Planning & Zoning Department 324 E. Pine Street Tarpon Springs, FL 34689 (727) 942-5611

(Please type or print clearly) Property Owner(s)						
Name	Email					
Tarpon Springs Plaza LLC		cjallo@ outlook.com				
Address PO BOX 1098						
City		State			Zip	7
		FL		Quilinia	3469	/
727-254-2190	727-786-632	0		Cellula	r	
Applicant						
Name Oliveri Architects			Emaí SCOtt	a @olive	eriarc	hitects.com
Address 32707 US HWY 19						
city Palm Harbor	<sup>xity</sup> alm Harbor			Zip 34684		
Phone 727 781 7525	Fax			Cellula	r	
Agent (if applicable)			•			
Name Joesph Oliveri			Emai jlo@	ı oliveria	archite	ects.com
Address 32707 US Hwy 19						
City Palm Harbor		State FI			Zip 3468	4
Phone 7276864029	Fax Cellular					
General Information						
Project Name Office / Warehouse						
Property Location or Address 41522 Us Hwy 19, Tarpon S	Springs , FI , 34	4698				
Legal Description (attach additional s TARPONSPRINGSOFFICIAL MAP	heets as necessar PBLK 22, S 150 F	y) FT OF LOTS 7 /	AND 8 LES	SRD R/	W (SE	E S07-27-16)
Tax Parcel Number(s) 12-27-15-89982-022-0701		Site Acreage 1.46			Percentage of City	
Land Use & Zoning Informat	ion					
Present Designations of Pre	operty (County)					
Land Use Category Zonir	a District					

Zoning District Land Use Category

Office / Warehouse HB District

The following should be furnished with this application:

Completed original application with digital copies of all application documents

Property survey including legal description

UWritten Description of proposal

□ Site Plan of proposed project if applicable

Proof of ownership (warranty deed, title certification, etc.)

#### **CITY OF TARPON SPRINGS, FLORIDA Discussion Item/Meeting Request Application**

### AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Chamoun Jallo, as Manager is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

(we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

<sub>Date:</sub> 03-05-2021		Title Holder/Property Owner:
Date:		Title Holder/Property Owner:
Date:		Title Holder/Property Owner:
Date:		Title Holder/Property Owner:
STATE OF FLORIDA	)	
COUNTY OF PINELLAS	)	

The foregoing instrument was acknowledged before me this 5th day of March , A.D., 20 21

Chamoun Jallo, as Manager of Tarpon Springs Plaza, LLC , who is personally known to me or who has produced by PROPERTY OWNER NAME PRINTED as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name:	DIMITRA KOUMOUNDOUROS
Signature:	xyy

Stamp:



DIMITRA KOUMOUNDOUROS Commission # GG 272173 Expires December 10, 2022 Bonded Thru Budget Notary Services



CYPRESS STREET



### TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

PROJECT NAME: 21-31 - City of Tarpon Springs - Discussion Item for Pickle Ball Court - 530 E Live Oak Blvd

DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat       Variance         Certificate of Approval (Historic District)       Conceptual Planned Development       Planned Development       Annexation         Preliminary Planned Development       Final Planned Development       Annexation         Development Agreement       Temporary Use       Amendment to the LDC       Special Area Plan         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement Grant         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Other							
THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):							
□ PLANNING & ZONING BOARD (P&Z) □ HERITAGE PRESERVATION BOARD (HPB) □ BOARD OF ADJUSTMENT (BOA) □ BOARD OF COMMISSIONERS (BOC) ☑ TRC ONLY							
REVIEW COMMENTS: REVIEWER DEPARTMENT:							
APPROVE DENY DEFER SEE BELOW NO COMMENTSINITIALS							
ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE / REGULATION / STANDARD SO THAT WE MAY PROVIDE THE CLEAREST							

CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

### CITY OF TARPON SPRINGS, FLORIDA Discussion Item/Meeting Request Application

(Please type or print clearly)								
Property Owner(s)				-				
Name City of Tarpon Springs				Email				
Address					ancgee@cisil.us			
324 East Pine Street								
City		State			Zip			
Tarpon Springs		FL			34689			
Phone	Fax			Cellula	ar			
727-938-3711								
Applicant								
Name			Em	nail				
same								
Address								
City		State			Zip			
Phone	Fax			Cellula	ar			
Agent (if applicable)								
Name			Em	Email				
n/a								
Address								
City		State		Zip				
Phone	Fax		Cellula	Cellular				
General Information								
Project Name								
pickleball court								
Property Location or Address								
230 East Live Oak Street								
Legal Description (attach addition	onal sheets as necessa	ry)						
Tax Parcel Number(s)			Site Acre	eage		Percentage of City		
12-27-15-89982-016-0101				C		<b>·</b> ·		
Land Use & Zoning Infor	mation							
Present Designations	of Property (County)							
Land Use Category	Zoning District							
CRD	Civic							
The following should be fu Completed original appl Property survey including Written Description of pro	rnished with this ap ication with digital o legal description	plication: copies of all a	pplicatio	n docum	ents			

Site Plan of proposed project if applicable

□ Proof of ownership (warranty deed, title certification, etc.)
Proposed Pickleball Court 802 Safford Ave



\*

#### 1. New court

Surface dimensions 64' X 70' (north to south)

Set on 4" crushed concrete base (supplied by city)

Base to be compacted @ 95+ percent prior to slab installation

Concrete pad 4" thick with 6" x 10" thickened edge (footer) and north to South center line 3,000 PSI mix

Steel reinforcement 3/8'' steel rebar 24 inches to 36 inches on center Crown from center outward 1/2'' - 1'' per 16' (1/4% - 1/2% slope)Light broom finish

Saw cut expansion joints in quadrants N to S and E to W



#### New Surface:

The entire court will require, at a minimum, two (2) coats of acrylic surface and two (2) coats of sand-fortified acrylic texture

Playing area to be to be dark Blue, Non-Volley Zone (Kitchen) and outside of play area to be Green (city has right change colors and shades)

2" playing lines white in color, located, marked, and painted using white heavy bodied acrylic latex compound containing pigments and mineral filler to form a high hiding line.

### Net:

Pickleball net is to be 36 inches at the furthest sidelines and drops to 34 inches at the center of the court. Overall net size is 20 feet by 3 feet.

A center strap is to be placed at the center of the net to stabilize the net and prevent it from sagging.

Net posts should be placed about 12 inches past the sidelines. The net will be attached to these posts via a cable that runs through the 2-inch white binding located across the top of the net.

Posts are to be "Douglas Premier XS-36 Pickleball posts, 2-7/8" OD with stainless steel gears" or equivalent

## Fencing:

Fencing to encapsulate entire perimeter of courts Chain-link fence to be Black Vinyl coated with 4 lockable man gates at 36" X 80". North and south section to be minimum of 10' in height and east west sections to be minimum of 4' in height





.

## TECHNICAL REVIEW COMMITTEE (TRC) COMMENT SHEET

## PROJECT NAME: 21-37 - Leslie Hale Ministries - Discussion Item - 1355 Rainville Road

#### DATE: 4/1/2021

APPLICATION TYPE:       Site Plan       Site Plan Amendment       Re-zoning         Future Land Use Amendment       Conditional Use       Vacation       Subdivision Plat         Certificate of Approval (Historic District)       Conceptual Planned Development       Planned Development       Annexation         Preliminary Planned Development       Temporary Use       Amendment to the LDC       Special Are         Planned Development Modification       License to Encroach       Sidewalk Café         Non-Conforming Lot of Record       Minor Subdivision       CRA Façade Improvement G         CRA Restaurant Recruitment Grant       CRA Building Code Assistance Grant         Comprehensive Plan Amendment       ROW Utilization Permit       Design Review         Appeal of an Administrative Decision       Discussion Item       Sidewalk Waiver       Oth         THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC       HEARING(S):	□ Variance ea Plan Grant eer C
<ul> <li>□ PLANNING &amp; ZONING BOARD (P&amp;Z)</li> <li>□ HERITAGE PRESERVATION BOAR</li> <li>□ BOARD OF ADJUSTMENT (BOA)</li> <li>□ BOARD OF COMMISSIONERS (BOC)</li> <li>○ TRC ONLY</li> </ul>	RD (HPB)
REVIEW COMMENTS: REVIEWER DEPARTMENT:	
RE APPROVE DENY DEFER SEE BELOW NO COMMENTS IN	EVIEWER NITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEAREST INFORMATION POSSIBLE TO THE APPLICANT.

## CITY OF TARPON SPRINGS, FLORIDA Discussion Item/Meeting Request Application

Return to: Planning & Zoning Department 324 E. Pine Street Tarpon Springs, FL 34689 (727) 942-5611

(Please type or print clearly)							
Name			E	Email			
Faith World Inc.							
Address 1355 Rainville Rd							
City Tarpon Springs	лин на селото на село Л	State FL			Zip 3468	9	
Phone (727)938-0112	Fax	IX		Cellular			
Applicant							
Name Nathan Dechelbor			E N	Email nathan@dechelbor.com			
Address 12520 Ashdown Dr							
<sup>City</sup> Odessa		State FL			Zip 33556		
Phone (813)598-7009	Fax	Fax Cel		Cellula	əllular		
Agent (if applicable)			_				
Name			E	Email			
Address					<u></u>		
City	_	State			Zip		
Phone	Fax	x		Cellula	Cellular		
General Information				l			
Project Name Leslie Hale Ministries Pa	rsonage addition						
Property Location or Address 1355 Rainville Rd Tarpor	n Springs FL 346	89					
Legal Description (attach addition Attached	onal sheets as necessa	ary)	U				
Tax Parcel Number(s) 01-27-15-89136-000-0570		Site Acreage			Percentage of City		
Land Use & Zoning Infor	mation				*******	L	
Present Designations	of Property (County)						
Land Use Category	Zoning District						
The following should be fu	rnished with this a	pplication:					

Completed original application with digital copies of all application documents

Property survey including legal description

U Written Description of proposal

□ Site Plan of proposed project if applicable

Proof of ownership (warranty deed, title certification, etc.)

# **Description of work:**

Church parsonage that houses a minimum of 12 - 20 units for out of town teachers and curators for the tabernacle and church. Building would be 200'-0" X 50'-0".

# Legal description:

TAMPA & TARPON SPRINGS LAND CO LOT 57 LESS THAT PART LYING WITHIN 50FT OF N/S C/L OF SEC & LESS N 198.86 FT OF W 33FT & LESS N 25FT FOR RAINVILLE PARK RD TOGETHER WITH THAT PART OF SE 1/4 OF SW 1/4 OF SEC DESC AS COM AT NE COR OF SE 1/4 OF S/W 1/4 TH S 333 FT(S) TH W 67FT(S) FOR POB TH S 152.2FT TH W 346FT TH S 152.2FT TH W 130FT TH N 304.4FT TH E 476FT(S) TO POB (PER OR'S 10799/1617 & 10960/1900)





LEGEND
O - POWER POLE
🗢 - LIGHT POLE
P - U.G. PROPANE TANK
D ~ SEPTIC TANK
() - WELL & PUMP
C - CABIF TV BOX
X - WATER METER
Ø - WATER VALVE
B.F.P BACKELOW PREVENTER
TOP OF BANK
∞~ – OAK
00°A - PALM
00°CI - PINE
00°D - MAPLE
00°O - CAMPHOR
∞°O – HOLLY
00°O - AUSTRALIAN PINE
00°O - MAGNOLIA
∞° — JACARANDA
oo" - WILLOW
∞ · · · · SUGARBERRY
00° A - CHERRY LAUREL
N'II - RAY

L 1	NE UA	IA
LINE LABEL	BEARING	DISTANCE
LI	N31'02'56"E	34.67'M
L2	N47'39'05"E	44.48'M
L3	S88'59'41"E	35.80'M
L4	\$47*30'26"E	50.80'M
L5	S61*42'42"E	41.96'M
L6	S57"47'35"E	48.40'M
L7	S05'38'45"W	40.39'M
L8	S18'07'52"W	29.86'M
L9	S36'07'26"W	44.95'M
L10	S56'56'46"W	52.52'M
L11	S28'37'25"W	52.28'M
L12	N77*32'42"W	41.17'M
L13	N50"21'35"W	59.14'M
L14	N02"17'25"E	45.47'M
L15	N40*41'59"W	30.83'M
L16	N13"23'04"E	45.87'M
L17	N00"28'23"E	40.33'M



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