



# *City of Tarpon Springs, Florida*

PLANNING AND ZONING DEPARTMENT  
324 EAST PINE STREET  
P.O. BOX 5004  
TARPON SPRINGS, FLORIDA 34688-5004  
(727) 942-5611  
FAX (727) 943-4651

Renea Vincent, AICP, CPM  
Director

**HERITAGE PRESERVATION BOARD  
JUNE 7, 2021, AT 6:30 PM  
CITY HALL AUDITORIUM  
324 EAST PINE STREET, TARPON SPRINGS, FLORIDA**

## **A G E N D A**

- 1. CALL TO ORDER, ROLL CALL**
- 2. PUBLIC COMMENTS**
- 3. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**
- 4. APPROVAL OF MINUTES**
  - APRIL 5, 2021**
- 5. APPLICATION 21-43; 28 WEST CENTER STREET; INSTALLATION OF A PORCH ROOF OVER AN EXISTING SLAB ON A CONTRIBUTING STRUCTURE**  
**Applicant has requested a continuance of this item to the June 12, 2021 meeting**
- 6. APPLICATION 21-61; 37 WEST BOYER STREET; REPLACEMENT OF WINDOWS ON A CONTRIBUTING STRUCTURE**
- 7. APPLICATION 21-60; 105 EAST TARPON AVENUE; REPLACEMENT OF STOREFRONT ON A CONTRIBUTING STRUCTURE**
- 8. STAFF COMMENTS**
- 9. BOARD COMMENTS**
- 10. ADJOURNMENT**

If a person decides to appeal any decision made by the Heritage Preservation Board with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. You are invited to attend that meeting to express your views or to present facts in regard to the case. Written comments may be addressed to the Planning & Zoning Department, P.O. Box 5004, Tarpon Springs, Florida 34688-5004, and will become part of the record. All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning &

Zoning Department, (727) 942-5611. Said hearing may be continued from time to time pending adjournment. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611 or email a written request to [kyothers@ctsfl.us](mailto:kyothers@ctsfl.us).

## **SECRETARY OF THE INTERIOR'S STANDARDS**

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its environment.*
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time. Those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes, construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- 9. New additional, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

M I N U T E S  
HERITAGE PRESERVATION BOARD  
CITY OF TARPON SPRINGS, FLORIDA  
REGULAR SESSION – APRIL 5, 2021

THE HERITAGE PRESERVATION BOARD OF THE CITY OF TARPON SPRINGS, FLORIDA, MET IN REGULAR SESSION IN THE CITY HALL AUDITORIUM, 324 EAST PINE STREET, ON MONDAY, APRIL 5, 2021, AT 6:30 P.M., WITH THE FOLLOWING PRESENT:

Bill Sprecher	Vice Chairperson
Kathleen Hallett	Member
Michelle Ryan	Member
Philip Mrozinski	Alternate

ALSO PRESENT: Patricia McNeese Principal Planner  
Erica Augello Board Attorney  
Kimberly Yothers Secretary to the Board

**1. CALL TO ORDER, ROLL CALL**

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Mr. Sprecher called the meeting to order at 6:30 p.m.

Recording Secretary Yothers called the roll.

**2. PUBLIC COMMENTS**

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There were no public comments.

**3. APPROVAL OF MINUTES**

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- a. January 11, 2021
- b. March 1, 2021

MOTION: Ms. Hallett  
SECOND: Ms. Ryan

To approve January 11, 2021 and March 1, 2021 minutes.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Mr. Mrozinski	Yes
Ms. Ryan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

**4. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**

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Mrs. Augello made the quasi-judicial announcement and swore in all who wished to testify. She asked if there were any ex-parte communications or conflicts of interest; there were none.

**5. APPLICATION 20-146; 316 WEST LEMON STREET; ADDITION OF A FRONT PORCH AND NEW ROOF TO THE PRINCIPAL BUILDING, AND, CONSTRUCTION OF A POOL, BATH HOUSE WITH PORCH, FENCING AND LANDSCAPING**

**Staff:**

Mrs. McNeese provided background information and noted that Staff recommended approval of the project as presented by the applicant with the following conditions:

1. The landscape hedge around the pool area (Lemon Street and Pineapple Street sides) shall achieve an 80% opacity within one year of installation.
2. The applicant was advised that the two individual lots were required to be combined into one parcel before a building permit would be issued for the accessory uses (pool and bath house with attached covered porch).
3. The applicant was advised that a rear yard setback variance was required for the bath house in order to build it as shown on the submitted site plan. If the variance was denied, the bath house may be built in conformance with the district setbacks using the design and materials approved under this Certificate of Approval without the need for a second review.
4. The Certificate of Approval would expire in three (3) years if a building permit was not issued for the project.

It was also recommended that the Heritage Preservation Board make findings with respect to the proposed rear setback of the bath house.

**Board:**

Mr. Sprecher asked whether the height of the bath house was accurate.

Mrs. McNeese indicated that the applicant would have to speak to answer the question.

Mr. Mrozinski asked if the roof would be standing seam or metal sheets nailed down.

Mrs. McNeese noted that the applicant should answer this technical question.

**Applicant:**

Jay Wilson, 1018 Hamilton Drive, was sworn in and noted that the height of the bath house roof was going to be 17 feet. The standing seam roof would have 16" panels that overlapped. There would be a rib that went down the center.

**Public:**

Nils Hase, 124 Shaddock Street, noted that he had a garage on the alleyway that was about 10 feet from the rear property line. He was in favor of approval of the application.

Ms. Ryan asked whether the applicant planned on keeping the pool house in line with the character of the main house.

Mr. Wilson indicated that the pool house was going to match the house.

(Continued)



**APPLICATION 20-146; 316 WEST LEMON STREET (CONTINUED)**

Ms. Hallett asked if the existing trees and landscaping would be removed

Mr. Wilson noted that there would be no trees removed.

MOTION: Mr. Mrozinski  
SECOND: Ms. Hallett

To approve Application with staff's preliminary recommendations and also to recommend that there be approval of the 10-foot setback for pool house from the alley to allow the pool house to set back further from W Lemon Street.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Mr. Mrozinski	Yes
Ms. Ryan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

**6. APPLICATION 21-27; 418 ORANGE STREET; REPLACEMENT OF AN EXISTING ADDITION TO THE PRINCIPAL BUILDING**

Staff:

Mrs. McNeese provided background information and noted that Staff recommended approval of the project as presented by the applicant with the following conditions:

1. When removing the rear window at the east side of the house the asbestos siding shall also be removed to expose the wood novelty siding. Wood siding should be repaired as needed in accordance with the City's guidelines.
2. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

Board:

Ms. Ryan asked which windows would be replaced.

Jennifer Davis, Kontos Construction, 201 S Levis Ave., noted that the porch as it stood was uninhabitable, which was why they could not repair the porch.

MOTION: Ms. Hallett  
SECOND: Ms. Ryan

To approve application 21-27 with the conditions recommended by Staff.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Mr. Mrozinsky	Yes
Ms. Ryan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

**7. APPLICATION 21-29; 101 & 105 EAST TARPON AVENUE; RENOVATION OF THE FRONT FACADE OF THE BUILDING**

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Staff:

Mrs. McNeese provided background information and noted that Staff recommended **approval** of the project as presented by the applicant with the following conditions:

1. The brick veneer shall be limited to the area currently covered with the tile/vitrolite material on the facade.
2. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

Board:

Mr. Mrozinski asked if the applicant wanted to remove all of the black vitrolite.

Mrs. McNeese noted that she was under the understanding that all of the vitrolite would be replaced with brick.

Applicant:

Ms. Vavlas noted that she wanted to replace all of the black parts with the brick.

MOTION: Mr. Mrozinsky  
SECOND: Ms. Hallett

To approve application 21-29 for 101 East Tarpon Avenue only, with the Staff recommendations, and with the condition that the construction on 101 East Tarpon Avenue does not affect 105 East Tarpon Ave. The applicant would need to return to get approval for 105 E Tarpon Ave.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Mr. Mrozinsky	Yes
Ms. Ryan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

**8. STAFF COMMENTS**

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There were no Staff comments.

**9. BOARD COMMENTS**

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There were no Board comments.

**10. ADJOURNMENT**

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With no further business, Chairman Sprecher adjourned the meeting at 7:30 p.m.

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Bill Sprecher, Chairman

DRAFT

# **GAIL KIDWELL APPLICATION #21-61**

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Heritage Preservation Board, June 7, 2021

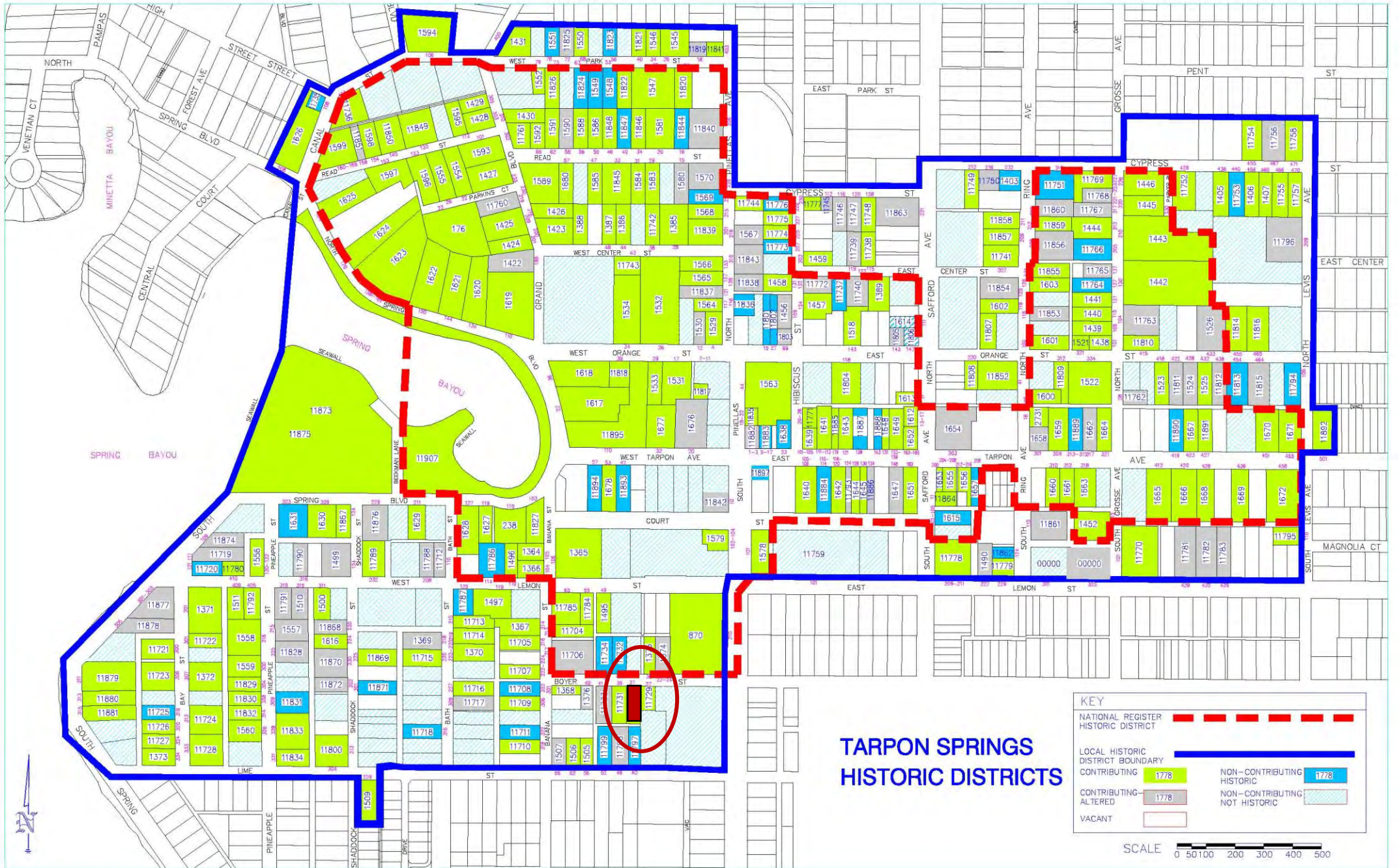




# LOCATION & CONTEXT







# REQUEST

- Certificate of Approval for window replacements
- Lot Size: 6,500 square feet
- Architectural Type/Style: masonry vernacular
- District Status: contributing
- Florida Master Site File No. 8PI11730
- Applicant / Owner: Pella Windows & Doors / Gail Kidwell





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# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 1) New construction consistency.
- 2) **Windows, doors and entries.**
- 3) Neighborhood and district context.
- 4) Roof shape and texture.
- 5) Size and massing / shape.
- 6) Landscaping.
- 7) **Architectural features.**
- 8) **Adherence to period of construction.**
- 9) **Adherence to Secretary's Guidelines.**
- 10) **Conformance with other City code requirements.**
- 11) Impact upon archeological sites.

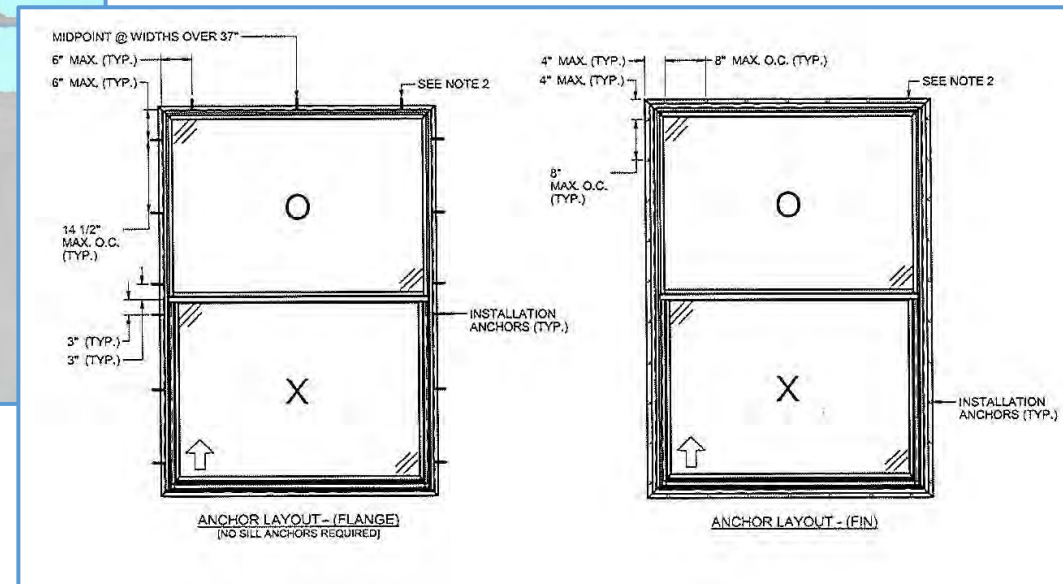
**Especially Applicable Guidelines: 54 and 55**

# ADDITIONAL INFORMATION

## Project Features:

- Replacement of three windows on front facade
- Ca. 1955 structure – “masonry vernacular” with ranch features
- Existing windows:
  - 1 over 1 (1/1) lights, appear to be single hung
  - includes three openings: two are single set and one is double set
  - metal construction
  - appear to be original to the structure.
- Proposed windows:
  - to be replaced size for size
  - single hung 1/1 vinyl windows

# Windows





existing windows



# PRELIMINARY STAFF RECOMMENDATION

Staff recommends approval of Application #21-61 for a Certificate of Approval with the following condition:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No responses to the notices have been received.



**CITY OF TARPON SPRINGS**  
**HERITAGE PRESERVATION BOARD**  
**JUNE 7, 2021**

**STAFF REPORT, May 29, 2021**

**Application No. / Project Title:** 21-61 / Gail Kidwell  
**Staff:** Patricia L. McNeese, AICP  
Principal Planner  
**Applicant / Owner:** Pella Windows & Doors / Gail Kidwell  
**Property Size:** 6,500 square feet  
**Current Zoning:** T4d (Residential Low)  
**Current Land Use:** Community Redevelopment District (CRD)  
**Location / Parcel ID:** 37 West Boyer Street / 13-27-15-32310-075-0070  
**Architectural Type/District Status:** Masonry Vernacular/Contributing

**BACKGROUND SUMMARY:**

The applicant is seeking a Certificate of Approval to replace three windows on the front facade of the residence at 37 West Boyer Street. The Florida Master Site File (FMSF) form for this structure (8PI11730) lists this property as a contributing resource, built in 1955. The FMSF form notes the architectural type as masonry vernacular. This residence exhibits features of the ranch style typical of the period including low-pitched side gable roof, asymmetrical form, emphasis on width, lack of ornate features, brick veneer stringcourse and lack of front porch.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff recommends **approval** of the project as presented by the applicant with the following condition:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**HISTORIC DISTRICT CONSIDERATIONS:**

1. When considering this application, the Heritage Preservation Board (Board) is encouraged to refer to the Historic District Design Review Guidelines Manual (DRGM), especially Guidelines 54 and 55. The DRGM can be accessed at the following link: <https://www.ctsfl.us/wp-content/uploads/2021/03/Historic-District-Design-Review-Guidelines-Manual.pdf>
2. The applicant has stated that the windows are of metal construction, although it is unknown if they are original to the structure.
3. Window replacements will match existing size and fenestration and the vinyl material should present a very similar appearance to the existing windows.



## REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

***(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.***

ANALYSIS: Not applicable to this project.

***(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.***

ANALYSIS: The applicant is proposing replacement of the windows in the three openings in the front. The replacements will be size for size in the existing openings and therefore fenestration will not change. The windows will match the current configuration of a double 1/1 set in the middle opening and single set for the east and west openings, all with 1 over 1 (1/1) lights.

***(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.***

ANALYSIS: Not applicable to this project.

***(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.***

ANALYSIS: Not applicable to this project.

***(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.***





**ANALYSIS:** Not applicable to this application. The applicant does not propose any changes to the size and mass of the building or to the window fenestration.

***(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.***

**ANALYSIS:** Not applicable to this project.

***(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.***

**ANALYSIS:** The applicant is proposing to replace metal windows with vinyl windows. It is not clear whether the existing windows are original to the structure, although metal was often used during the period of construction (mid-1950s). The window dimensions appear to be very similar to the existing windows. The existing white-color of the finish already conveys an appearance that would closely match a white vinyl. The proposed replacements are appropriate for this structure.

***(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.***

**ANALYSIS:** Not applicable to this project.

***(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.***

**ANALYSIS:** Guideline 6 of the Secretary's Standards states, "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence."

Documentation of the condition of the windows has not been provided. However, the proposed material is judged to be so similar to the existing in texture and quality, that the material replacement is appropriate.





***(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.***

**ANALYSIS:** The project meets the requirements of the City's land development code. The project is consistent with the goals, objectives, and policies of the City's Comprehensive Plan.

***(11) The impact upon archaeological sites shall preserve the integrity of the site.***

**ANALYSIS:** No archaeological sites will be impacted.

**PUBLIC CORRESPONDENCE:**

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff has not received any responses to these notices.

**ATTACHMENTS:**

1. Slide Presentation
2. Florida Master Site File Form #8PI11730
3. Application and supporting materials



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Consult Guide To Historical Structure Forms for detailed instructions

Site # 8PI11730Recorder # 283Recorder Date 2/20/09Original Update Site Name 37 W Boyer Street Other Names \_\_\_\_\_Project Name Historic Resources Survey of Tarpon SpringsHistoric Contexts Modern National Register Category Building

### LOCATION and IDENTIFICATION

Address 37 W Boyer StreetVicinity of S side of Boyer between Pinellas and BananaCity Tarpon Springs County PinellasOwnership Private-individual Subdivision \_\_\_\_\_ Block # \_\_\_\_\_ Lot # \_\_\_\_\_

### MAPPING

USGS Map TARPON SPRINGS Township 27S Range 15E Section 13Quarter \_\_\_\_\_ Qtr Qtr \_\_\_\_\_ Irregular Section  UTM Zone 17Easting 327398 Northing 3114406 Land Grant UnknownLatitude \_\_\_\_\_ Longitude \_\_\_\_\_ Plat or Other Map Aerial Photographs

### HISTORY

Architect/Builder Unknown Construction Date 1955 Circa Alterations  Date c.1995 Type/Location carport enclosed; windows replacedAdditions  Date c.1970 Type/Location rear shed roof, one story, stuccoMoved  Original Location \_\_\_\_\_Use Original Private residence Use Present Private residence

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Interior Plan Unknown Stories 1Structural System Concrete block Exterior Fabric Drop siding; Brick; StuccoFoundation Slab Foundation Materials Poured concrete Foundation Infill N/ANo. of Porches 1 Locations/Features shed roof portico with metal supports with a scroll designMain Entrance (stylistic details): off-center entry under shed porticoOutbdgs.  Number \_\_\_\_\_ Nature/Location (Describe below) \_\_\_\_\_Roof Type Gable Roofing Materials Composition shinglesSecondary Structures  Comments Not applicable Location \_\_\_\_\_Chimneys  Number 2 Orientation South; West Location Slope/Interior; Wa Material ConcreteWood Windows  Type \_\_\_\_\_ Light # \_\_\_\_\_Metal Windows  Type SHS Light # 1/1Exterior Ornament concrete sills, brick band at window levelCondition Fair Surroundings Residential

Narrative (general, interior, landscape, context; 3 lines only)

This structure is a simple masonry vernacular residence with sympathetic alterations.Archaeological Remains Present  FMSF Archaeological Site Form Completed (if yes, attach)

Consult Guide To Historical Structure Forms for detailed instructions

## RECORDER'S EVALUATION OF SITE

Individually Eligible for National Register? Yes  No  Likely, Need Information  Insufficient Information Potential Contributor to Nat. Reg. District? Yes  No  Likely, Need Information  Insufficient Information 

## Areas of Significance

Community planning &amp; development

## Summary of Significance

This resource is an example of residential architecture in Tarpon Springs during the Modern-era and is representative of the development of the City of Tarpon Springs. Possible expansion of the NRHP Historic District was evaluated, and resources immediately surrounding the current boundaries were considered for inclusion within the district if the NRHP boundaries are enlarged. This resource is considered contributing to the NRHP Historic District if the boundaries are enlarged.

DHR USE ONLY		OFFICIAL EVALUATIONS	DHR USE ONLY	
NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no		Date	____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info		Date	____/____/____
	LOCAL DESIGNATION: _____		Date	____/____/____
	Local office _____			
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)				

## DOCUMENTATION

**Research Methods** Florida Site File for past architectural surveys; Florida Site File search; Local library; Tax records; Pedestrian; Sanborn maps

**Bibliographic References** \_\_\_\_\_

**Location of Negatives** Janus Research **Negative Numbers** Roll 2885, #76, Facing S

## RECORDER INFORMATION

**Recorder Name** Janus Research

**Recorder Affiliation** JANUS RESEARCH, 1107 N. Ward Street, Tampa, Florida 33607 Telephone 813-636-8200

- REQUIRED:**
1. USGS 7.5' MAP WITH STRUCTURES PINPOINTED IN RED
  2. LARGE SCALE STREET OR PLAT MAP
  3. PHOTO OF MAIN FACADE, PREFERABLY B&W, AT LEAST 3x5

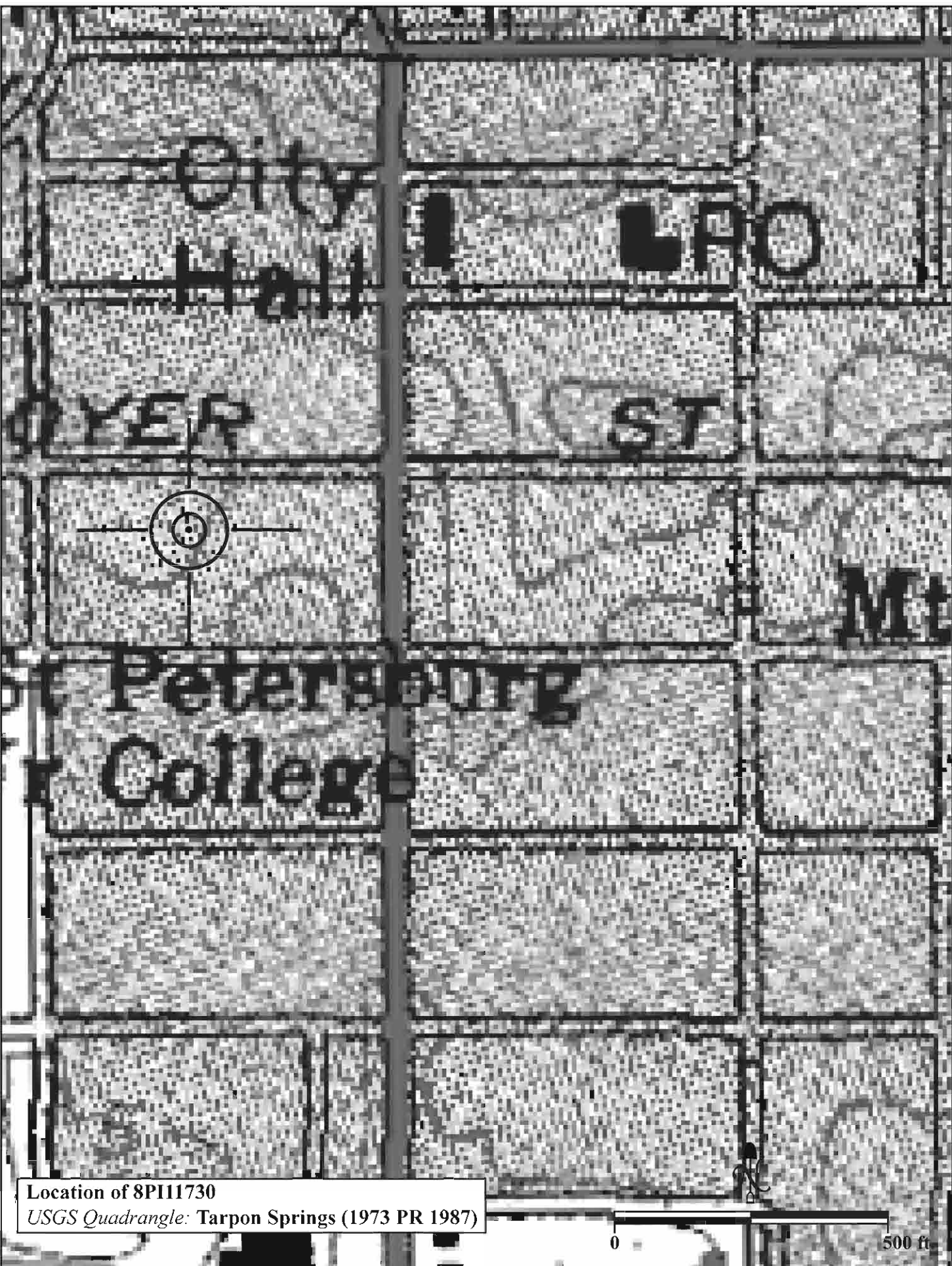


SKETCH MAP





USGS QUADRANGLE MAP



Location of 8PI11730  
USGS Quadrangle: Tarpon Springs (1973 PR 1987)

0

500 ft

**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

Return to:  
 Planning & Zoning Department  
 324 E. Pine Street  
 Tarpon Springs, FL 34689  
 (727) 942-5611

(Please type or print clearly)

**Property Owner(s)**

Name GAIL KIDWELL		Email	
Address 37 W BOYER ST			
City TARPON SPRINGS		State FL	Zip 34689
Phone 4196993028	Fax		Cellular

**Applicant**

Name PELLA WINDOWS & DOORS		Email REBECCA.STJOHN@EXPEDITEPERMIT.COM	
Address 4306 SHADER RD STE 100			
City ORLANDO		State FL	Zip 34808
Phone 4079372848	Fax		Cellular

**Agent (if applicable)**

Name		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

**General Information**

Property Location or Address 37 W BOYER ST	
Legal Description (attach additional sheets as necessary) GOURLEY'S W.H. SUB BLK 75 LOT 7	
Tax Parcel Number(s) 13-27-15-32310-075-0070	<b>Current Designations of Property</b>
	Land Use Category      Zoning District
Current Use of Property SFH	Contributing Structure? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

**Type of Proposed Activity:** [please check all that apply]

- |  |   |  |                                      |
|--|---|--|--------------------------------------|
| <input type="checkbox"/> Demolition            | <input type="checkbox"/> Relocation *     | <input type="checkbox"/> Structural Addition | <input type="checkbox"/> Driveway    |
| <input checked="" type="checkbox"/> Renovation | <input type="checkbox"/> New Construction | <input type="checkbox"/> New Roof            | <input type="checkbox"/> Other _____ |

**\* If Relocation, please indicate new location:**

New Property Location or Address	
Legal Description (attach additional sheets as necessary)	
Tax Parcel Number(s)	<b>Current Designations of Property</b>
	Land Use Category      Zoning District

**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

**General Building Information**

Year Built 1959	Architectural Style	Porches? <input type="checkbox"/> YES <input type="checkbox"/> NO
Original Use	Present Use	Proposed Use
Roof Type & Material	Exterior Siding Material	

**Previous Additions or Modifications:** [please describe and include dates]

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**Description of Proposed Work:**

REPLACE 3 WINDOWS SIZE4SIZE WITH NON IMPACT- USING 25% RULE

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**For relocation or demolition, describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible:**

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**Requirements for Submission:**

Please submit those items which have been checked by City staff:

- Completed original application with digital copies of all application documents
- \$50.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- \$50.00 application fee for signs only
- Property survey, signed and sealed by a professional land surveyor
- Architectural floor plans and elevations (10 copies)
- Site Plan for new construction (10 copies)
- Landscaping plan (10 copies)
- Details of exterior modifications

CITY OF TARPON SPRINGS, FLORIDA  
Heritage Preservation Board  
Application for Certificate of Approval

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Team HS Construction AGENT is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

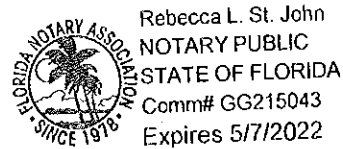
I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: <u>5/10/21</u>	Title Holder/Property Owner: <u>Ronald J. Philand</u>
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____

STATE OF FLORIDA            )  
COUNTY OF PINELLAS        )

The foregoing instrument was acknowledged before me this 10<sup>th</sup> day of May, A.D., 20 21  
by Robert Kidwell \_\_\_\_\_, who is personally known to me or who has produced  
PROPERTY OWNER NAME PRINTED  
\_\_\_\_\_ as identification and who did (did not) take an oath.

NOTARY PUBLIC  
Name: Rebecca St. John  
Signature: [Signature]  
Stamp: \_\_\_\_\_





**CITY OF TARPON SPRINGS, FLORIDA  
BUILDING PERMIT APPLICATION**

Permit No. \_\_\_\_\_

*Print clearly or type-do not use pencil*

Rev. 12/31/2017

1. Contractor (Company Name) Pella Windows & Doors			Phone (407) 937 2848		
Company Address 4306 Shade Rd Ste 100		City Orlando	State FL	Zip 32808	
Email Address Rebecca.Stjohn@expeditepermit.com					
License Holder James Rowland			State (DBPR) License No. CBC046712		County (PCCLB) License No.
2. Property Owner's Name Gail Kidwell			Phone (409) 699 3028		
Property Owner's Address 37 W Boyer St		City Tarpon Springs	State FL	Zip 34689	
Email Address					
5. Tenant or Leasee			Phone ( )		
Address		City	State	Zip	
6. Architect/Engineer's Name			Florida License No.		
Address		City	State	Zip	
7. Job Address 37 W Boyer St		Lot 7	Block 75	Subdivision Crowley's	
Parcel No. 13-27.15-32310-075-0070		Flood Zone		B.F.E.	Zoning District
8. Description of Work Replace 3 windows size with non impact using 25% rule			9. Value of Construction \$ 4500		
			<input type="checkbox"/> Check if over \$1,000,000 and see below for Public Art Acknowledgment guidelines *		

**IMPORTANT NOTICES TO APPLICANT:**

- I. The code in effect in this jurisdiction is the 2017 Florida Building Code 6<sup>th</sup> Edition.
- II. In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.
- III. An application for a permit for any proposed work shall be deemed to have been abandoned, becoming null and void 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing prior to the abandonment date and justifiable cause demonstrated.
- IV. A permit issued shall be construed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.
- V. Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within 180 days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. Failure to obtain an approved inspection within 180 days of the previous approved inspection shall constitute suspension or

**CITY OF TARPON SPRINGS, FLORIDA  
BUILDING PERMIT APPLICATION**

abandonment. The building official is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated. Permits issued for the demolition of a structure shall expire sixty (60) days from the date of issuance. For a justifiable cause, one (1) extension of time for a period not exceeding thirty (30) days may be allowed. Such request shall be in writing to the building official.

VI. Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

VII. OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

VIII. WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.

IX. IF YOU INTEND TO OBTAIN FINANCING, consult with your lender or an attorney before commencing work or recording your NOTICE OF COMMENCEMENT.

X. \* PUBLIC ART ACKNOWLEDGEMENT – Article XVII of the Comprehensive Zoning and Land Development Code, Sec 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT of projects with valuation of \$1,000,000 or more.

XI. FLOOD – If your property is located in a flood zone, you may be required to provide a sealed survey with elevations and an elevation certificate.

XII. ASBESTOS – FBC 6<sup>th</sup> Ed. (2017) 105.9 The enforcing agency shall require each building permit for demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owners or operators responsibility to comply with the provisions of section 469.003, FS and notify that department.

By signing below the property owner/agent and contractor do hereby acknowledge that they have read and understand the above.

Signature of Property Owner/Agent

Signature of Contractor

Sworn to and subscribed before me by John Christenson  
this 22nd day of April, 2021.

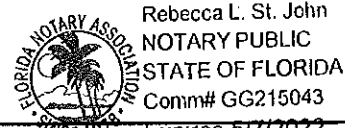
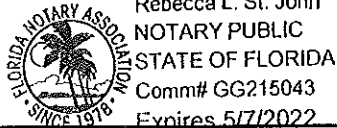
Sworn to and subscribed before me by John Christenson  
this 22nd day of April, 2021.

Personally known to me, or  
 Produced Identification: \_\_\_\_\_

Personally known to me, or  
 Produced Identification: \_\_\_\_\_

Notary's Signature Rebecca L. St. John  
NOTARY STAMP:

Notary's Signature Rebecca L. St. John  
NOTARY STAMP:



**FOR OFFICE USE ONLY**

	Yes	No	Building Permit Fees		Date of Application
Is City sewer service available to the property?	<input type="checkbox"/>	<input type="checkbox"/>	Plan Review Fee	\$	
Is City water service available to the property?	<input type="checkbox"/>	<input type="checkbox"/>	Permit Fee	\$	
Is the property within the Historic District?	<input type="checkbox"/>	<input type="checkbox"/>	TOTAL	\$	
Is the property within 660' of a known eagle nest?	<input type="checkbox"/>	<input type="checkbox"/>			

Approved by:	Date	Permit No.
--------------	------	------------

# PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administration Code 61G20-3.006, please provide the information and approval numbers (including the decimal) on the building components listed below if they will be utilized on the construction project for which you are applying for a permit. We recommend you contact your local supplier should you not know the product approval number for any of the applicable listed products.

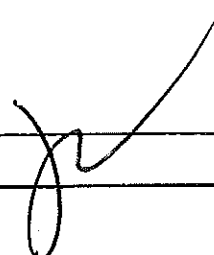
**\*\*PERMITS WILL NOT BE ISSUED WITHOUT THE COMPLETE PRODUCT APPROVAL NUMBER\*\***

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. EXTERIOR DOORS</b>			
A. SWINGING			
B. SLIDING			
C. SECTIONAL			
D. ROLL UP			
E. AUTOMATIC			
F. OTHER			
<b>2. WINDOWS</b>			
A. SINGLE HUNG	Custom Windows	5H-610 SH Vinyl	PL17234.1
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. DOUBLE HUNG			
E. FIXED			
F. AWNING			
G. PASS THROUGH			
H. PROJECTED			
I. MULLION	Custom Windows	3" Alum Tube Mull	PL9520.1
J. WIND BREAKER			
K. DUAL ACTION			
L. IMPACT WINDOWS			
<b>3. PANEL WALL</b>			
A. SIDING			
B. SOFFITS			
C. SHAKE			
D. STOREFRONTS			
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE			
I. GREENHOUSE			
J. VINYL SIDING			
K. SIDING OPTIONAL			
<b>4. ROOFING PROD.</b>			
A. ASPHALT SHINGLES			
B. UNDERLAYMENT			
C. ROOFING FASTENING			
D. ROOF FASTENING			
E. METAL ROOF			
F. ROOFING TILES			
G. ROOFING INSULATION			
H. WATERPROOFING			
I. BUILT UP ROOFING ROOF SYSTEMS			
J. RIDGE VENT			
K. SGL PLY ROOF SYSTEM			
L. ROOFING SLATE			

M. CEMENTS-ADHESIVES COATING			
<b>Category/Subcategory</b>	<b>Manufacturer</b>	<b>Product Description</b>	<b>Approval Number(s)</b>
N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED POLYURETHANE ROOF			
Q. OTHER			
<b>5. SHUTTERS</b>			
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
<b>6. SKYLIGHTS</b>			
A. SKYLIGHTS			
B. OTHER			
<b>7. STRUCTURAL COMPONENTS</b>			
A. WOOD CONNECTORS / ANCHORS			
B. TRUSS PLATES			
C. ENGINEERED LUMBER			
D. RAILING			
E. COOLERS- FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK ROOF			
K. WALL			
L. SHEDS			
M. OTHER			
<b>8. NEW EXTERIOR ENVELOPE PRODUCTS</b>			
A.			
B.			

APPLICANT SIGNATURE

X



DATE:

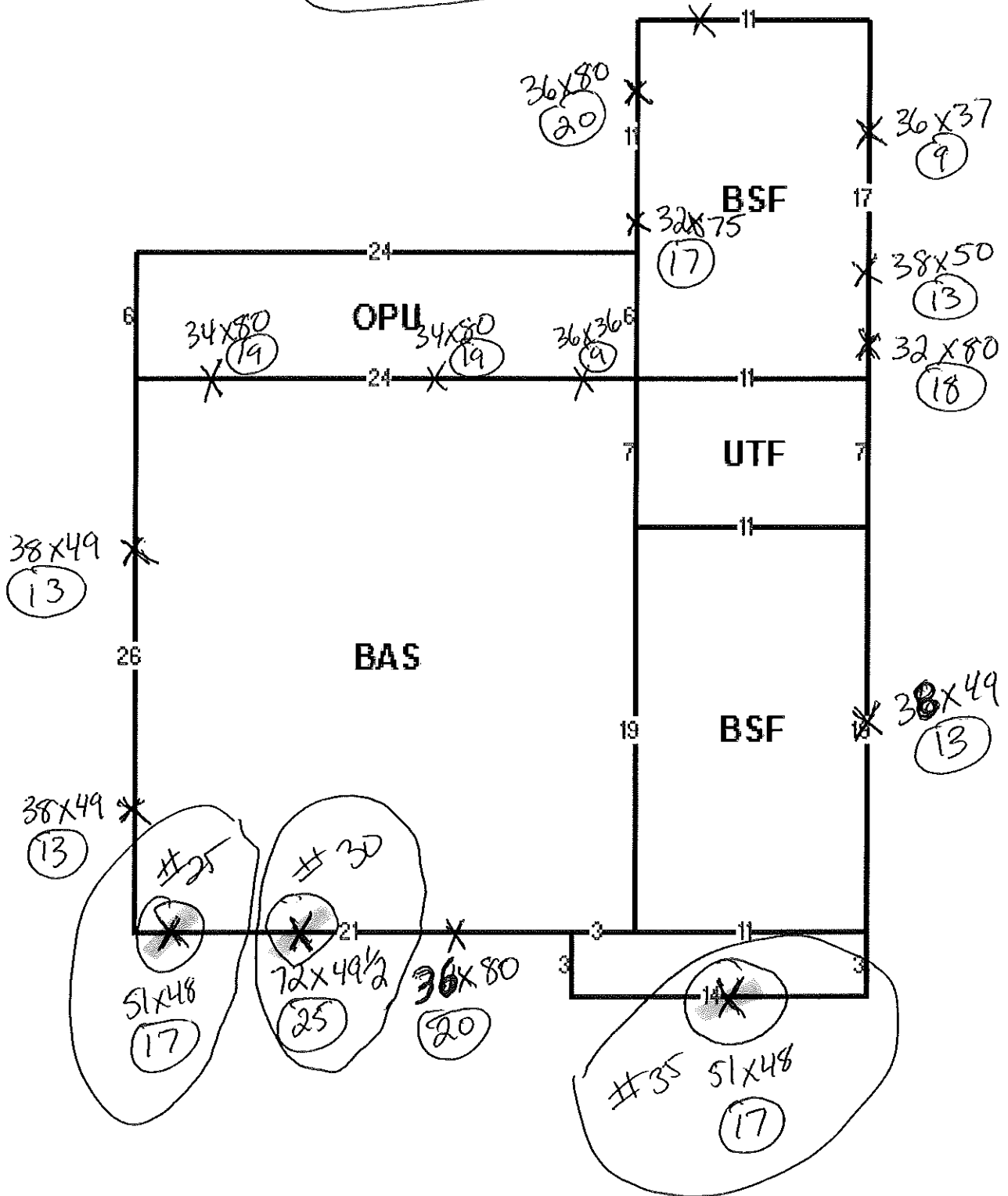
4/22/21

Total sq ft = 251

Total being replaced = 59 sq ft

Total % = 23%

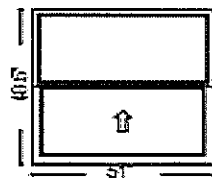
(9)  
36x37



Line #	Location:	Attributes	Qty
15	None Assigned	ADDPRRCOR020005 - Lead Safe Test	1

Line #	Location:	Attributes	Qty
20	None Assigned	ADDPRRCOR020001 - Delivery & Disposal	1

Line #	Location:	Attributes	Qty
25	dining room	Pella Defender Series, Single Hung, 51 X 48.5, White	1



PK #  
2086

Viewed From Exterior

17234.1

**1: 5148.5 Single Hung, Equal**  
**Frame Size:** 51 X 48 1/2  
**General Information:** 45, ASTM, Vinyl, Nail Fin, 3 1/4", 1", 2 1/4", 610 Series, Aluminum Checkrail  
**Exterior Color / Finish:** White  
**Interior Color / Finish:** White  
**Glass:** Insulated Dual Standard Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude  
**Hardware Options:** AutoLock, White, No Limited Opening Hardware  
**Screen:** Half Screen, InView™  
**Performance Information:** U-Factor 0.29, SHGC 0.22, CR 60, VLT 0.51, CPD CWS-K-29-00638-00001, DP Rule ID N/A, Calculated Positive DP Rating 47.2, Calculated Negative DP Rating 47.2, FPAS 17234.1, CAR ID 138-1305, Year Rated 2020, Egress Does not meet typical United States egress, but may comply with local code requirements  
**Grille:** No Grille,  
**Wrapping Information:** Pella Recommended Clearance, Perimeter Length = 199".

213/-22.2

Rough Opening: 51 - 1/2" X 49"

QUOMATMCOM010550 - Interior Trim Window Drywall Return Install (LF) Qty 17

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)

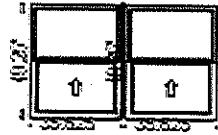
INSTARORLR900140 - Stucco Cut-Out (LF) ORL	Qty	17
QUOMATMCOM020650 - Ext Trim White Window Drywall Return Install (LF)	Qty	17
INSTARORLR020203 - NonWood Window Drywall Return Install (LF) ORL	Qty	17

Line #	Location:	Attributes
--------	-----------	------------

30 living room

**Pella Defender Series, 2-Wide Single Hung, 72.625 X 49.25, White**

Qty  
1  
*20.8 / -226*



PK#  
2086

Viewed From Exterior

*SH: 17234.1*  
*SH: 17234.1*  
*M: 9520.1*

1: 35.62549.25 Single Hung, Equal  
 Frame Size: 35 5/8 X 49 1/4  
 General Information: 45, ASTM, Vinyl, Block, Replacement, Hollow Block Construction, T-Clips, 3 1/4", 3 1/4", 610 Series, Aluminum Checkrail  
 Exterior Color / Finish: White  
 Interior Color / Finish: White  
 Glass: Insulated Dual Standard Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude  
 Hardware Options: AutoLock, White, No Limited Opening Hardware  
 Screen: Half Screen, InView™  
 Performance Information: U-Factor 0.29, SHGC 0.22, VLT 0.51, CPD CWS-K-29-00638-00001, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, FPAS 17234.1, Year Rated 2020, Egress Does not meet typical United States egress, but may comply with local code requirements  
 Grille: No Grille,  
 Vertical Mull 1: FieldMull, 3" Mullion Non-Impact, Frame To Frame Width- 1.375", Mull Design Pressure- 45  
 2: 35.62549.25 Single Hung, Equal  
 Frame Size: 35 5/8 X 49 1/4  
 General Information: 45, ASTM, Vinyl, Block, Replacement, Hollow Block Construction, T-Clips, 3 1/4", 3 1/4", 610 Series, Aluminum Checkrail  
 Exterior Color / Finish: White  
 Interior Color / Finish: White  
 Glass: Insulated Dual Standard Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude  
 Hardware Options: AutoLock, White, No Limited Opening Hardware  
 Screen: Half Screen, InView™  
 Performance Information: U-Factor 0.29, SHGC 0.22, VLT 0.51, CPD CWS-K-29-00638-00001, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, FPAS 17234.1, Year Rated 2020, Egress Does not meet typical United States egress, but may comply with local code requirements  
 Grille: No Grille,  
 Wrapping Information: Pella Recommended Clearance, Perimeter Length = 244".

Rough Opening: 73 - 1/8" X 49 - 3/4"

INSTARORLR020203 - NonWood Window Drywall Return Install (LF) ORL	Qty	21
QUOMATMCOM010550 - Interior Trim Window Drywall Return Install (LF)	Qty	21
QUOMATMCOM020650 - Ext Trim White Window Drywall Return Install (LF)	Qty	21
INSTARORLR900003 - Field Mulling - Per Mull ORL	Qty	1

Line #	Location:	Attributes
--------	-----------	------------

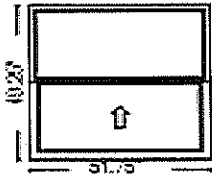
35 guest room

**Pella Defender Series, Single Hung, 51.75 X 49.25, White**

Qty

1

*21.3 / -23.1*



PK #  
2086

Viewed From Exterior

*17234.1*

**1: 51.7549.25 Single Hung, Equal**  
**Frame Size:** 51 3/4 X 49 1/4  
**General Information:** 45, ASTM, Vinyl, Block, 3 1/4", 3 1/4", 610 Series, Aluminum Checkrail  
**Exterior Color / Finish:** White  
**Interior Color / Finish:** White  
**Glass:** Insulated Dual Standard Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude  
**Hardware Options:** AutoLock, White, No Limited Opening Hardware  
**Screen:** Half Screen, InView™  
**Performance Information:** U-Factor 0.29, SHGC 0.22, CR 60, VLT 0.51, CPD CWS-K-29-00638-00001, DP Rule ID N/A, Calculated Positive DP Rating 50, Calculated Negative DP Rating 57, FPAS 17234.1, CAR ID 138-1305, Year Rated 2020, Egress Does not meet typical United States egress, but may comply with local code requirements  
**Grille:** No Grille,  
**Wrapping Information:** Pella Recommended Clearance, Perimeter Length = 202".

Rough Opening: 52 - 1/4" X 49 - 3/4"

INSTARORLR020203 - NonWood Window Drywall Return Install (LF) ORL	Qty	17
QUOMATMCOM020650 - Ext Trim White Window Drywall Return Install (LF)	Qty	17
QUOMATMCOM010550 - Interior Trim Window Drywall Return Install (LF)	Qty	17

Line #	Location:	Attributes
--------	-----------	------------

40 None Assigned

**PROMOTMCOR010004 - Branch Promotion**

Qty

1





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**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL #	FL17234-R7	
Application Type	Revision	
Code Version	2020	
Application Status	Approved	
Comments		
Archived		
Product Manufacturer	Custom Window Systems Inc.	
Address/Phone/Email	1900 SW 44th Avenue Ocala, FL 34474 (352) 368-6922 Ext 291 jlathrop@cws.cc	
Authorized Signature	Jay Lathrop jlathrop@cws.cc	
Technical Representative	Jay Lathrop	
Address/Phone/Email	1900 SW 44th Ave Ocala, FL 34474 (352) 368-6922 Ext 291 jlathrop@cws.cc	
Quality Assurance Representative	Jay Lathrop	
Address/Phone/Email	1900 SW 44th Ave. Ocala, FL 34474 (352) 368-6922 Ext 291 jlathrop@cws.cc	
Category	Windows	
Subcategory	Single Hung	
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer Evaluation Report - Hardcopy Received	
Florida Engineer or Architect Name who developed the Evaluation Report	Lucas A. Turner	
Florida License	PE-58201	
Quality Assurance Entity	Keystone Certifications, Inc.	
Quality Assurance Contract Expiration Date	07/21/2028	
Validated By	Steven M. Urich, PE Validation Checklist - Hardcopy Received	
Certificate of Independence	<a href="#">FL17234_R7_COI_EvalReport935E.pdf</a>	
Referenced Standard and Year (of Standard)	<b>Standard</b> AAMA/WDMA/CSA/101/1.S.2/A440-08	<b>Year</b> 2008
Equivalence of Product Standards Certified By		
Sections from the Code		

Product Approval Method

Method 1 Option D

Date Submitted

07/31/2020

Date Validated

08/02/2020

Date Pending FBC Approval

08/10/2020

Date Approved

10/13/2020

Summary of Products

FL #	Model, Number or Name	Description
17234.1	SH-610 Vinyl Single Hung	SH-610 Vinyl Single Hung, Non-Impact, 53 1/8" x 76"
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +S0/-50 Other: SH-610 Equal Split or Oriel, Max. size 53 1/8" x 76", Fin, Flange, DP +50/-50 PSF. Glass complies with ASTM E 1300.		<b>Installation Instructions</b> <a href="#">FL17234 R7 II CWS-935E.pdf</a> Verified By: Lucas A. Turner PE-58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL17234 R7 AE EvalReport935E.pdf</a> Created by Independent Third Party: Yes



Back

Next

Contact Us :: 2601 Blair Stone Road, Tallahassee FL 32399 Phone: 850-487-1824

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Under Florida law, email addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395. \*Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. To determine if you are a licensee under Chapter 455, F.S., please click [here](#).

Product Approval Accepts:

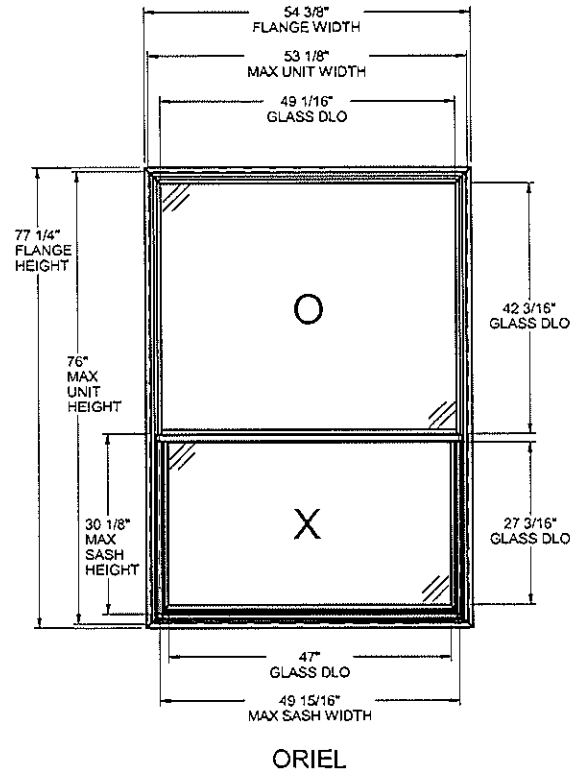
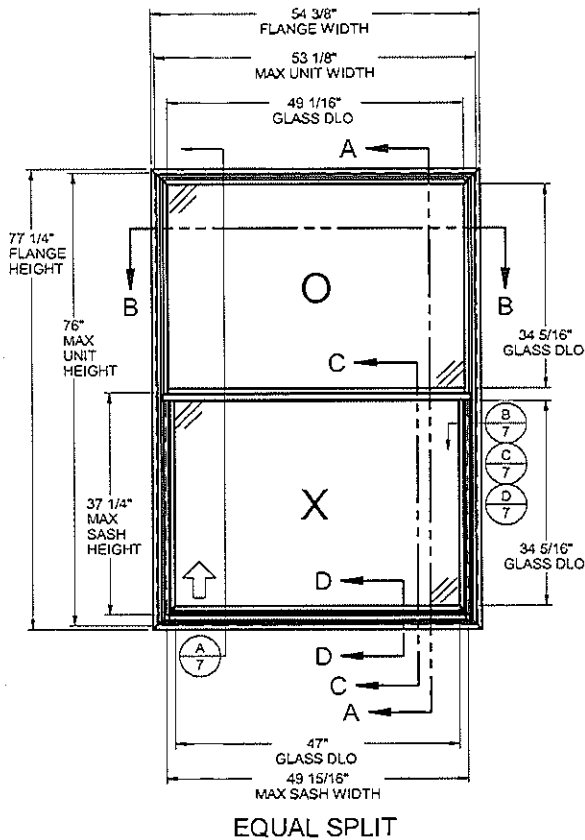


Credit Card  
Safe



# SINGLE HUNG - NON-IMPACT

(SHOWN w/DIFFERENT OPTIONS)



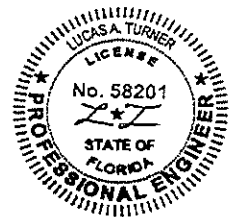
**GENERAL NOTES:**

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE FLORIDA BUILDING CODE (FBC), CURRENT EDITION.
2. GLAZING OPTIONS: (SEE SHEET 3)
3. CONFIGURATIONS: "O/X".
4. DESIGN PRESSURE RATING (SEE SHEET 2):  
 -NEGATIVE DESIGN LOADS BASED ON, TESTED PRESSURE AND GLASS TABLES ASTM E-1300-04e01/09.  
 -POSITIVE DESIGN LOADS BASED ON, TESTED PRESSURE, WATER INFILTRATION TEST PRESSURE AND GLASS TABLES ASTM E-1300-04e01/09.
5. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEET 7 FOR ANCHOR DETAILS. WINDLOAD DURATION FACTOR Cd=1.6 WAS USED FOR WOOD ANCHOR CALCULATIONS.
6. NOT APPROVED FOR IMPACT RESISTANCE. IMPACT PROTECTIVE SYSTEM IS REQUIRED IN WIND BORNE DEBRIS REGION.
7. ALL FRAMES AND VENTS FULLY WELDED. SMALL JOINT SEAM SEALANT USED AT FIXED MEETING RAIL AND JAMB.
8. SERIES / MODEL DESIGNATION SH-610.
9. THE DESIGNATION X AND O STAND FOR THE FOLLOWING:  
 X = OPERABLE SASH, O = FIXED SASH
10. SECTION CALLOUTS APPLY TO ALL ELEVATIONS IN A SIMILAR LOCATION.
11. EXTERNAL WEEP SLOT = 1/4 x 1-1/2" LOCATED 5" FROM BOTH ENDS.

**Custom Window Systems**  
 1900 SW 44TH AVE.  
 OCALA, FLORIDA 34474  
 WWW.CWS.CC

**610 PVC  
 SINGLE HUNG  
 NON-IMPACT**

PROPRIETARY AND CONFIDENTIAL  
 THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF CUSTOM WINDOW SYSTEMS, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF CUSTOM WINDOW SYSTEMS, INC IS PROHIBITED.



Lucas Turner  
 2020.07.27  
 11:27:14  
 -05'00'

7/23/2020

LUCAS A. TURNER, P.E.  
 FL PE # 58201  
 2426 Old Natchez Trc Trl  
 Camden, TN 38320  
 PH, 941-380-1574

SHEET DESCRIPTION:  
 GENERAL NOTES AND ELEVATIONS

DRAWN BY:	DATE:
ADE	08/09/14
DWG #:	REV.:
CWS-935	E
SCALE:	SHEET
1:20	1 OF 7

**TABLE OF CONTENTS**

- GENERAL NOTES & ELEVATIONS.....1
- DP CHARTS.....2
- GLAZING DETAILS.....3
- SECTION VIEWS.....4
- EXTRUSIONS & B.O.M.....5
- ANCHOR SCHEDULE & NOTES.....6
- INSTALLATION DETAIL.....7

CONFIG.	MAX. UNIT SIZE	EXTERNAL REINFORCEMENT	DESIGN PRESSURE RATING	IMPACT RATING
EQUAL	37" x 76"	NONE	SEE COMPARATIVE ANALYSIS CHART, SHEET 2	NONE
EQUAL	53-1/8" x 76"	* 2011		
5 HI ORIEL				

\* ONLY REQUIRED WITH H-6137 FIXED MEETING RAIL & SCREW-ON INTERLOCK, S-2001 - SEE SHEET 4 FOR DETAILS.

Design Pressures (PSF) for Equal Split Configuration with Glass Types A, B, C, or D											
Unit Heights (in.)	Unit Widths (in.)										
	23 1/2	27 1/2	29 1/2	31 1/2	35 1/2	39 1/2	41 1/2	43 1/2	47 1/2	51 1/2	53 1/8
35 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0
39 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0
41 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-73.1
43 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-73.4
47 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-68.9
51 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-72.7	+50.0/-65.2
53 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-71.0	+50.0/-63.6
55 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-69.5	+50.0/-62.1
59 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-66.8	+50.0/-59.5
63 1/2	+50.0/-75.0	+50.0/-72.9	+50.0/-72.0	+50.0/-71.6	+50.0/-71.6	+50.0/-71.6	+50.0/-71.6	+50.0/-71.6	+50.0/-71.6	+50.0/-64.6	+50.0/-57.3
65 1/2	+50.0/-73.2	+50.0/-69.1	+50.0/-68.0	+50.0/-67.4	+50.0/-67.3	+50.0/-67.3	+50.0/-67.3	+50.0/-67.3	+50.0/-67.3	+50.0/-63.6	+50.0/-56.4
67 1/2	+50.0/-69.8	+50.0/-65.6	+50.0/-64.4	+50.0/-63.7	+50.0/-63.4	+50.0/-63.4	+50.0/-63.4	+50.0/-63.4	+50.0/-63.4	+50.0/-62.7	+50.0/-55.5
71 1/2	+50.0/-64.0	+50.0/-59.7	+50.0/-58.3	+50.0/-57.3	+50.0/-56.5	+50.0/-56.5	+50.0/-56.5	+50.0/-56.5	+50.0/-56.5	+50.0/-56.5	+50.0/-53.9
74 3/4	+50.0/-59.9	+50.0/-55.6	+50.0/-54.1	+50.0/-53.0	+50.0/-51.8	+50.0/-51.7	+50.0/-51.7	+50.0/-51.7	+50.0/-51.7	+50.0/-51.7	+50.0/-50.4
76	+50.0/-58.5	+50.0/-54.1	+50.0/-52.6	+50.0/-51.5	+50.0/-50.2	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0

Design Pressures (PSF) for Oriel Configuration with Glass Types A, B, C, or D in the Sash, and Glass Types C or D in the Fixed											
Unit Heights (in.)	Unit Widths (in.)										
	23 1/2	27 1/2	29 1/2	31 1/2	35 1/2	39 1/2	41 1/2	43 1/2	47 1/2	51 1/2	53 1/8
35 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0
39 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-74.1
41 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-71.3
43 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-71.6	+50.0/-68.9
47 1/2	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-75.0	+50.0/-74.8	+50.0/-64.6
51 1/2	+50.0/-69.0	+50.0/-68.4	+50.0/-68.4	+50.0/-68.4	+50.0/-68.1	+50.0/-67.4	+50.0/-67.4	+50.0/-67.4	+50.0/-67.4	+50.0/-67.4	+50.0/-61.1
53 1/2	+50.0/-64.4	+50.0/-63.4	+50.0/-63.4	+50.0/-63.4	+50.0/-62.4	+50.0/-61.2	+50.0/-61.1	+50.0/-61.1	+50.0/-61.1	+50.0/-61.1	+50.0/-59.5
55 1/2	+50.0/-60.3	+50.0/-58.9	+50.0/-58.9	+50.0/-58.9	+50.0/-57.6	+50.0/-56.1	+50.0/-55.7	+50.0/-55.6	+50.0/-55.6	+50.0/-55.6	+50.0/-55.6
59 1/2	+50.0/-53.6	+50.0/-51.6	+50.0/-51.3	+50.0/-51.3	+50.0/-51.3	+50.0/-51.0	+50.0/-50.5	+50.0/-50.1	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0
63 1/2	+50.0/-52.5	+50.0/-50.4	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0
65 1/2	+50.0/-52.5	+50.0/-50.4	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0
67 1/2	+50.0/-52.5	+50.0/-50.4	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0
71 1/2	+50.0/-52.5	+50.0/-50.4	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0
74 3/4	+50.0/-52.5	+50.0/-50.4	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0
76	+50.0/-52.5	+50.0/-50.4	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0	+50.0/-50.0

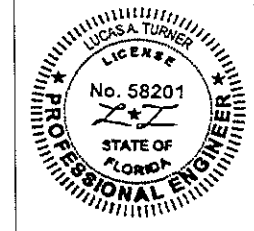
NOTE:  
IF SIZE INTENDED IS NOT SHOWN, USE NEXT LARGER SIZE.

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7/23/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

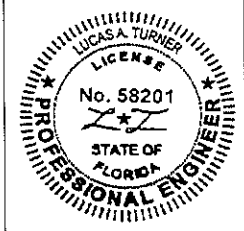
SHEET DESCRIPTION: <b>DESIGN PRESSURE CHARTS</b>	
DRAWN BY: ADE	DATE: 08/09/14
DWG #: CWS-935	REV.: E
SCALE: 1:1	SHEET 2 OF 7



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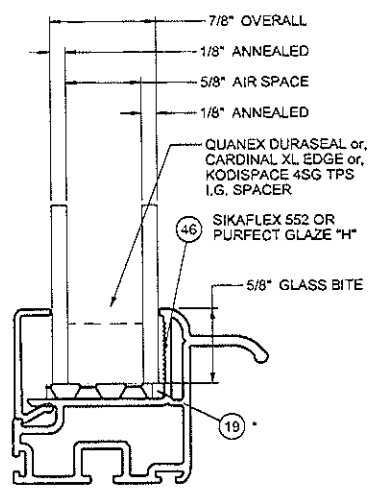
7/23/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

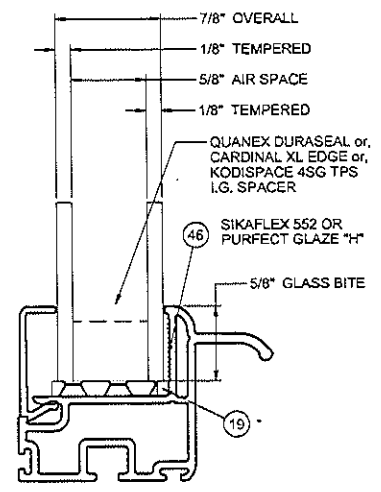
SHEET DESCRIPTION:

**GLAZING DETAILS**

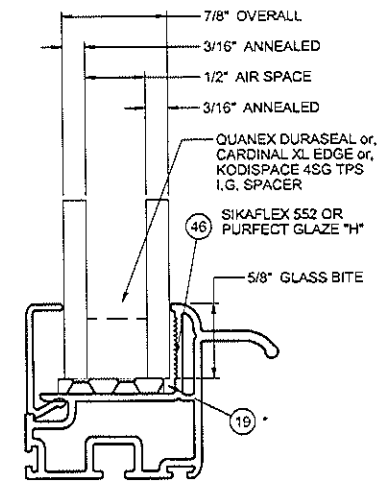
DRAWN BY: ADE	DATE: 08/09/14
DWG #: CWS-935	REV.: E
SCALE: 1:1	SHEET 3 OF 7



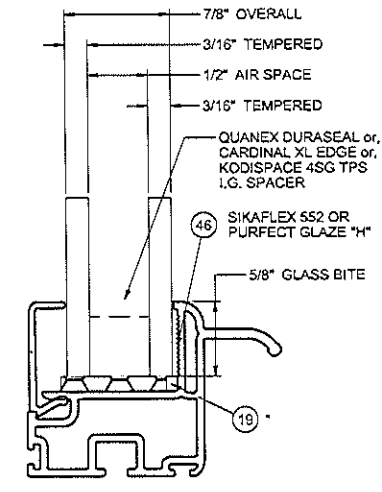
GLASS TYPE A



GLASS TYPE B



GLASS TYPE C

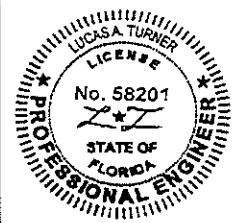


GLASS TYPE D

SETTING BLOCKS PER FBC 2411.3.3.1

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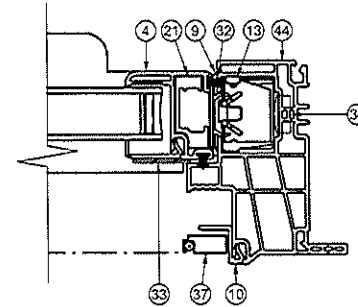
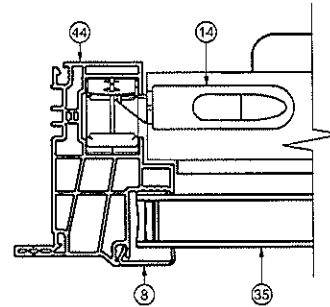
LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:

**SECTION VIEWS**

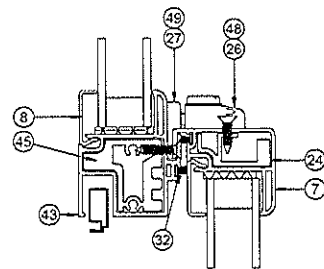
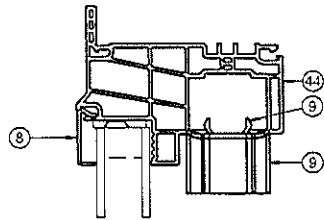
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ADE	08/09/14
DWG #:	REV.:
CWS-935	E
SCALE:	SHEET
1:2	4 OF 7

INTERIOR

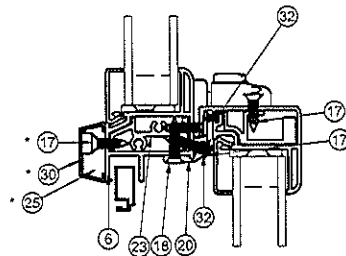


SECTION B-B

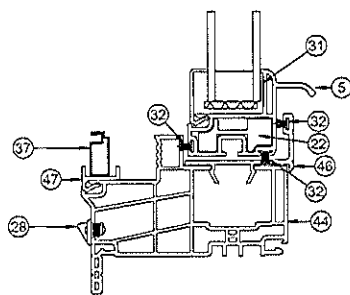
NOTE: LEFT SIDE SHOWS FIXED SECTION VIEW,  
RIGHT SIDE SHOWS SASH SECTION VIEW.



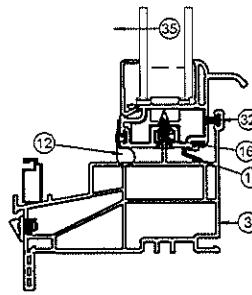
INTERIOR



SECTION C-C  
ALTERNATE MTG RAIL  
AND SLOPE SILL



SECTION A-A

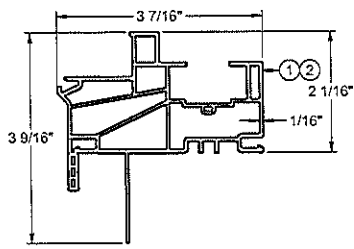


SECTION D-D  
ALT 562 POCKET UNI-FRAME

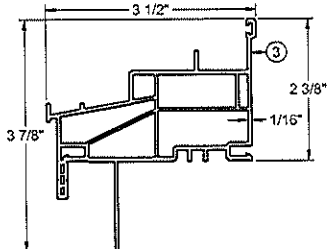
- NOTES:
- FIN FRAME AVAILABLE FOR BOTH UNI-FRAME AND STANDARD FRAME TYPES.
  - 880 BALANCERS AND DEEP POCKET UNI-FRAME (H-6193) REQUIRED FOR LARGER SASHES.
  - EXTERNAL REINFORCEMENT REQUIRED ON UNIT WIDTHS OVER 37" WITH THE H-6137 FIXED MEETING RAIL AND SCREW-ON INTERLOCK, S-2001.

NOTE: ITEMS NOT SHOWN FOR CLARITY: 38-41

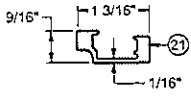
ITEM	PART	DESCRIPTION	MATERIAL
1	H-6125	HEAD, OUTERFRAME	PVC
2	H-6125	JAMBS, OUTERFRAME	PVC
3	H-6126	SILL, OUTERFRAME	PVC
4	H-6132	SASH SIDE RAIL	PVC
5	H-6136	SASH BOTTOM RAIL	PVC
6	H-6137	FIXED MEETING RAIL	PVC
7	H-6138	SASH TOP RAIL	PVC
8	S-6141	GLAZING BEAD	PVC
9	S-6142	SASH STOP	PVC
10	S-6143	SCREEN ADAPTOR	PVC
11	P-5085	WSTP, OLON BULB VINYL	
12	P-5086	WSTP, OLON BULB VINYL	
13		BALANCERS - CONSTANT FORCE RT 880	
14	P-5392	SASH TILT LATCH	NYLON
15	P-5393	PIVOT CARRIER	NYLON
16	P-5396	PIVOT BAR	SS
17	P-3515	#8 X 5/8 PHIL FLAT WHITE SMS	STEEL
18	P-4145	#8 X 3/4 PHIL FLAT tek	STEEL
19	P-5615	SETTING BLOCK	RUBBER
20	S-2001	INTERLOCK RAIL	ALUM
21	S-2006	REINF, SASH SIDE RAIL, HD	ALUM
22	S-2007	REINF, BOTTOM RAIL	ALUM
23	S-2008	REINF, FMR	ALUM
24	S-2009	REINF, TOP RAIL	ALUM
25	S-2011	REINF, EXTERNAL	ALUM
26	P-5388	LOCKS	NYLON
27	P-5389	KEEPERS	NYLON
28	P-4779	WEEP COVER	NYLON
29	P-5397	FMR ENDCAP	NYLON
30	P-5400	COVER, FMR REINF.	PVC
31		SIKA FLEX 552 OR PURFECT GLAZE 'H'	SILICONE
32	P-3305	WSTP, .270 X 187, SOFT TOUCH FIN	
34	P-5588	HOLE PLUG	NYLON
35	GLASS	SEE SHEET 2	
36	P-4638	#8 X 2-1/2 PHIL TRUSS tek	STEEL
37	P-3218	SCREEN FRAME	ALUM
38	P-4754	SCREEN CORNER KEY	NYLON
39	P-3228	SCREEN SPLINE	
40	P-3029	SCREEN LIFTS	
41	P-3033	SCREEN SPRINGS	
43	H-6157	HD FIXED MEETING RAIL	PVC
44	H-6193	UNI-FRAME, 880 BALANCERS	PVC
45	H-2115	REINF, HD FMR	ALUM
46	S-6239	UNI-FRAME SILL POCKET INSERT	PVC
47	S-6217	UNI-FRAME SCREEN RETAINER	PVC
48	P-3783	LOCKS, IMPACT	STEEL
49	P-3784	KEEPERS, IMPACT	STEEL



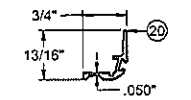
PVC FRAME HEAD & JAMB  
H-6125



PVC FRAME SILL  
H-6126

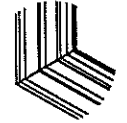


REINF. SSR HD  
S-2006

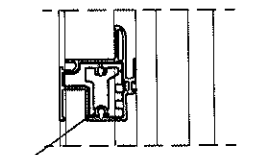


INTERLOCK  
S-2001

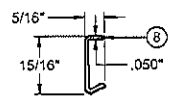
FRAME CORNER CONSTRUCTION



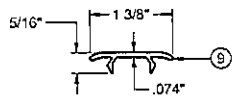
CORNER WELD (ALL SIDES)  
1:8



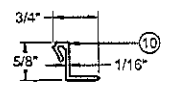
FIXED MEETING RAIL  
SCREWED TOGETHER WITH  
OUTERFRAME  
1:8



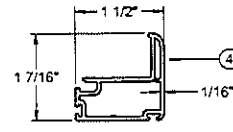
PVC GLAZING BEAD  
S-6141



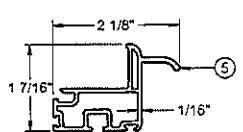
PVC SASH STOP  
S-6138



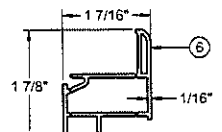
PVC SCREEN ADAPTOR  
S-6143



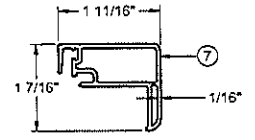
PVC SIDE RAIL  
H-6132



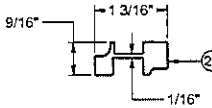
PVC SASH BTM RAIL  
H-6136



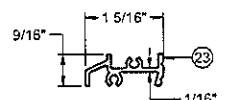
PVC SASH FMR  
H-6137



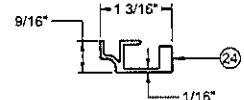
PVC SASH TOP RAIL  
H-6138



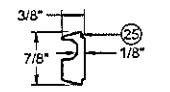
REINF. BTM RAIL  
S-2007



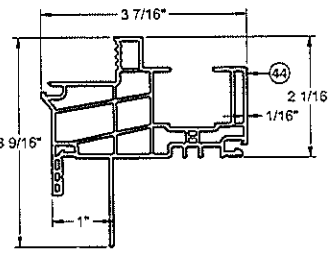
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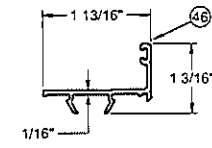
REINF. TOP RAIL  
S-2009



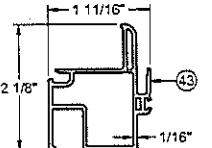
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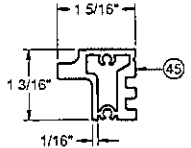
PVC FRAME  
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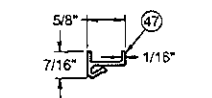
PVC SILL POCKET INSERT  
S-6239



PVC HD FMR  
H-6157



REINF. HD FMR  
H-2115  
6005A-T5

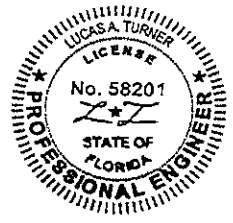


PVC SCREEN RETAINER  
S-6217

**Custom E**  
WINDOW SYSTEMS  
1900 SW 44TH AVE.  
OCALA, FLORIDA 34474  
WWW.CWS.CC

**610 PVC  
SINGLE HUNG  
NON-IMPACT**

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7/23/2020

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FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

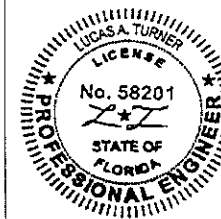
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BOM AND EXTRUSIONS	
DRAWN BY: ADE	DATE: 08/09/14
DWG #: CWS-935	REV.: E
SCALE: 1:2	SHEET 5 OF 7

NOTE: ALL ALUMINUM EXTRUSIONS ARE 6063-T6 UNLESS OTHERWISE NOTED.



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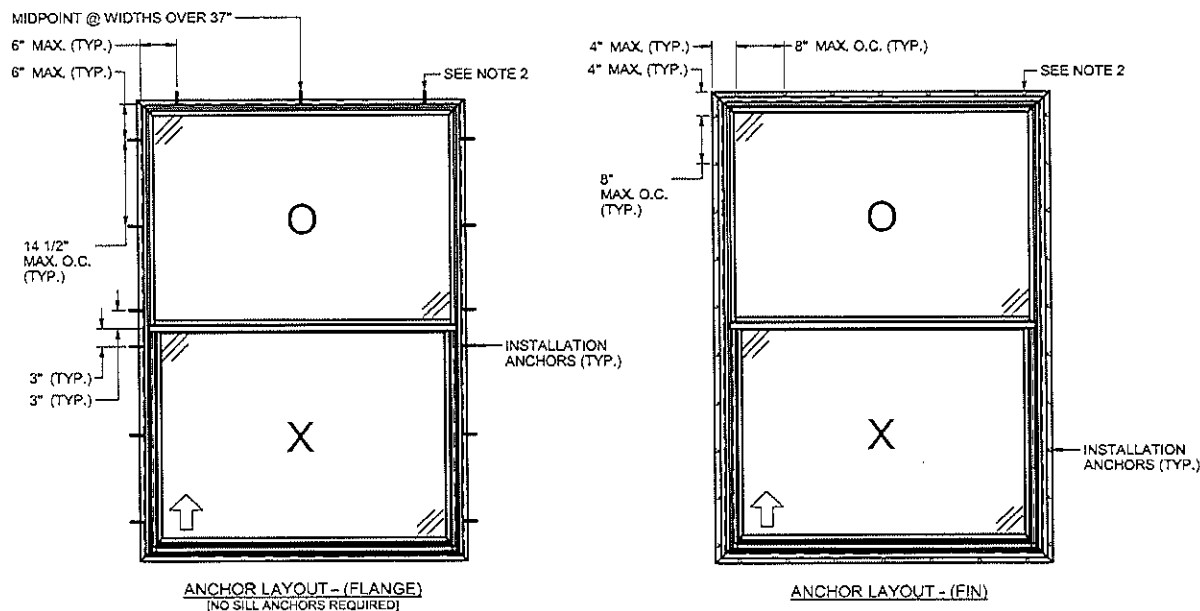
7/23/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:

**ANCHOR SCHEDULE AND  
NOTES**

DRAWN BY:	DATE:
ADE	08/09/14
DWG #:	REV.:
CWS-935	E
SCALE:	SHEET
1:20	6 OF 7

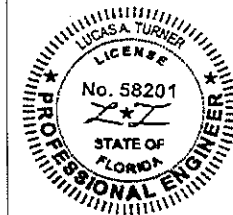


NOTES:

1. INSTALL ONE ANCHOR AT EACH INSTALLATION LOCATION. SILL ANCHOR SPACING SAME AS HEAD.
2. SHIM AS REQ AT EACH INSTALLATION ANCHOR USING LOAD BEARING SHIMS. MAX ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT. LOAD BEARING SHIMS SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER. WOOD SHIMS ARE NOT ALLOWED.
3. ANCHOR TYPE, SIZE, SPACING AND EMBEDMENT SHALL BE AS SPECIFIED IN THESE DRAWINGS, SEE TABLE 1, SHEET 7.
4. ALL INSTALLATION ANCHORS MUST BE MADE OF OR PROTECTED WITH A CORROSION RESISTANT MATERIAL OR COATING. DISSIMILAR METALS OR MATERIALS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE PROTECTED TO PREVENT REACTION.
5. INSTALLATION ANCHORS SHALL BE IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM SPECIFIED IN TABLE 1, SHEET 7.
6. ANCHOR EMBEDMENT TO SUBSTRATE SHALL BE BEYOND WALL DRESSING OR STUCCO. FOR CONCRETE/CMU OPENINGS, EMBEDMENT SHALL BE BEYOND WOOD BUCKS, IF USED, INTO SUBSTRATE - 1X BUCKS ARE OPTIONAL.
7. A MINIMUM CENTER-TO-CENTER SPACING SHALL BE MAINTAINED BETWEEN ALL FASTENERS: 3" FOR MASONRY, 1" FOR WOOD AND METAL.
8. WOOD OR MASONRY OPENINGS, BUCKS AND BUCK FASTENERS SHALL BE PROPERLY DESIGNED BY THE ARCHITECT OR ENGINEER OF RECORD AND INSTALLED TO TRANSFER WIND LOADS TO THE STRUCTURE. SUBSTRATES SHALL MEET THE MINIMUM STRENGTH REQUIREMENTS AS SHOWN IN TABLE 1, SHEET 7. CONCRETE AND MASONRY SUBSTRATES MAY NOT BE CRACKED.
9. SEALING AND FLASHING STRATEGIES FOR OVERALL WATER RESISTANCE OF INSTALLATION SHALL BE DONE BY OTHERS FOLLOWING THE CURRENT VERSION OF THE REFERENCE DOCUMENTS:  
FMA/AAMA 100(FIN WINDOWS), FMA/AAMA 200(FLANGE WINDOWS), FMA/WDMA 250(BOX WINDOWS), FMA/AAMA/WDMA 300(EXTERIOR DOORS)

**610 PVC  
SINGLE HUNG  
NON-IMPACT**

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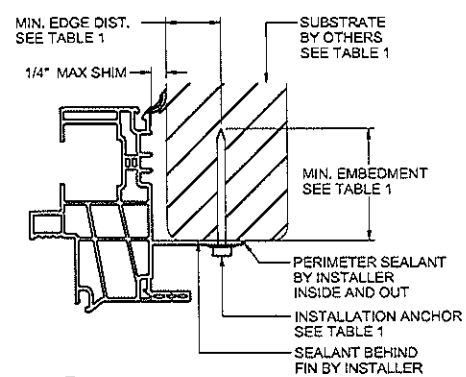
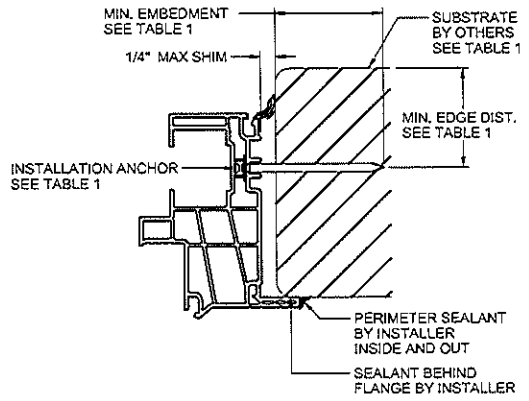
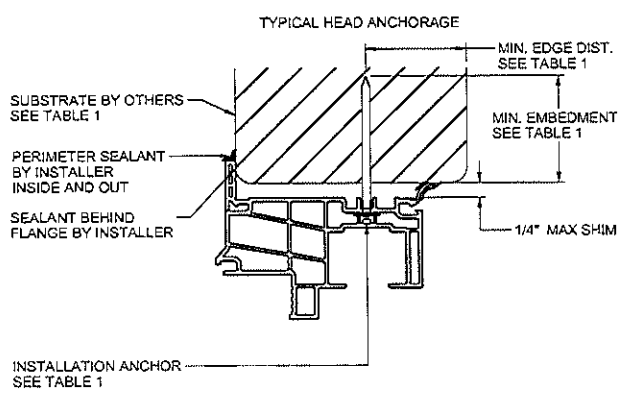


7/23/2020

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FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

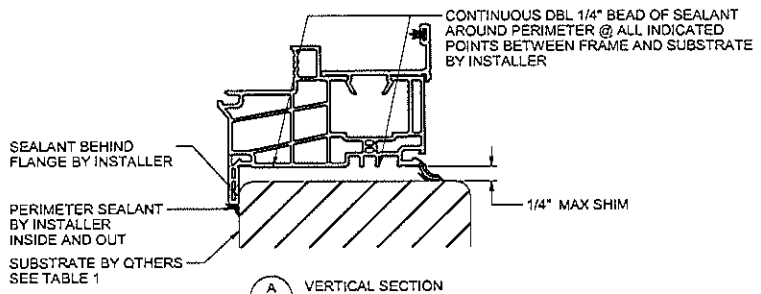
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**INSTALLATION DETAILS**

DRAWN BY:	DATE:
ADE	08/09/14
DWG #:	REV.:
CWS-935	E
SCALE:	SHEET
1:2	7 OF 7

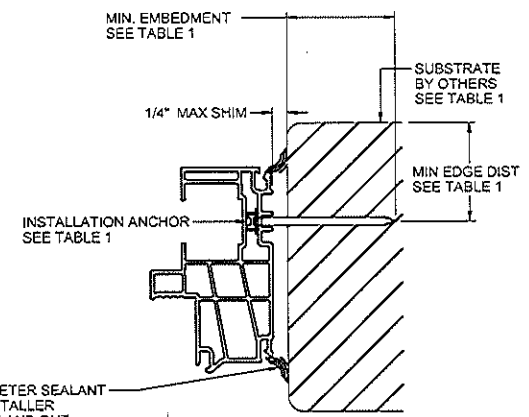


**B**  
7 HORIZONTAL SECTION  
TYPICAL JAMB ANCHORAGE

**C**  
7 HORIZONTAL SECTION  
TYPICAL FIN ANCHORAGE  
HEAD AND SILL SIMILAR FOR FIN INSTALLATION



**A**  
7 VERTICAL SECTION  
TYPICAL SILL ANCHORAGE  
NO SILL ANCHORS REQUIRED



**D**  
7 HORIZONTAL SECTION  
BOX FRAME INSTALLATION  
SIMILAR FOR SILL AND JAMBS FOR BOX INSTALLATION

FLANGE REMOVAL NOTE: PARTIALLY OR FULLY REMOVING THE FLANGE, UP TO AND INCLUDING A BOX-FRAME APPLICATION IS ACCEPTABLE PROVIDED:  
- MIN. 1/4" FILLET OF CONSTRUCTION-GRADE ADHESIVE CAULK IS APPLIED INSIDE AND OUT, FULL PERIMETER, BY INSTALLER.  
- PRODUCT ANCHORAGE IS IN ACCORDANCE WITH REQUIREMENTS AS SHOWN FOR FLANGE WINDOWS.

FRAME TYPE	SUBSTRATE TYPE	ANCHOR TYPE	MIN. EMBEDMENT	MIN. EDGE DIST.
FLANGE	CONCRETE (2.0 KSI MIN.)	3/16" ITW TAPCON	1"	1-1/8"
FLANGE	HOLLOW OR GROUT-FILLED CMU (117 PCF MIN.)	3/16" ITW TAPCON	1"	2"
FLANGE	CONCRETE (2.85 KSI MIN.)	3/16" ELCO ULTRACON	1"	1"
FLANGE	GROUT-FILLED CMU (ASTM C-90)	3/16" ELCO ULTRACON	1-1/4"	2-1/2"
FLANGE	2X MIN. SOUTHERN PINE (G=0.55)	3/16" ITW TAPCON OR ELCO ULTRACON	1-3/8"	7/8"
FLANGE	2X MIN. SOUTHERN PINE (G=0.55)	#10 WOOD SCREW	1-3/8"	7/8"
FLANGE	16 GAUGE (0.060") MIN. STEEL STUD (33 KSI YIELD MIN)	#10-16 HILTI KWIK-FLEX OR ITW TEKS SELF-DRILLING SCREW	FULL THREAD THRU 0.060"	7/16"
FLANGE	1/8" ALUM. (6063-T5 MIN.) OR 1/8" STEEL (33 KSI MIN.)	#10 GRADE 5 SELF-TAPPING / DRILLING SCREW	FULL THREAD THRU 0.125"	7/16"
FIN	2X MIN. SOUTHERN PINE (G=0.55)	#10 WOOD SCREW	1-1/2"	1/2"

NOTE: UNIF-FRAME OPTIONS NOT SHOWN.



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**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



FL #	FL9520-R8										
Application Type	Revision										
Code Version	2020										
Application Status	Approved										
Comments											
Archived											
Product Manufacturer	Custom Window Systems Inc.										
Address/Phone/Email	1900 SW 44th Avenue Ocala, FL 34474 (352) 368-6922 Ext 291 jlathrop@cws.cc										
Authorized Signature	Jay Lathrop jlathrop@cws.cc										
Technical Representative	Jay Lathrop										
Address/Phone/Email	1900 SW 44th Ave Ocala, FL 34474 (352) 368-6922 Ext 291 jlathrop@cws.cc										
Quality Assurance Representative	Jay Lathrop										
Address/Phone/Email	1900 SW 44th Ave. Ocala, FL 34474 (352) 368-6922 Ext 291 jlathrop@cws.cc										
Category	Windows										
Subcategory	Mullions										
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer Evaluation Report - Hardcopy Received										
Florida Engineer or Architect Name who developed the Evaluation Report	Lucas A. Turner										
Florida License	PE-58201										
Quality Assurance Entity	Keystone Certifications, Inc.										
Quality Assurance Contract Expiration Date	07/21/2028										
Validated By	Steven M. Urich, PE Validation Checklist - Hardcopy Received										
Certificate of Independence	<a href="#">FL9520_R8_COI_EvalReport836C.pdf</a>										
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>AAMA 450-10</td> <td>2010</td> </tr> <tr> <td>ASTM E1886-13a</td> <td>2005</td> </tr> <tr> <td>ASTM E1996-17</td> <td>2009</td> </tr> <tr> <td>PA TAS 201/202/203</td> <td>1994</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	AAMA 450-10	2010	ASTM E1886-13a	2005	ASTM E1996-17	2009	PA TAS 201/202/203	1994
<u>Standard</u>	<u>Year</u>										
AAMA 450-10	2010										
ASTM E1886-13a	2005										
ASTM E1996-17	2009										
PA TAS 201/202/203	1994										
Equivalence of Product Standards Certified By	Florida Licensed Professional Engineer or Architect										

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

08/10/2020

Date Validated

08/10/2020

Date Pending FBC Approval

08/19/2020

Date Approved

10/13/2020

Summary of Products

FL #	Model, Number or Name	Description
9520.1	3" Alum. Tube Mullion	3" Alum. Tube Mullion, Horizontal & Vertical, Fin & Flange applications. (IMPACT)
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile Impact; See Installation Instructions and Evaluation Report for complete list of Limitations and Conditions of Use.		<b>Installation Instructions</b> <a href="#">FL9520_R8_II_CWS-836C.pdf</a> Verified By: Lucas A. Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL9520_R8_AE_EvalReport836C.pdf</a> Created by Independent Third Party: Yes
9520.2	4" Alum. Tube Mullion	4" Alum. Tube Mullion, Horizontal & Vertical, Fin & Flange applications. (IMPACT)
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile Impact; See Installation Instructions and Evaluation Report for complete list of Limitations and Conditions of Use.		<b>Installation Instructions</b> <a href="#">FL9520_R8_II_CWS-837C.pdf</a> Verified By: Lucas A. Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL9520_R8_AE_EvalReport837C.pdf</a> Created by Independent Third Party: Yes
9520.3	5 1/2" Alum. Tube Mullion	5 1/2" Alum. Tube Mullion, Horizontal & Vertical, Fin & Flange applications. (IMPACT)
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile Impact; See Installation Instructions and Evaluation Report for complete list of Limitations and Conditions of Use.		<b>Installation Instructions</b> <a href="#">FL9520_R8_II_CWS-838C.pdf</a> Verified By: Lucas A. Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL9520_R8_AE_EvalReport838C.pdf</a> Created by Independent Third Party: Yes

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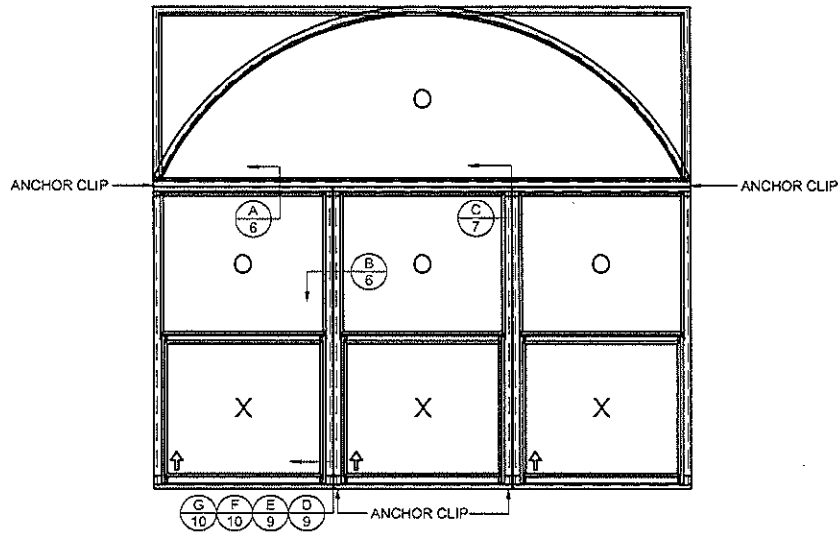


Credit Card  
Safe

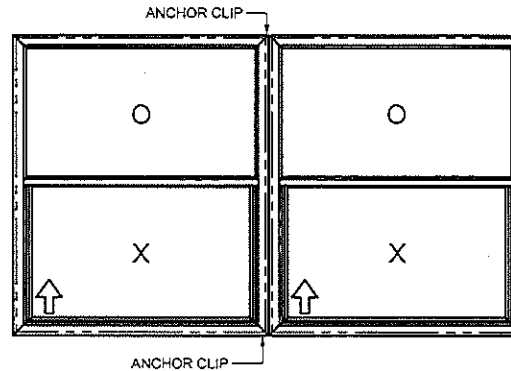


# 3" PVC MULL BAR - LARGE MISSILE IMPACT

SHOWN w/DIFFERENT OPTIONS



EXAMPLE HORIZ./VERT. MULLION FOR SECTION VIEW ONLY



EXAMPLE VERTICAL MULLION FOR PVC WINDOWS FOR SECTION VIEWS ONLY

## GENERAL NOTES:

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE FLORIDA BUILDING CODE (FBC), CURRENT EDITION INCLUDING THE HIGH VELOCITY HURRICANE ZONE (HVHZ) AND IS RATED FOR WIND ZONE 4 MISSILE LEVEL D IMPACT USE AS DEFINED IN ASTM E 1996 PER THE FBC.
2. CONFIGURATIONS (SEE SHEETS 2-3): VERTICAL OR HORIZONTAL.
3. SEE MULLION CHARTS FOR MAX. DESIGN PRESSURES AND LENGTH. (REFER TO SHEETS 2-3)
4. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEETS 9-10 FOR ANCHOR DETAILS. WINDLOAD DURATION FACTOR  $C_d=1.6$  WAS USED FOR WOOD ANCHOR CALCULATIONS.
5. PRODUCT APPROVED FOR IMPACT RESISTANCE. SHUTTERS ARE NOT REQUIRED.
6. DESIGN PRESSURE OF MULLED UNITS SHALL BE CONTROLLED BY THE LESSER DESIGN PRESSURE OF THE MULLION OR THE INDIVIDUAL WINDOW UNITS.
7. DESIGN PRESSURES AND INSTALLATION DETAILS SHOWN IN THIS DOCUMENT APPLY ONLY TO THE MULLION. WINDOWS MUST BE APPROVED UNDER SEPARATE APPROVAL.
8. RESPONSIBILITY OF SELECTING FENESTRATION PRODUCTS TO MEET ANY APPLICABLE LOCAL LAWS, BUILDING CODES, ORDINANCES OR OTHER SAFETY REQUIREMENTS RESTS SOLELY WITH THE ARCHITECT, ENGINEER OF RECORD, BUILDING OWNER OR CONTRACTOR.
9. SINGLE UNITS TO BE MULLED ARE NOT LIMITED TO THOSE SHOWN IN THIS DRAWING. SINGLE UNITS TO BE MULLED TOGETHER MUST BE MANUFACTURED BY CUSTOM WINDOW SYSTEMS, INC. AND MUST BE MADE OUT OF VINYL PVC OR EXTRUDED ALUMINUM.
10. VERTICAL MULLED UNITS MAY BE MULLED INDEFINITELY AS LONG AS THE SINGLE UNIT WIDTH AND HEIGHT ARE NOT EXCEEDED, AND MULLIONS ARE ANCHORED AS SHOWN HERE IN.
11. HORIZONTAL MULLION SHALL EXTEND THE ENTIRE WIDTH OF THE MULLED UNIT. VERTICAL MULLION IS USED TO MULL SIDE BY SIDE UNITS TOGETHER.

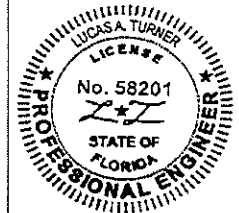
Lucas Turner  
2020.08.10  
12:04:15  
-05'00'

**Custom WINDOW SYSTEMS**

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OCALA, FLORIDA 34474  
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## 3" PVC MULL BAR IMPACT

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08/06/2020

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FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:

### GENERAL NOTES AND ELEVATIONS

DRAWN BY:	DATE:
ADE	09/27/12
DWG #:	REV.:
CWS-836	C
SCALE:	SHEET
1:25	1 OF 10

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INSTALLATION DETAILS.....	9-10

Design Pressure Chart (PSF) for NON-INTERSECTED Impact PVC 3" Mullion H-1758, with 1522 clips using four (4) #10 Screws into WOOD or METAL or 3/16" ITW Tapcons or ELCO ULTRACONS into SOLID CONCRETE or WOOD per each end of mullion. HOLLOW or GROUT-FILLED BLOCK require 1/4" ELCO ULTRACONS.

		OPENING SIZE (in.)																	
		39	45	51	57	63	69	75 3/8	81	87	93	99	107 3/8	114	120	126	132	138	145 3/8
MULL LENGTH (in.)	37	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
	42 3/4	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
	48 3/4	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0
	53 1/8	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0	65.0	65.0
	57	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0	65.0	65.0	
	63	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0	65.0	65.0	
	65	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0			
	68	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	63.5					
	72	65.0	65.0	65.0	65.0	65.0	65.0	65.0	64.9	61.7	59.1	56.9	53.7						

DP CHART IS FOR:  
NON-INTERSECTED IMPACT 3" MULLION 1758, HORIZONTAL OR VERTICAL, USING (PER END):

- 1522 CLIPS  
 - (4) #10 SCREWS INTO WOOD or METAL  
 - (4) 3/16" ITW TAPCONS or ELCO ULTRACONS INTO SOLID CONCRETE or WOOD  
 - (4) 1/4" ELCO ULTRACONS INTO HOLLOW or GROUT-FILLED BLOCK

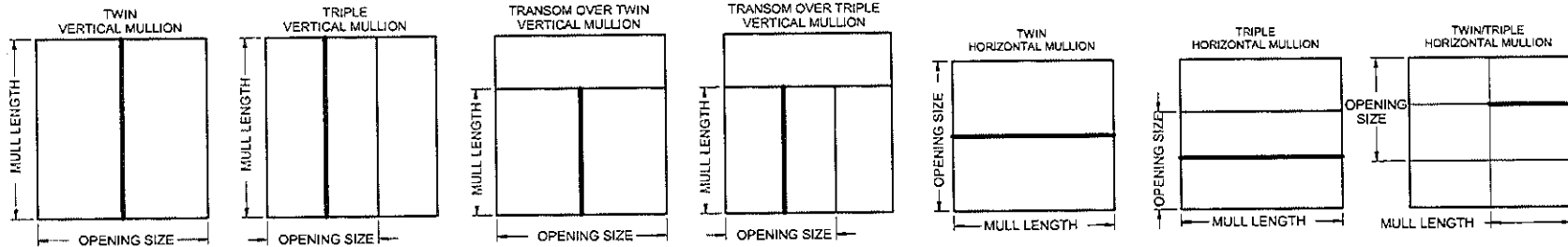
Design Pressure Chart (PSF) for NON-INTERSECTED Impact PVC 3" Mullion H-1758, with 1776 clips with six (6) #10 Screws into WOOD or METAL or 3/16" ITW Tapcons or ELCO ULTRACONS into SOLID CONCRETE or WOOD per each end of mullion. HOLLOW or GROUT-FILLED BLOCK require 1/4" ELCO ULTRACONS.

		OPENING SIZE (in.)																	
		39	45	51	57	63	69	75 3/8	81	87	93	99	107 3/8	114	120	126	132	138	145 3/8
MULL LENGTH (in.)	37	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
	42 3/4	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
	48 3/4	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0
	53 1/8	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0	65.0	65.0
	57	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0	65.0	65.0	
	63	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	65.0	65.0			
	65	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0				
	68	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0	65.0					
	72	65.0	65.0	65.0	65.0	65.0	65.0	65.0	64.9	61.7	59.1	56.9	53.7						

DP CHART IS FOR:  
NON-INTERSECTED IMPACT 3" MULLION 1758, HORIZONTAL OR VERTICAL, USING (PER END):

- 1776 CLIPS  
 - (6) #10 SCREWS INTO WOOD or METAL  
 - (6) 3/16" ITW TAPCONS or ELCO ULTRACONS INTO SOLID CONCRETE or WOOD  
 - (6) 1/4" ELCO ULTRACONS INTO HOLLOW or GROUT-FILLED BLOCK

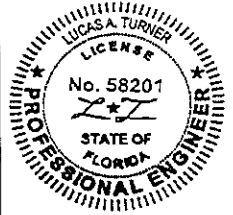
- NOTES:  
 1. THE MULL BAR IN FOCUS FOR ANY GIVEN CONFIGURATION IS SHOWN IN BOLD.  
 2. AN INTERSECTED MULL BAR HAS OTHER MULL BAR(S) ATTACHED TO IT (SHOWN IN DASHES) THROUGH THE USE OF MULL BAR CLIPS. AN INTERSECTED MULL BAR WILL ALWAYS BE ATTACHED TO THE SUBSTRATE AT BOTH ENDS.  
 3. NON-INTERSECTED MULL BARS CAN BE ATTACHED TO THE SUBSTRATE AND OTHER MULL BARS.



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**3" PVC  
MULL BAR  
IMPACT**

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08/06/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION: <b>DP CHARTS NON-INTERSECTED MULLS</b>	
DRAWN BY: <b>ADE</b>	DATE: <b>09/27/12</b>
DWG #: <b>CWS-836</b>	REV: <b>C</b>
SCALE: <b>1:1</b>	SHEET <b>2 OF 10</b>

Design Pressure Chart (PSF) for INTERSECTED Impact PVC 3" Mullion H-1758, with 1522 clips using four (4) #10 Screws into WOOD or METAL or 3/16" ITW Tapcons into SOLID CONCRETE or WOOD, or 1776 clips with six (6) #10 Screws into WOOD or METAL or 3/16" ITW Tapcons into SOLID CONCRETE or WOOD per each end of mullion. HOLLOW or GROUT-FILLED BLOCK require 1/4" ELCO ULTRACONS.

		OPENING SIZE (in.)																	
		39	45	51	57	63	69	75 3/8	81	87	93	99	110 3/8	114	120	126	132	138	145 3/8
MULL LENGTH (in.)	37	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0
	42 3/4	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0
	48 3/4	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0
	53 1/8	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0
	57	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	48.1
	63	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	49.4	47.3	
	68	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	49.8	47.6				
	72	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	45.4	44.0					
	75.375	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	50.0	46.8	44.0	40.0						

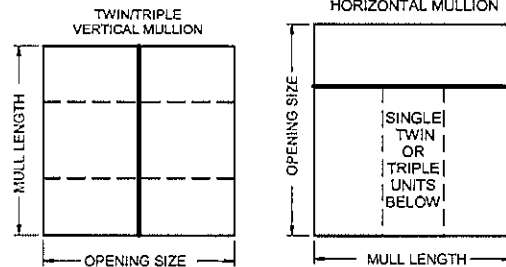
DP CHART IS FOR:  
INTERSECTED IMPACT 3" MULLION 1758, HORIZONTAL OR VERTICAL, USING EITHER (PER END):

1522 CLIPS

- (4) #10 SCREWS INTO WOOD or METAL
- (4) 3/16" ITW TAPCONS or ELCO ULTRACONS INTO SOLID CONCRETE or WOOD
- (4) 1/4" ELCO ULTRACONS INTO HOLLOW or GROUT-FILLED BLOCK

1767 CLIPS

- (6) #10 SCREWS INTO WOOD or METAL
- (6) 3/16" ITW TAPCONS or ELCO ULTRACONS INTO SOLID CONCRETE or WOOD
- (6) 1/4" ELCO ULTRACONS INTO HOLLOW or GROUT-FILLED BLOCK



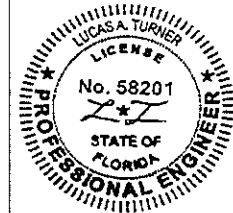
- NOTES:
1. THE MULL BAR IN FOCUS FOR ANY GIVEN CONFIGURATION IS SHOWN IN BOLD.
  2. AN INTERSECTED MULL BAR HAS OTHER MULL BAR(S) ATTACHED TO IT (SHOWN IN DASHES) THROUGH THE USE OF MULL BAR CLIPS. AN INTERSECTED MULL BAR WILL ALWAYS BE ATTACHED TO THE SUBSTRATE AT BOTH ENDS.
  3. NON-INTERSECTED MULL BARS CAN BE ATTACHED TO THE SUBSTRATE AND OTHER MULL BARS.



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**3" PVC  
MULL BAR  
IMPACT**

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LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:  
**DP CHART  
INTERSECTED MULLS**

DRAWN BY: <b>ADE</b>	DATE: 09/27/12
DWG #: CWS-836	REV.: C
SCALE: 1:1	SHEET 3 OF 10



ITEM	PART #	DESCRIPTION
1	H-1758	1 3/8" x 3" MULLION TUBE
2		#10 OR #12 HEXWASHER HEAD TEK SCREW *(see note below)
3		#10 x 1 1/2", PANHEAD PHILIPS ZINC
4		#10 FLAT WASHER
7	S-1897	MULLION CLIP, INTERSECTING
8		SEALANT
9	S-1895	DRIP CAP, HORZ, FLG
10	S-1896	FLANGE ADAPTER, VERT, FLG
11	S-6018	MULLION INTERIOR COVER, EXT, FIN/BOX
14	F-1522-013	3" SLOTTED NEW CONSTRUCTION FIN MULL CLIP
15	F-1522-006	3" SLOTTED T-CLIP, FLG/BOX
16	F-1767-001	L-ANGLE 3" MULL CLIP, STANDARD, FLG/BOX
17	F-1767-004L	L-ANGLE 3" MULL CLIP, FIN, LEFT
18	F-1767-004R	L-ANGLE 3" MULL CLIP, FIN, RIGHT
19		#10 HEX WASHER HEAD TEK SCREW
20		#10 FH TEK SCREW

LINE ITEMS NOT USED:  
5-6, 12

FRAME TYPE	OPENING	"T" MULLBAR CLIP (F-1522-XXX)	"L" MULLBAR CLIP (F-1767-XXX)
FLANGE	NEW	F-1522-013	F-1767-001
	RETRO	F-1522-006	F-1767-001
FIN	NEW	F-1522-013	F-1767-004(L&R)
	RETRO	F-1522-013	F-1767-004(L&R)
BOX	NEW	NOT RECOMMENDED	F-1767-001
	RETRO	F-1522-006	F-1767-001

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**3" PVC MULL BAR IMPACT**

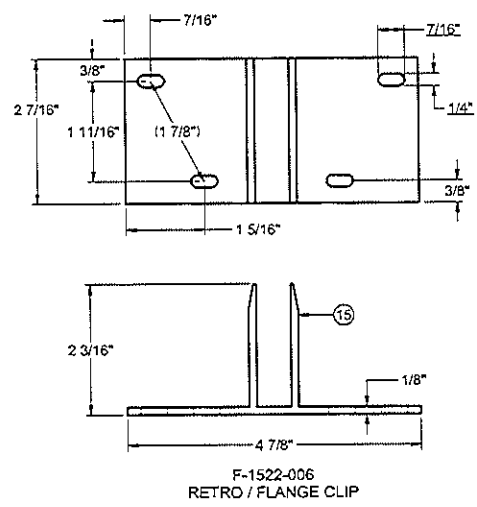
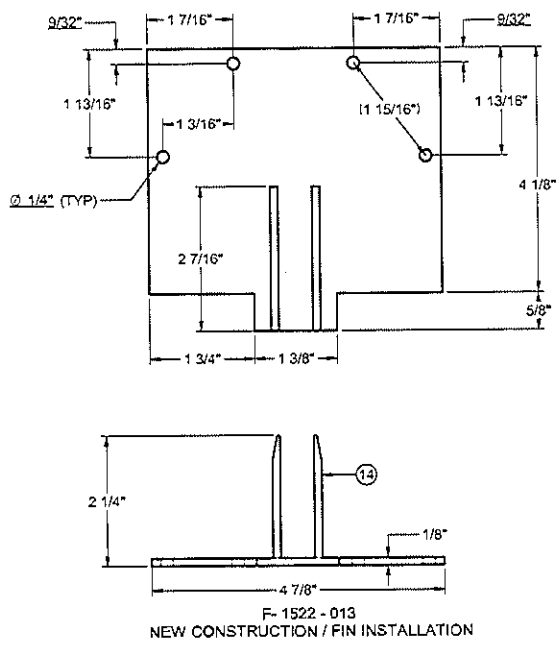
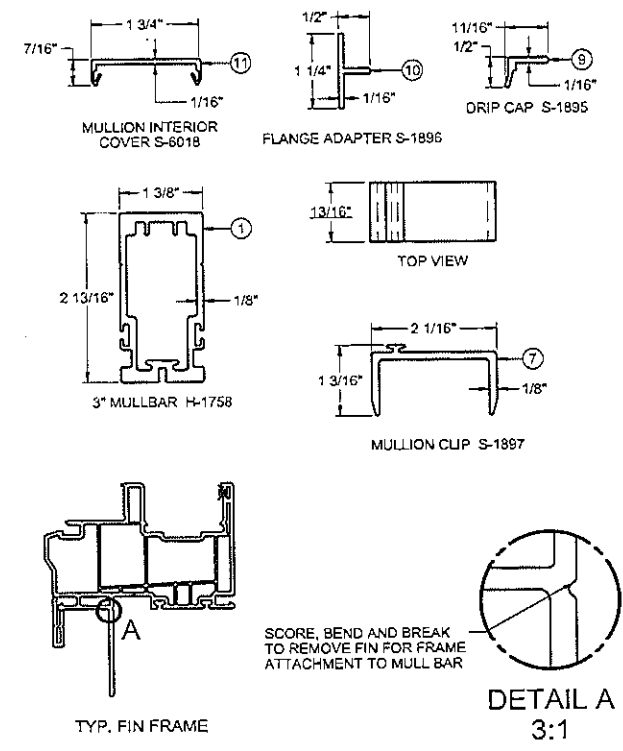
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LICENSE  
No. 58201  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
08/06/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:  
**BOM AND EXTRUSIONS**

DRAWN BY: ADE	DATE: 09/27/12
DWG #: CWS-836	REV.: C
SCALE: 1:2	SHEET 4 OF 10



NOTE: ALL EXTRUSIONS ARE ALUMINUM 6063-T6 UNLESS OTHERWISE NOTED.

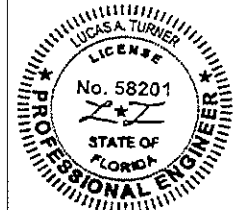
FRAME TYPE	OPENING	"T" MULLBAR CLIP (F-1522-XXX)	"L" MULLBAR CLIP (F-1767-XXX)
FLANGE	NEW	F-1522-013	F-1767-001
	RETRO	F-1522-006	F-1767-001
FIN	NEW	F-1522-013	F-1767-004(L&R)
	RETRO	F-1522-013	F-1767-004(L&R)
BOX	NEW	NOT RECOMMENDED	F-1767-001
	RETRO	F-1522-006	F-1767-001



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### 3" PVC MULL BAR IMPACT

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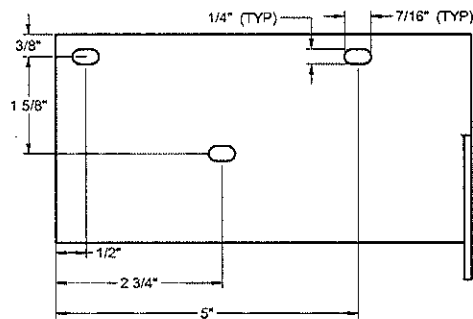
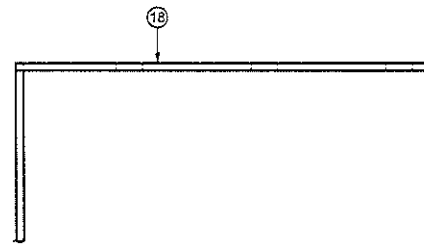
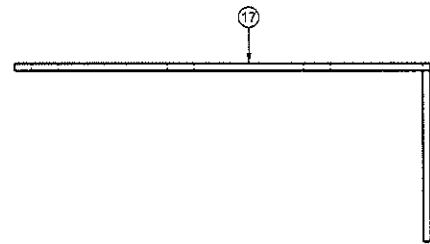
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FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:

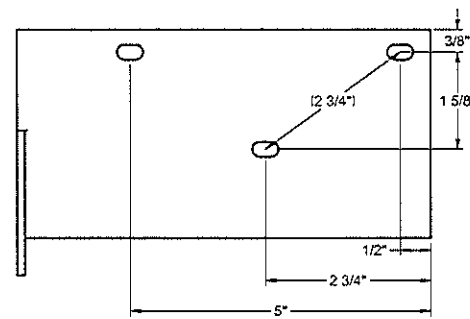
#### EXTRUSIONS

DRAWN BY:	DATE:
ADE	09/27/12
DWG #:	REV.:
CWS-836	C
SCALE:	SHEET
1:2	5 OF 10

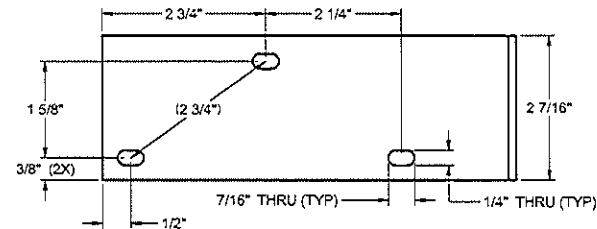


"L" ANGLE 3" MULL CLIP, FIN (LEFT) F-1767-004L

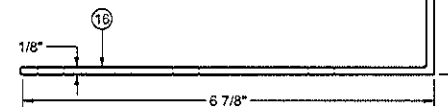
OUTSIDE



"L" ANGLE 3" MULL CLIP, FIN (RIGHT) F-1767-004R



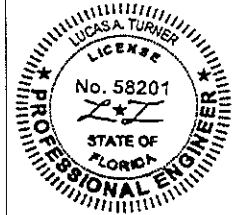
OUTSIDE



"L" ANGLE 3" STANDARD MULL CLIP - F-1767-001

**3" PVC  
MULL BAR  
IMPACT**

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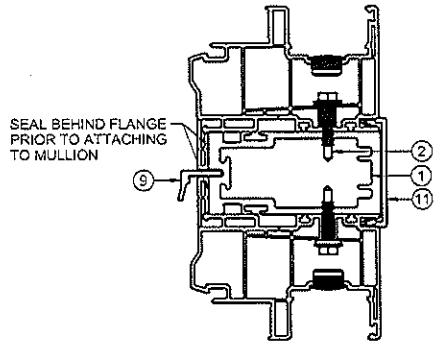
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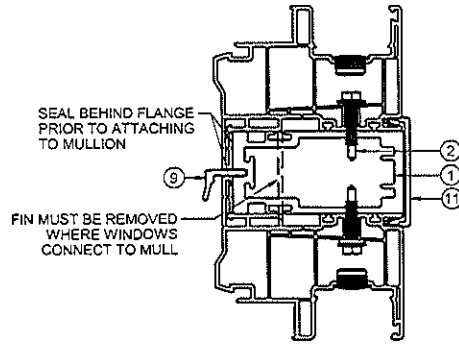
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**SECTION VIEWS  
MULLS**

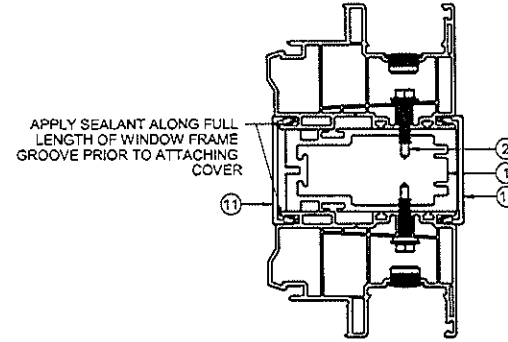
DRAWN BY:	DATE:
ADE	09/27/12
DWG #:	REV.:
CWS-836	C
SCALE:	SHEET
1:2	6 OF 10



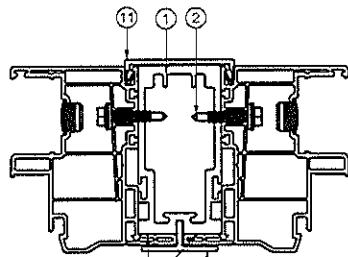
**A**  
**6** HORIZONTAL MULL BAR SECTION  
FLANGE FRAME WINDOW



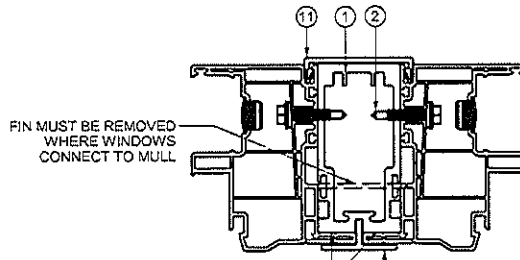
**A**  
**6** HORIZONTAL MULL BAR SECTION  
FIN FRAME WINDOW



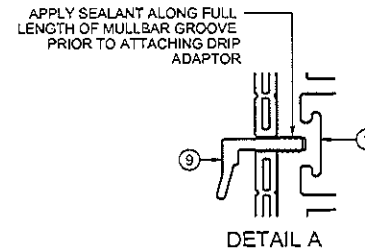
**A**  
**6** VERTICAL/HORIZONTAL MULL BAR SECTION  
BOX FRAME WINDOW



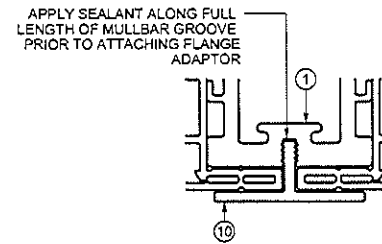
**B**  
**6** VERTICAL MULL BAR SECTION  
FLANGE FRAME WINDOW



**B**  
**6** VERTICAL MULL BAR SECTION  
FIN FRAME WINDOW



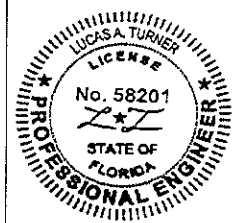
DETAIL A



DETAIL B

**3" PVC  
MULL BAR  
IMPACT**

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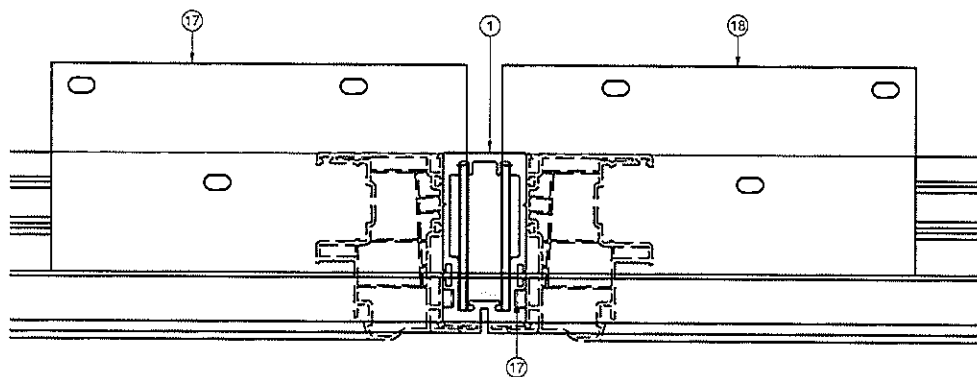


08/06/2020

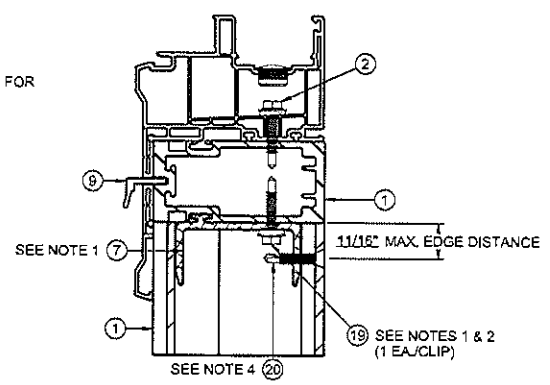
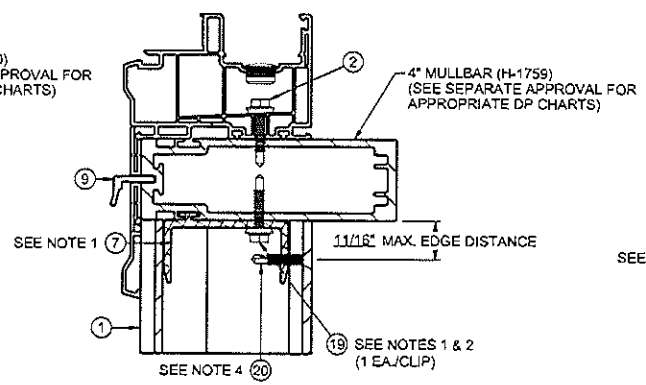
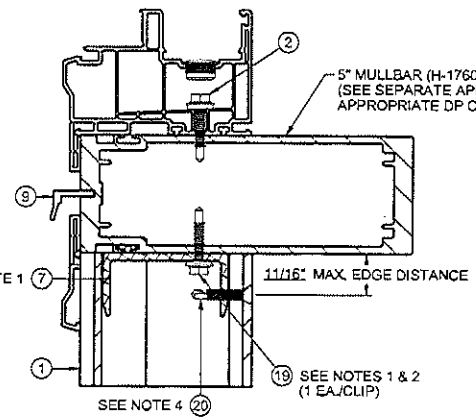
LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:  
**SECTION VIEWS  
MULL INTERSECTIONS**

DRAWN BY:	DATE:
ADE	09/27/12
DWG #:	REV.:
CWS-836	C
SCALE:	SHEET
1:2	7 OF 10



TOP VIEW  
FIN FRAME



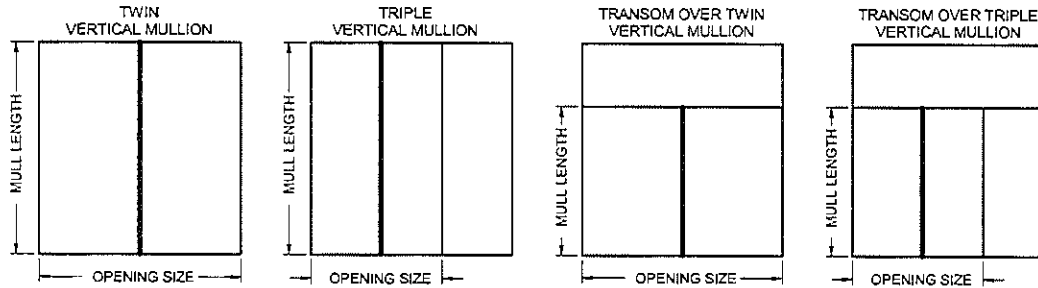
C 5" HORIZ. TO 3" VERT. MULLBAR SECTION  
7 FLANGE FRAME WINDOW

C 4" HORIZ. TO 3" VERT. MULLBAR SECTION  
7 FLANGE FRAME WINDOW

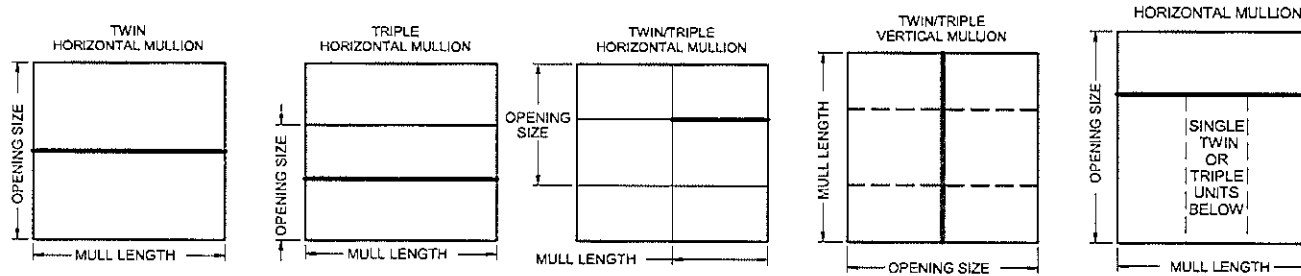
C 3" HORIZ. TO 3" VERT. MULLBAR SECTION  
7 FLANGE FRAME WINDOW

**NOTES:**

1. SLIDE CLIP INTO LOCATION AND SECURE WITH ITEMS 19 (QTY 1) AND 20 (QTY 1), AS SHOWN ABOVE.
2. PRE-DRILLED HOLES (THRU HVV CLIP 1897), BY THE INSTALLER, MAY BE LOCATED AS NEEDED WHILE MAINTAINING A MINIMUM CLIP EDGE DISTANCE OF 9/32" AND A MINIMUM CENTER TO CENTER SPACING OF 1/2".
3. THE ABOVE SECTIONS APPLY TO ALL MULLBAR-TO-MULLBAR CONNECTIONS, REGARDLESS OF ORIENTATION (i.e., HORIZONTAL OR VERTICAL). THE FULL LENGTH MULL MUST BE THE SAME DEPTH, OR GREATER, THAN THE INTERSECTING MULL.
4. INTERIOR MULL ANCHOR ATTACHMENT SCREW THRU VERTICAL MULL INTO MULL CLIP. PRE-DRILL PILOT HOLE THRU ALL MATERIAL.



- NOTES:
1. THE MULL BAR IN FOCUS FOR ANY GIVEN CONFIGURATION IS SHOWN IN BOLD.
  2. AN INTERSECTED MULL BAR HAS OTHER MULL BAR(S) ATTACHED TO IT (SHOWN IN DASHES) THROUGH THE USE OF MULL BAR CLIPS. AN INTERSECTED MULL BAR WILL ALWAYS BE ATTACHED TO THE SUBSTRATE AT BOTH ENDS.
  3. NON-INTERSECTED MULL BARS CAN BE ATTACHED TO THE SUBSTRATE AND OTHER MULL BARS.



NOTES:

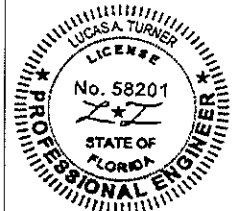
1. AT MULLION LOCATION, ATTACH WINDOW UNIT(S) TO MULLBAR THRU FRAME AS SPECIFIED IN WINDOW UNIT APPROVAL DOCUMENTS. IF ALUMINUM ATTACHMENT IS NOT SPECIFIED IN THE WINDOW UNIT APPROVAL DOCUMENTS, FOLLOW THE ANCHOR SPACING AS INDICATED IN THE WINDOW APPROVAL FOR ATTACHMENT TO WOOD SUBSTRATE, USING A HEX WASHER HEAD TEK SCREW OF THE SAME SIZE (#10 OR #12) AS THE WOOD SCREW INDICATED IN THE WINDOW APPROVAL. TEK SCREWS SHALL BE LONG ENOUGH TO ENSURE THREE (3) THREADS OF PENETRATION BEYOND THE INSIDE WALL OF MULLBAR.
2. MULL CLIP INSTALLATION ANCHOR TYPE, SIZE, SPACING AND EMBEDMENT SHALL BE AS SPECIFIED IN THESE DRAWINGS, SEE TABLE 1, SHEET 9.
3. ALL MULL CLIP INSTALLATION ANCHORS MUST BE MADE OF OR PROTECTED WITH A CORROSION RESISTANT MATERIAL OR COATING. DISSIMILAR METALS OR MATERIALS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE PROTECTED TO PREVENT REACTION.
4. INSTALLATION ANCHORS SHALL BE IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM SPECIFIED IN TABLE 1, SHEET 9.
5. ANCHOR EMBEDMENT TO SUBSTRATE SHALL BE BEYOND WALL DRESSING OR STUCCO. FOR CONCRETE/CMU OPENINGS, EMBEDMENT SHALL BE BEYOND WOOD BUCKS, IF USED, INTO SUBSTRATE - 1X BUCKS ARE OPTIONAL.
6. A MINIMUM CENTER-TO-CENTER SPACING SHALL BE MAINTAINED AS INDICATED BY THE PRE-DRILLED HOLES AS SHOWN IN THE CLIP LAYOUTS ON SHEETS 4-5.
7. WOOD OR MASONRY OPENINGS, BUCKS AND BUCK FASTENERS SHALL BE PROPERLY DESIGNED BY THE ARCHITECT OR ENGINEER OF RECORD AND INSTALLED TO TRANSFER WIND LOADS TO THE STRUCTURE. SUBSTRATES SHALL MEET THE MINIMUM STRENGTH REQUIREMENTS AS SHOWN IN TABLE 1, SHEET 9. CONCRETE AND MASONRY SUBSTRATES MAY NOT BE CRACKED.
8. SEALING AND FLASHING STRATEGIES FOR OVERALL WATER RESISTANCE OF INSTALLATION SHALL BE DONE BY OTHERS FOLLOWING THE CURRENT VERSION OF THE REFERENCE DOCUMENTS: FMA/AAMA 100(FIN WINDOWS), FMA/AAMA 200(FLANGE WINDOWS), FMA/WDMA 250(BOX WINDOWS), FMA/AAMA/WDMA 300(EXTERIOR DOORS)



1900 SW 44TH AVE.  
OCALA, FLORIDA 34474  
WWW.CWS.CC

**3" PVC  
MULL BAR  
IMPACT**

PROPRIETARY AND CONFIDENTIAL  
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08/06/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-360-1574

SHEET DESCRIPTION:

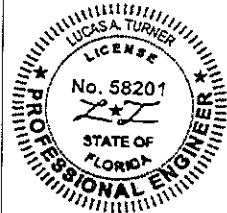
**CONFIGURATIONS AND ANCHORAGE NOTES**

DRAWN BY: ADE	DATE: 09/27/12
DWG #: CWS-836	REV: C
SCALE: 1:1	SHEET 8 OF 10



**3" PVC  
MULL BAR  
IMPACT**

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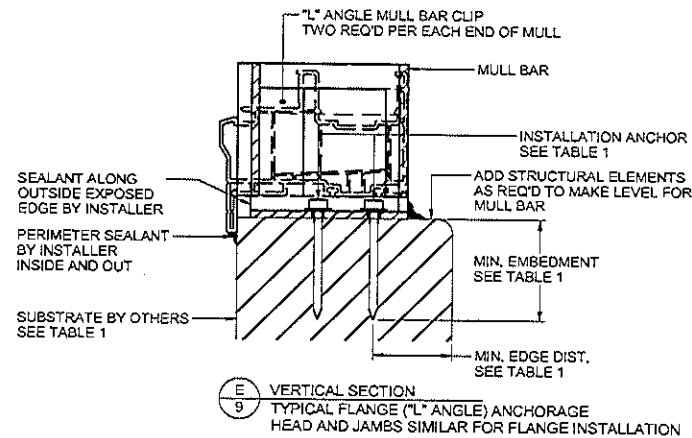
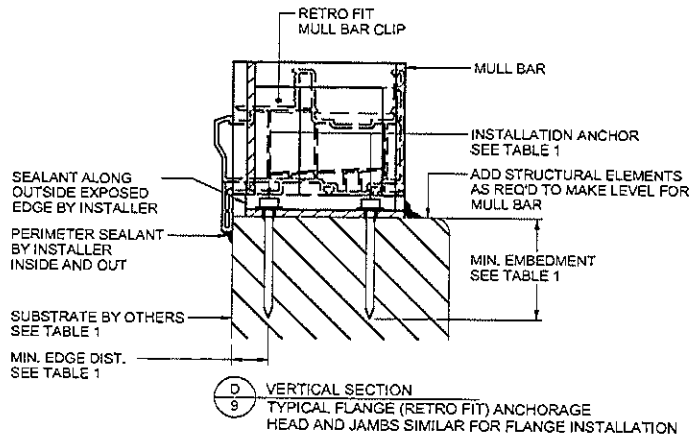
08/06/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:

**INSTALLATION DETAILS  
FLANGE**

DRAWN BY: ADE	DATE: 09/27/12
DWG #: CWS-836	REV.: C
SCALE: 1/2	SHEET 9 OF 10



NOTES:

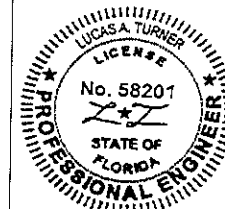
1. BOX FRAME MULL INSTALLATION SIMILAR TO FLANGE FRAME.
2. SILL STOOL MUST BE FLUSH AGAINST INSIDE OF MULLED WINDOWS AFTER INSTALLATION.
3. RECESS RETRO MULLION CLIP 3/8" MAX. FOR CLEARANCE OF WINDOW UNIT AS NEEDED.
4. FOUR (4) ANCHORS REQUIRED PER "T" MULL CLIP, SEE SHEETS 2-3. THREE (3) ANCHORS REQUIRED PER "L" MULL CLIP, SEE SHEETS 2-3.
5. SEAT MULLION TIGHT TO MULL CLIP.
6. FOR ANCHORAGE DETAILS FOR THE WINDOW, REFER TO THE WINDOW SPECIFIC INSTALLATION DETAILS.

TABLE 1: APPROVED MULL CLIP INSTALLATION FASTENERS

SUBSTRATE TYPE	ANCHOR TYPE	MIN. EMBEDMENT	MIN. EDGE DIST.
CONCRETE (2.0 KSI MIN.)	3/16" ITW TAPCON	1"	3"
CONCRETE (2.85 KSI MIN.)	3/16" ELCO ULTRACON	1-3/4"	1"
HOLLOW or GROUT-FILLED CMU (ASTM C-90)	1/4" ELCO ULTRACON	1-1/4"	2-1/2"
2X MIN. SOUTHERN PINE (G=0.55)	3/16" ITW TAPCON OR ELCO ULTRACON	1-3/8"	7/8"
2X MIN. SOUTHERN PINE (G=0.55)	#10 WOOD SCREW	1-3/8"	7/8"
16 GAUGE (0.060") MIN. STEEL STUD (33 KSI YIELD MIN)	#10-16 HILTI KWIK-FLEX OR ITW TEKS SELF-DRILLING SCREW	FULL THREAD THRU 0.060"	7/16"
1/8" ALUM. (6063-T5 MIN.) OR 1/8" STEEL (33 KSI MIN.)	#10 GRADE 5 SELF-TAPPING / DRILLING SCREW	FULL THREAD THRU 0.125"	7/16"

**3" PVC  
MULL BAR  
IMPACT**

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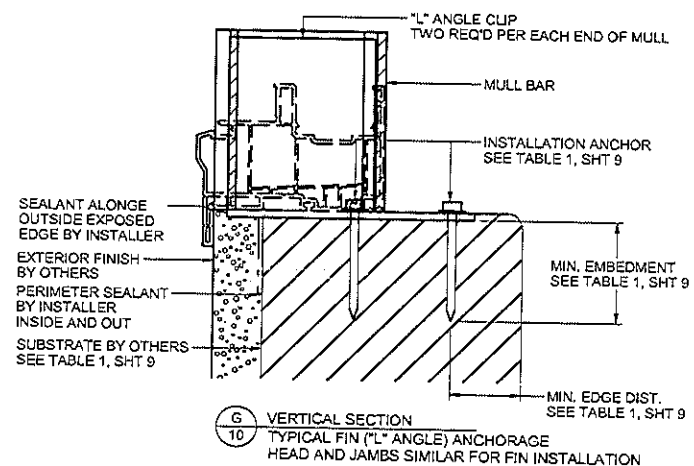
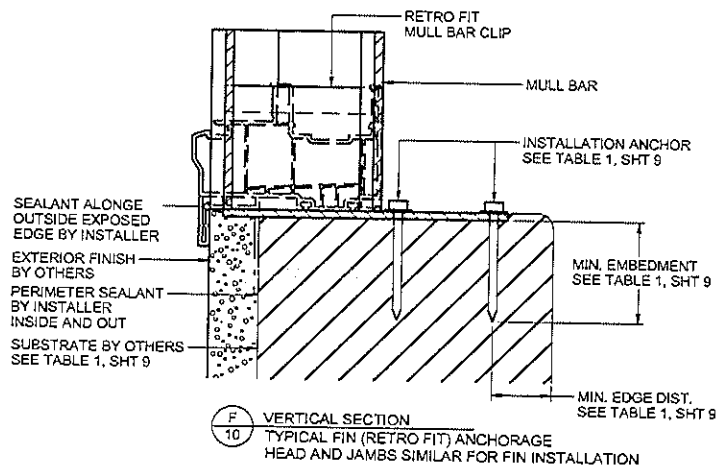
08/06/2020

LUCAS A. TURNER, P.E.  
FL PE # 58201  
2428 Old Natchez Trc Trl  
Camden, TN 38320  
PH. 941-380-1574

SHEET DESCRIPTION:

INSTALLATION DETAILS  
FIN

DRAWN BY: ADE	DATE: 09/27/12
DWG #: CWS-836	REV.: C
SCALE: 1:2	SHEET 10 OF 10



NOTES:

1. SILL STOOL MUST BE FLUSH AGAINST INSIDE OF MULLED WINDOWS AFTER INSTALLATION.
2. RECESS RETRO MULLION CLIP 3/8" MAX. FOR CLEARANCE OF WINDOW UNIT AS NEEDED.
3. FOUR (4) ANCHORS REQUIRED PER "T" MULL CLIP, SEE SHEETS 2-3. THREE (3) ANCHORS REQUIRED PER "L" MULL CLIP, SEE SHEETS 2-3.
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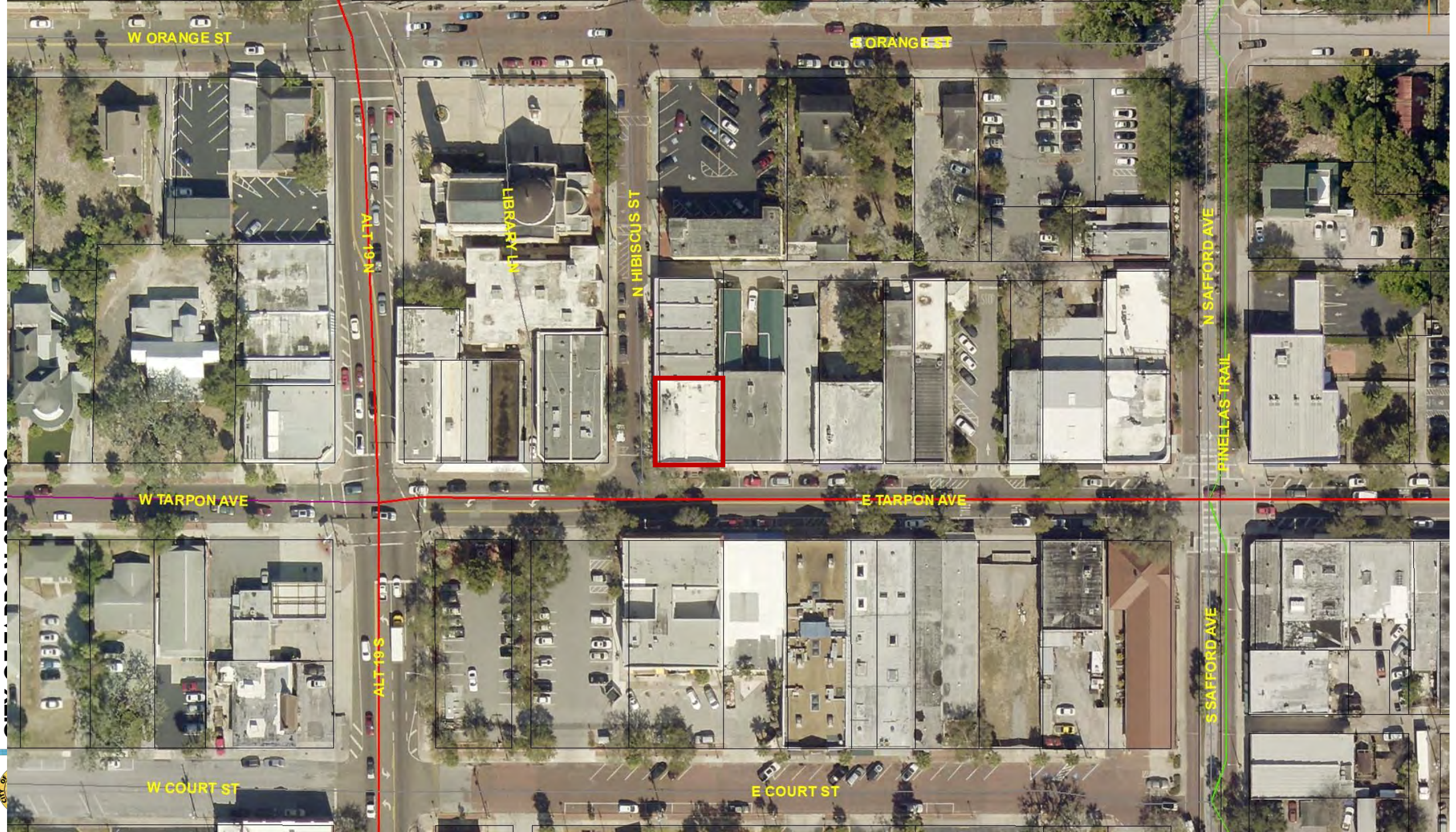
# **NOMIKI VAVLAS APPLICATION #21-60**

---

Heritage Preservation Board, June 7, 2021







W ORANGE ST

E ORANGE ST

ALT-19-N

LIBRARY LN

N HIBISCUS ST

N SAFFORD AVE

FINELLAS TRAIL

W TARPON AVE

E TARPON AVE

ALT-19-S

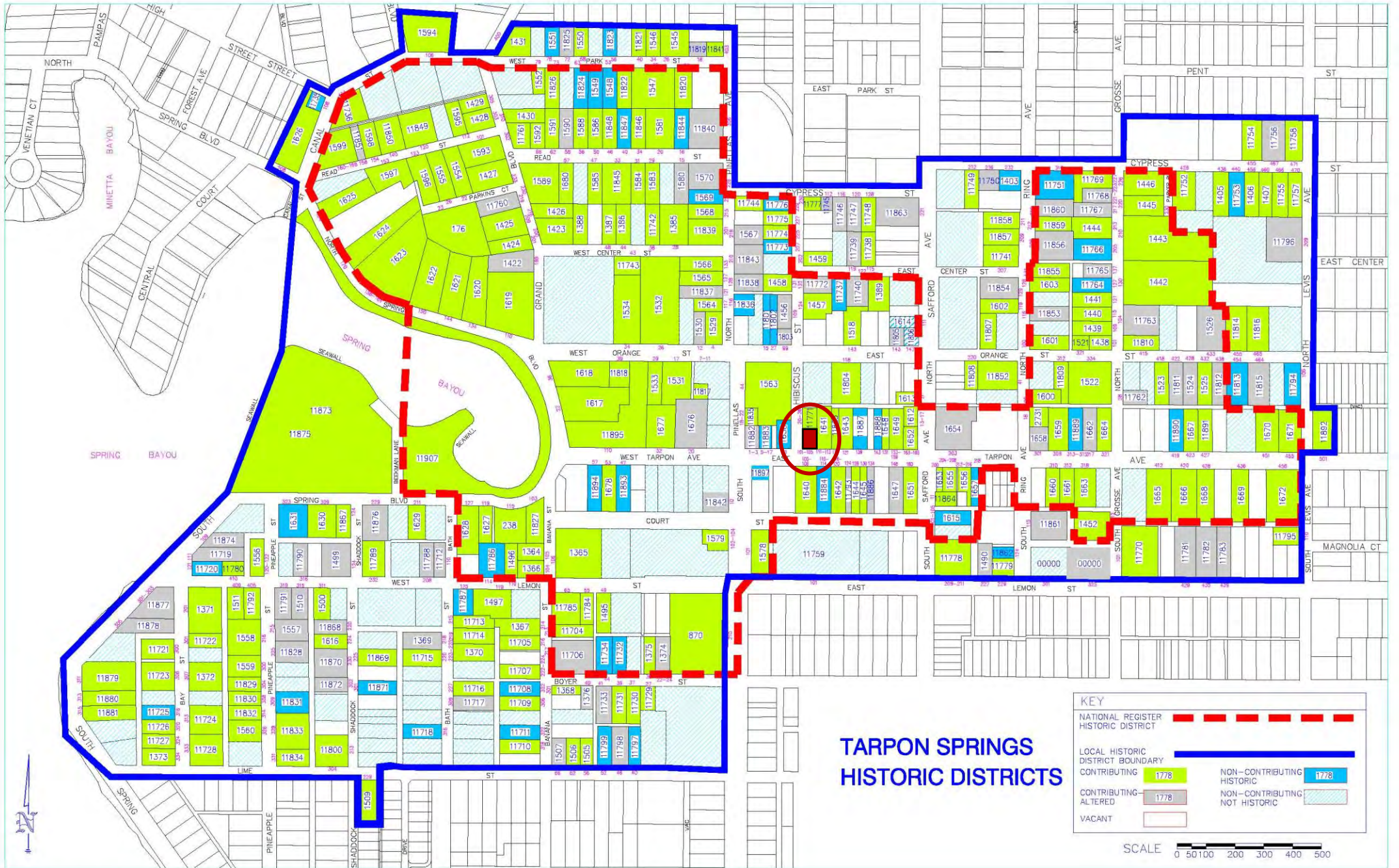
S SAFFORD AVE

W COURT ST

E COURT ST







**TARPON SPRINGS  
 HISTORIC DISTRICTS**

**KEY**

- NATIONAL REGISTER HISTORIC DISTRICT - - - - -
- LOCAL HISTORIC DISTRICT BOUNDARY —————
- CONTRIBUTING HISTORIC
- NON-CONTRIBUTING HISTORIC
- CONTRIBUTING-ALTERED
- NON-CONTRIBUTING NOT HISTORIC
- VACANT



# REQUEST

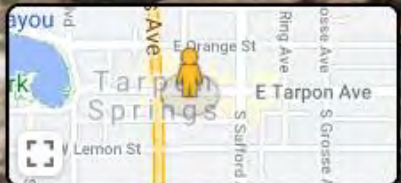
- Certificate of Approval for replacement of the storefront facade at 105 East Tarpon Avenue to match the existing facade at 101 East Tarpon Avenue
- Lot Size (front building): approximately 4,000 square feet
- Architectural Type/Style: one-part masonry vernacular storefront
- District Status: contributing
- Florida Master Site File No. 8PI1639
- Applicant / Owner: Bokova Industrial Center / Nomiki Vavlas



106 E Tarpon Ave  
Tarpon Springs, Florida

Google

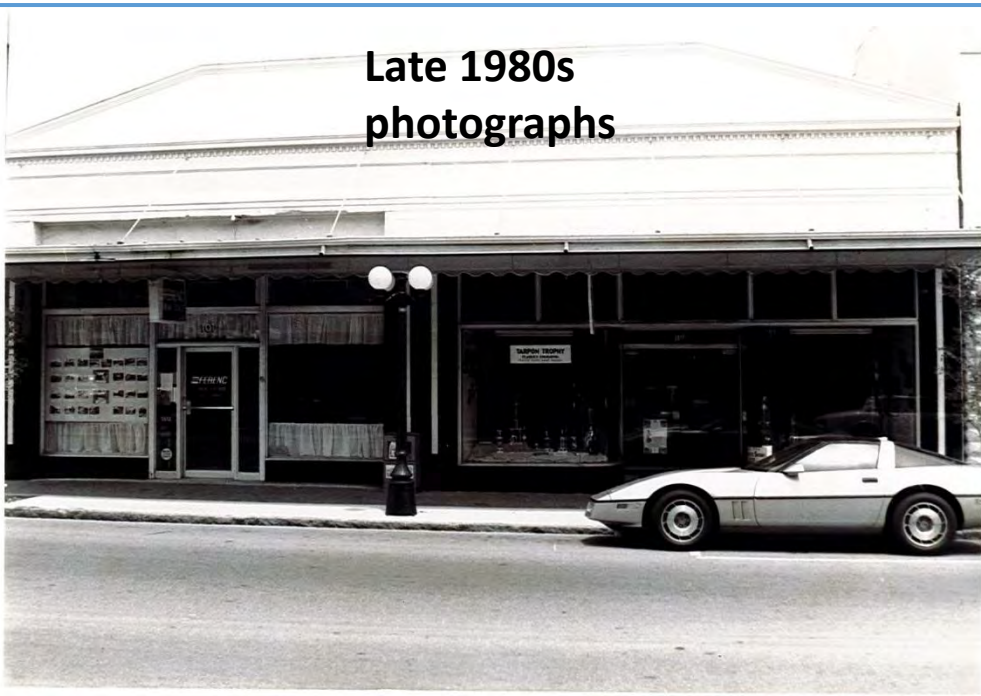
Street View



Google



Late 1980s  
photographs



*Downtown Tarpon Springs – A National Historic District*

# 101 E. TARPON AVENUE MCARROY DRUG STORE

**Built Circa 1890**



The one-part masonry vernacular commercial building was built in the late 1890s by George McArroy to house his drug store. In addition to the drug store, the building contained the Tarpon Springs Post Office for several years during the first decade of the twentieth century. In the 1920s, the

building became the Sponge Exchange Bank, which closed in the late 20s following the demise of the sponge industry.

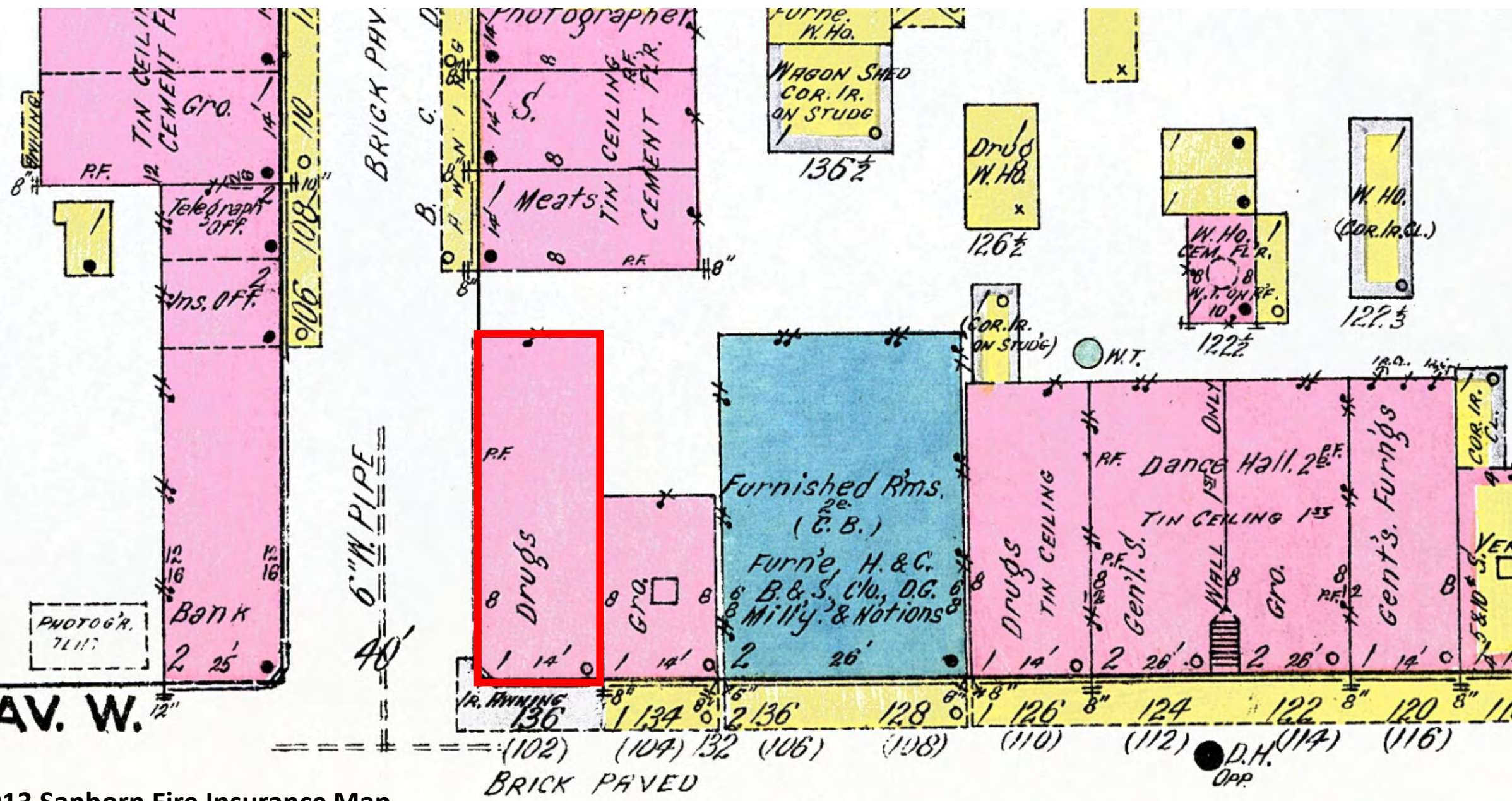




5

AV. W.

1913 Sanborn Fire Insurance Map



6" W. PIPE

40'

BRICK PAVED

D.H. Opp









fixed transoms

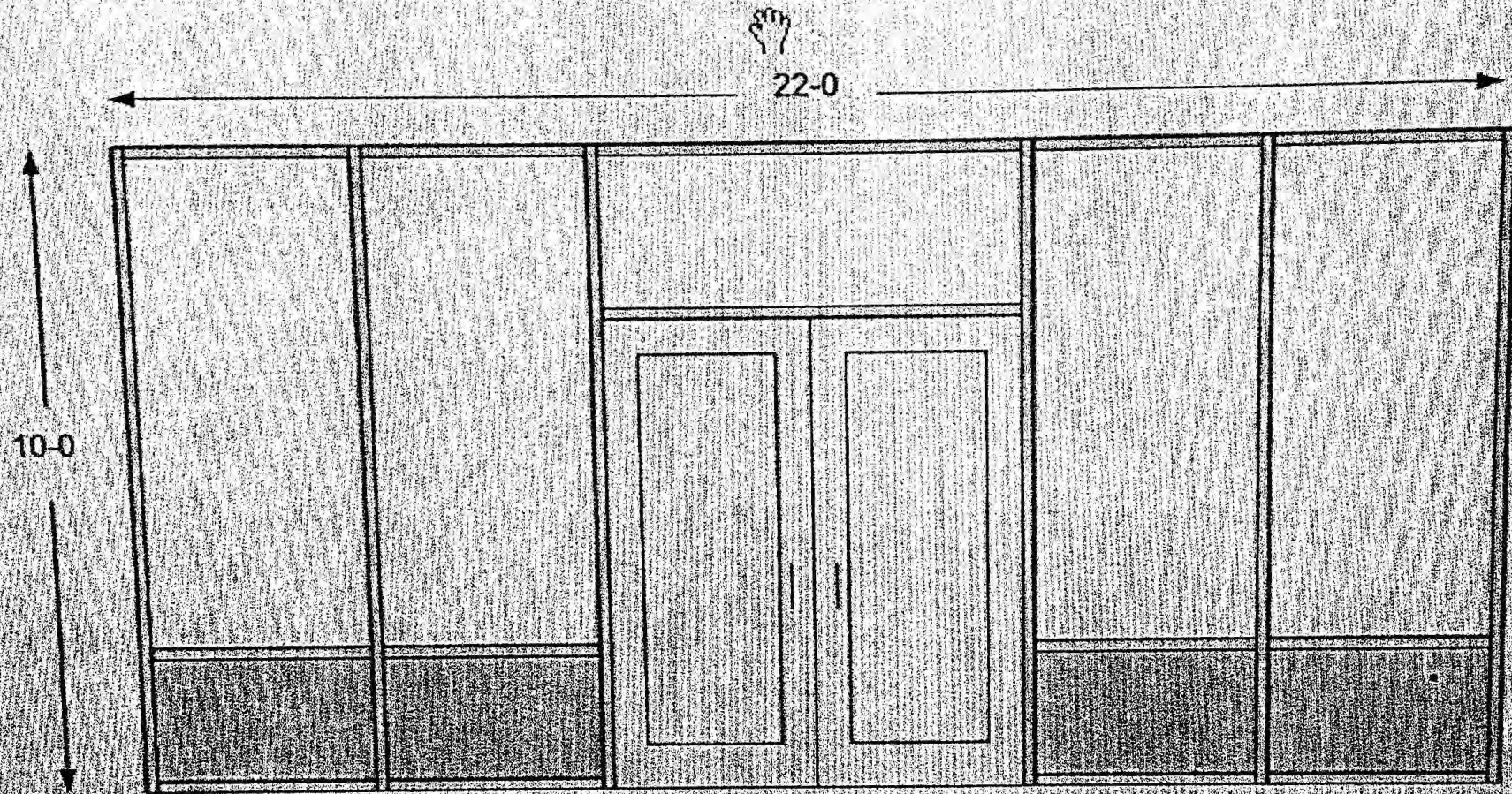
signboard

curved glass display window

Brick support panel with vitrolite covering

Recessed entry, single door with sidelights and small fixed transom





New dark bronze aluminum hurricane impact store front  
Window and door system glazed with clear 9/16 impact Laminated glass.  
There is one pair of 3-0 x 7-0 doors with a transom and comes with Mtg. standard  
Door hardware package. Approx. size from 20-0 x 10-0.



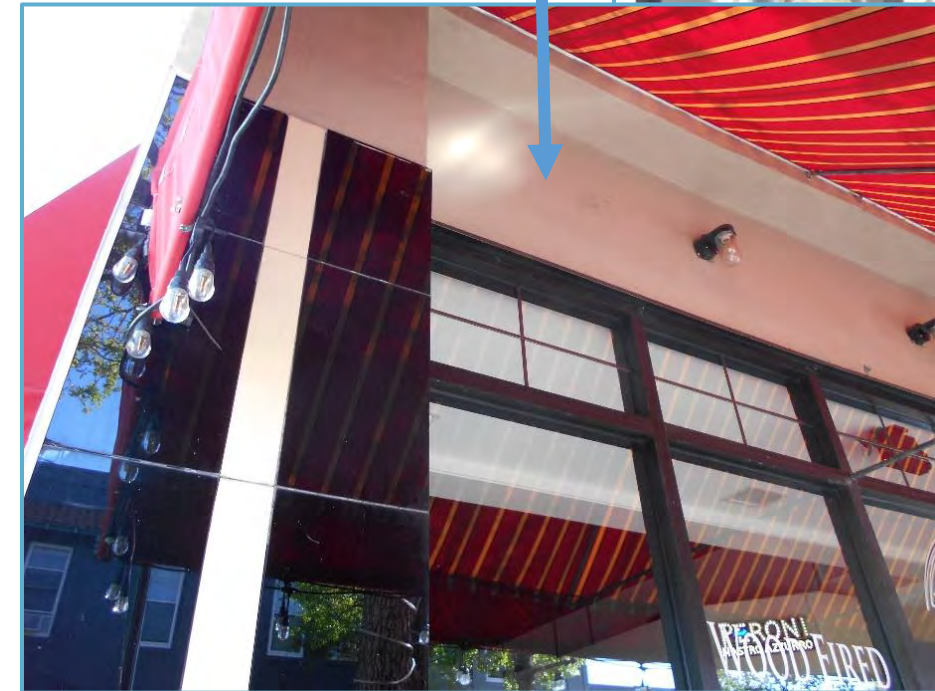


22-0

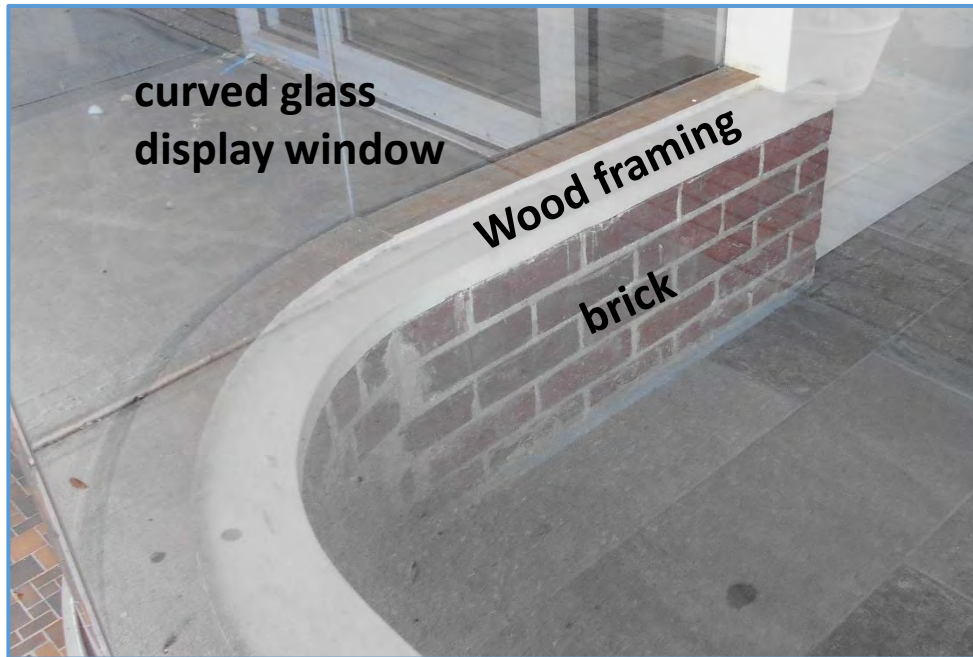
10-0

OLYMPIC  
REALTY SERVICES  
Maria Kasritsos  
Licensed Real Estate Broker



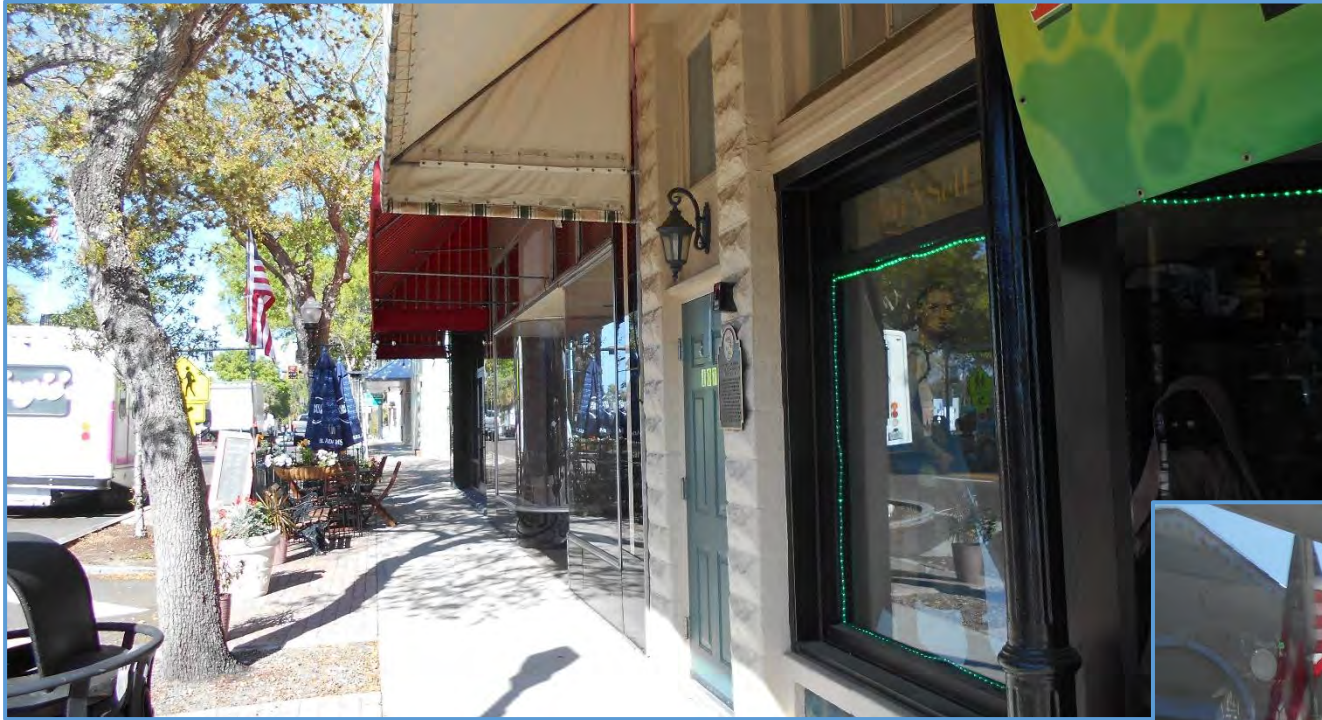








west



east

# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

1) **New construction consistency.**

*Height and width of front facade and entry will be significantly altered.*

2) **Windows, doors and entries.**

*Recessed entry and accompanying features will be demolished and replaced. See especially, Guidelines 75, 76, 77 and 80.*

3) **Neighborhood and district context.**

*Significant alteration of the street and pedestrian experience along Tarpon Avenue in heart of national district.*

4) Roof shape and texture. (not applicable)

5) Size and massing / shape. (not applicable)

6) Landscaping. (not applicable)

**Especially Applicable Guidelines: Guidelines 1 and 2, Chapter 4.18**

# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

## 7. Architectural features.

*Property features historic recessed storefront, transoms, signboard, bulkhead and display windows, all to be removed.*

*Replacement of vitrolite with brick veneer is acceptable.*

## 8. Adherence to period of construction.

*Removal includes original features and those installed ca. 1940.*

## 9. Adherence to Secretary's Guidelines.

*Project conflicts with Guidelines 2, 3, 4, 6, and 9.*

## 10. Conformance with other City code requirements.

*Project conforms to other city codes and the Comprehensive Plan.*

## 11. Impact upon archeological sites. (Not applicable)

**Especially Applicable Guidelines: Guidelines 1 and 2, Chapter 4.18**



# PRELIMINARY STAFF RECOMMENDATION

Staff recommends denial of Application #21-60, as presented, for a Certificate of Approval.

If the Heritage Preservation Board approves the proposed application of brick veneer, it is recommended that the approval be stated with the following conditions:

1. The brick veneer shall be limited to the area currently covered with the tile/vitrolite material on the facade.
2. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No responses to the notices have been received.



**CITY OF TARPON SPRINGS**  
**PLANNING & ZONING BOARD / BOARD OF COMMISSIONERS**  
**JUNE 7, 2021**

**STAFF REPORT, June 1, 2021**

**Application No. / Project Title:** 21-60 / Nomiki Vavlas  
**Staff:** Patricia L. McNeese, AICP  
Principal Planner  
**Applicant / Owner:** Bokova Industrial Center / Nomiki Vavlas  
**Property Size:** 4,000 square feet (building)  
**Current Zoning:** T5b (Tarpon Ave Main Street)  
**Current Land Use:** Community Redevelopment District  
**Location / Parcel ID:** 101 & 105 East Tarpon Avenue / 12-27-15-64998-000-0031  
**Architectural Type/District Status:** masonry vernacular/contributing

**BACKGROUND SUMMARY:**

The applicant is seeking a Certificate of Approval (CA) to completely replace the existing storefront at 105 East Tarpon Avenue with a storefront that matches the existing one at 101 East Tarpon Avenue on the same property. The storefront replacement will include replacement of the black tile (vitrolite) material with brick veneer. The applicant has already received a Certificate of Approval for replacement of the vitrolite at 101 East Tarpon Avenue with brick veneer (CA #21-29 approved by the Heritage Preservation Board on April 5, 2021).

This is a commercial building with two storefronts built in approximately 1895 by George McArroy to house a drug store. The Florida Master Site File (FMSF) form for this structure (8P11639) also notes past use as a post office and a bank. The western storefront is currently occupied by the BackDraughts Pizza restaurant (101 East Tarpon Avenue). The eastern storefront (105 East Tarpon Avenue) is currently vacant.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff recommends **denial** of the project as presented by the applicant based inconsistency with the review criteria as stated in this staff report.

**HISTORIC DISTRICT CONSIDERATIONS:**

1. When considering this application, the Heritage Preservation Board (Board) is encouraged to refer to the Historic District Design Review Guidelines Manual (DRGM), especially Guidelines 1, 2, 4, 5, 75, 77, 80, and 81. The DRGM can be accessed at the following link:  
<https://www.ctsfl.us/wp-content/uploads/2021/03/Historic-District-Design-Review-Guidelines-Manual.pdf>



2. The applicant has not submitted any historical documentation of the building.
3. The project proposes to completely demolish the existing storefront and replace it with a storefront that appears, based on available documentation to be inconsistent with the original building type and style.

#### **REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL**

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

***(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.***

**ANALYSIS:** The applicant proposes to completely demolish the recessed entry storefront on this contributing property. The one-part masonry vernacular commercial building type and style typically feature the recessed main entrance storefront with large dominant fixed glass windows (DRGM pages 19 and 36-37) as is seen on this property. There are a few other examples of this early storefront design along this block of East Tarpon Avenue. The existing storefront appears to be in good condition. The applicant has submitted a sketch of the replacement that, while not altering the size of the building, will significantly alter the height and width of the existing front facade features. The project is not consistent with this standard.

***(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.***

**ANALYSIS:** The applicant is proposing replacement of the existing recessed entry, windows, and door with a single plane storefront entry matching the adjacent store to the west, thereby enclosing the recessed area. The applicant has not presented any historical documentation for this building. The FMSF form notes the following alterations on the building, circa 1940: storefronts replaced, vitrolite panels added, exterior stuccoed (date unknown). The form also lists the “angled storefront entry” [sic] on the east unit (105 East Tarpon Avenue) as a notable architectural feature. This feature is considered to be original in form and important to the architecture and historical context of this building.

Section 4.18 of the DRGM, “Additional Guidelines for Commercial Properties,” especially Guidelines 75 through 81, should be consulted. Especially relevant are the following stated guidelines concerning storefront features:

- Guideline 75.e states, “Maintain the historic layout of commercial storefronts.”



- Guideline 75.f states, “Maintain the window and door pattern of the storefront. Historic entrances were typically flanked by glass display windows.”
- Guideline 76.a states, “Maintain and restore character-defining features of your commercial building. Character defining features include historic storefronts, transoms, signboards, bulkheads, windows, cornices, and other architectural details.”
- Guideline 77.a states, “Preserve or restore the historic size and configuration of glass display windows where possible.”
- Guideline 77.c states, “Storefront windows should retain their historic material and be consistent with the prominent styles and eras of the building.”
- Guideline 77.f states, “Retain the panel that is located below the display window. Where replacement is necessary, use wood, stone, or painted metal and coordinate the color with the historic color scheme of that of other storefront elements.”
- Guideline 80.a states, “Maintain recessed entries where they exist.”

This property features a historic storefront, transoms, signboard, bulkhead and display windows (see Guideline 76.a above), all of which are proposed for removal. Based on the above guidance and the existing documentation available for this building, the proposed storefront replacement is found to be inconsistent with the character of the building’s original architectural style.

***(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.***

**ANALYSIS:** The relationship of the structure with the scenic character and intimate pedestrian experience along East Tarpon Avenue would be significantly affected by the replacement of this storefront. This recessed entry storefront design is one of eight remaining along East Tarpon Avenue extending from Pinellas Avenue to Safford Avenue in the heart of the downtown district. Loss of this storefront would significantly alter the streetscape experience and the pedestrian experience for those entering the business with respect to conveying a sense of the national/local district’s historic character.

***(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.***

**ANALYSIS:** Not applicable to this project. The roof is not being altered.

***(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.***

**ANALYSIS:** Not applicable to this project. The building’s size and mass are not being altered. The interior floor area is being altered to enclose the recessed entry.



***(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.***

**ANALYSIS:** Not applicable to this project.

***(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.***

**ANALYSIS:** The applicant has provided a sketch of the proposed storefront replacement at 105 East Tarpon Avenue and stated that they wish to match the existing storefront at 101 East Tarpon Avenue. The following existing architectural details would be replaced as follows:

- Replacement of the existing display windows (and their supporting panel), and, the existing transom windows with new full length continuous display windows with faux support panels of solid color,
- Replacement of the existing recessed entry, single entry door with sidelights, and, existing stucco sign board with a new double entry door and fixed single transom window.

The replacement of these architectural features is not in compliance with this standard and is inconsistent with the DRGM.

The proposed brick veneer seems to be consistent with the structural material of the building and with the DRGM. It was approved for application to the facade at 101 East Tarpon Avenue. Replacement of the vitrolite on the display window supporting panel and the perimeter columns would be consistent with the building material (appears to be brick judging from the interior) and with the previously approved project. This would involve an alteration to the fabric of the building's exterior without altering its structural configuration. It would also ensure that the stucco surface above the storefront would be preserved.

***(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.***

**ANALYSIS:** The most significant historical changes to this property as noted on the FMSF form were the replaced storefronts and the vitrolite panel additions (circa 1940). Staff could not locate any historical photographic documentation of the subject storefront (105 East Tarpon Avenue). Although historical documentation is lacking, it is very possible that the change to the subject storefront might have included the metal elements (fixed transom windows and storefront door) and the curved display windows, in addition to the exterior vitrolite building fabric. With respect to these elements, the curved display windows are probably the most outstanding features resulting from past (historical)



alterations and are considered to have acquired significance in their own right since they convey particular tastes of the time (1930s – 1940s era). Replacement of these windows with something documented to be closer to the original 1890s condition might be considered for discussion, but that is not what is being proposed here. Therefore, the removal of this change as part of the history and development this property is not appropriate.

The vitrolite panels were most popularly used with Art Moderne and Art Deco architecture. Again, the change may have coincided with the installation of the curved windows and metal doors/windows. However, a brick building fabric is more congruent with the building's original 1890s-era construction since the brick is visible on the inside of the building both in the walls and in the display window support panel. Therefore, it is acceptable to replace the vitrolite with the brick veneer as this change will take the building closer to its original facade.

***(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.***

**ANALYSIS:** The project does not meet the Secretary's standards, in particular:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time. Those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
- 9. New additional, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

***(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.***

**ANALYSIS:** The project complies with the other requirements of the City's Land Development Code and it is consistent with the City's Comprehensive Plan.

***(11) The impact upon archaeological sites shall preserve the integrity of the site.***

**ANALYSIS:** No archaeological sites will be impacted.





**PUBLIC CORRESPONDENCE:**

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff has not received any responses to these notices.

**ATTACHMENTS:**

1. Slide Presentation
2. Florida Master Site File Form #8PI1639
3. Application and supporting materials



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Consult Guide To Historical Structure Forms for detailed instructions

Site # 8PI1639Recorder # 84Recorder Date 1/27/09Original Update Site Name McAroy Drug Store Other Names \_\_\_\_\_Project Name Historic Resources Survey of Tarpon SpringsHistoric Contexts Post-Reconstruction National Register Category Building

### LOCATION and IDENTIFICATION

Address 101-105 E Tarpon AvenueVicinity of NE corner of Tarpon Ave and Hibiscus St.City Tarpon Springs County PinellasOwnership Private-corporate Subdivision \_\_\_\_\_ Block # \_\_\_\_\_ Lot # \_\_\_\_\_

### MAPPING

USGS Map TARPON SPRINGS Township 27S Range 15E Section 12Quarter \_\_\_\_\_ Qtr Qtr \_\_\_\_\_ Irregular Section  UTM Zone 17Easting 327571 Northing 3114669 Land Grant UnknownLatitude \_\_\_\_\_ Longitude \_\_\_\_\_ Plat or Other Map Aerial Photographs

### HISTORY

Architect/Builder Unknown Construction Date 1895 Circa Alterations  Date c.1940 Type/Location storefronts replaced, vitrolite panels added, exterior stuccoed (date unknown)Additions  Date \_\_\_\_\_ Type/Location \_\_\_\_\_Moved  Original Location \_\_\_\_\_Use Original Commercial Use Present Commercial

### DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Interior Plan Unknown Stories 1Structural System Brick Exterior Fabric Stucco; VitroliteFoundation Slab Foundation Materials Poured concrete Foundation Infill N/ANo. of Porches 0 Locations/Features N/AMain Entrance (stylistic details): two metal storefrontsOutbldgs.  Number \_\_\_\_\_ Nature/Location (Describe below) \_\_\_\_\_Roof Type Flat Roofing Materials Built-up roofSecondary Structures  Comments Not applicable Location \_\_\_\_\_Chimneys  Number 0 Orientation N/A Location N/A Material Not applicableWood Windows  Type DHS Light # 1/1Metal Windows  Type Fixed Light # StorefrontExterior Ornament dentil trim and crown moldingCondition Fair Surroundings Commercial

### Narrative (general, interior, landscape, context; 3 lines only)

This one-story commercial building features two angled storefront entries; the entry on the east side is angeled. It was built by George McAroy in the late 1890's to house his drug store and was also used as the Tarpon Springs Post Office for a few years. From 1918 to 1933, the building housed the Bank of Commerce and had a pedimented overhang on the front.

Archaeological Remains Present  FMSF Archaeological Site Form Completed (if yes, attach)

Consult Guide To Historical Structure Forms for detailed instructions

## RECORDER'S EVALUATION OF SITE

Individually Eligible for National Register? Yes  No  Likely, Need Information  Insufficient Information Potential Contributor to Nat. Reg. District? Yes  No  Likely, Need Information  Insufficient Information 

## Areas of Significance

Community planning &amp; development

## Summary of Significance

This resource is an example of commercial architecture in Tarpon Springs during the Post-Reconstruction-era and is representative of the development of the City of Tarpon Springs. Although this building has undergone some minor alterations, the majority of architectural details remain and the overall historic massing is retained. Therefore, this building would be considered a contributing resource to the NRHP and Local Tarpon Springs Historic District.

DHR USE ONLY		OFFICIAL EVALUATIONS	DHR USE ONLY	
NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no		Date	____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info		Date	____/____/____
	LOCAL DESIGNATION: _____		Date	____/____/____
	Local office _____			
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)				

## DOCUMENTATION

**Research Methods** Florida Site File for past architectural surveys; Florida Site File search; Local library; Tax records; Pedestrian; Sanborn maps

**Bibliographic References** Olausen, Stephen A. FMSF form for 8PI1639. on file, Florida Department of State, Division of Historic Resources, Tallahassee, Florida.

**Location of Negatives** Janus Research

**Negative Numbers** Roll 2885, #164, Facing NE

## RECORDER INFORMATION

**Recorder Name** Janus Research

**Recorder Affiliation** JANUS RESEARCH, 1107 N. Ward Street, Tampa, Florida 33607 Telephone 813-636-8200

- REQUIRED:**
1. USGS 7.5' MAP WITH STRUCTURES PINPOINTED IN RED
  2. LARGE SCALE STREET OR PLAT MAP
  3. PHOTO OF MAIN FACADE, PREFERABLY B&W, AT LEAST 3x5

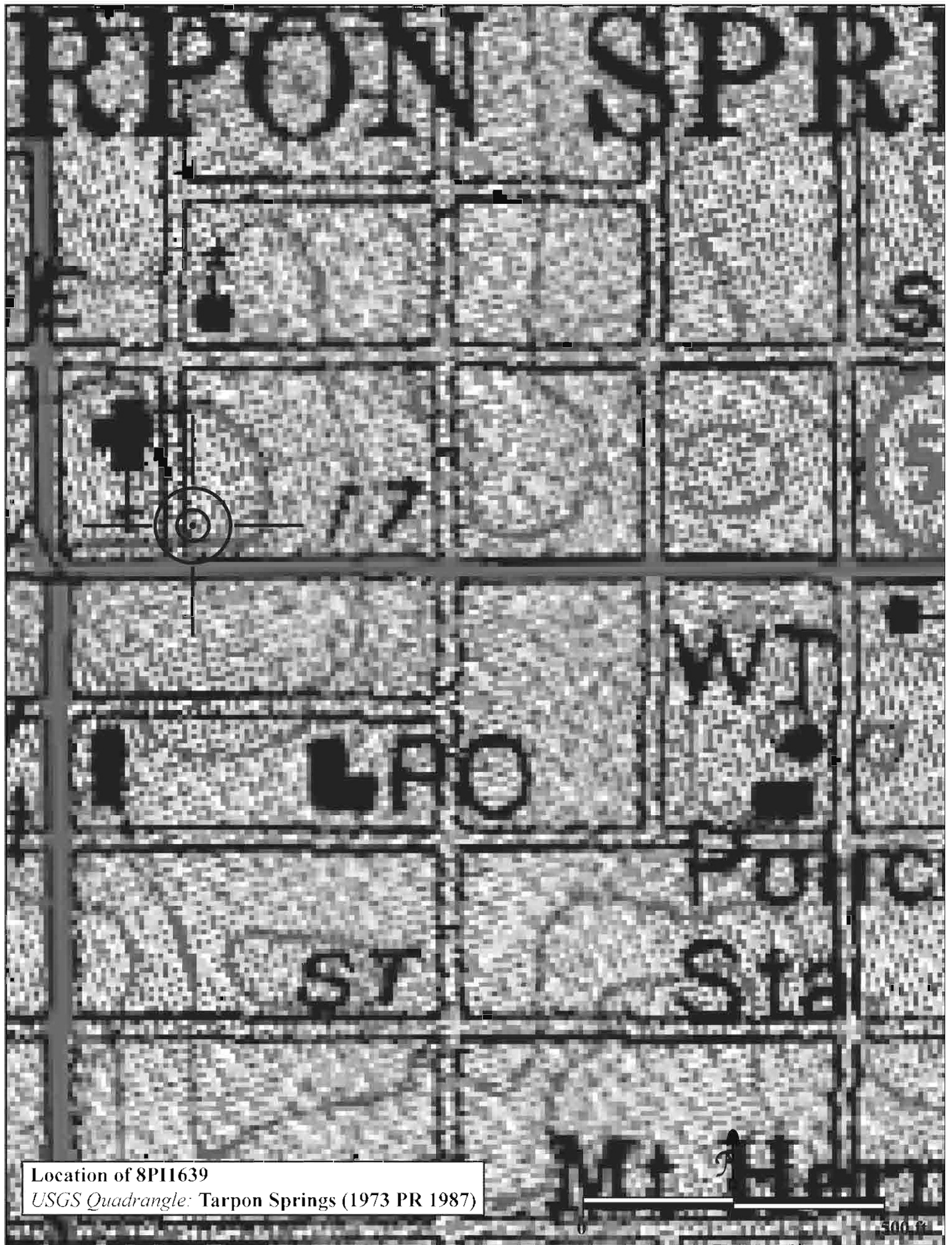


SKETCH MAP





USGS QUADRANGLE MAP



Location of 8PI1639  
USGS Quadrangle: Tarpon Springs (1973 PR 1987)



**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

Return to:  
 Planning & Zoning Department  
 324 E. Pine Street  
 Tarpon Springs, FL 34689  
 (727) 942-5611

(Please type or print clearly)

**Property Owner(s)**

Name Nomiki Vavlas		Email nvavlas@vhpenterprises.com	
Address 1403 Circle Drive			
City Tarpon Springs		State FL	Zip 34689
Phone 727-421-7716	Fax 727-942-1450	Cellular 727-421-7716	

**Applicant**

Name Bokova Industrial Center		Email nvavlas@vhpenterprises.com	
Address 1403 Circle Drive			
City Tarpon Springs		State Florida	Zip 34689
Phone 727-421-7716	Fax 727-942-1450	Cellular 727-421-7716	

**Agent (if applicable)**

Name		Email	
Address			
City		State	Zip
Phone	Fax	Cellular	

**General Information**

Property Location or Address 105 E Tarpon Avenue					
Legal Description (attach additional sheets as necessary) Lot 3A & S 1FT Of Alley ADJ on N					
Tax Parcel Number(s) 12/27/15/64998/000/0031	<table border="1"> <tr> <th colspan="2">Current Designations of Property</th> </tr> <tr> <td>Land Use Category <i>Community Re Development</i></td> <td>Zoning District <i>TSB</i></td> </tr> </table>	Current Designations of Property		Land Use Category <i>Community Re Development</i>	Zoning District <i>TSB</i>
Current Designations of Property					
Land Use Category <i>Community Re Development</i>	Zoning District <i>TSB</i>				
Current Use of Property Vacant	Contributing Structure? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				

**Type of Proposed Activity:** [please check all that apply]

- |  |   |  |                                      |
|--|---|--|--------------------------------------|
| <input type="checkbox"/> Demolition            | <input type="checkbox"/> Relocation *     | <input type="checkbox"/> Structural Addition | <input type="checkbox"/> Driveway    |
| <input checked="" type="checkbox"/> Renovation | <input type="checkbox"/> New Construction | <input type="checkbox"/> New Roof            | <input type="checkbox"/> Other _____ |

**\* If Relocation, please indicate new location:**

New Property Location or Address					
Legal Description (attach additional sheets as necessary)					
Tax Parcel Number(s)	<table border="1"> <tr> <th colspan="2">Current Designations of Property</th> </tr> <tr> <td>Land Use Category</td> <td>Zoning District</td> </tr> </table>	Current Designations of Property		Land Use Category	Zoning District
Current Designations of Property					
Land Use Category	Zoning District				

**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

**General Building Information**

Year Built 1895	Architectural Style Masonry vernacular / contributing	Porches? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Original Use Post Office in 1895	Present Use Office	Proposed Use Office
Roof Type & Material Flat	Exterior Siding Material Stucco	

**Previous Additions or Modifications:** [please describe and include dates]

None

**Description of Proposed Work:**

Replace the existing store front glass door to match the one as 101 E Tarpon Avenue (BackDraughts Pizza restaurant).  
 Replace the existing black wall tile with brick veneer.

**For relocation or demolition, describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible:**

**Requirements for Submission:**

Please submit those items which have been checked by City staff:

- Completed original application with digital copies of all application documents
- \$50.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- \$50.00 application fee for signs only
- Property survey, signed and sealed by a professional land surveyor
- Architectural floor plans and elevations (10 copies)
- Site Plan for new construction (10 copies)
- Landscaping plan (10 copies)
- Details of exterior modifications

**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

**AFFIDAVIT**

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Nomiki Vavlas is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: <u>05/07/2021</u>	Title Holder/Property Owner: <u><i>Nomiki Vavlas</i></u>
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____

STATE OF FLORIDA            )  
COUNTY OF PINELLAS    )

The foregoing instrument was acknowledged before me this 7 day of May, A.D., 20 \_\_\_  
by Nomiki Vavlas, who is personally known to me or who has produced  
PROPERTY OWNER NAME PRINTED  
\_\_\_\_\_ as identification and who did (did not) take an oath.

NOTARY PUBLIC  
Name: \_\_\_\_\_  
Signature: *Tufan Markal*  
Stamp: \_\_\_\_\_

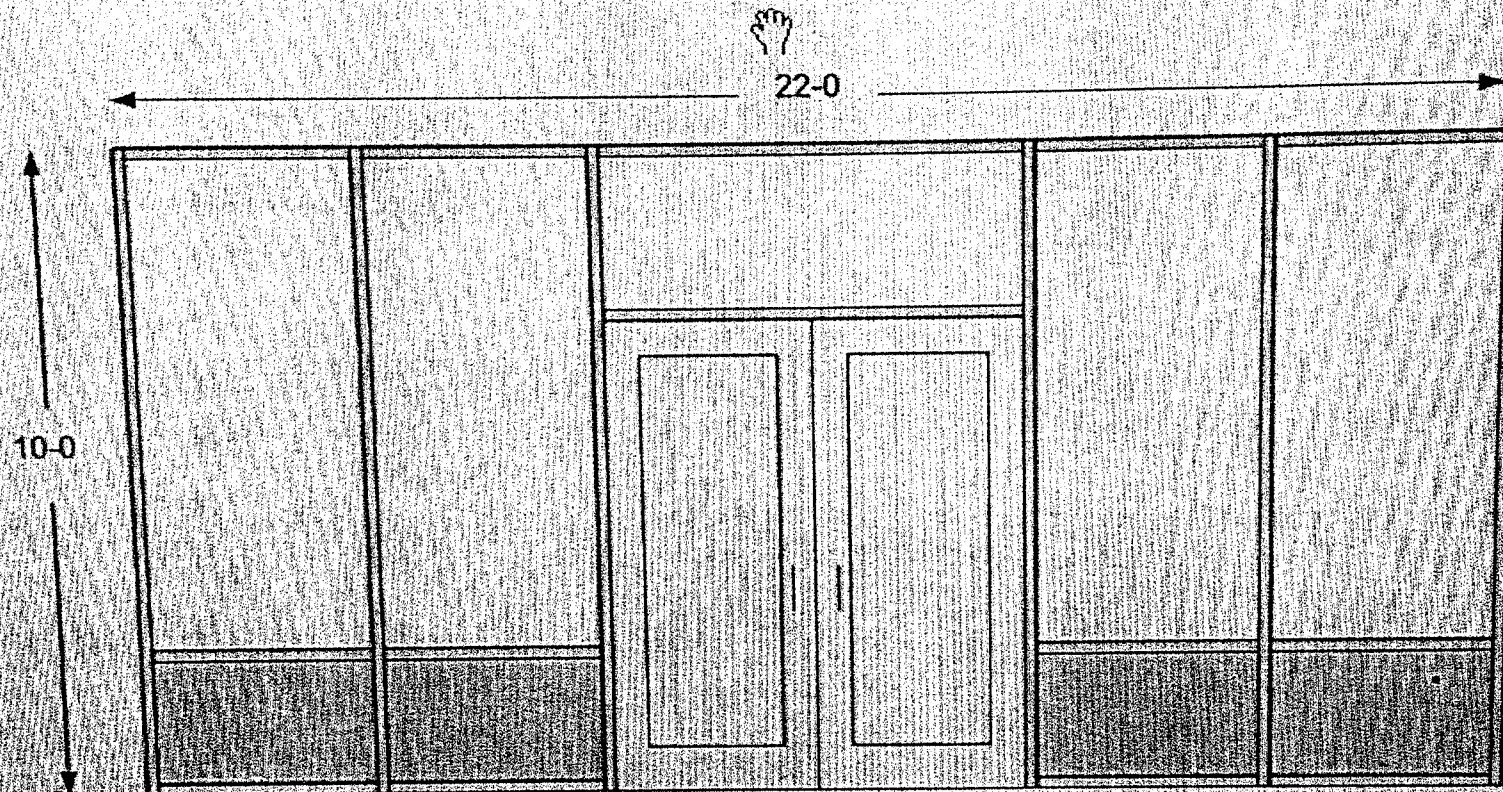


**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

In reviewing an application for a Certificate of Approval, the Board shall consider the following Standards for Review:

- (1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.*
- (2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.*
- (3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.*
- (4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.*
- (5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.*
- (6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.*
- (7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.*
- (8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes which may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.*
- (9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.*
- (10) The proposed project shall conform with the other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.*
- (11) The impact upon archaeological sites shall preserve the integrity of the site.*

105 Tarpon Avenue  
Tarpon Springs, Florida 34689



New dark bronze aluminum hurricane impact store front  
Window and door system glazed with clear 9/16 impact Laminated glass.  
There is one pair of 3-0 x 7-0 doors with a transom and comes with Mtg. standard  
Door hardware package. Approx. size from 20-0 x 10-0.



FLORIDA DEPARTMENT OF  
**Business & Professional Regulation**

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**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)

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SECRETARY

**Search Criteria**

Code Version	2017	FL#
Application Type	ALL	Product Manufacturer
Category	ALL	Subcategory
Application Status	ALL	Compliance Method
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired
Product Model, Number or Name	ALL	Product Description
Approved for use in HVHZ	ALL	Approved for use outside HVHZ
Impact Resistant	ALL	Design Pressure
Other	ALL	

**Search Results - Applications**

FL#	Type	Manufacturer
<a href="#">FL17688-R1</a> <a href="#">History</a>	Revision	OLDCASTLE BUILDING ENVELOPE <b>FL#:</b> FL17688.3 <b>Model:</b> SERIES FG-5000 STOREFRONT <b>Description:</b> FG-5000 FLUSH GLAZE ALUMINUM STOREFRONT SYSTE LMI-SMI (WET AND DRY GLAZED) <b>Category:</b> Panel Walls <b>Subcategory:</b> Storefronts

**FIX WINDOWS**

\*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

[Contact Us](#) :: 2601 Blair Stone Road, Tallahassee FL 32399 Phone: 850-487-181

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Under Florida law, email addresses are public records. If you do not want your e-mail address released in response to a pu mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contac 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Dep one. The emails provided may be used for official communication with the licensee. However email addresses are public rec address, please provide the Department with an email address which can be made available to the public. To determine if please click [here](#).

**Product Approval Accepts:**



Credit Card  
**Safe**

securityMETRICS



WALTER A. TILLIT, JR., P.E.

tilliteco@aol.com  
FL P.E. License No. 44167  
FL E.B. License No. 0006719

## PRODUCT EVALUATION REPORT

REPORT No.: 18-0207.03

DATE: February 7, 2018

PRODUCT CATEGORY: Window

PRODUCT SUB-CATEGORY: Storefront

PRODUCT NAME: Series FG-5000 Flush Glazed Aluminum  
Window Wall System Large & Small Missile  
Impact Laminated Glass

MANUFACTURER: Oldcastle Building Envelope™  
803 Airport RD. Terrell, TX 75160

### 1. PURPOSE OF EVALUATION:

This is a Product Evaluation Report issued by **Walter A. Tillit, Jr., P.E.** (System ID # 1906) to the **Oldcastle Building Envelope™**, Rule Chapter No. 61G20-3, Method 1D of the Florida Department of Business and Professional Regulation.

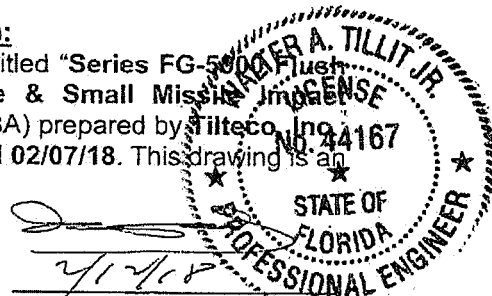
This product is being issued an Evaluation Report as described herein, and has been verified for compliance in accordance with the 2017 sixth edition of the Florida Building Code, and to verify that the product is for the purpose intended at least equivalent to that required by the Code.

This Product Evaluation Report shall be subject to review and revision in case of a Building Code change that may affect its limitations and conditions.

### 2. EVIDENCE SUBMITTED:

#### 2.1. PRODUCT EVALUATION DOCUMENT (P.E.D.):

Drawing No. 18-016 (revises Drawing # 15-028), titled "Series FG-5000 Flush Glazed Aluminum Window Wall System Large & Small Missile Impact Laminated Glass" sheets 1 thru 21 of 21 (includes 8A) prepared by **Tilliteco, Inc.** signed and sealed by **Walter A. Tillit, Jr., P.E.**; dated 02/07/18. This drawing is an integral part of this Evaluation Report.



6355 N.W. 36th Street, Suite 305, Miami, Florida 33166 - Phone: (305) 871-1530 - Fax: (305) 871-1531

**2.2. TEST REPORTS:**

Impact and Cyclic Tests as per protocol TAS-201 and TAS-203, and Uniform Static Load as per Protocol TAS 202 per sections 1626 and 1609.1.2 of the Florida Building Code.

Test reports prepared by Architectural Testing, Inc. Lab, Report No. 74785.02-401-18, No. 89818.01-401-18, No. 86107.01-401-18, No. 86111.01-401-18, A1052.01-801-18, signed and sealed by Joseph A. Reed, P.E.

**2.3. STRUCTURAL ENGINEERING CALCULATIONS:**

On "**Series FG-5000 Flush Glazed Aluminum Window Wall System Large & Small Missile Impact Laminated Glass**" for Maximum Pressure Rating vs. Maximum anchor spacing, maximum Mullion and Horizontal Span, and Maximum Glass Size, based on rational and comparative analysis, including use of revised FG-5206 with larger section properties than previous version, and in accordance with sections 1604 and 1616 of the Florida Building Code. Calculations prepared by Tilteco, Inc., dated 11/17/10 and 03/18/15, signed and sealed by Walter A. Tillit, Jr., P.E., and on 2/7/2018

**3. MISSILE IMPACT RESISTANCE:**

Large Missile Impact resistance is provided per TAS 201 (9 lbs., 50 feet/sec, Large Missile).

**4. WIND LOADS RESISTANCE:**

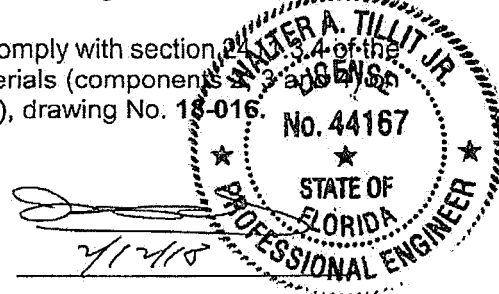
Series "**Series FG-5000 Flush Glazed Aluminum Window Wall System Large & Small Missile Impact Laminated Glass**" has been verified to sustain wind pressures. Maximum Glass Panel Dimensions, Mullions Spans, & Horizontal Spans shall be as indicated on sheets 6, 7 and 13 of Product Evaluation Document (P.E.D.), Drawing No. **18-016**.

Maximum Design Pressure Rating for Mullions Head/Sill connections and Jamb Connection Maximum Fasteners Spacing for applicable substrates shall be as indicated on sheets 8, 8A, 19 and 20, of Product Evaluation Document (P.E.D.), Drawing No. **18-016**.

**5. INSTALLATION:**

Installation shall be performed strictly in accordance with General Notes # 3, 5, 6, 9 & 11, indicated on sheet 1 and details indicated on sheets 5, 9 thru 12, 14 thru 18 and 21, of Product Evaluation Document (P.E.D.), drawing No. **18-016**.

Gaskets and setting blocks used at installations comply with section 2013.4 of the Florida Building Code as specified on Bill of Materials (component addendum) Sheet 3 of Product Evaluation Document (P.E.D.), drawing No. **18-016**.



**6. MATERIAL CHARACTERISTICS AND SPECIFICATIONS:**

Shall be strictly in accordance with General Notes and Components indicated on sheets 1, 2 & 3 and 5, of Product Evaluation Document (P.E.D.), **Drawing No. 18-016.**

Anchor specifications shall be as indicated on sheets 8, 8A, 19 and 20, of Product Evaluation Document (P.E.D.), Drawing No. **18-016.**

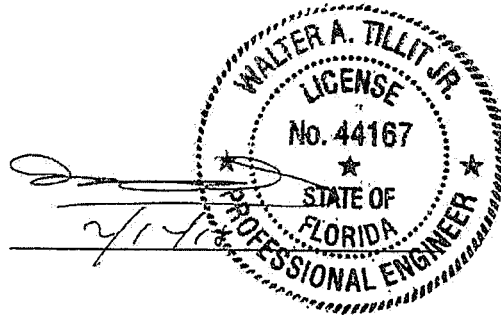
**7. LIMITATIONS AND CONDITIONS OF USE:**

7.1. Shall be strictly in compliance with General Notes No. 1 thru 5, indicated on sheet 1 of Product Evaluation Document (P.E.D.), Drawing No. **18-016** prepared by Tilteco, Inc. and signed and sealed by Walter A. Tillit, Jr., P.E.

7.2. Product **may** be installed within HIGH VELOCITY HURRICANE ZONES as defined on section 1620.2 of the Florida Building Code and within NON HIGH VELOCITY HURRICANE ZONES.

7.3. Product shall only be installed into poured concrete, grouted concrete block, metal (steel) and wood structures with limitations indicated on sheets 8, 8A, 19 and 20 of Product Evaluation Document (P.E.D.), Drawing No. **18-016.**

Product Evaluation Report prepared by Walter A. Tillit, Jr., P.E. (Florida License No. 44167), President of Tilteco, Inc. (Florida EB-0006719).







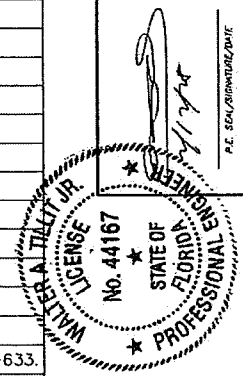


# BILL OF MATERIALS

ITEM No.	PART NUMBER	DESCRIPTION	DIMENSIONS	MATERIAL	MANUFACTURER	NOTES
1.	FS-54	PHILLIPS FLAT HEAD MACHINE SCREW UC	#10-24 x 3/8"	STEEL	VARIES	ZINC COATED, PER ASTM B-633.
2.	FG-5199	SETTING BLOCK	.800" x .688" x 4.00"	EPDM	EPG	
3.	FG-5185	SPACER GASKET	.250" x .250"	EPDM	EPG	
4.	FG-1133	EXTERIOR GASKET	.500" x .548"	EPDM	EPG	WET & DRY GLAZED GASKET
7.	FS-8	SPLINE ASSEMBLY SCREW	#14 x 1" HHSTS FS-322	STEEL	VARIES	STALGARD COATED, BY ELCO
8.	ANCHOR	SILL ANCHOR SCREW	#14 x 3/4" HHVTEK		ITW/BUILDEX	ZINC COATED, PER ASTM B-633.
9.	ANCHOR	HEAD ANCHOR SCREW	#14 x 1 1/2" HHVTEK		ITW/BUILDEX	ZINC COATED, PER ASTM B-633.
11.	FASTENER	PPH SELF TAPPING SCREW	#10 x 2 1/2"	STEEL	VARIES	ZINC COATED, PER ASTM B-633.
12.	FASTENER	PPH STEEL ATTACHMENT SCREW	#10 x 1"	STEEL	VARIES	ZINC COATED, PER ASTM B-633.
13.	SM-5601	ISOCRYL TAPE	.125" x .500" VARIES	POLYISOBUTYLENE	SCHNEE-MOOREHEAD	
14.	FG5000-FP-5	WATER DIVERTER	.876" x .54147" x .040" x 1.500"	RIGID PVC	OBE	
15.	FG-5000-FP-10	SILL END DAM	3.500" x .562" x 0.062" x 5.000"	6063-T6 ALUMINUM	OBE	
16.	FG-5000-PPB	STEEL REINFORCEMENT	1.250" x 4.563" x .250"	ZINC PAINTED STEEL	VARIES	ASTM A-36
17.	FG-5113	CHANNEL FILLER @ HEAD & SILL	1.697" x .500" x .062"	6063-T5	OBE	
18.	FG-5204	HEAD / SILL	4.980" x 2.500" x .080"	6063-T6	OBE	
19.	FG-5190	GLASS STOP	2.010" x 1.392" x .078"	6063-T5	OBE	
20.	FG-5196	POCKET FILLER	4.660" x 1.392" x .080"	6063-T5	OBE	
21.	FG-5205	HIGH PERFORMANCE SILL PAN	5.276" x 2.750" x .100"	6063-T6	OBE	
22.	FG-5180	SILL PAN	5.402" x 2.625" x .080"	6063-T6	OBE	
23.	FG-5206	SILL / HEAD	4.980" x 2.500" x .080"	6063-T6	OBE	
24.	FG-5201	JAMB	5.000" x 2.500" x .094"	6063-T6	OBE	
25.	NOT USED					
26.	FG-5193	MULLION	5.000" x 2.500" x .094"	6063-T6	OBE	
27.	FG-5200	90 DEGREE CORNER MULLION	5.500" x 5.500" x .125"	6063-T6	OBE	
28.	FG-5202	HORIZONTAL	4.980" x 2.500" x .080"	6063-T6	OBE	
29.	995	STRUCTURAL SEALANT	-	SILICONE	DOW CORNING	# 995
30.	795	PERIMETER SEALANT	-	SILICONE	DOW CORNING	# 795
31.	FG-5192	SETTING CHAIR	.844" x 1.062" x .094"	6063-T5	OBE	
32.	FG-2122	ALUMINUM JAMB FILLER	4.000" x .365" x .078"	6063-T6	OBE	
34.	ANCHOR	PFH TEK SCREW	#10 x 2.000"	ZINC COATED STEEL	VARIES	ZINC COATED, PER ASTM B-633.
35.	FG-5948	INTERIOR GASKET	.381" x .718"	EPDM	EPG	DRY GLAZED GASKET.

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES FG-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS  
 DRAWN BY: JAC  
 DATE: 07/27/18  
 18-016  
 SHEET 3 OF 31

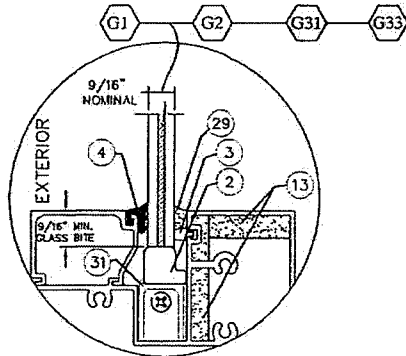
**TILECO INC.**  
 TILT TESTING & ENGINEERING COMPANY  
 4333 Hwy 11, Suite 200, Fort Lauderdale, FL 33314  
 e-mail: tileco@tileco.com  
 WALTER A. TILLEY, P.E.  
 FLORIDA, U.S.A. / 44167





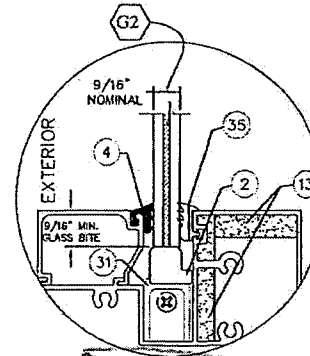


# TYPICAL GLAZING DETAILS



**GLASS TYPE G1, G2, G31, G33  
WET GLAZED**

GLASS SCHEDULE WET GLAZED			
GLASS LABEL	GLASS COMPOSITION	MANUFACTURER NAME	MAXIMUM D.L.O.
G1	3/8" OVERALL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/2" HS GLASS, AND A 0.090" BUTACITE PVB INTERLAYER	DUPONT	SEE SCHEDULE ON SHEET 6
G2	3/8" OVERALL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/2" HS GLASS, AND A 0.090" SENTRYGLAS PLUS INTERLAYER	DUPONT	SEE SCHEDULE ON SHEET 6
G31	3/8" OVERALL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/2" HS GLASS, AND A 0.090" SAFLEX PVB INTERLAYER	EASTMAN CHEMICAL COMPANY	SEE SCHEDULE ON SHEET 6
G33	3/8" OVERALL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/2" HS GLASS, AND A 0.075" SAFLEX CP-SAFLEX AND SAFLEX HP COMPOSITE GLASS INTERLAYER W/ PET CORE	EASTMAN CHEMICAL COMPANY	SEE SCHEDULE ON SHEET 6



**GLASS TYPE G2  
DRY GLAZED**

GLASS SCHEDULE DRY GLAZED			
GLASS LABEL	GLASS COMPOSITION	MANUFACTURER NAME	MAXIMUM D.L.O.
G2	3/8" OVERALL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/2" HS GLASS, AND A 0.090" SENTRYGLAS PLUS INTERLAYER	DUPONT	SEE SCHEDULE ON SHEET 6

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES FG-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS  
 DRAWN BY: [blank] DATE: 07/20/18  
 18-016  
 PROJECT #4  
 SHEET 5 OF 21

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 WALTER A. TILLIT, P.E.  
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WALTER A. TILLIT JR.  
 LICENSE No. 44167  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 P.E. SEAL/SIGNATURE/DATE

**MAXIMUM DESIGN PRESSURE RATING (psf) SCHEDULE FOR A GIVEN GLASS TYPE  
AND GLASS PANEL DIMENSIONS "a" (in) x "b" (in) (SEE LEGEND)**

**GLASS TYPE (G1) & (G3): WET GLAZED**

DIMENSION "a" *	DIMENSION "b" *	MAXIMUM DESIGN PRESSURE RATING(psf)
24"	from 24" to 115"	±65.0
30"	from 30" to 115"	±65.0
36"	from 36" to 115"	±65.0
41.75"	from 41.75" to 102.5"	±65.0
48"	from 48" to 89"	±56.5
54"	from 54" to 79"	±50.3
57.5"	from 57.5" to 74"	±47.0

**GLASS TYPE (G33): WET GLAZED**

DIMENSION "a" *	DIMENSION "b" *	MAXIMUM DESIGN PRESSURE RATING(psf)
24"	from 24" to 115"	+70, -80
30"	from 30" to 115"	+70, -80
36"	from 36" to 115"	+70, -80
42"	from 42" to 115"	+70, -80
48"	from 48" to 115"	+70, -80
54"	from 54" to 102"	+70, -80
57.5"	from 57.5" to 96"	+70, -80

**GLASS TYPE (G2): WET GLAZED**

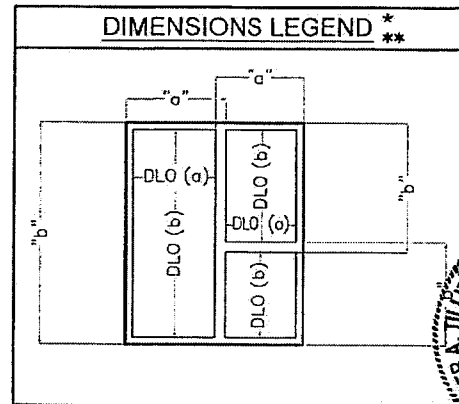
DIMENSION "a" *	DIMENSION "b" *	MAXIMUM DESIGN PRESSURE RATING(psf)
24"	from 24" to 115"	±90.0
30"	from 30" to 115"	±90.0
36"	from 36" to 115"	±90.0
42"	from 42" to 115"	±90.0
47.5"	from 47.5" to 115"	±90.0
54"	from 54" to 101"	±79.2
57.5"	from 57.5" to 95"	±74.3

**GLASS TYPE (G2): DRY GLAZED**

DIMENSION "a" *	DIMENSION "b" *	MAXIMUM DESIGN PRESSURE RATING(psf)
24"	from 24" to 115"	+60,-70
30"	from 30" to 115"	+60,-70
36"	from 36" to 115"	+60,-70
42"	from 42" to 115"	+60,-70
47.5"	from 47.5" to 115"	+60,-70
54"	from 54" to 101"	+60,-70
57.5"	from 57.5" to 95"	+60,-70

**\* DETERMINATION OF MAXIMUM DAY LIGHT OPENING (D.L.O.) AT EACH END OF GLASS GIVEN "a" & "b"**

SIDE	MAXIMUM DAY LIGHT OPENING	
	(D.L.O.) Formula at Vertical & Horizontal Mullions	(D.L.O.) Formula at Jamb, Head & Sill Frames
MAX. D.L.O. (a) (SHORT SIDE)	"a"-5.00"	"a"-5.00"
MAX. D.L.O. (b) (LONG SIDE)	"b"-5.00"	"b"-5.00"



\*\* SIDE "a" IS ALWAYS EQUAL OR SHORTER THAN "b"  
"a", "b" MAY BE ORIENTED IN ANY DIRECTION.

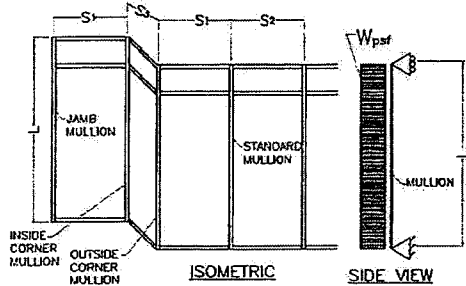
FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
SERIES FG-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS

DATE: 02/07/18  
DRAWING No: 18-016  
SHEET 6 OF 21

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WALTER A. TILLOTSON  
LICENSE No. 44167  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
P.E. 3801/SW/0102/Z012



L = MULLION SPAN  
 EFFECTIVE SPACING  $b = \frac{S_1 + S_2}{2}$  (SEE SCHEDULE)  
 (FOR STANDARD MULLION)  
 EFFECTIVE SPACING  $b = \frac{S_1 + S_2}{2}$  (SEE SCHEDULE)  
 (FOR CORNER MULLION)

**CASE DEFINITIONS**

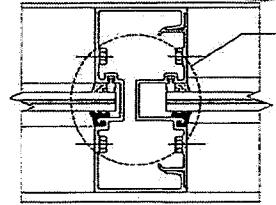
- CASE 1 : UNREINFORCED STANDARD MULLION A (SEE DET. 5/17)
- CASE 2 : REINFORCED STANDARD MULLION B FULL HEIGHT. (SEE DET. 5A/17)
- CASE 3 : CORNER MULLION C FULL HEIGHT. (SEE DET. 6/17 & 6A/17) (EITHER INSIDE OR OUTSIDE)

\* MAXIMUM DESIGN PRESSURE RATING FOR STANDARD & CORNER MULLION WILL AUTOMATICALLY QUALIFY DESIGN PRESSURE RATINGS FOR JAMBS W/ ANCHORAGE FOR ANY GIVEN MULLION SPACING. FOR MAX. JAMB SPAN W/O ANCHORAGE SEE SCHEDULE ON SHEET 13. JAMB ANCHORAGE (WHEN USED) SHALL BE PERFORMED AT MID HEIGHT OF JAMBS.

\*\* MAXIMUM DESIGN PRESSURE RATING FOR DRY GLAZED MULLION INSTALLATIONS IS +60, -70 psf.

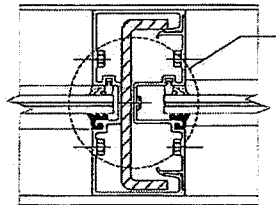
\*\*\* FOR ALL INSTALLATIONS WHERE HORIZONTALS ARE USED, VERTICAL STANDARD MULLIONS MUST BE REINFORCED AS PER CASE 2, MULLION B.

**A** CASE:1  
 STANDARD MULLION (26) + (20)  $I_x = 5.580 \text{ in}^4$   
 $I_y = 2.227 \text{ in}^3$   
 AIR/WATER INFILTRATION IS 15.0 psf IN TERMS OF ALUM.



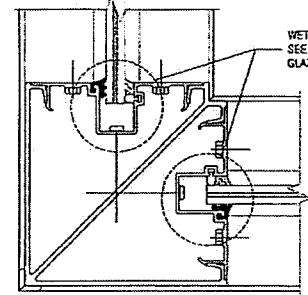
WET GLAZED SHOWN  
 SEE SHEET 5 FOR DRY  
 GLAZED DETAIL.

**B** CASE:2  
 STANDARD MULLION (26) + (24)  $I_x = 18.180 \text{ in}^4$  \*\*\*  
 W/ STEEL CHANNEL (16)  $I_y = 7.266 \text{ in}^3$   
 AIR/WATER INFILTRATION IS 15.0 psf IN TERMS OF ALUM.



WET GLAZED SHOWN  
 SEE SHEET 5 FOR DRY  
 GLAZED DETAIL.

**C** CASE:3  
 OUTSIDE/INSIDE CORNER  
 MULLION (27) + (20)  $I_x = 17.141 \text{ in}^4$   
 $I_y = 4.336 \text{ in}^3$   
 AIR/WATER INFILTRATION IS 15.0 psf IN TERMS OF ALUM.



WET GLAZED SHOWN  
 SEE SHEET 5 FOR DRY  
 GLAZED DETAIL.

**MAXIMUM DESIGN PRESSURE RATING FOR STANDARD & CORNER MULLIONS \*  
 MAXIMUM MULLION SPAN "L"(FT) SCHEDULE FOR A GIVEN DESIGN PRESSURE RATING  
 AND A GIVEN MULLION EFFECTIVE SPACING "b"**

MAXIMUM DESIGN PRESSURE RATING (psf)	EFFECTIVE SPACING "b" (ft-in)	CASE 1	CASE 2	CASE 3
		STANDARD UNREINFORCED MULLION A "L" (ft-in)	STANDARD REINFORCED MULLION B "L" (ft-in)	OUTSIDE/INSIDE CORNER MULLION C "L" (ft-in)
60.0	3'-0"	9'-0"	10'-0"	10'-0"
	4'-0"	8'-10"	10'-0"	10'-0"
	4'-6"	8'-2"	10'-0"	10'-0"
	5'-0"	7'-4"	10'-0"	10'-0"
	5'-6"	6'-6"	10'-0"	10'-0"
65.0	3'-0"	8'-0"	10'-0"	10'-0"
	4'-0"	7'-8"	10'-0"	10'-0"
	4'-6"	6'-2"	10'-0"	10'-0"
	5'-0"	5'-6"	9'-10"	10'-0"
	5'-6"	4'-10"	8'-11"	8'-11"
70.0	3'-0"	7'-0"	10'-0"	10'-0"
	4'-0"	6'-8"	10'-0"	10'-0"
	4'-6"	5'-2"	10'-0"	10'-0"
	5'-0"	4'-6"	9'-6"	9'-6"
	5'-6"	3'-11"	8'-11"	8'-11"
75.0	3'-0"	6'-0"	10'-0"	10'-0"
	4'-0"	5'-8"	10'-0"	10'-0"
	4'-6"	4'-2"	10'-0"	10'-0"
	5'-0"	3'-6"	9'-7"	9'-10"
	5'-6"	2'-11"	8'-11"	8'-11"
76.0	3'-0"	5'-0"	10'-0"	10'-0"
	4'-0"	4'-8"	10'-0"	10'-0"
	4'-6"	3'-2"	10'-0"	10'-0"
	5'-0"	2'-6"	9'-7"	9'-10"
	5'-6"	1'-11"	8'-11"	8'-11"
80.0	3'-0"	4'-0"	10'-0"	10'-0"
	4'-0"	3'-8"	10'-0"	10'-0"
	4'-6"	2'-2"	10'-0"	10'-0"
	5'-0"	1'-6"	9'-9"	9'-10"
	5'-6"	0'-11"	8'-11"	8'-11"
85.0	3'-0"	3'-0"	10'-0"	10'-0"
	4'-0"	2'-8"	10'-0"	10'-0"
	4'-6"	1'-2"	10'-0"	10'-0"
	5'-0"	0'-6"	9'-9"	9'-10"
	5'-6"	0'-11"	8'-11"	8'-11"
90.0	3'-0"	2'-0"	10'-0"	10'-0"
	4'-0"	1'-8"	10'-0"	10'-0"
	4'-6"	0'-2"	10'-0"	10'-0"
	5'-0"	0'-6"	9'-9"	9'-10"
	5'-6"	0'-11"	8'-11"	8'-11"

\* SPANS ONLY VALID FOR TO 90.0psf. ASD POSITIVE DESIGN LOAD. MAX. SPAN FOR POSITIVE LOADS SHALL BE LIMITED BY 70.0psf ASD LOAD.  
 + SPANS ONLY VALID FOR UP TO 80.0psf. ASD NEGATIVE DESIGN LOAD. MAX. SPAN FOR POSITIVE LOADS SHALL BE LIMITED BY 70.0psf ASD LOAD.

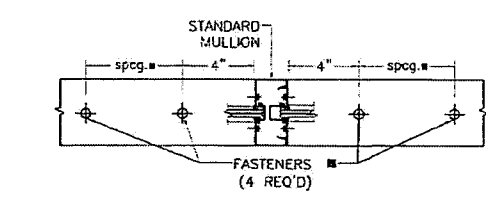
FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES FG-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS  
 DATE: 02/07/18  
 DRAWING NO: 18-016  
 SHEET: 7 OF 71

**TILECO INC.**  
 TILT TESTING & ENGINEERING COMPANY  
 4501 N.W. 13th St., Suite 200, Miramar, FL 33181  
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 Fax: 305-666-1111  
 Email: info@tileco.com  
 P.E. WALTERS, License No. 44187  
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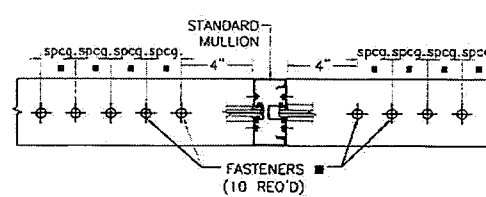
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**MAXIMUM DESIGN PRESSURE RATING FOR MULLION CONNECTIONS**

MAXIMUM MULLION SPAN	EFFECTIVE SPACING	MAXIMUM DESIGN PRESSURE RATING (psf)											
		POURED CONCRETE (Min. fc = 3ksi) REINFORTE						TYPE III FIBER REINFORCED CONCRETE			WOOD		
		FASTENERS TYPES			FASTENERS TYPES			FASTENERS TYPES			FASTENERS TYPES		
1" (25.4)	2" (50.8)	3" (76.2)	A	B	C	D	E	F	G	H	I	J	
6'-2"	3'-6"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	4'-6"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	5'-6"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	6'-6"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	7'-0"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	7'-6"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	8'-0"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	8'-6"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
	9'-0"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
9'-6"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	
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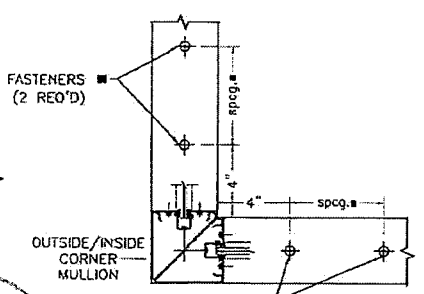


EXTERIOR  
SCHEMATIC CONCRETE & STEEL CONNECTION DETAIL \*  
(AT STANDARD MULLION)

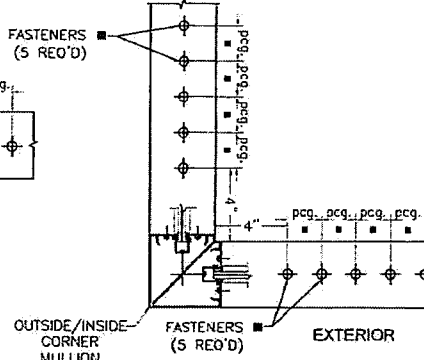


EXTERIOR  
SCHEMATIC WOOD CONNECTION DETAIL \*  
(AT STANDARD MULLION)

- FASTENERS TYPES AND SUBSTRATES REQUIREMENTS W/ INDICATED MIN. E.D. & SPACING (spcg), BEYOND ANY FINISH MATERIAL**
- A - 3/8" HILTI KWIK BOLT TZ ANCHOR W/ 2" MIN. EMBEDMENT INTO 6" MIN. THICK POURED CONCRETE (Min. fc = 3ksi), 4" MIN. EDGE DISTANCE & 4" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
  - B - 3/8" POWER FASTENERS TAPPER ANCHOR W/ 1 3/4" MIN. EMBEDMENT INTO POURED CONCRETE (Min. fc = 3ksi) & 4 1/2" MIN. EDGE DISTANCE & 4 1/2" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
  - C - 3/8" HILTI HUS-H SCREW ANCHOR W/ 2" MIN. EMBEDMENT INTO POURED CONCRETE (Min. fc = 3ksi) & 5" MIN. EDGE DISTANCE & 4" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
  - D - 3/8" TYPE 'F' BOLT OR 3/8" - 13 SAE GRADE 5 GALVANIZED STEEL HHB THRU-BOLT W/ NUT & LOCK WASHER & 2" MIN. EDGE DISTANCE TO 1/4" MIN. THK. ASTM A-36 STEEL.
  - E - 3/8" LAG SCREWS TO DOUBLE 2 x WOOD BUCK (G=0.55) W/ 3" MIN. PENETRATION INTO WOOD & 1 1/2" MIN. EDGE DISTANCE & 2" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
  - E' - 1/2" LAG SCREWS TO DOUBLE 2 x WOOD BUCK (G=0.55) W/ 3" MIN. PENETRATION INTO WOOD & 2" MIN. EDGE DISTANCE & 2" MIN. SPACING BEYOND ANY FINISH MATERIAL.



EXTERIOR  
SCHEMATIC CONCRETE & STEEL CONNECTION DETAIL \*  
(AT OUTSIDE/INSIDE CORNER MULLION)



EXTERIOR  
SCHEMATIC WOOD CONNECTION DETAIL \*  
(AT OUTSIDE/INSIDE CORNER MULLION)

\* SEE CONNECTION DETAILS ON SHEETS 9.10 & 21.

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)

ORANGE CO. FLA.  
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DATE

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SHEET 6 OF 21

ORANGE COUNTY, FLORIDA

**TILECO INC.**  
TILE TESTING & ENGINEERING COMPANY  
833 N.W. 37th St., Suite 200, Pompano Beach, FL 33069  
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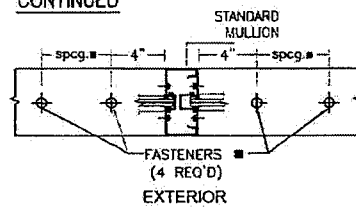
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STATE OF FLORIDA  
PROFESSIONAL ENGINEER

P.E. SULLIVAN/6/27/01E

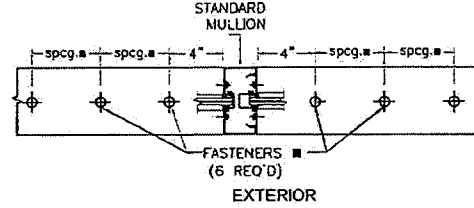


MAXIMUM DESIGN PRESSURE RATING FOR MULLION CONNECTIONS ■ CONTINUED

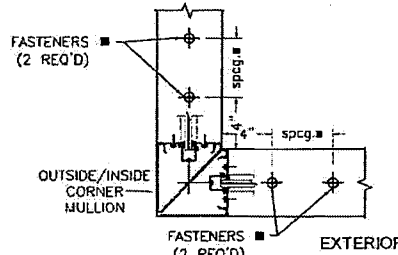
HAZARD MULLION SPAN	EFFECTIVE SPACING	MAXIMUM DESIGN PRESSURE RATING (psf)				
		POURED CONCRETE (Min. $f_c = 3ks$ ) SUBSTRATE		GROUT FILLED CONCRETE BLOCK SUBSTRATE	1/2" GAUGE RIB STEEL SUBSTRATE	
		F	M	F	M	F
7'-0" to 7'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
7'-0" to 7'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
7'-0" to 7'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
7'-0" to 7'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
8'-0" to 8'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
8'-0" to 8'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
9'-0" to 9'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
9'-0" to 9'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0
10'-0" to 10'-8"	3'-0"	90.0	90.0	90.0	90.0	90.0
	4'-0"	90.0	90.0	90.0	90.0	90.0
	4'-4"	90.0	90.0	90.0	90.0	90.0
	4'-8"	90.0	90.0	90.0	90.0	90.0
	5'-0"	90.0	90.0	90.0	90.0	90.0
	5'-4"	90.0	90.0	90.0	90.0	90.0
	5'-8"	90.0	90.0	90.0	90.0	90.0
	6'-0"	90.0	90.0	90.0	90.0	90.0
	6'-4"	90.0	90.0	90.0	90.0	90.0
	6'-8"	90.0	90.0	90.0	90.0	90.0



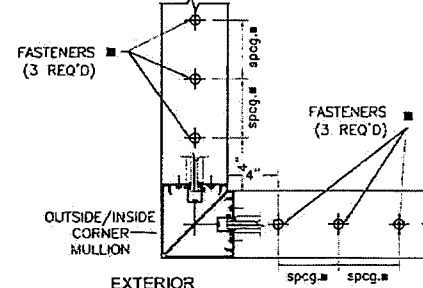
SCHEMATIC CONCRETE & 12 GAGE STEEL CONNECTION DETAIL \* (AT STANDARD MULLION)



SCHEMATIC GROUT-FILLED CONCRETE BLOCK CONNECTION DETAIL \* (AT STANDARD MULLION)



SCHEMATIC CONCRETE & 12 GAGE STEEL CONNECTION DETAIL \* (AT OUTSIDE/INSIDE CORNER MULLION)



SCHEMATIC GROUT-FILLED CONCRETE BLOCK CONNECTION DETAIL \* (AT OUTSIDE/INSIDE CORNER MULLION)

\* SEE CONNECTION DETAILS ON SHEETS 9.10 & 21.

FASTENERS TYPES AND SUBSTRATES REQUIREMENTS W/ INDICATED MIN. E.D. & SPACING (spcg.), BEYOND ANY FINISH MATERIAL

- F - 3/8" MILTI KWIK BOLT TZ ANCHOR W/ 2" MIN. EMBEDMENT INTO 6" MIN. THICK POURED CONCRETE (Min.  $f_c = 3ks$ ) W/ 2 3/4" MIN. EDGE DISTANCE & 4" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
- G - 3/8" POWER FASTENERS TAPPER ANCHOR W/ 1 3/4" MIN. EMBEDMENT INTO POURED CONCRETE (Min.  $f_c = 3ks$ ), W/ 2 3/4" MIN. EDGE DISTANCE & 4 1/2" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
- H - 3/8" MILTI HUS-H SCREW ANCHOR W/ 2" MIN. EMBEDMENT INTO POURED CONCRETE (Min.  $f_c = 3ks$ ) W/ 2 3/4" MIN. EDGE DISTANCE & 4" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
- G' - 3/8" POWER FASTENERS TAPPER ANCHOR W/ 1 3/4" MIN. EMBEDMENT INTO GROUT FILLED CONCRETE BLOCK W/ 2 3/4" MIN. EDGE DISTANCE & 4 1/2" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
- H' - 3/8" MILTI HUS-H SCREW ANCHOR W/ 2 3/4" MIN. EMBEDMENT INTO GROUT FILLED CONCRETE BLOCK W/ 2 3/4" MIN. EDGE DISTANCE & 8" MIN. SPACING, BEYOND ANY FINISH MATERIAL.
- I - 3/8" TYPE 'F' BOLT OR 3/8" -13 SAE GRADE 5 GALVANIZED STEEL HMB THRU BOLT W/ NUT & LOCK WASHER & 2" MIN. EDGE DISTANCE & 2" MIN. SPACING TO 12 GAGE (0.108" MIN THK.) Fy=33 ksi STEEL.

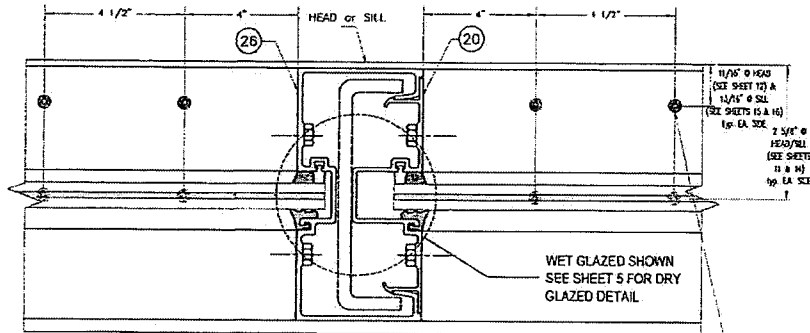
FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 DRAWN BY: [Signature]  
 DATE: 02/07/18  
 PROJECT: 18-016  
 SHEET: 04 OF 21

**Oldcastle BuildingEnvelope**  
 NO. 10000 RD., TIBBOLA, FL 32185  
 P.O. BOX 10000, TIBBOLA, FL 32185  
 TEL: 407-321-3131 FAX: 407-321-3131

**TILECO INC.**  
 TILE TESTING & ENGINEERING COMPANY  
 1000 W. STATE ST., SUITE 100, TALLAHASSEE, FL 32301  
 P.O. BOX 11, TALLAHASSEE, FL 32301  
 WALTER A. TILIT, P.E.  
 FLORIDA LIC. # 44167

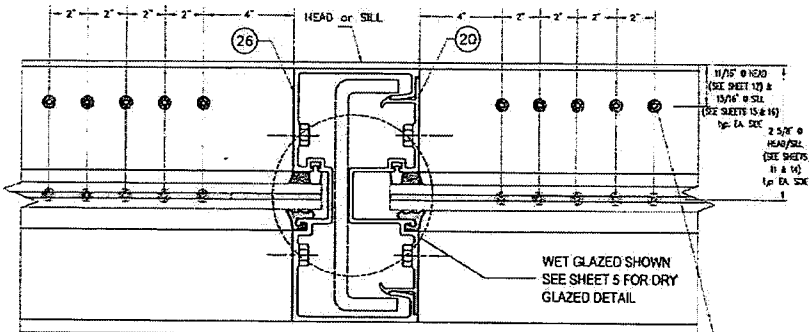
WALTER A. TILIT, JR.  
 LICENSE NO. 44167  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 P.E. SEA/SIGNATURE DATE

**SILL AND HEAD CONNECTION DETAILS FOR STANDARD MULLIONS AND JAMBS (PLAN VIEWS)**



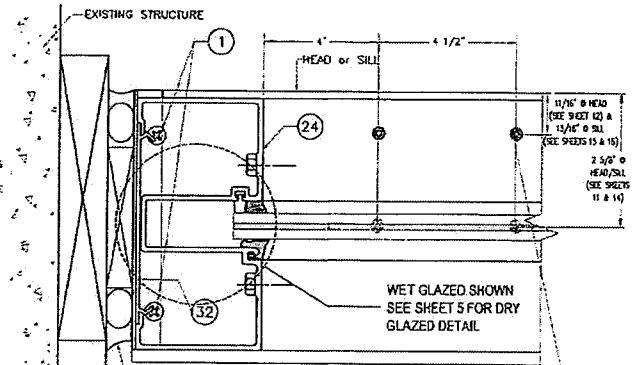
**6**  
CONNECTION AT STANDARD MULLION

CONNECTION DETAIL APPLICABLE TO POURED CONCRETE OR STEEL



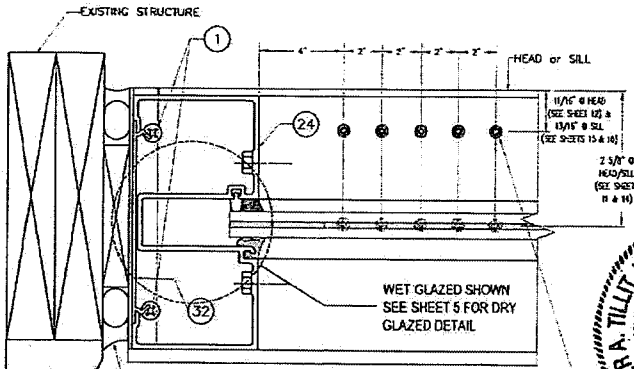
**7A**  
CONNECTION AT STANDARD MULLION

CONNECTION DETAIL APPLICABLE TO WOOD ONLY



**8**  
CONNECTION AT JAMB MULLION

CONNECTION DETAIL APPLICABLE TO POURED CONCRETE OR STEEL (SIMILAR)



**8A**  
CONNECTION AT JAMB MULLION

CONNECTION DETAIL APPLICABLE TO WOOD ONLY

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)		DATE
SERIES EA-5000 TYPICAL GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS	BRNDR BY: K.L.	02/02/10
Odyssey Building Envelope 100 WOODLAND AVENUE, SUITE 100 WILMINGTON, DE 19804 TEL: 302-431-1111 FAX: 302-431-1112 WWW.ODYSSEYBUILDINGENVELOPE.COM	PROJECT NO.	18-016
	DATE	02/02/10
DRW	BY	DR
SCALE	AS SHOWN	DATE
NO.	1	02/21
REV.	2	02/21
REV.	3	02/21
REV.	4	02/21
REV.	5	02/21
REV.	6	02/21
REV.	7	02/21
REV.	8	02/21
REV.	9	02/21

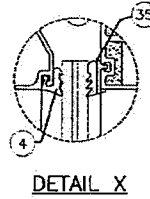
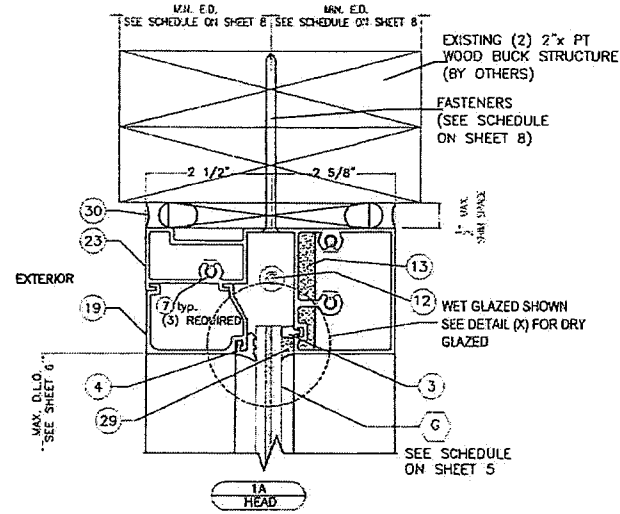
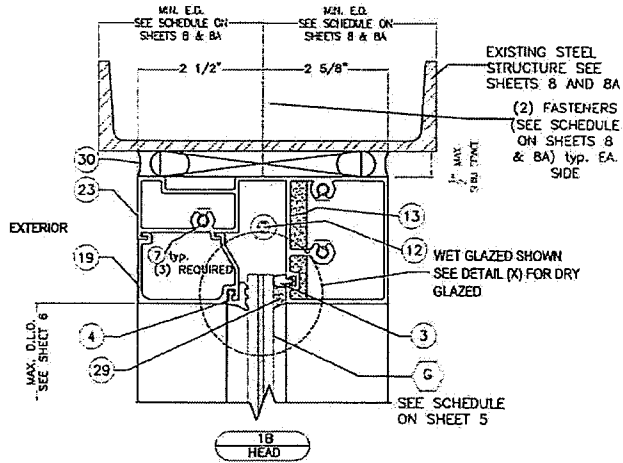
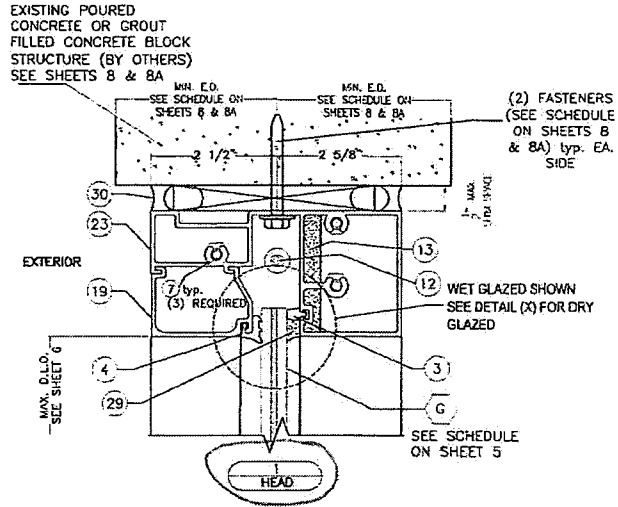
**TILECO INC.**

TILTIT TESTING & ENGINEERING COMPANY  
 4335 N.W. 24th St., Ft. Lauderdale, FL 33309  
 Phone: 1 (800) 341-1111 Fax: 1 (954) 341-1111  
 e-mail: tileco@tileco.com  
 EP-0000719  
 WILMINGTON, DELAWARE, U.S.A.

WALTER A. TILTIT, JR.  
 LICENSE NO. 44167  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 P.E. SEAL/SIGNATURE/DATE



## HEAD CONNECTION DETAILS

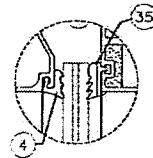
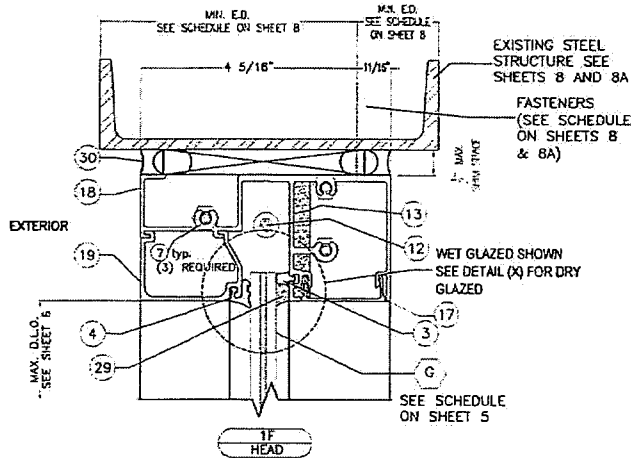
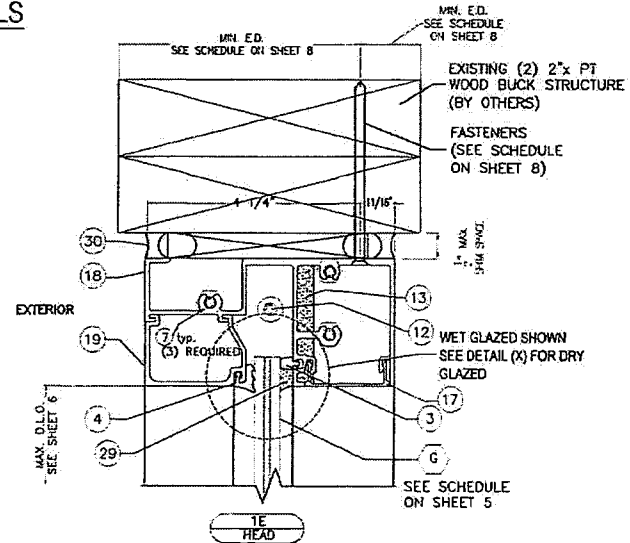
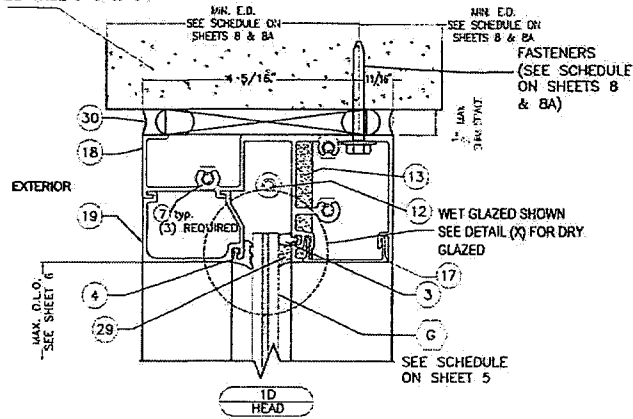


<p>©2018 TILICO, INC.</p> <p><b>TILICO INC.</b></p> <p>TILIT TESTING &amp; ENGINEERING COMPANY          405 South 1st Street, Suite 100, Ft. Lauderdale, FL 33301          Phone: 1-888-411-1337, Fax: 1-954-331-1314          e-mail: info@tilico.com, sales@tilico.com</p> <p>WALTER A. TILIT, Jr., P.E.          FLORIDA Lic # 44167</p>	<p>FLORIDA BUILDING CODE (High &amp; Non High Velocity Hurricane Zone)</p> <p>SERIES FG-5000 FLUSH GLAZED ALUMINUM WALL SYSTEM LARGE &amp; SMALL MISSILE IMPACT LAMINATED GLASS</p> <p>DATE: 03/27/18</p> <p>PROJECT: 18-016</p> <p>DATE: 03/27/18</p> <p>SHEET 11 OF 21</p>	<p>WALTER A. TILIT, JR. P.E. SEAL/EXPIRATION DATE</p> <p>NO. 44167</p> <p>STATE OF FLORIDA</p> <p>PROFESSIONAL ENGINEER</p>
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## HEAD CONNECTION DETAILS (Continued)

EXISTING POURED  
CONCRETE OR GROUT  
FILLED CONCRETE BLOCK  
STRUCTURE (BY OTHERS)  
SEE SHEETS 8 & 8A



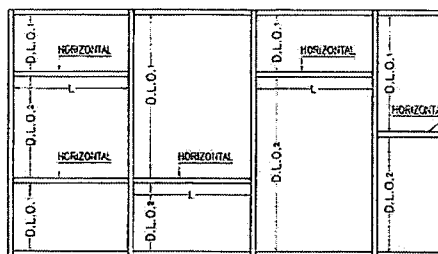
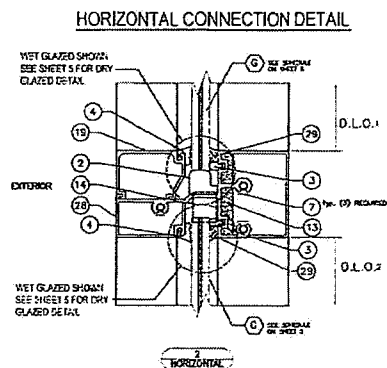
DETAIL X

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)	
DESIGN DR.	07/07/18
DRAWN BY	J.L.
DATE	
PROJECT NO.	18-016
DRAWING NO.	
REVISION	
80 AIRPORT RD., TALLahas, FL 32310 www.Oldcastle.com Phone: 800.848.0077	
SCALE	AS SHOWN
SHEET	12 OF 31

**TILECO INC.**  
 TILLIT TESTING & ENGINEERING COMPANY  
 4333 Peachtree Industrial Blvd., Suite 100, Atlanta, GA 30340  
 Phone: 404.251.8887 Fax: 404.251.8888  
 e-mail: tillit@tileco.com  
 WALTER A. TILLIT, Jr., P.E.  
 FLORIDA Lic. # 44167

WALTER A. TILLIT, JR.  
 LICENSE NO. 44167  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 P.E. SEAL SIGNATURE/DATE

**MAXIMUM DESIGN PRESSURE RATING FOR HORIZONTAL  
MAXIMUM HORIZONTAL SPAN "L" (ft) SCHEDULE  
FOR A GIVEN DESIGN PRESSURE RATING (psf) AND  
A GIVEN HORIZONTAL EFFECTIVE DAY LIGHT OPENING "D.L.O." (ft-in)**



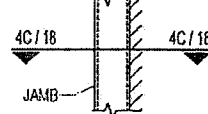
**WINDOW WALL ELEVATION W/ HORIZONTAL**

"L" = MAXIMUM HORIZONTAL SPAN

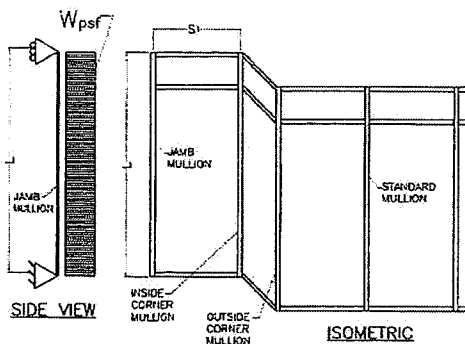
"D.L.O." = EFFECTIVE DAY LIGHT OPENING =  $\frac{D.L.O.1 + D.L.O.2}{2}$   
FOR HORIZONTAL

MAXIMUM DESIGN PRESSURE RATING (psf)	EFFECTIVE DAY LIGHT OPENING "D.L.O." (ft-in)	MAXIMUM HORIZONTAL SPAN "L" (ft)
± 60.0 OR LESS	2'-0"	8'-0"
	2'-6"	8'-0"
	3'-0"	8'-0"
	3'-6"	8'-0"
	4'-0"	7'-5"
± 65.0	4'-6"	6'-7"
	5'-0"	5'-11"
	2'-0"	8'-0"
	2'-6"	8'-0"
	3'-0"	8'-0"
± 70.0	3'-6"	7'-3"
	4'-0"	6'-4"
	4'-6"	5'-8"
	5'-0"	5'-1"
	2'-0"	8'-0"
± 75.0	2'-6"	8'-0"
	3'-0"	7'-11"
	3'-6"	6'-9"
	4'-0"	5'-11"
	4'-6"	5'-3"
± 80.0	5'-0"	4'-9"
	2'-0"	8'-0"
	2'-6"	8'-0"
	3'-0"	7'-5"
	3'-6"	6'-4"

**JAMB W/O ANCHORAGE  
(ELEVATION)**



▲ SPANS ONLY VALID FOR UP TO 80.0psf. ASD  
NEGATIVE DESIGN LOAD. MAX. SPAN FOR POSITIVE  
LOADS SHALL BE LIMITED BY 70.0psf ASD LOAD.



L = JAMB SPAN

EFFECTIVE SPACING (FOR FREESTANDING JAMB MULLION)  
 $b = \frac{S1}{2}$  (SEE SCHEDULE)  
AT JAMB MULLION GLASS PANEL

**MAXIMUM DESIGN PRESSURE RATING FOR  
JAMBS W/O ANCHORAGE  
MAXIMUM JAMB SPAN "L" (ft) SCHEDULE  
FOR A GIVEN DESIGN PRESSURE RATING (psf)  
AND A GIVEN JAMB EFFECTIVE SPACING "b" (ft-in)**

MAXIMUM DESIGN PRESSURE RATING (psf)	EFFECTIVE SPACING "b" (ft-in)	JAMB W/O CONNECTION SPAN LF (ft-in)
60.0	1'-9"	9'-0"
	2'-0"	9'-0"
	2'-3"	9'-0"
	2'-6"	8'-4"
	2'-9"	8'-0"
	3'-0"	7'-9"
	3'-3"	7'-1"
	3'-6"	6'-7"
	3'-9"	6'-4"
	4'-0"	6'-2"
65.0	4'-3"	6'-10"
	4'-6"	6'-8"
	4'-9"	6'-5"
	5'-0"	6'-2"
	2'-0"	9'-0"
	2'-3"	9'-0"
	2'-6"	8'-4"
	2'-9"	8'-0"
	3'-0"	7'-9"
	3'-3"	7'-5"
70.0	3'-6"	7'-2"
	3'-9"	6'-11"
	4'-0"	6'-8"
	4'-3"	6'-5"
	4'-6"	6'-2"
	4'-9"	5'-11"
	5'-0"	5'-8"
	2'-0"	9'-0"
	2'-3"	8'-7"
	2'-6"	8'-2"
75.0	2'-9"	7'-9"
	3'-0"	7'-6"
	3'-3"	7'-3"
	3'-6"	6'-11"
	3'-9"	6'-8"
	4'-0"	6'-5"
	4'-3"	6'-2"
	4'-6"	5'-10"
	4'-9"	5'-7"
	5'-0"	5'-4"
80.0	4'-0"	5'-2"
	4'-3"	4'-11"
	4'-6"	4'-8"
	4'-9"	4'-5"
	5'-0"	4'-2"

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
SERIES FG-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS

DATE: 02/27/18  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/8" = 1'-0"

18-016  
DRAWING No.

DATE: 02/27/18  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/8" = 1'-0"

SHEET 13 OF 21

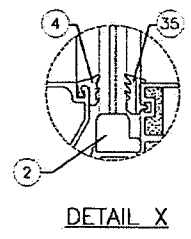
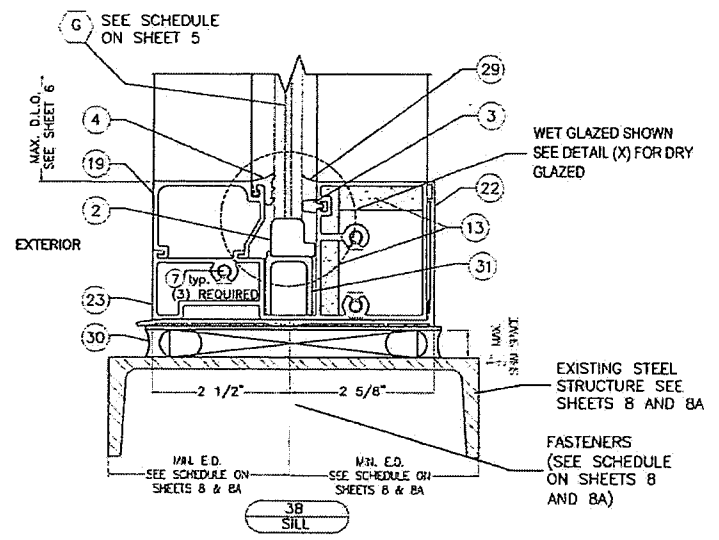
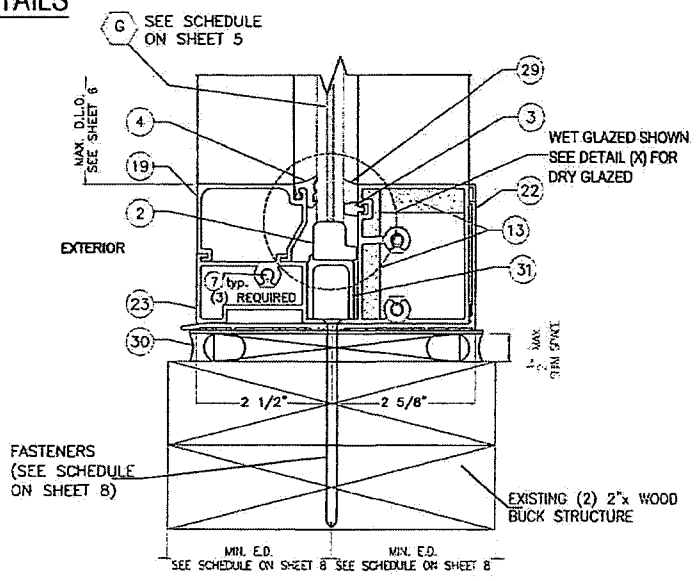
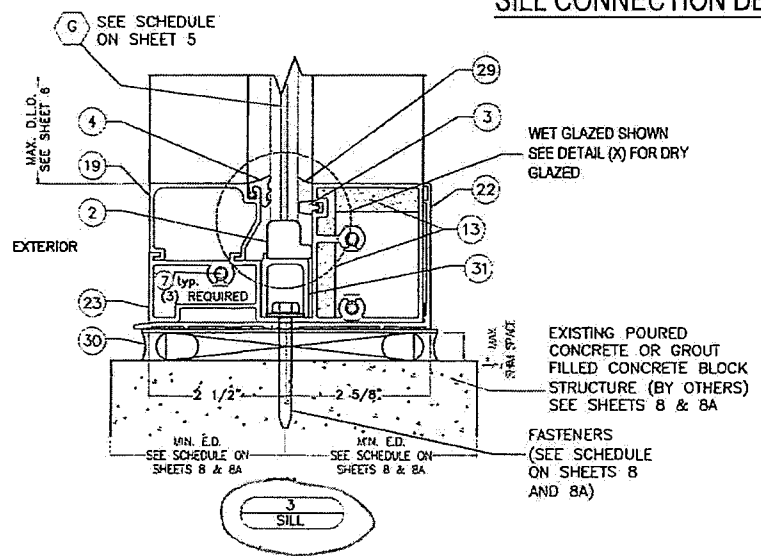
OSCAR MULLER, INC.  
**TILECO INC.**  
TILIT TESTING & ENGINEERING COMPANY  
655 Hwy. 101, Suite 100, New Castle, DE 19702  
e-mail: tileco@tileco.com  
www.tileco.com

WALTER A. TILIT JR., P.E.  
FLORIDA Lic # 44167

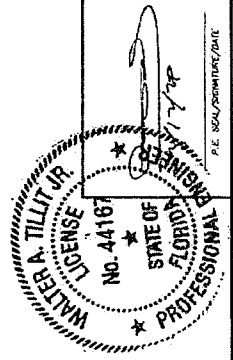
REG. SEAL/STAMP/DONE

WALTER A. TILIT JR.  
LICENSE NO. 44167  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

# SILL CONNECTION DETAILS



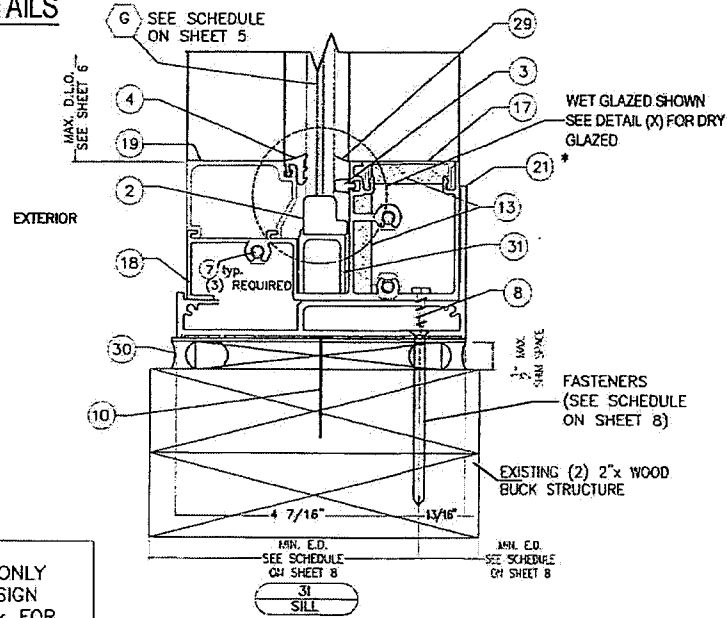
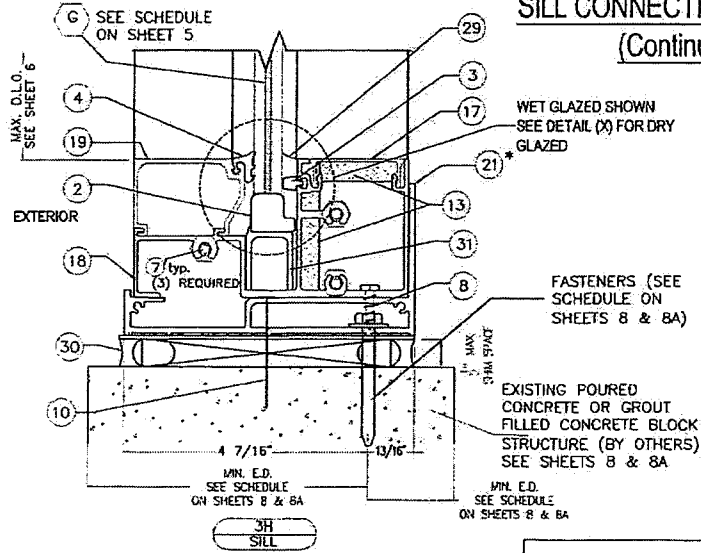
FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)	
DESIGN BY:	DATE:
02/02/18	18-016
SERIES FG-5000 FLUSH GLAZED ALUMINUM WINDOW, LARGE & SMALL MISSILE IMPACT LAMINATED GLASS	
9000 B. WALKER, INC. TILIT TESTING & ENGINEERING COMPANY 6051 N. W. 13th St., Ft. Lauderdale, FL 33309 Phone: 954-341-4138 Fax: 954-341-4131 e-mail: info@olefinets.com olefinets.com WALTER A. TILIT, Jr., P.E. FLORIDA LIC. # 14187	
PROJECT NO.:	DATE:
02-18-016	02/02/18
DRWING NO.:	DATE:
02-18-016	02/02/18
SHEET 14 OF 21	



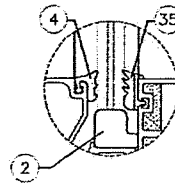
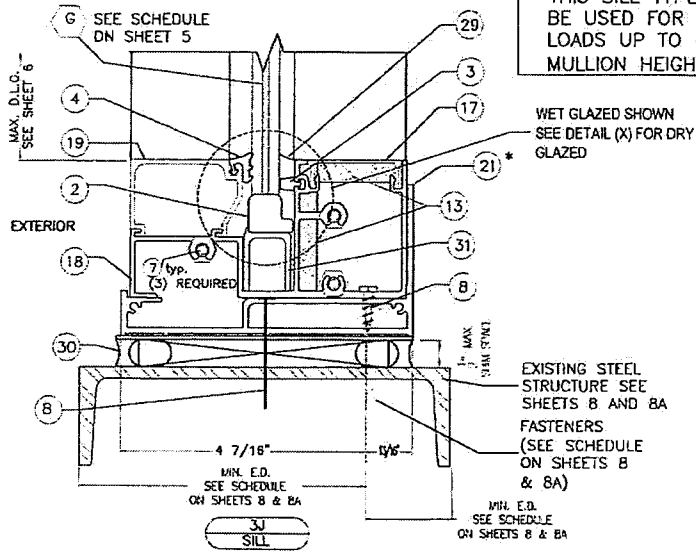




## SILL CONNECTION DETAILS (Continued)



\* THIS SILL TYPE SHALL ONLY BE USED FOR MAX. DESIGN LOADS UP TO 65 psf & FOR MULLION HEIGHTS UP TO 108".



DETAIL X

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone) SERIES PG-5000 FLUSH GLAZED ALUMINUM WINDOW SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS	DRAWN BY: 02/02/18 DATE: 18-018 SHEET 18 OF 21
	601 AIRPORT RD. TALLAHASSEE, FL 32310 TEL: 904.432.1111 FAX: 904.432.1112 WWW.BUILDINGENVELOPE.COM

TILECO INC.

TILE TESTING & ENGINEERING COMPANY  
 200 N. W. 1st St., Tallahassee, FL 32301  
 TEL: 904.432.1111  
 FAX: 904.432.1112  
 WWW.TILECOINC.COM

WALTER A. TILLIT JR., P.E.  
 FLORIDA LIC. # 44167

P.E. SEAL/TERRITORY/DATE

WALTER A. TILLIT JR.

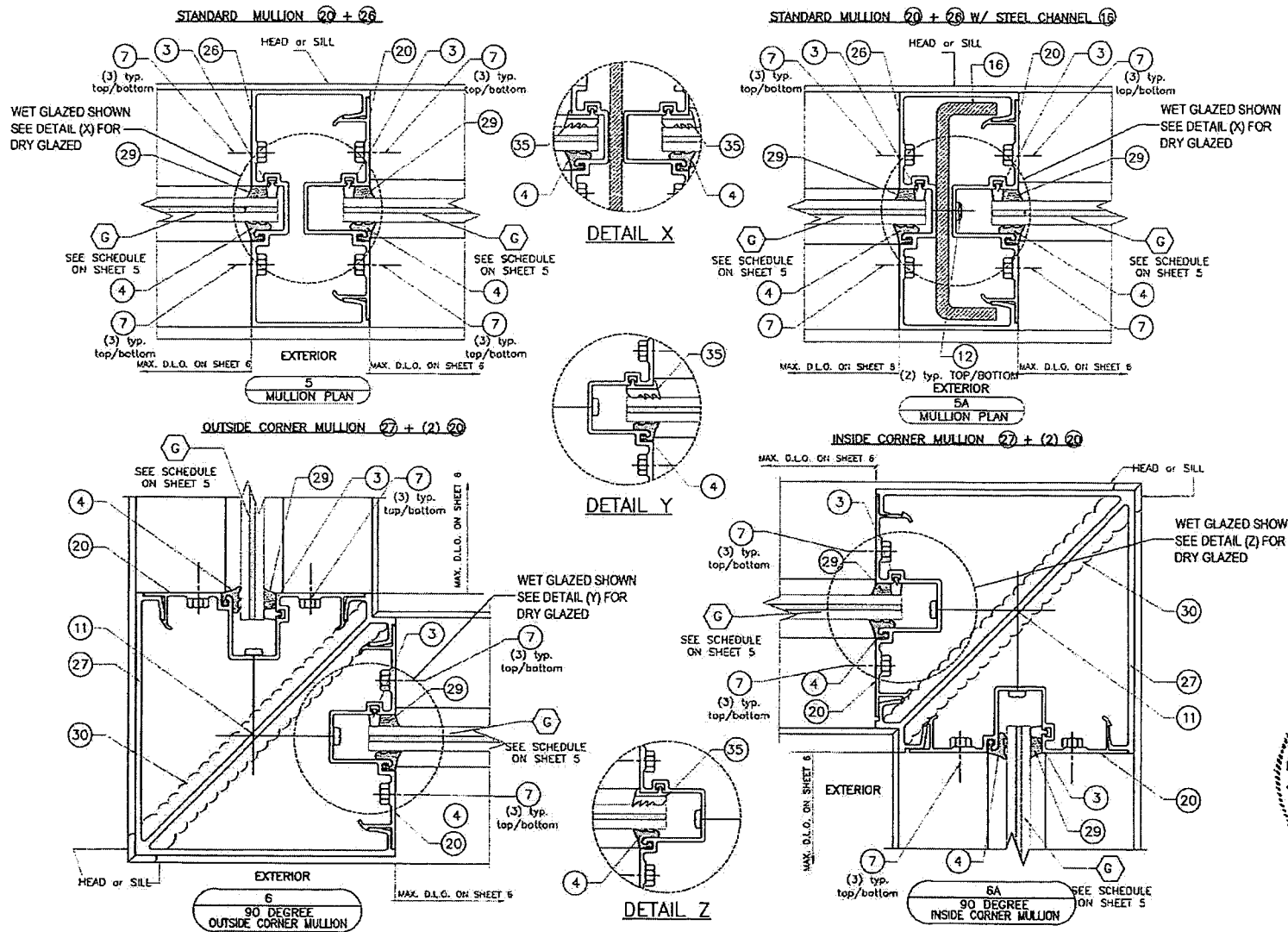
LICENSE

No. 44167

STATE OF FLORIDA

PROFESSIONAL ENGINEER

# HORIZONTAL SECTIONS AT STANDARD AND CORNER MULLIONS



FLORIDA BUILDING CODE (High & Non-High Velocity Hurricane Zone)	GROUP BY: AL	DATE
SERIES FP-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT UNABLATED GLASS	07/27/18	1/8-016
<b>Colson Building Envelopes</b>	DESIGNED BY	SHEET 17 OF 21
180 AIRPORT RD. TERRELL, TX 75160 www.ColsonBuildingEnvelopes.com	DATE	
WALTER A. TILIT JR., P.E. FLORIDA LIC. # 44167	DATE	

4201 S. TILCO, INC.

**TILECO INC.**

TILIT TESTING & ENGINEERING COMPANY  
4301 Peachtree Industrial Blvd., Suite 1000, Atlanta, GA 30344  
www.Tileco.com  
e-mail: Tileco@tileco.com

WALTER A. TILIT JR., P.E.  
FLORIDA LIC. # 44167

P.E. SEAL/SIGNATURE/DATE

*Walter A. Tilit Jr.*

WALTER A. TILIT JR.  
LICENSE NO. 44167  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

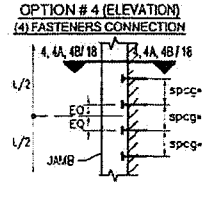
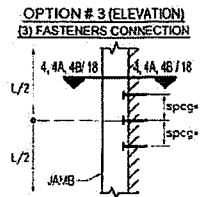
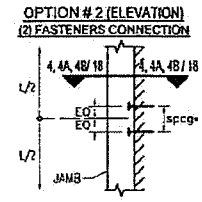
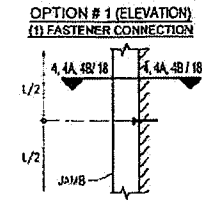






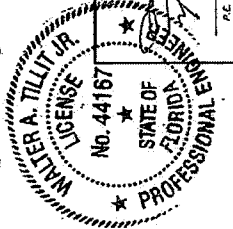
MAXIMUM A.S.D. DESIGN PRESSURE RATING SCHEDULE FOR JAMES FASTENED W/ 1/2" FASTENERS ■ \* SEE SHEET 13 FOR DEFINITION OF D

WIND SPEED CLASS	WIND SPEED MPH	POURED CONCRETE		GROUT FILLED BLOCK		SPACED BLOCK		WOOD		POURED CONCRETE		GROUT FILLED BLOCK		SPACED BLOCK		WOOD	
		1/2"	3/4"	1/2"	3/4"	1/2"	3/4"	1/2"	3/4"	1/2"	3/4"	1/2"	3/4"	1/2"	3/4"	1/2"	3/4"
15	31	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
20	40	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
25	50	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
30	60	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
35	70	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
40	81	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
45	91	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
50	101	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
55	111	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
60	121	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
65	131	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
70	141	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
75	151	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
80	161	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
85	171	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
90	181	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
95	191	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
100	201	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0



FASTENERS TYPES AND SUBSTRATES REQUIREMENTS W/ INDICATED MIN. E.D. & SPACING (spcg), BEYOND ANY FINISH MATERIAL

- R - 1/2" HILTI KWIK BOLT 3 ANCHOR W/ 2" Min. EMBEDMENT, 2 3/4" MIN ED. & 6" MIN. SPACING, INTO 8" MIN THICK POURED CONCRETE (Min. fc = 3 ksi)
- S - 1/2" HILTI HUS-H SCREW ANCHOR W 2" Min. EMBEDMENT, 2 3/4" MIN. ED. & 6" MIN. SPACING, INTO POURED CONCRETE (Min. fc = 3 ksi)
- T - 1/2" HILTI KWIK BOLT 3 ANCHOR W/ 2 1/4" Min. EMBEDMENT, 4" MIN ED. & 6" MIN. SPACING, INTO GROUT FILLED CONCRETE BLOCK
- U - 1/2" HILTI HUS-H SCREW ANCHOR W 3" Min. EMBEDMENT, 4" MIN ED. & 6" MIN. SPACING INTO GROUT FILLED CONCRETE BLOCK
- V - 1/2" TYPE "F" BOLT OR 1/2"-13 SAE GRADE 5 GALVANIZED STEEL HHS THRU BOLT W/ NUT & LOCK WASHER & 2" MIN. EDGE DISTANCE & 2" MIN. SPACING TO 1/4" Min. THK. ASTM A-35 OR 12 GAGE (0.106" MIN THK) Fy=33 ksi STEEL
- W - 1/2" LAG SCREWS TO DOUBLE 2 x WOOD BUCK (G=0.55) W/ 3" Min. PENETRATION INTO WOOD & 2" MIN. EDGE DISTANCE & 2" MIN. SPACING, BEYOND ANY FINISH MATERIAL

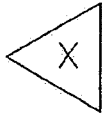
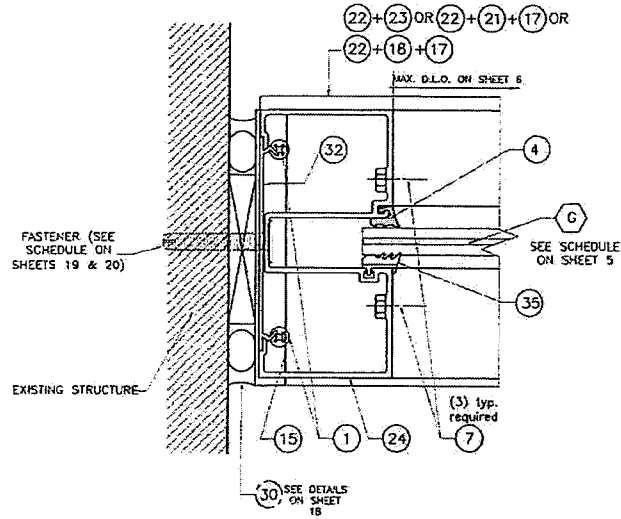


Florida Building Code (High & Non High Velocity Hurricane Zone)  
 SERIES TC-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS  
 DRAWING No. 18-018  
 DATE 02/07/18  
 PROJECT No. 18022222  
 SHEET 20 OF 21

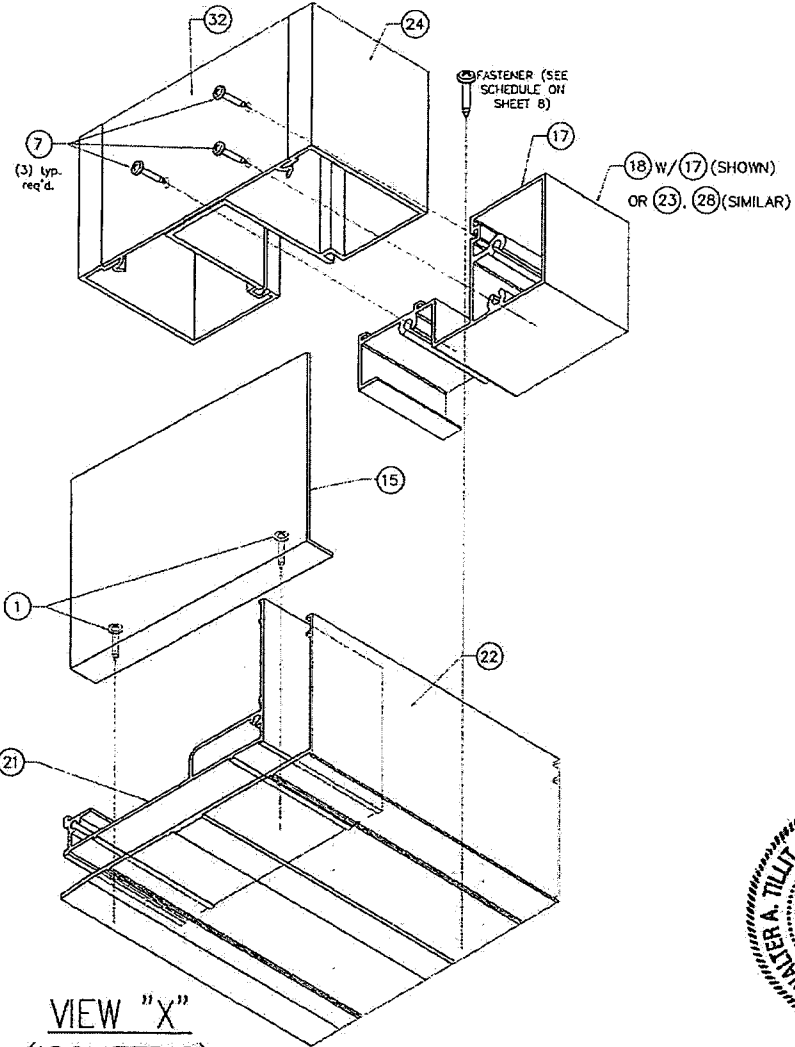
TILECO INC.  
 TILIT TESTING & ENGINEERING COMPANY  
 6555 New Florida Blvd., Suite 100, Jacksonville, FL 32217  
 Phone: 904.721.1111  
 Fax: 904.721.1112  
 Email: info@tileco.com  
 WALTER A. TILLIT JR., P.E.  
 FLORIDA Lic. # 44167

# CORNER DETAIL AT JAMB

EXTERIOR



40  
JAMB PLAN



VIEW "X"  
(ISOMETRIC)

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)	
DOWN BY:	DATE
SERIES FG-5000 FLUSH GLAZED ALUMINUM WINDOW WALL SYSTEM LARGE & SMALL MISSILE IMPACT LAMINATED GLASS	18-016
OKALACONTE Building Envelopes	07/07/18
80 AIRPORT RD. TERRILLIT, FL 32184	DRWING No.
www.okalaconte.com Phone 888-367-4567	DATE
REV. 1	07/07/18
REV. 2	07/07/18
REV. 3	07/07/18
REV. 4	07/07/18
REV. 5	07/07/18
REV. 6	07/07/18
REV. 7	07/07/18
REV. 8	07/07/18
REV. 9	07/07/18
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REV. 99	07/07/18
REV. 100	07/07/18

CRIBB INTERIO, INC.

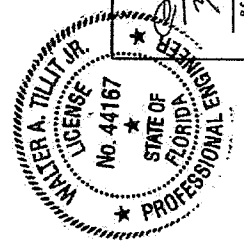
**TILECO INC.**

TILLIT TESTING & ENGINEERING COMPANY  
433 PINE ST. SUITE 1000, GAITHERSBURG, MD 20878-1001  
P: 301-251-4333 F: 301-251-4334  
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WALTER A. TILLIT JR., P.E.  
FLORIDA Lic. # 44167

*Walter A. Tillit Jr.*

P.E. SIGNATURE/DATE



FLORIDA DEPARTMENT OF  
**Business & Professional Regulation**

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**Product Approval**  
 USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)

OFFICE OF THE SECRETARY

**Search Criteria**

Code Version	2017	FL#
Application Type	ALL	Product Manufacturer
Category	ALL	Subcategory
Application Status	ALL	Compliance Method
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired
Product Model, Number or Name	ALL	Product Description
Approved for use in HVHZ	ALL	Approved for use outside HVHZ
Impact Resistant	ALL	Design Pressure
Other	ALL	

**Search Results - Applications**

FL#	Type	Manufacturer
<a href="#">FL17693-R1</a> <a href="#">History</a>	Revision	OLDCASTLE BUILDING ENVELOPE <b>FL#:</b> FL17693.1 <b>Model:</b> SERIES MSD-375 AND WSD-500 ALUMINUM ENTRANCE DOOR <b>Description:</b> MSD-375 MEDIUM STILE AND WSD-WIDE STILE IMPACT ALUMINUM ENTRANCE DOORS (WET GLAZED) <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies

\*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

Contact Us :: 2601 Blair Stone Road, Tallahassee FL 32399 Phone: 850-487-181

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WALTER A. TILLIT, JR., P.E.

## PRODUCT EVALUATION REPORT

tilteco@aol.com  
FL P.E. License No. 44167  
FL E.B. License No. 0006719

**REPORT No.:** 18-0410.01

**DATE:** April 10, 2018

**PRODUCT CATEGORY:** Exterior Doors

**PRODUCT SUB-CATEGORY:** Swinging Exterior Door Assemblies

**PRODUCT NAME:** Series MSD-375 (medium) and WSD-500 (wide) Stiles Aluminum Entrance Door (wet glazed) Large and Small Missile Impact

**MANUFACTURER:** Oldcastle BuildingEnvelope™  
803 Airport RD. Terrell, TX 75160

### 1. PURPOSE OF EVALUATION:

This is a Product Evaluation Report issued by **Walter A. Tillit, Jr., P.E.** (System ID # 1906) to **OLDCASTLE BUILDING ENVELOPE** based on **Rule Chapter No. 61G20-3, Method 1D of the Florida Department of Business and Professional Regulation.**

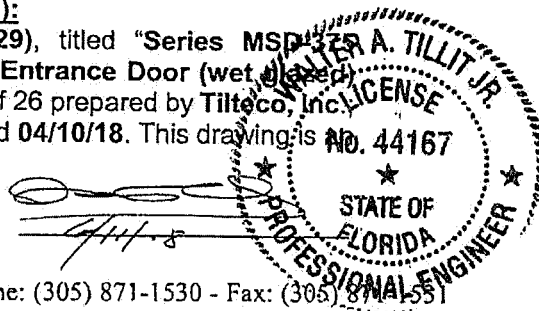
This product is being issued an Evaluation Report as described herein, and has been verified for compliance in accordance with the 2017 Sixth Edition of the Florida Building Code, and to verify that the product is for the purpose intended at least equivalent to that required by the Code.

This Product Evaluation Report shall be subject to review and revision in case of a Building Code Change that may affect its limitations and conditions.

### 2. EVIDENCE SUBMITTED:

#### 2.1. PRODUCT EVALUATION DOCUMENT (P.E.D.):

Drawing No. 18-019 (Revises Drawing # 15-029), titled "Series MSD-375 (medium) and WSD-500 (wide) Stiles Aluminum Entrance Door (wet glazed) Large and Small Missile Impact" sheets 1 thru 26 of 26 prepared by Tiltco, Inc. signed and sealed by **Walter A. Tillit, Jr., P.E.**; dated 04/10/18. This drawing is integral part of this Evaluation Report.



6355 N.W. 36th Street, Suite 305, Miami, Florida 33166 - Phone: (305) 871-1530 - Fax: (305) 871-1551




**SERIES MSD-375 (MEDIUM) & WSD-500 (WIDE) STILE OUT SWING ALUMINUM ENTRANCE DOORS  
W/ LARGE & SMALL MISSILE IMPACT RESISTANT GLASS**

**GENERAL NOTES:**

- ALUMINUM ENTRANCE DOOR SHOWN ON THIS PRODUCT EVALUATION DOCUMENT (P.E.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2014 (5th EDITION) OF THE FLORIDA BUILDING CODE. PRODUCT MAY BE INSTALLED WITHIN HIGH VELOCITY HURRICANE ZONES (HVHZ) AND OUT OF THEM (NHVHZ). DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1620 (HVHZ) & 1609 (NHVHZ) OF THE ABOVE MENTIONED CODE, FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE THIS PRODUCT TO BE INSTALLED FOR A DIRECTIONALITY FACTOR  $K_d=0.85$ , USING ASCE 7-10 & SHALL NOT EXCEED THE MAXIMUM (A.S.D.) DESIGN PRESSURE RATING INDICATED ON NOTE 2. IN ORDER TO VERIFY THE ABOVE CONDITION, ULTIMATE DESIGN WIND LOADS DETERMINED PER ASCE 7-10 SHALL BE FIRST REDUCED TO A.S.D. DESIGN WIND LOADS BY MULTIPLYING THEM BY 0.6 IN ORDER TO COMPARE THESE W/ MAX. (A.S.D.) DESIGN PRESSURE RATINGS INDICATED ON NOTE 2. IN ORDER TO VERIFY THAT ANCHORS ON THIS P.E.D., AS TESTED, WERE NOT OVERSTRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. FASTENERS SPACING TO WOOD HAS BEEN DETERMINED IN ACCORDANCE WITH N.D.S. 2012. THIS PRODUCT'S ADEQUACY FOR IMPACT AND WIND RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1626 & 1609.1.2 OF THE ABOVE MENTIONED CODE AS PER PROTOCOLS TAS-201, TAS-202, TAS-203, PER HURRICANE TESTING LABORATORY REPORTS # HTL-0105-1030-02, HTL-0105-0712-03, HTL-0105-0205-03, HTL-0105-0810-03, HTL-0105-0210-04 AND HTL-0105-0407-04; PER CERTIFIED TESTING LABORATORIES REPORT # CTLA-1177W (FOR DOOR CERTIFICATION INSTALLATION WITH FG-5000 AND FG-5100 WINDOW WALL SYSTEM); PER ARCHITECTURAL TESTING LAB REPORTS # C0344.01-450-18, 95631.01-401-18 (NEW PANIC HARDWARE) PER CONSTRUCTION CONSULTING LABORATORY REPORTS # CCLL-14-128, AND AS PER SUBMITTED STRUCTURAL CALCULATIONS, PERFORMED AS PER SECTIONS 1616 & 1604 OF THE FLORIDA BUILDING CODE.
- MAXIMUM A.S.D. DESIGN PRESSURE RATING FOR 3'-6"x8'-0" SINGLE OR 7'-0"x8'-0" PAIR OF DOORS SHALL BE +70 psf, -80 psf, WHEN USED WITH LAMINATED GLASS, AND MAX. +70 psf, -70 psf WHEN USED WITH INSULATED GLASS. MAXIMUM A.S.D. DESIGN PRESSURE RATING FOR 3'-6"x6'-0" SINGLE OR 7'-0"x6'-0" PAIR OF DOORS SHALL BE +60 psf, -60 psf, WHEN SARGENT OR CORBIN RUSSWIN EXIT DEVICES ARE USED (SEE SHEETS 6 & 7). USE SEALANT #37 FOR UP TO +70 psf, -80 psf A.S.D. DESIGN PRESSURE RATING. USE SEALANT # 37A FOR UP TO +70 psf, -70 psf A.S.D. DESIGN PRESSURE RATING.
- MAXIMUM A.S.D. DESIGN PRESSURE RATING FOR 4'-0"x8'-0" SINGLE OR 8'-0"x8'-0" PAIR OF DOORS SHALL BE +70 psf, -70 psf AND SHALL ONLY BE USED WITH EITHER LAMINATED OR INSULATED GLASS. USE SEALANTS #37 AND #37A FOR THESE DOORS.
- THIS PRODUCT WILL NOT REQUIRE A HURRICANE PROTECTION DEVICE.
- THIS PRODUCT IS NOT APPROVED FOR WATER INFILTRATION.
- PROVIDE 1/4" MAX. LOAD BEARING SHM (TYP.), WHEN ALLOWED BY THIS DRAWING.
- ALL SCREWS USED FOR ASSEMBLY CONNECTIONS (METAL TO METAL TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018 AND SECTION 2411.3.3.4 OF THE FLORIDA BUILDING CODE WITH 50 ksi YIELD STRENGTH AND 90 ksi TENSILE STRENGTH.
- WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE BUILDING STRUCTURE. WOOD BUCKS MUST BE SOUTHERN PINE,  $G = 0.55$ , AND SHALL COMPLY WITH SECTIONS 2411.3.3.3 & 2326 OF THE FLORIDA BUILDING CODE.
- REMAINING COMPONENTS FOR THIS PRODUCT SHALL BE AS INDICATED ON BILL OF MATERIALS, SHEETS 4 & 5 OF THIS DRAWING AND AT HARDWARE SCHEDULES ON SHEETS 6 & 7 OF THE DRAWING.
- ALL ALUMINUM EXTRUSIONS IN CONTACT WITH STEEL, CONCRETE, GROUT FILLED CONCRETE BLOCK AND WOOD SHALL COMPLY WITH SECTIONS 2003.8.4.2, 2003.8.4.4, 2003.8.4.5 AND 2003.8.4.6 OF THE FLORIDA BUILDING CODE, RESPECTIVELY.
- SHOP DRAWINGS PREPARED BASED ON THIS APPROVAL AND TAKING INTO ACCOUNT THE SPECIFIC JOB CONDITIONS, SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS PART OF THE PERMIT DOCUMENTS.
- SUBSTRATE MATERIAL NOTED ON THIS DRAWING AS EXISTING BY OTHERS, POURED CONCRETE, GROUT FILLED CONCRETE BLOCK AND WOOD MUST WITHSTAND THE LOADS IMPOSED BY THIS PRODUCT.
- THIS PRODUCT'S INSTALLATION SHALL COMPLY WITH ALL SPECS INDICATED IN THIS DRAWING PLUS ANY BUILDING AND ZONING REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.

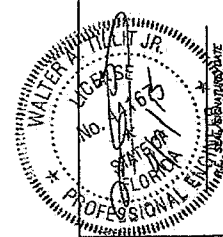
- (a) THIS P.E.D. PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; I.e. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.E.D.
  - (b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT, BASED ON THIS P.E.D., PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.
  - (c) THIS P.E.D. WILL BE CONSIDERED INVALID IF ALTERED BY ANY MEANS.
  - (d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.E.D. ENGINEER OF RECORD, ACTING AS DELEGATED ENGINEER TO THE P.E.D. ENGINEER, SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.
  - (e) ORIGINAL P.E.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.
- PRODUCT MANUFACTURER'S LABEL SHALL BE LOCATED ON A READILY VISIBLE LOCATION AT PRODUCT IN ACCORDANCE WITH SECTION 1710.5 OF THE FLORIDA BUILDING CODE. ONE LABEL SHALL BE PLACED FOR EVERY OPENING.

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)	
SERIES MSD-375 (MEDIUM) & WSD-500 (WIDE) STILE ALUMINUM ENTRANCE DOOR (NET GLAZED)	DRAWN BY P.A.L.
LARGE & SMALL MISSILE IMPACT	03/18/18
	DATE
	15-029
	DRAWING NO.
	SHEET 1 OF 23
 Oldcastle BuildingEnvelope® 80 AIRPORT RD. TALLahassee, FL 32310 TEL: 904.255.1234 FAX: 904.255.1235 WWW.OLDCASTLEBUILDINGENVELOPE.COM	

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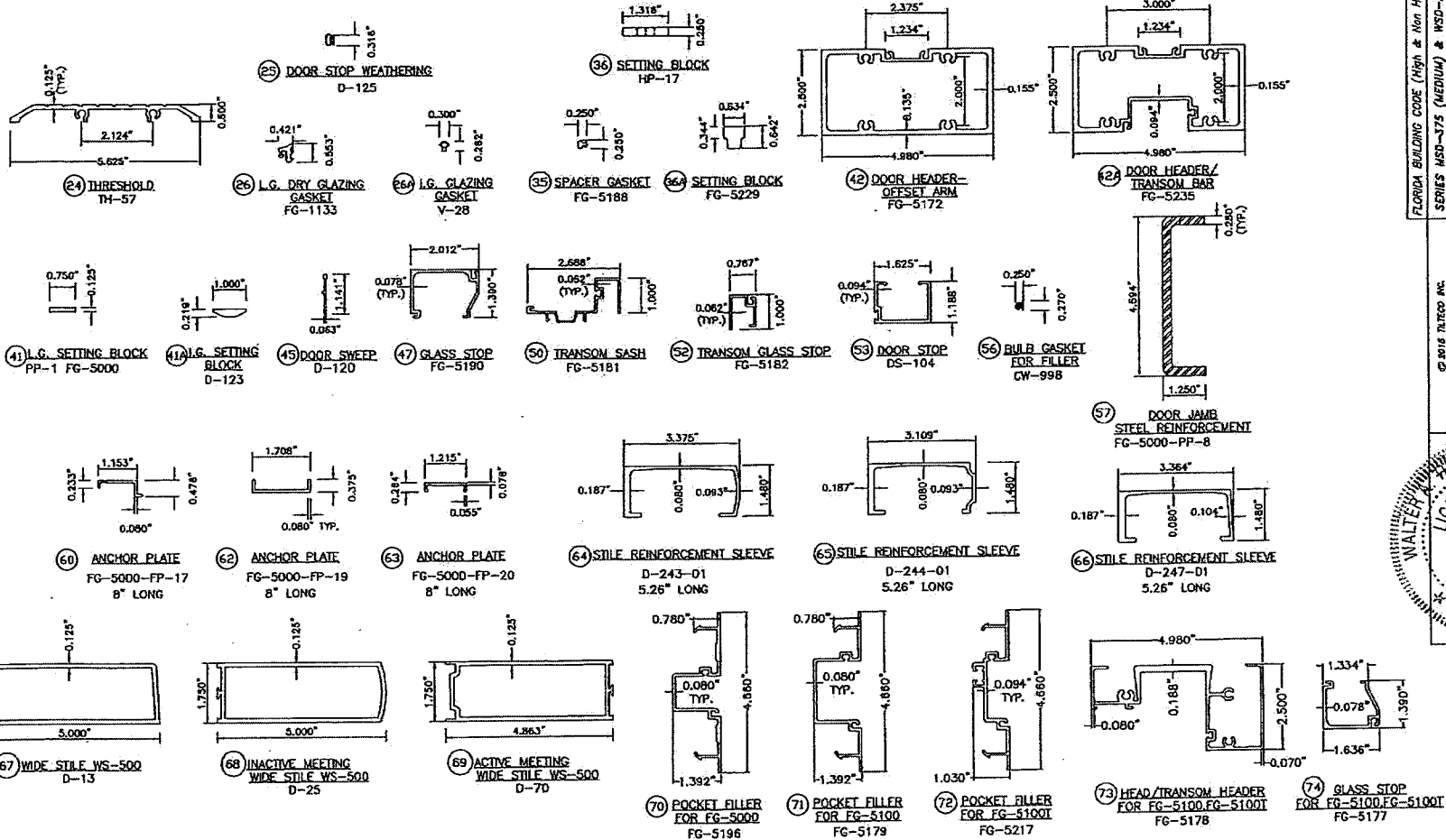


THIS DRAWING SHALL ONLY BE USED TO OBTAIN PERMITS IN THE STATE OF FLORIDA



# SERIES MSD-375 & WSD-500 ALUMINUM MEDIUM & WIDE STILE ENTRANCE DOORS (WET GLAZED) COMPONENTS

SCALE 4" = 1"



FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 DRAWN BY: TALL  
 DATE: 03/19/78  
 15-029  
 DRAWING NO.  
 SHEET 3 OF 28

Oldcastle Building Envelopes  
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 TILTECO TESTING & ENGINEERING COMPANY  
 4545 N.W. 11th Ave. #200, Miami Gardens, FL 33146  
 Phone: 305-555-1100  
 Walter A. Tully, P.E.  
 License No. 15177  
 State of Florida  
 Professional Engineer

## BILL OF MATERIALS MSD-375 & WSD-500 DOORS

ITEM No.	PART NUMBER	DESCRIPTION	DIMENSIONS	MATERIAL	MANUFACTURER	NOTES
1.	AS-6	ADJUSTABLE ASTRAGAL ASSEMBLY	.331" X 1.562" X .076"	6063-T6 ALUMINUM	DBE	
2.	CB-21	CORNER BLOCK	2.130" X 1.44" X .25"	6063-T5 ALUMINUM	DBE	4.437' LONG
3.	CB-38	DOOR CORNER BLOCK	2.130" X 1.44" X .25"	6063-T5 ALUMINUM	DBE	1.23" LONG
4.	CB-61	DOOR CORNER BLOCK	2.130" X 1.44" X .25"	6063-T5 ALUMINUM	DBE	8" LONG
4A.	CB-71	DOOR CORNER BLOCK	2.130" X 1.44" X .25"	6063-T5 ALUMINUM	DBE	6" LONG
5.	D-6	MEDIUM STILE MS-375	3.75" X 1.75" X .125"	6063-T5 ALUMINUM	DBE	
6.	D-21	HORIZONTAL MID-RAIL/TOP RAIL	6.50" X 1.71" X .125"	6063-T5 ALUMINUM	DBE	
7.	D-24	INACTIVE MEETING MEDIUM STILE MS-375	3.75" X 1.75" X .125"	6063-T5 ALUMINUM	DBE	
8.	D-38	DOOR TOP RAIL	3.00" X 1.71" X .125"	6063-T5 ALUMINUM	DBE	
9.	D-62	MID-RAIL ADAPTER	1.429" X 1.552" X .062"	6063-T5 ALUMINUM	DBE	
10.	D-69	ACTIVE MEETING MEDIUM STILE MS-375	3.614" X 1.75" X .125"	6063-T5 ALUMINUM	DBE	
11.	D-61	10" ADA BOTTOM RAIL	10.00" X 1.71" X .125"	6063-T6 ALUMINUM	DBE	
11A.	D-71	8" BOTTOM RAIL	8.00" X 1.71" X .125"	6063-T6 ALUMINUM	DBE	
12.	D-118	DOOR BOTTOM RAIL SWEEP ASSEMBLY	.812" X .302" X .125"	6063-T5 ALUMINUM	DBE	CUT TO DOOR WIDTH MINUS 5/8"
13.	D-134-3	PANIC DOOR STOP	.344" X 1.484" X 3.00"	6063-T5 ALUMINUM	DBE	
14.	D-152	SCREW ATTACHED DOOR GLASS STOP	1.00" X .762" X .125"	6063-T6 ALUMINUM	DBE	ATTACH W/ $\varnothing$ 12" ON CENTER
15.	FG-5206	HEAD HORIZONTAL/TRANSOM HEADER	2.50" X 4.98" X .080"	6063-T6 ALUMINUM	DBE	FOR FG-5000 SYSTEMS
15A.	FG-5204	HEAD HORIZONTAL/TRANSOM HEADER	2.50" X 4.98" X .080"	6063-T6 ALUMINUM	DBE	FOR FG-5000 SYSTEMS
16.	FG-5113	HEAD FILLER	.50" X 1.69" X .050"	6063-T5 ALUMINUM	DBE	
18.	FG-5163	SNAP-IN DOOR STOP	.746" X 1.357" X .062"	6063-T6 ALUMINUM	DBE	
19.	FG-5167	FLAT FILLER	.778" X 4.66" X .080"	6063-T6 ALUMINUM	DBE	RUNS FULL LENGTH
20.	FG-5168	DOOR JAMB @ FG-5000, FG-5100 & FG-5100T	2.50" X 5.00" X .125"	6063-T6 ALUMINUM	DBE	
21.	FG-5198	TRANSOM SASH	1.00" X 1.940" X .062"	6063-T6 ALUMINUM	DBE	
22.	FG-5197	DOOR HEADER/TRANSOM BAR	2.50" X 4.90" X .080"	6063-T6 ALUMINUM	DBE	
23.	S-83	SNAP-IN DOOR LAMINATED GLASS STOP	.812" X .762" X .078"	6063-T6 ALUMINUM	DBE	
23A.	S-81	SNAP-IN DOOR INSULATED GLASS STOP	.748" X .75" X .050"	6063-T5 ALUMINUM	DBE	
24.	TH-57	THRESHOLD	.50" X 5.625" X .125"	6063-T5 ALUMINUM	DBE	
25.	D-125	DOOR STOP WEATHERING	.125" SPACE	SANTOPRENE	UNIVERSAL RUBBER	
26.	FG-1133	GLAZING GASKET	.197" SPACE	EPDM	VARIES	70 DUROMETER, USE AT LAMINATED GLASS
26A.	V-28	GLAZING GASKET	.30" X .282"	VINYL	DBE	USE AT INSULATED GLASS
27.	FS-2	ATTACH D-118 SWEEP TO DOOR BOTTOM	#8 X 3/8" PPHSMS	STEEL	VARIES	
28.	FS-7	ATTACH RAILS TO CORNER BLOCKS	#10 X 3/4" PFH	STEEL	VARIES	
29.	FS-8	SPLINE ASSEMBLY SCREW	#14 X 1" HHSTS	STEEL	VARIES	
30.	FS-114	ATTACH D-152 TO DOOR	#8 X 3/8" PPHSMS	STEEL	VARIES	SPACED @ 12" O.C.
31.	SM-5601	JOINT SEALANT TAPE	.125" X .50" VARIES	BUTYL	SCHNEE-MOREHEAD	
32.	WP-085	ADJUSTABLE ASTRAGAL WEATHERING	VARIABLE SPACE	WOOL PILE	SCHLEGEL	
33.	FS-56	ATTACH D-134-2 PANIC STOP	#12 X 3/4" PPHSMS	STEEL	VARIES	
34.	FS-49	ADJUSTABLE ASTRAGAL SCREW	#8 X 1/2" PPHSMS	STEEL	VARIES	
35.	FG-5188	SPACER GASKET	.25" X .25"	EPDM	VARIES	85 DUROMETER
36.	HP-17	SETTING BLOCK	1.316" X .25" X 4" LONG	EPDM	VARIES	90 DUROMETER
36A.	FG-5229	SETTING BLOCK	.634" X .642" X 4" LONG	EPDM	VARIES	85 DUROMETER

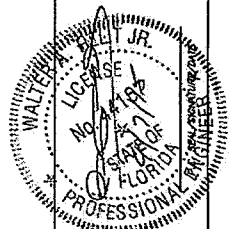
FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES WSD-375 (MEDIUM) & WSD-500 (WIDE)  
 STILE ALUMINUM ENTRANCE DOOR (NET GLAZED)  
 LARGE & SMALL MISSILE IMPACT

DRAWN BY: PJA  
 DATE: 03/16/18  
 15-029  
 DRAWING NO.

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 Email: info@tiledco.com  
 www.tiledco.com  
 WALTERS, JR.







HARDWARE SCHEDULE 3'-6" X 8'-0" OR 4'-0" X 8'-0" (Max.) SINGLE MSD-375 & WSD-500 DOORS

HARDWARE TYPE	HARDWARE MODEL AND DESCRIPTION	MANUFACTURER	MAX. DESIGN PRESSURE	MAX. DOOR SIZE	NOTES
3-POINT LOCK	MS 1850 DEADLOCK	ADAMS RITE	+70 / -80 PSF	3'-6" X 8'-0"	
3-POINT LOCK	MS 1850S + 4015 + 4016 DEADLOCK	ADAMS RITE	+70 / -70 PSF	4'-0" X 8'-0"	
RIM PANIC	ED4200S RIM PANIC	CORBIN RUSSWIN	+60 / -60 PSF	3'-6" X 8'-0"	
CONCEALED PANIC	1285 CONCEALED VERTICAL ROD PANIC	JACKSON	+70 / -80 PSF	3'-6" X 8'-0"	
CONCEALED PANIC	2086 CONCEALED VERTICAL ROD PANIC	JACKSON	+70 / -80 PSF	3'-6" X 8'-0"	
CONCEALED PANIC	5770 CONCEALED VERTICAL ROD PANIC	REGENT	+70 / -80 PSF	3'-6" X 8'-0"	ONLY ALLOWED TO USED FOR MEDIUM STILES ⑤, ⑦ & ⑩
CONCEALED PANIC	8410 CONCEALED VERTICAL ROD PANIC	SARGENT	+70 / -80 PSF	3'-6" X 8'-0"	OPTION FOR 4' X 8' ALLOWED UP TO +70 / -70 psf
RIM PANIC	AD8500 RIM PANIC	SARGENT	+60 / -60 PSF	3'-6" X 8'-0"	
SURFACE PANIC	9927 SURFACE PANIC VERTICAL ROD	VON DUPRIN	+70 / -80 PSF	3'-6" X 8'-0"	
CONCEALED PANIC	9947 CONCEALED PANIC VERTICAL ROD	VON DUPRIN	+70 / -80 PSF	3'-6" X 8'-0"	
SURFACE CLOSER	MODEL VARIES BY MANUFACTURER	VARIES	N/A	N/A	
CONCEALED CLOSER	21-211 HVY DUTY W/OFFSET SWING ARM	JACKSON	N/A	N/A	
BUTT HINGES 4" X 4 1/2"	4001 BALL BEARING STAINLESS STEEL	REGENT	+70 / -80 PSF	3'-6" X 8'-0"	(3) PER DOOR LEAF
BUTT HINGES 4" X 4 1/2"	881199 BALL BEARING STAINLESS STEEL	HAGER	+70 / -70 PSF	4'-0" X 8'-0"	(4) PER DOOR LEAF
BUTT HINGES 4" X 4 1/2"	RCTA2314 BALL BEARING STAINLESS	MC KINNEY	+60 / -60 PSF	3'-6" X 8'-0"	(3) PER DOOR LEAF
PULL HANDLES	PH-20 FORGED ALUMINUM	DBE	N/A	N/A	
PUSH BARS	PB-21 FORGED ALUMINUM	DBE	N/A	N/A	
CYLINDER	CY-1 LOCK CYLINDER	DBE	N/A	N/A	
KEY CONTROL	106 KEY CONTROL FOR SARGENT	SARGENT	N/A	N/A	
THUMB TURN	CY-3	DBE	N/A	N/A	
CYLINDER	CY-5 FOR VON DUPRIN DEVICES	DBE	N/A	N/A	
LOCK INDICATOR	AR-4089 OPTIONAL DEVICE	ADAMS RITE	N/A	N/A	
PANIC STOP	D-134-2 LOCATED AT THRESHOLD	DBE	N/A	N/A	
THRESHOLD	TH-57 COMPONENT ④	DBE	+70 / -80 PSF	3'-6" X 8'-0"	OPTION FOR 4' X 8' ALLOWED UP TO +70 / -70 psf
DOOR BOTTOM SWEEP	D-118 / D120	DBE	N/A	N/A	
TOP PIVOTS	DP-6 / DP-7	DBE	+70 / -80 PSF	3'-6" X 8'-0"	
INTERMEDIATE PIVOTS	M-19	RIXON	+70 / -80 PSF	3'-6" X 8'-0"	
BOTTOM PIVOTS	DP-9 / DP-10	DBE	+70 / -80 PSF	3'-6" X 8'-0"	
CONT. GEAR HINGE	780-224 HD CONTINUOUS GEAR HINGES	ROTON	+70 / -80 PSF	3'-6" X 8'-0"	
THRESHOLD	TH-43	DBE	+70 / -80 PSF	3'-6" X 8'-0"	
CONT. GEAR HINGE	KCFM-95HDI CONTINUOUS GEAR HINGES	PENKO	+70 / -70 PSF	4'-0" X 8'-0"	

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES MSD-375 (MEDIUM) & WSD-500 (WIDE)  
 STILE ALUMINUM ENTRANCE DOOR (NET GLAZED)  
 LARGE & SMALL MISSILE IMPACT

APPROVED BY  
 P.E.L.  
 03/12/19

DATE  
 15-029

PROJECT  
 15-029

SHEET # OF 28

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WALTER W. WILSON, P.E.  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 4167

HARDWARE SCHEDULE 7'-0" X 8'-0" OR 8'-0" X 8'-0" (Max.) PAIRS MSD-375 & WSD-500 DOORS

HARDWARE TYPE	HARDWARE MODEL AND DESCRIPTION	MANUFACTURER	MAX. DESIGN PRESSURE	MAX. DOOR SIZE	NOTES
3-POINT LOCK	MS 1850 DEADLOCK	ADAMS RITE	+70 / -80 PSF	7'-0" X 8'-0"	ACTIVE DOOR
FLUSH BOLTS	FB-1201-VRM TOP & BOTTOM-STEEL TIPS	OBE	+70 / -80 PSF	7'-0" X 8'-0"	INACTIVE DOOR
3-POINT LOCK	MS 1850S + 4015 + 4016 DEADLOCK	ADAMS RITE	+70 / -70 PSF	8'-0" X 8'-0"	ACTIVE DOOR
2-POINT LOCK	MS 2180 AUTO RELEASE FLUSH BOLT	ADAMS RITE	+70 / -70 PSF	8'-0" X 8'-0"	INACTIVE DOOR
RIM PANIC	ED4200S RIM PANIC	COBURN RUSSWIN	+60 / -60 PSF	7'-0" X 8'-0"	
REMOVABLE MULLION	WS708AKM REMOVABLE MULLION	COBURN RUSSWIN	+60 / -60 PSF	7'-0" X 8'-0"	TO BE USED WITH ED4200S RIM DEVICE EXCLUSIVELY
CONCEALED PANIC	J285 CONCEALED VERTICAL ROD PANIC	JACKSON	+70 / -80 PSF	7'-0" X 8'-0"	
CONCEALED PANIC	2086 CONCEALED VERTICAL ROD PANIC	JACKSON	+70 / -80 PSF	7'-0" X 8'-0"	
CONCEALED PANIC	5770 CONCEALED VERTICAL ROD PANIC	REGENT	+70 / -80 PSF	7'-0" X 8'-0"	ONLY ALLOWED TO USED FOR MEDIUM STILES (5), (7) & (10)
CONCEALED PANIC	8410 CONCEALED VERTICAL ROD PANIC	SARGENT	+70 / -80 PSF	7'-0" X 8'-0"	OPTION FOR 8' X 8' ALLOWED UP TO +70 / -70 psf
RIM PANIC	ADB500 RIM PANIC	SARGENT	+60 / -60 PSF	7'-0" X 8'-0"	
REMOVABLE MULLION	HC L980 REMOVABLE MULLION	COBURN RUSSWIN	+60 / -60 PSF	7'-0" X 8'-0"	TO BE USED WITH ADB500 RIM DEVICE EXCLUSIVELY
SURFACE PANIC	9927 SURFACE PANIC VERTICAL ROD	VON DUPRIN	+70 / -80 PSF	7'-0" X 8'-0"	
CONCEALED PANIC	9947 CONCEALED PANIC VERTICAL ROD	VON DUPRIN	+70 / -80 PSF	7'-0" X 8'-0"	
SURFACE CLOSER	MODEL VARIES BY MANUFACTURER	VARIES	N/A	N/A	
CONCEALED CLOSER	21-211 HVY DUTY V/OFFSET SWING ARM	JACKSON	N/A	N/A	
BUTT HINGES 4" X 4 1/2"	4001 BALL BEARING STAINLESS STEEL	REGENT	+70 / -80 PSF	7'-0" X 8'-0"	(3) PER DOOR LEAF
BUTT HINGES 4" X 4 1/2"	BB1199 BALL BEARING STAINLESS STEEL	HAGER	+70 / -70 PSF	8' X 8'	(4) PER DOOR LEAF
BUTT HINGES 4" X 4 1/2"	RCTA2314 BALL BEARING STAINLESS	MC KINNEY	+60 / -60 PSF	3'-6" X 8'-0"	(3) PER DOOR LEAF
PULL HANDLES	PH-20 FORMED ALUMINUM	OBE	N/A	N/A	
PUSH BARS	PB-21 FORMED ALUMINUM	OBE	N/A	N/A	
CYLINDER	CY-1 LOCK CYLINDER	OBE	N/A	N/A	
KEY CONTROL	106 KEY CONTROL FOR SARGENT	SARGENT	N/A	N/A	
THUMB TURN	CY-3	OBE	N/A	N/A	
CYLINDER	CY-5 FOR VON DUPRIN DEVICES	OBE	N/A	N/A	
LOCK INDICATOR	AR-4089 OPTIONAL DEVICE	ADAMS RITE	N/A	N/A	
PANIC STOP	D-134-2 LOCATED AT THRESHOLD	OBE	N/A	N/A	
THRESHOLD	TH-57 COMPONENT (2)	OBE	+70 / -80 PSF	7'-0" X 8'-0"	OPTION FOR 4' X 8' ALLOWED UP TO +70 / -70 psf
DOOR BOTTOM SWEEP	D-118 / D120	OBE	N/A	N/A	
TOP PIVOTS	DP-6 / DP-7	OBE	+70 / -80 PSF	7'-0" X 8'-0"	
INTERMEDIATE PIVOTS	H-19	RIXON	+70 / -80 PSF	7'-0" X 8'-0"	
BOTTOM PIVOTS	DP-9 / DP-10	OBE	+70 / -80 PSF	7'-0" X 8'-0"	
CONT. GEAR HINGE	780-224 HD CONTINUOUS GEAR HINGES	ROTCOM	+70 / -80 PSF	7'-0" X 8'-0"	
THRESHOLD	TH-43	OBE	+70 / -80 PSF	7'-0" X 8'-0"	
CONT. GEAR HINGE	KCFH-95HD1 CONTINUOUS GEAR HINGES	FENKO	+70 / -70 PSF	8'-0" X 8'-0"	

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES MSB-375 (MEDIUM) & WSD-500 (WIDE)  
 STILE ALUMINUM ENTRANCE DOOR (NET GLAZED)  
 LARGE & SMALL MISSILE IMPACT

DRAWN BY: P.E.A.  
 DATE: 03/19/15  
 15-029  
 PROJECT NO.

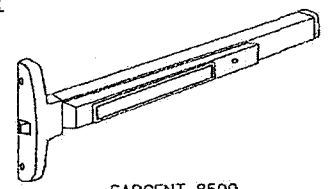
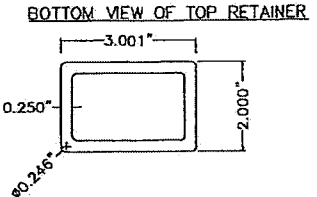
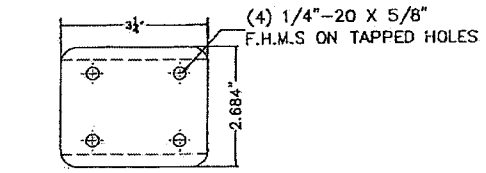
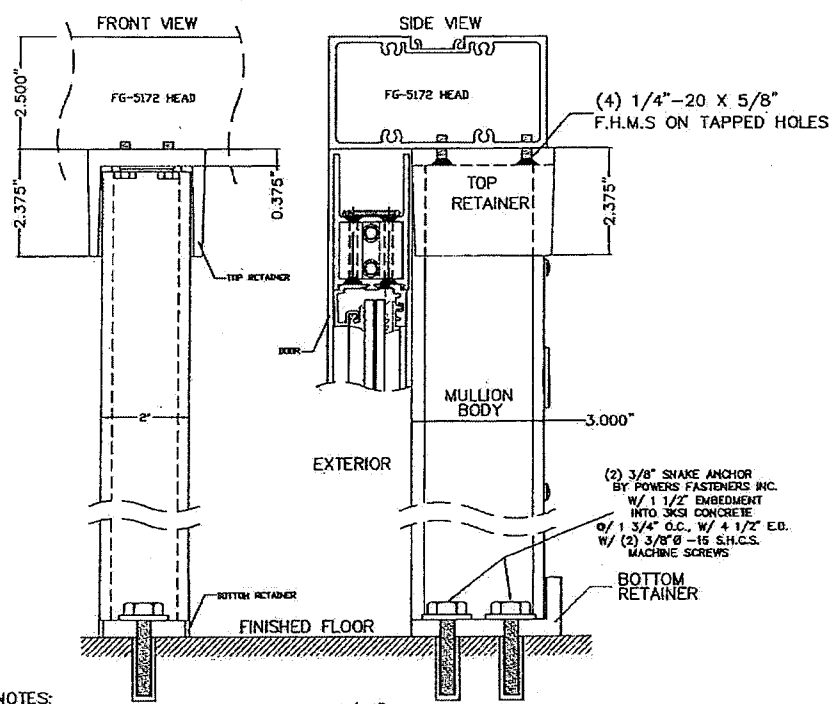
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SHEET 7 OF 24

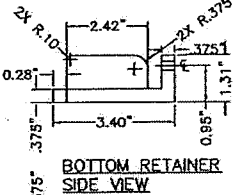
**REMOVABLE MULLION ASSEMBLY DETAILS FOR SARGENT & CORBIN RUSSWIN EXIT DEVICES:  
 MAX. A.S.D DESIGN PRESSURE RATING IS +60, -60 psf. FOR THESE EXIT DEVICES  
 TO BE USED ONLY AT 3'-6"x8'-0" SINGLE OR 7'-0"x8'-0" PAIR OF DOORS**

SARGENT HC L980  
 REMOVABLE MULLION  
 OR  
 CORBIN RUSSWIN  
 KRM 200 FWS  
 REMOVABLE MULLION

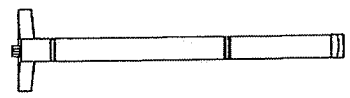


SARGENT 8500  
 NARROW RIM EXIT  
 FBC APPROVED

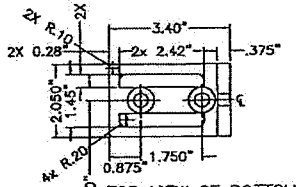
REMOVABLE MULLIONS HC-L980HC  
 & KRM 200 FWS



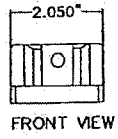
BOTTOM RETAINER  
 SIDE VIEW



CORBIN RUSSWIN ED4200S  
 NARROW EXIT  
 FBC APPROVED



TOP VIEW OF BOTTOM  
 RETAINER



FRONT VIEW

- NOTES:  
 1. FRACTIONAL DIMENSION TOLERANCE 1/64".  
 2. OUTSIDE DIMENSIONS ARE MAX PART SIZE.  
 3. MOUNTING HOLES TO BE PREPARED AT INSTALLATION.

MATERIALS:  
 MULLION BODY - CARBON STEEL  
 HOT ROLLED, WELDED SEAM  
 PER ASTM A500 GRADE B  
 FINISH: PRIME COAT RED PAINT  
 TOP & BOTTOM RETAINER - CAST IRON, PRIMED.

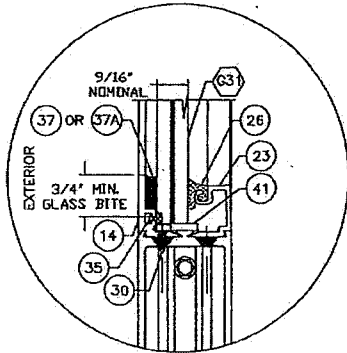
FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)	DATE	BY
SERIES MSO-875 (MEDIUM) & MSO-500 (WIDE)	15-029	BRAND
STILE ALUMINUM ENTRANCE DOOR (NET GLAZED)	01/18/15	DATE
LARGE & SMALL MISSILE IMPACT		
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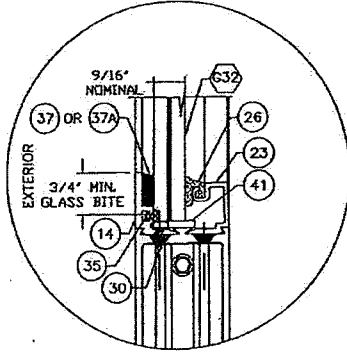




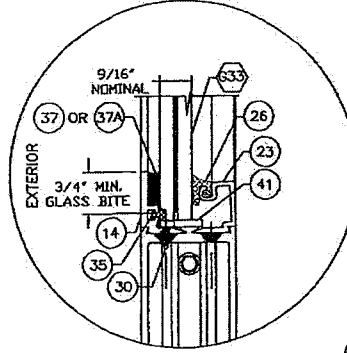
## TYPICAL GLAZING DETAILS AT DOORS



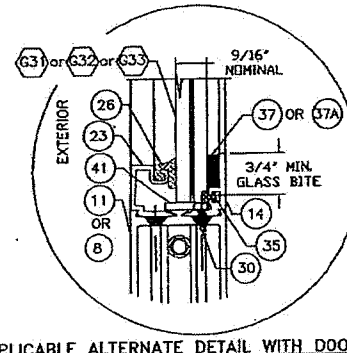
**GLASS TYPE G31**  
SCALE: 6" = 1"



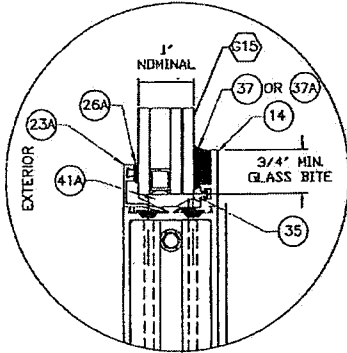
**GLASS TYPE G32**



**GLASS TYPE G33**



**APPLICABLE ALTERNATE DETAIL WITH DOOR GLASS STOPS REVERSED FOR ALL GLASS TYPES  
VALID ONLY FOR 3'-6"x7'-0" OR 7'-0"x7'-0" SINGLE/PAIR OF DOORS RESPECTIVELY**



**GLASS TYPE G15**

GLASS SCHEDULE FOR 3'-6"x8'-0" OR 7'-0"x8'-0" DOORS *					
GLASS LABEL	GLASS COMPOSITION	INTERLAYER MANUFACTURER NAME	MAXIMUM D.L.O.	MAX. ASD DESIGN PRESSURE RATING FOR GLASS (P.S.F.) W/ (G) SILICONE	MAX. ASD DESIGN PRESSURE RATING FOR GLASS (P.S.F.) W/ (G) SILICONE
G31	9/16" NOMINAL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/4" H.S. GLASS, AND A 0.090" SAFLEX PVB INTERLAYER	EASTMAN CHEMICAL COMPANY	32 5/16" x 82 3/16"	+70, -80	+70, -70
G32	9/16" NOMINAL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/4" H.S. GLASS, AND A 0.100" SAFLEX PVB INTERLAYER	EASTMAN CHEMICAL COMPANY		+70, -80	+70, -70
G33	9/16" NOMINAL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/4" H.S. GLASS, AND A 0.075" SAFLEX C.P. STORM GLASS INTERLAYER	EASTMAN CHEMICAL COMPANY		+70, -80	+70, -70
G15	1" NOMINAL THICKNESS INSULATED GLASS CONSISTING OF 3/16" TEMPERED GLASS OR 5/16" SPACER & 3/16" H.S. GLASS OVER 0.075" SAFLEX C.P. STORM GLASS INTERLAYER OVER 3/16" H.S. GLASS	EASTMAN CHEMICAL COMPANY		+70, -70	+70, -70

TYPICAL DOOR GLASS SIZE= DLO +1 1/2"

\* SEE SHEET 1, GENERAL NOTE #3, FOR MAX. ASD PRESSURE RATING WHEN SPECIFIC HARDWARE IS USED.

GLASS SCHEDULE FOR 4'-0"x8'-0" OR 8'-0"x8'-0" DOORS					
GLASS LABEL	GLASS COMPOSITION	INTERLAYER MANUFACTURER NAME	MAXIMUM D.L.O.	MAX. ASD DESIGN PRESSURE RATING FOR GLASS (P.S.F.) W/ (G) OR (G) SILICONE	
G33	9/16" NOMINAL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/4" H.S. GLASS, AND A 0.075" SAFLEX C.P. STORM GLASS INTERLAYER	EASTMAN CHEMICAL COMPANY	36 3/4" x 82 9/16"	+70, -70	
G15	1" NOMINAL THICKNESS INSULATED GLASS CONSISTING OF 3/16" TEMPERED GLASS OR 5/16" SPACER & 3/16" H.S. GLASS OVER 0.075" SAFLEX C.P. STORM GLASS INTERLAYER OVER 3/16" H.S. GLASS	EASTMAN CHEMICAL COMPANY		+70, -70	

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES WSD-375 (MEDIUM) & WSD-500 (WIDE)  
 STYLE ALUMINUM ENTRANCE DOOR (NET GLAZED)  
 LARGE & SMALL MISSILE IMPACT

DATE: 03/16/18  
 DRAWN BY: P.A.L.  
 15-029  
 PROJECT: 15-029

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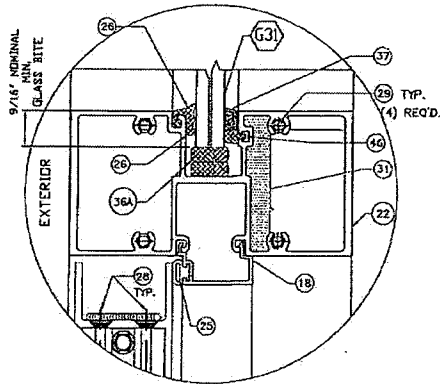
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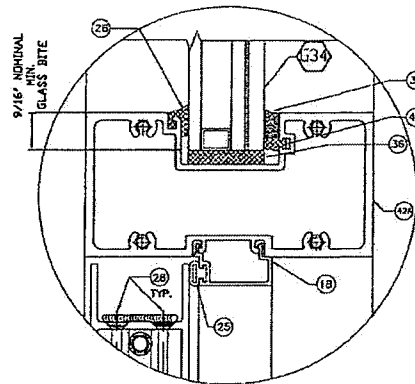
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 PROFESSIONAL ENGINEER

# TYPICAL GLAZING DETAILS FOR TRANSOMS

VALID ONLY FOR 3'-6" x 8'-0" & 7'-0" x 8'-0" SINGLE/PAIR OF DOORS RESPECTIVELY



**GLASS TYPE G31**  
SCALE: 6" = 1"



**GLASS TYPE G34**  
SCALE: 6" = 1"

GLASS SCHEDULE FOR 3'-6" x 8'-0" (MAX.) OR 7'-0" x 8'-0" (MAX.) DOORS TRANSOMS				
GLASS LABEL	GLASS COMPOSITION	INTERLAYER MANUFACTURER NAME	MAXIMUM D.L.O.	MAX. ASD DESIGN PRESSURE RATING FOR GLASS (P.S.F.) W/ (57) SILICONE
G31	9/16" NOMINAL THICKNESS LAMINATED GLASS CONSISTING OF TWO 1/4" H.S. AND A 0.090" SAFLEX PVB INTERLAYER	EASTMAN CHEMICAL COMPANY	SEE SCHEDULE ON SHEET 16	+70, -80
G34	1 5/16" NOMINAL THICKNESS INSULATED LAMINATED GLASS CONSISTING OF TWO 1/4" H.S. -0.8 + 1/2" AIR SPACE + 1/4" H.S. + 0.090" SAFLEX PVB INTERLAYER + 1/4" H.S.	EASTMAN CHEMICAL COMPANY		+70, -80

FLORIDA BUILDING CODE (High & Non-High Velocity Hurricane Zone)

SERIES WSD-375 (MEDIUM) & WSD-500 (WIDE) STILE ALUMINUM ENTRANCE DOOR (WET GLAZED) LARGE & SMALL MISSILE IMPACT

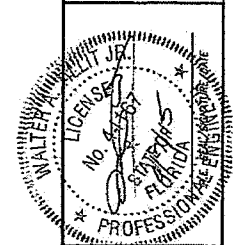
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 15-029  
 DRAWING NO.  
 SHEET 10 OF 30

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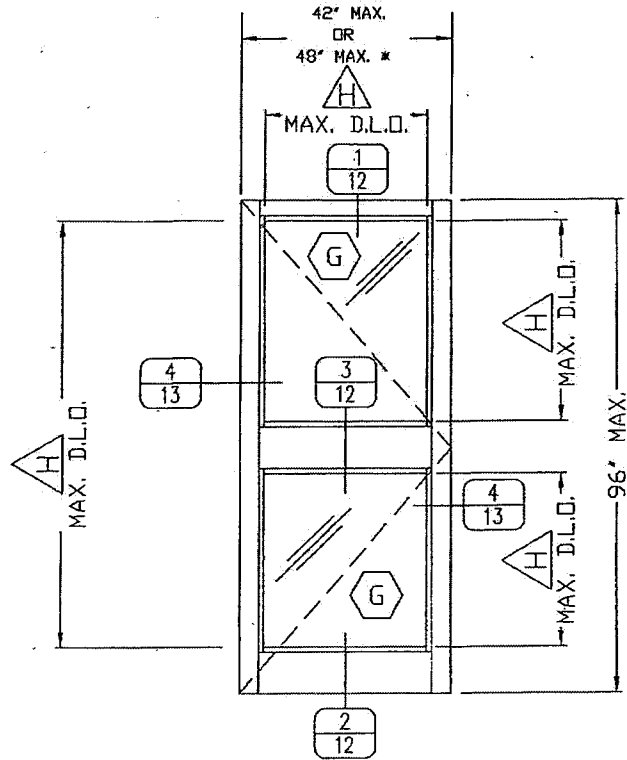
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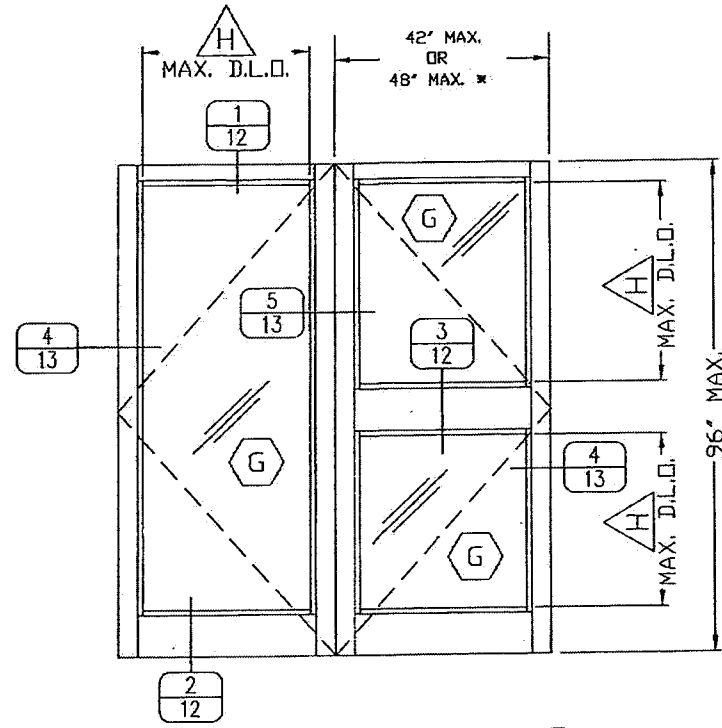
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 Phone: 1-800-368-7131 Fax: 1-800-368-7131  
 www.tiltup.com  
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TYPICAL PANEL ELEVATIONS FOR MSD-375 & WSD-500 IMPACT SINGLE/PAIR OF DOORS  
(WET GLAZED)





L.H. SHOWN  
R.H. OPPOSITE




DOUBLE PANEL

FOOT NOTES:

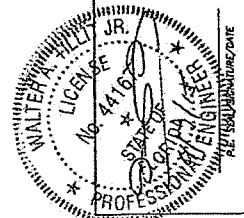
SINGLE PANEL

-  FOR GLAZING DETAILS AND GLASS SCHEDULE SEE SHEET 9.
-  FOR MAXIMUM DAYLIGHT OPENING (D.L.O.) SEE SCHEDULE ON SHEET 9.
- \* SEE GENERAL NOTES #2 & 3 ON SHEET 1 FOR LIMITATIONS ON MAX. A.S.D. PRESSURE RATINGS, USABLE GLASS & HARDWARE.

FLORIDA BUILDING CODE (High & Non-High Velocity Hurricane Zone)		DATE
SERIES MSD-375 (MEDIUM) & WSD-500 (WIDE)	15-029	07/10/19
STILE ALUMINUM ENTRANCE DOOR (WET GLAZED)	DATE	
LARGE & SMALL MISSILE IMPACT	DATE	
 Oldcastle BuildingEnvelope 101 AIRPORT RD., TERRELL, TX 75401 www.OldcastleBuildingEnvelope.com 800.869.4897		DATE
REV. 15	REV. 14	DATE
REV. 13	REV. 12	DATE
REV. 11	REV. 10	DATE
REV. 09	REV. 08	DATE
REV. 07	REV. 06	DATE
REV. 05	REV. 04	DATE
REV. 03	REV. 02	DATE
REV. 01	REV. 00	DATE
SHEET 11 OF 28		

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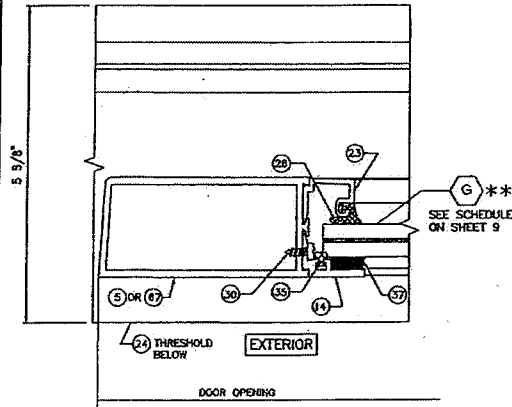




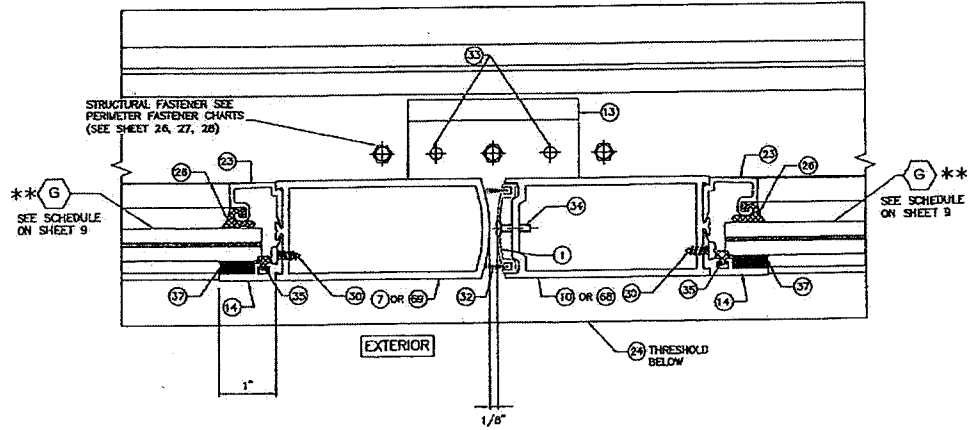


# DOOR'S HINGE/LOCK/MEEING STILES AND THRESHOLD CONNECTION DETAILS (PLAN VIEWS)

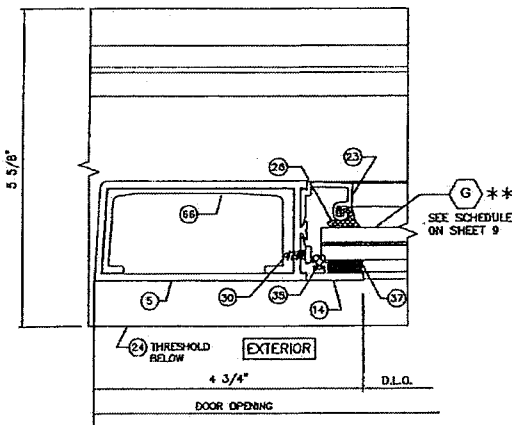
SCALE: 6" = 1"



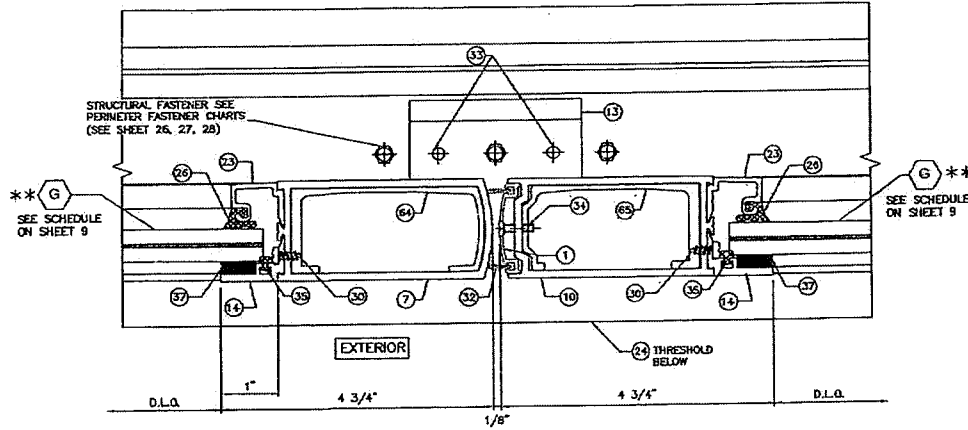
4  
JAMB



5  
MEETING STILES &  
THRESHOLD CONNECTION



4A\*  
LOCK STILE AT  
SINGLE DOOR ONLY



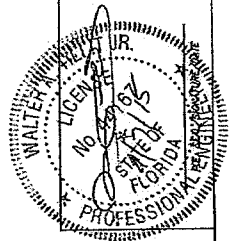
5A\*  
MEETING STILES &  
THRESHOLD CONNECTION

\* DETAILS 4A AND 5A ARE ONLY REQUIRED AND APPLICABLE WHEN A REGENT 5770 CONCEALED PANIC DEVICE IS USED.  
\*\* LAMINATED GLASS SHOWN, SEE GLAZING DETAIL FOR (G15) INSULATING GLASS ON SHEET 9.

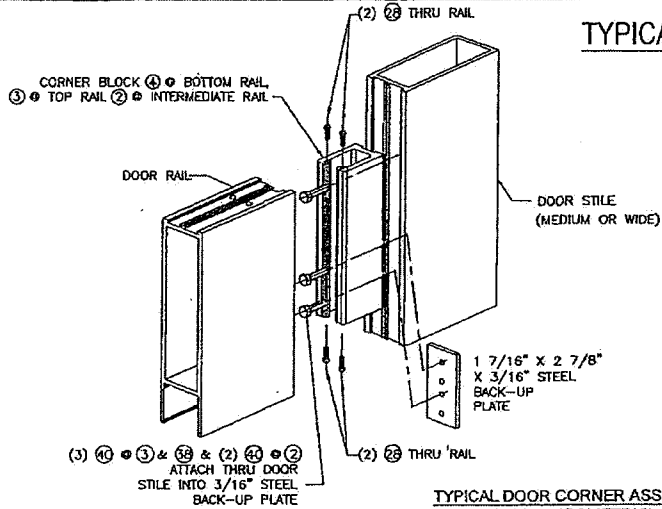
FLORIDA BUILDING CODE (High & Max. High Velocity Hurricane Zone)	
DESIGNED BY	DATE
15-029	03/10/18
DRAWN BY	DATE
15-029	03/10/18
PROJECT NO.	PROJECT NAME
15-029	15-029
SHEET NO. OF 16	SHEET 13 OF 16

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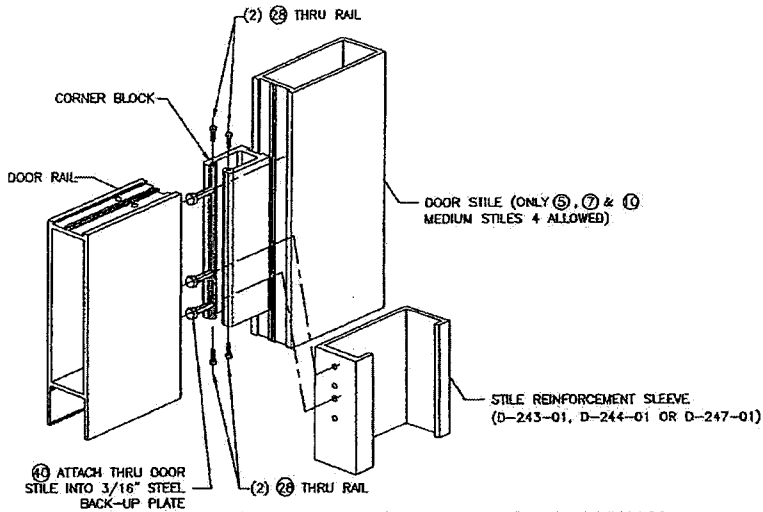
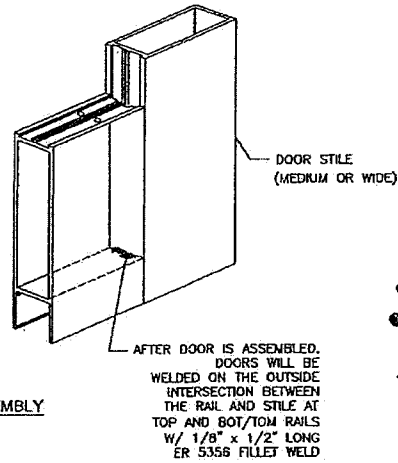
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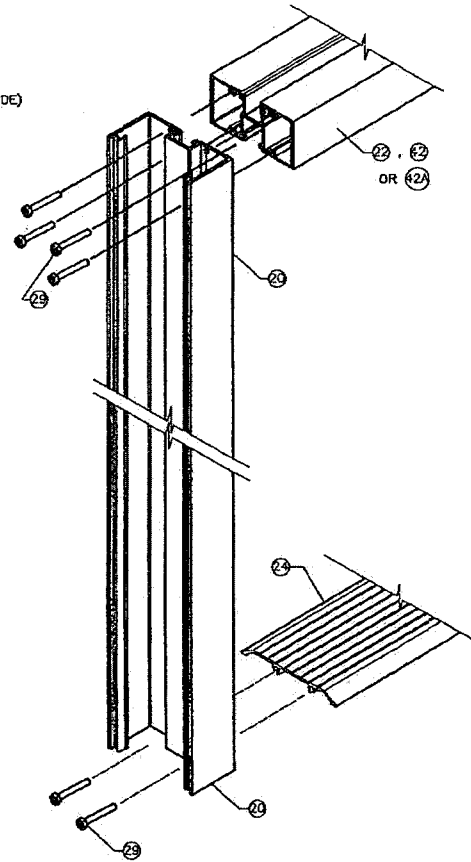
## TYPICAL DOOR CORNER ASSEMBLY DETAILS (ISOMETRIC)



**TYPICAL DOOR CORNER ASSEMBLY DETAIL (ISOMETRIC)**



**DOOR CORNER ASSEMBLY DETAIL (ISOMETRIC), ONLY FOR REGENT 5770 CVR PANIC DEVICE HARDWARE**



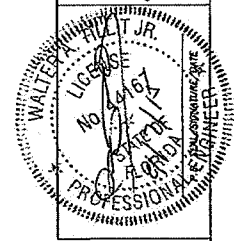
**HEAD AND THRESHOLD ASSEMBLY**

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)	
DESIGN BY:	DATE:
SERIES MSD-375 (MEDIUM) & MSD-500 (WIDE) STILE ALUMINUM ENTRANCE DOOR (NET GLAZED) LARGE & SMALL MISSILE IMPACT	03/16/15
<b>Chicaste BuildingEnvelope®</b> 801 AIRPORT RD., TRUNKELL, TX 75158 www.chicaste.com Phone: 800-848-6561	15-029 DRAWING NO.
REV. NO.	DATE
BY	APPROVED
DATE	DATE
SHEET 14 OF 24	

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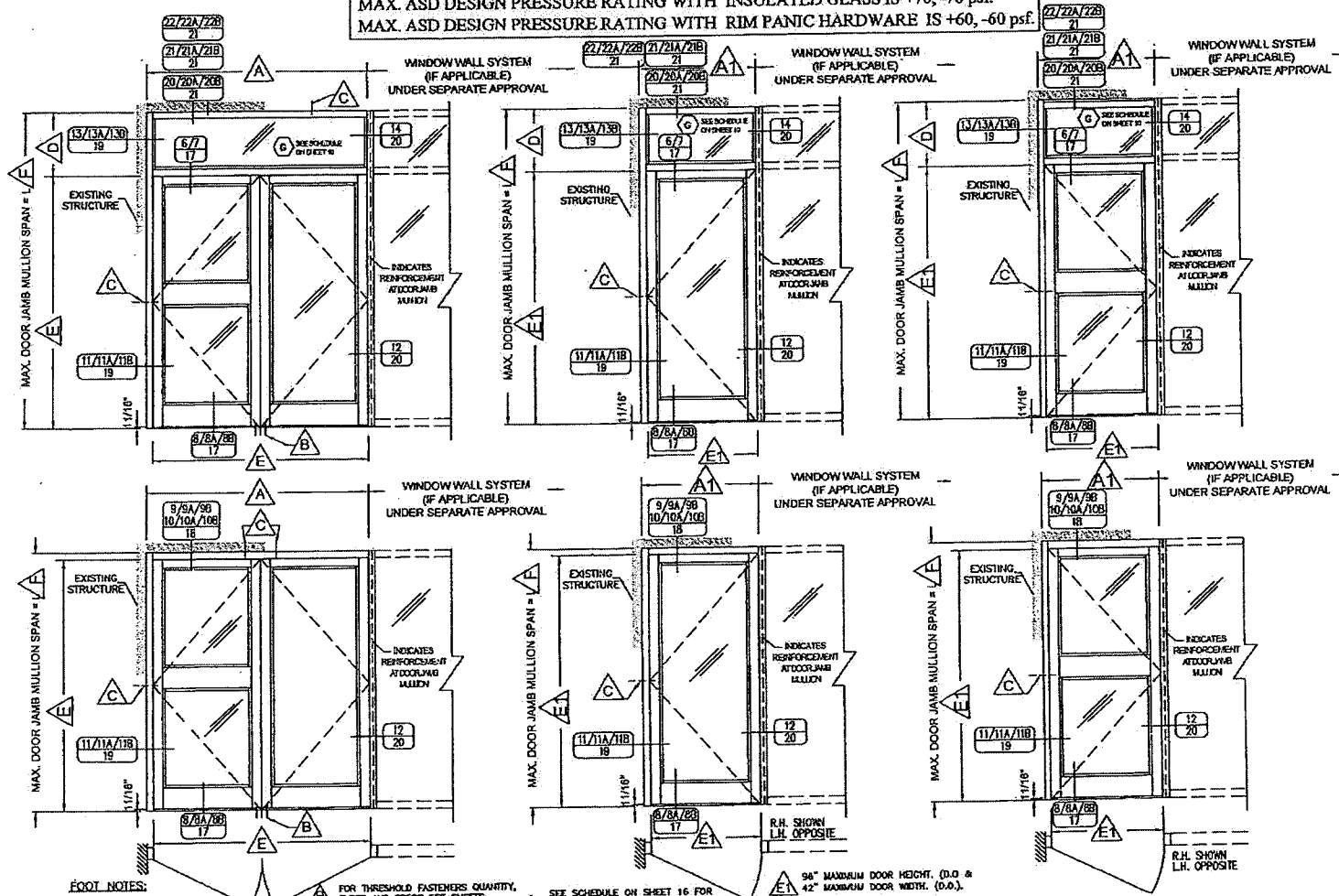
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Fort Lauderdale, FL 33311  
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**TYPICAL EXTERIOR ELEVATIONS FOR MSD-375 & WSD-500 IMPACT DOOR (WET GLAZED) 3'-6" x 8'-0" (SINGLE) & 7'-0" x 8'-0" (PAIR)  
CONNECTED TO EXISTING STRUCTURE OR FG-5000, FG-5100 OR FG-5100T ALUMINUM WINDOW WALL SYSTEM FRAMING**

MAX. ASD DESIGN PRESSURE RATING WITH LAMINATED GLASS IS +70, -80 psf.  
MAX. ASD DESIGN PRESSURE RATING WITH INSULATED GLASS IS +70, -70 psf.  
MAX. ASD DESIGN PRESSURE RATING WITH RIM PANIC HARDWARE IS +60, -60 psf.



**FOOT NOTES:**

- ⊠ 86 1/2" MAXIMUM DOOR JAMB MULLION DISTANCE TO END OF DOOR.
- ⊠ 44 1/2" MAX. DOOR JAMB MULLION DISTANCE TO END OF DOOR.

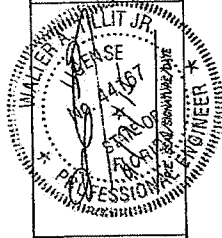
- ⊠ FOR THRESHOLD FASTENERS QUANTITY, TYPES AND SPECS SEE SHEETS 22, 23 & 24.
- ⊠ FOR JAMB & HEAD FASTENERS QUANTITY, TYPES AND SPECS SEE SHEETS 22, 23 & 24.

- ⊠ SEE SCHEDULE ON SHEET 16 FOR MAX. TRANSOM HEIGHT & WIDTH GIVEN DOOR FRAME HEIGHT & WIDTH
- ⊠ 88" MAXIMUM DOOR HEIGHT (D.O.) & 84" MAXIMUM DOOR WIDTH (D.O.).

- ⊠ 96" MAXIMUM DOOR HEIGHT, (D.O. & 42" MAXIMUM DOOR WIDTH, (D.O.).
- ⊠ 120 1/4" MAX. DOOR JAMB MULLION SPAN FOR DOOR W/ TRANSOM & 88 1/2" MAX. DOOR JAMB MULLION SPAN FOR DOOR W/O TRANSOM.

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
SERIES MSD-375 (MEDIUM) & WSD-500 (WIDE) STILE ALUMINUM ENTRANCE DOOR (WET GLAZED) LARGE & SMALL MISSILE IMPACT  
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DATE:  
15-029  
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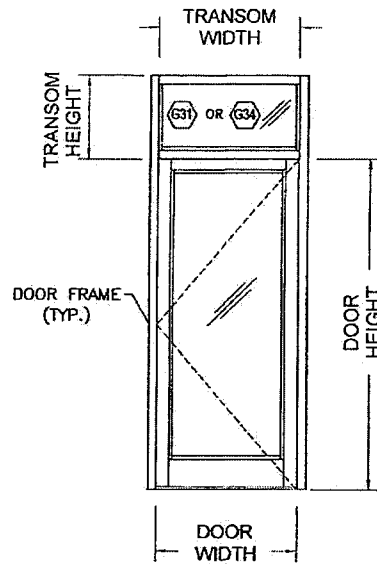
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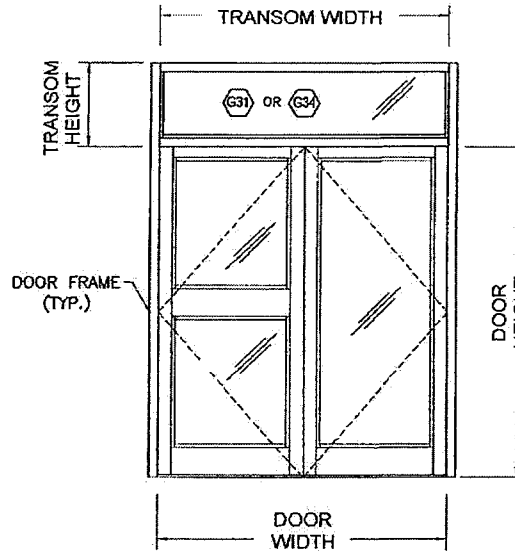
SHEET 15 OF 25

**MAXIMUM TRANSOM WIDTH & HEIGHT SCHEDULE GIVEN MAX. WIDTH & HEIGHT FOR DOOR  
(VALID ONLY FOR 3'-6"x8'-0" (MAX) OR 7'-0"x8'-0" (MAX) SINGLE & PAIR OF DOORS RESPECTIVELY)**

DOOR WIDTH (IN)		DOOR HEIGHT (IN)	TRANSOM WIDTH(IN)		TRANSOM HEIGHT (IN)
SINGLE	DOUBLE		SINGLE	DOUBLE	
30"	60"	84"	30"	60"	36"
30"	60"	96"	30"	60"	24"
36"	72"	84"	36"	72"	36"
36"	72"	96"	36"	72"	24"
42"	84"	84"	42"	84"	30"
42"	84"	96"	42"	84"	24"



**SINGLE DOOR**



**DOUBLE DOOR**

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)

SERIES MSD-375 (MEDIUM) & MSD-500 (WIDE)  
STYLE ALUMINUM ENTRANCE DOOR (WET GLAZED)  
LARGE & SMALL MISSILE IMPACT

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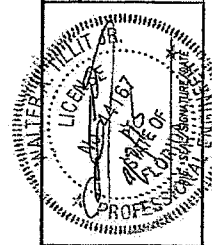
DATE: 15-02g  
DRAWN BY: DJR/RS  
DATE: 03/12/00

SHEET 16 OF 20

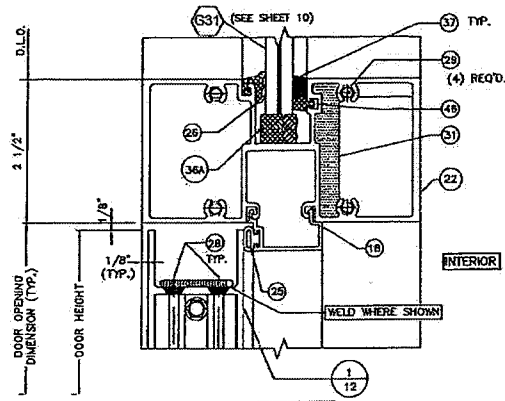
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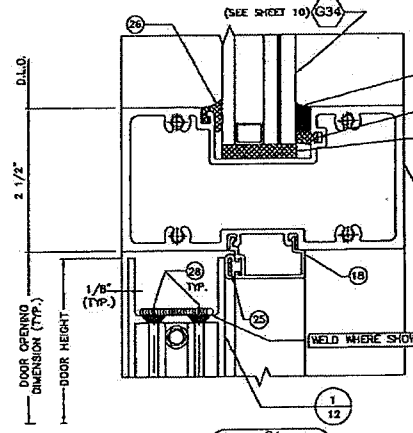
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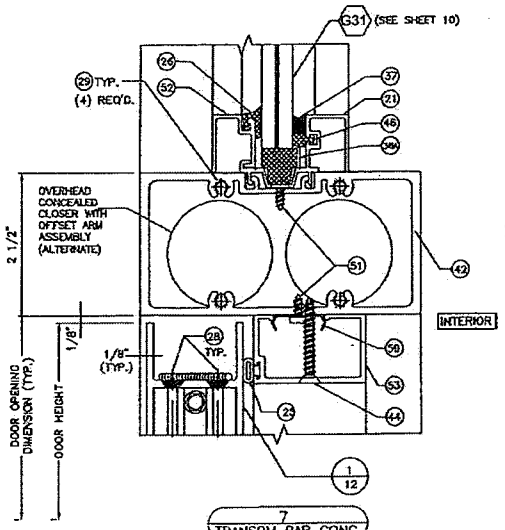
**TRANSOM BAR CONNECTION DETAILS TO FG-5000, FG-5100 AND FG-5100T \***  
 \* VALID ONLY FOR 3'-6"X7'-0" OR 7'-0"X8'-0" DOORS AT FG-500, FG-5100 & FG-5100T



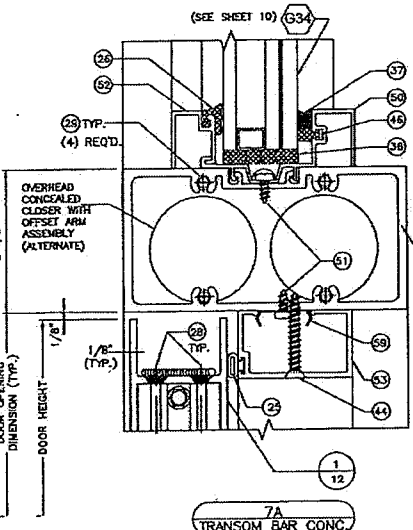
6 TRANSOM BAR



6A TRANSOM BAR

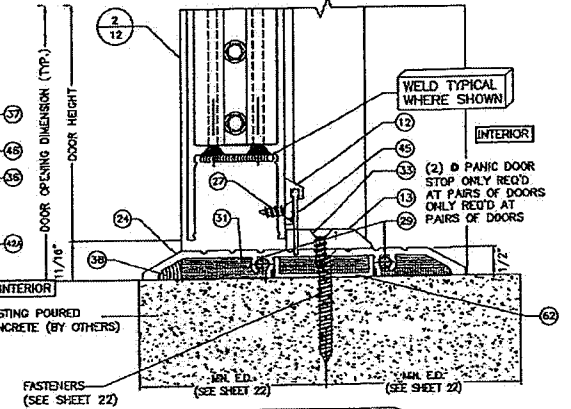


7 TRANSOM BAR CONC.

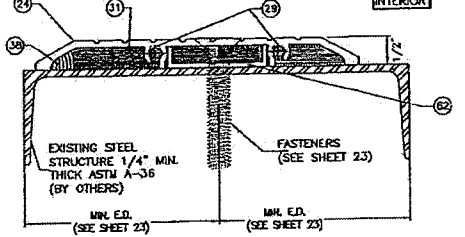


7A TRANSOM BAR CONC.

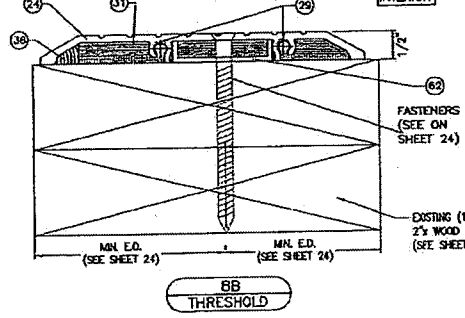
**THRESHOLD CONNECTION DETAILS TO FG-5000, FG-5100 & FG-5100T**



8 THRESHOLD



8A THRESHOLD



8B THRESHOLD

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)

DESIGN NO. SERIES MSD-375 (MEDIUM) & MSD-500 (WIDE) STILL ALUMINUM ENTRANCE DOOR (MET GLAZED) LARGE & SMALL MISSILE IMPACT DATE 03/18/15

15-029 DATE 04/09/16

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 TILLY, A. TILLY, V. P.E.  
 FLORIDA LIC. # 44167

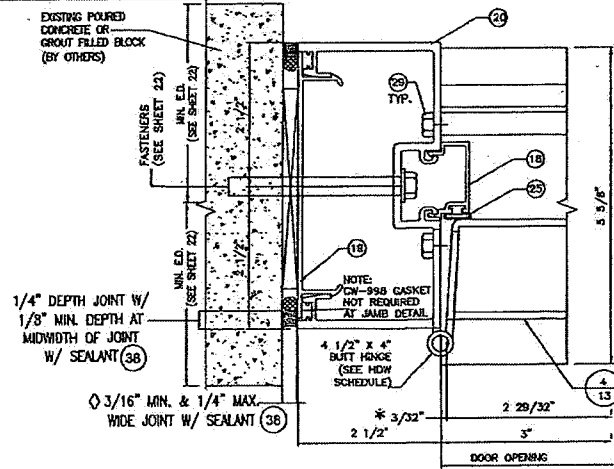
MAILED 11/17/15  
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 STATE OF FLORIDA

DATE 02/12/2016  
 SHEET 17 OF 28



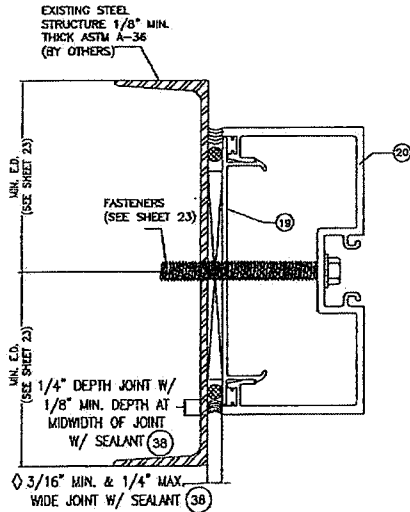


NOTE:  
INDICATED MAXIMUM AND MINIMUM VALUES FOR SPECIFIED SEALANT VERTICAL JOINT WIDTH AT JAMBS CONNECTED TO WALL HAVE BEEN DETERMINED ONLY TAKING INTO CONSIDERATION THE ACTUAL MOVEMENT OF GLASS WALL AT JAMBS DUE TO THERMAL WIND AND ITS OWN CONSTRUCTION TOLERANCE, AND NOT PERFORMANCE FACTORS FROM THE SURROUNDING STRUCTURE.

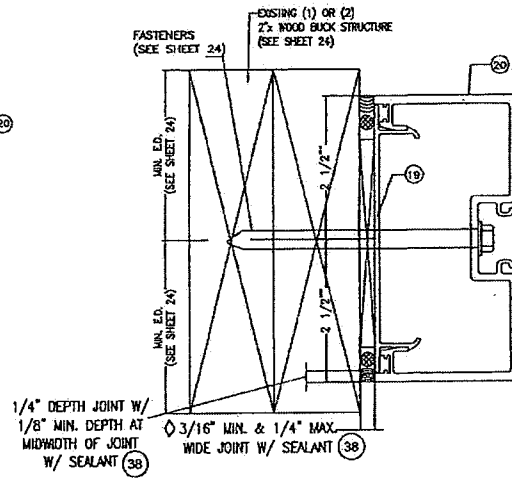


11  
JAMB TO WALL @ DCOR

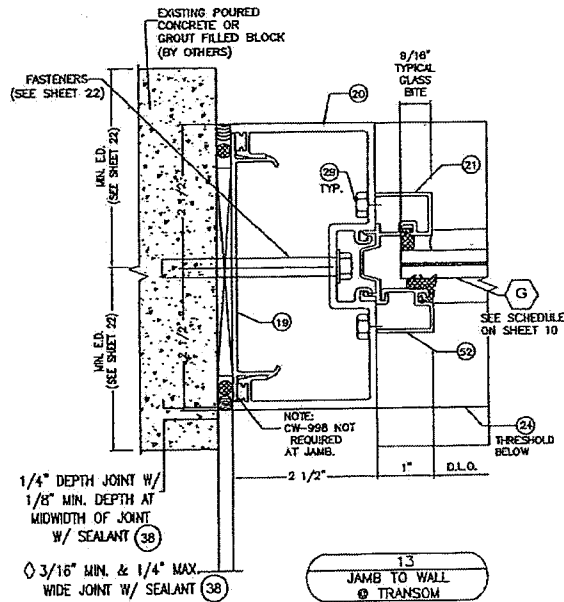
\* NOTE:  
3/32\"/>



11A  
JAMB TO WALL



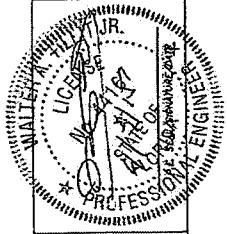
11B  
JAMB TO WALL

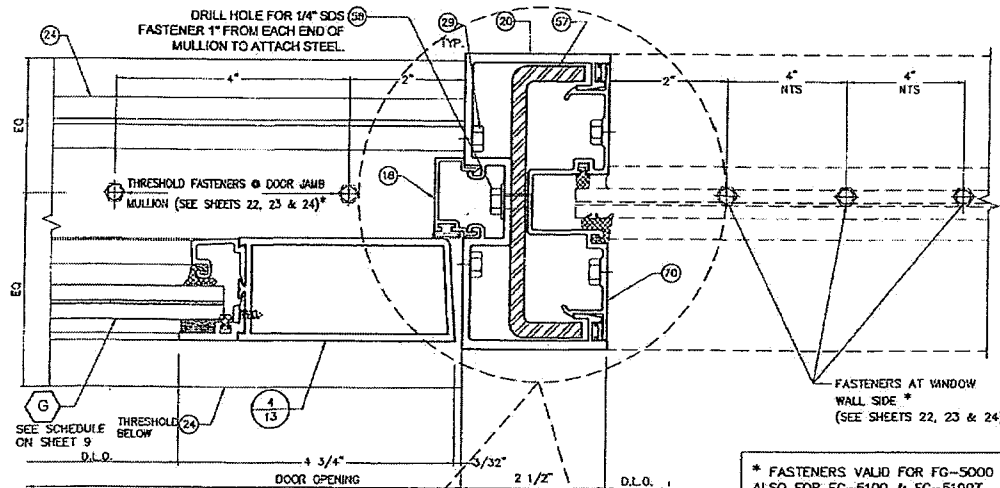


13  
JAMB TO WALL @ TRANSOM

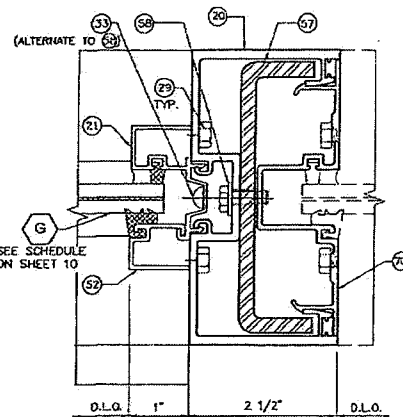
FLORIDA BUILDING CODE (High & Non High Velocity Hurricanes Zone)	
SERIES MSD-375 (MEDIUM) & MSD-500 (WIDE)	ORIGIN: F.B.I.
STILE ALUMINUM ENTRANCE DOOR (WET GLAZED)	DATE: 03/18/13
LARGE & SMALL MISSILE IMPACT	BY: BMT
<b>Oldcastle Building Envelopes</b>	15-029
501 AIRPORT RD. TERRELL, TX 75160	REVISED: 04/18/13
www.oldcastle.com (800) 864-1597	PROJECT: 15-029
DATE: 03/18/13	BY: BMT
DATE: 03/18/13	BY: BMT
DATE: 03/18/13	BY: BMT
DATE: 03/18/13	BY: BMT

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TILT UP TESTING & ENGINEERING COMPANY  
1000 W. WINDY HILL RD. #100  
MARIETTA, GA 30067  
www.tilteco.com  
800-877-7118  
WALTER A. TILTECO, P.E.  
ALABAMA Lic. # 44166



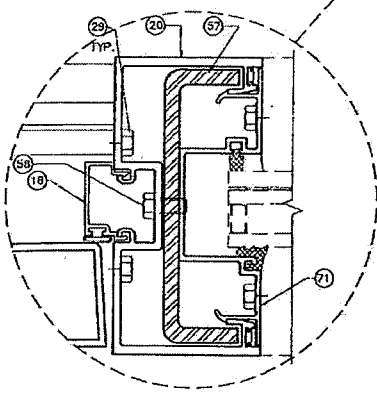


\* FASTENERS VALID FOR FG-5000 AND ALSO FOR FG-5100 & FG-5100T

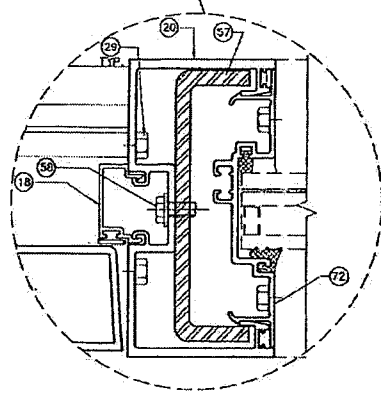


14 DOOR JAMB MULLION  
● TRANSOM W/FG-5000

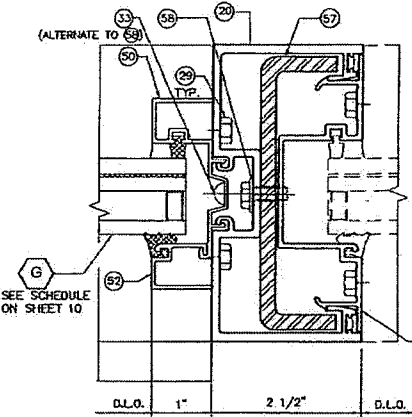
12 DOOR JAMB MULLION ● DOOR W/FG-5000



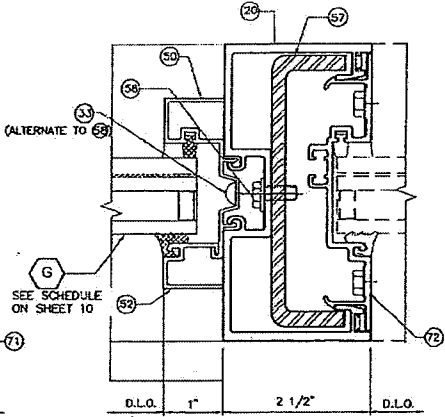
12 DOOR JAMB MULLION ● DOOR W/FG-5100



12 DOOR JAMB MULLION ● DOOR W/FG-5100T



14 DOOR JAMB MULLION  
● TRANSOM W/FG-5100



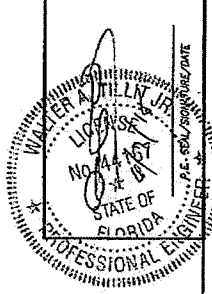
14 DOOR JAMB MULLION  
● TRANSOM W/FG-5100T

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)	
SERIES MSD-375 (MEDIUM) & MSD-500 (WIDE) STYLE ALUMINUM ENTRANCE DOOR (WET GLAZED) LARGE & SMALL MISSILE IMPACT	DATE
Okcaste BuildingEnvelope	15-029
800 AIRPORT RD. TRARBELL TX 75180	DB/HRG. No
www.OkcasteBE.com Phone: 800-864-4507	
REV. No.	DATE
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TILIT TESTING & ENGINEERING COMPANY  
4500 Peachtree Industrial Blvd., Suite 100, Atlanta, GA 30329  
Phone: 770-433-7671 Fax: 770-433-7672  
www.tilteco.com  
e-mail: tilteco@tilteco.com

WALTER A. TILLEY, Jr., P.E.  
FLORIDA Lic. # 44167

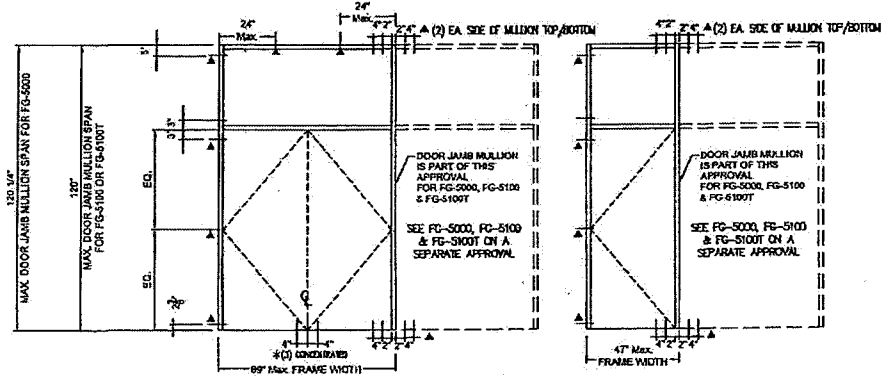




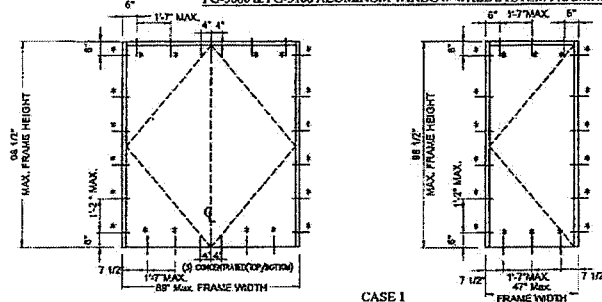




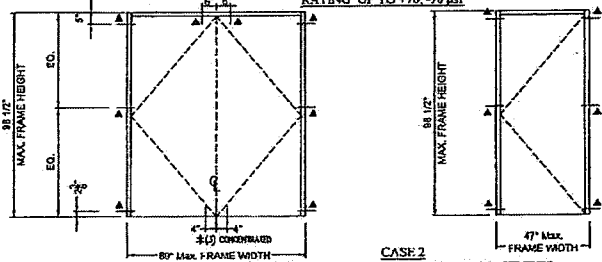
**DOOR & DOOR JAMB MULLION ANCHORAGE TO MIN 1/8" THICK ASTM A-36 STEEL OR 12 GAGE ASTM-653, GRADE 33 STEEL  
(VALID FOR 3'-6"x8'-0" & 7'-0"x8'-0" DOORS)**



TYPICAL ELEVATIONS FOR DOOR ADJACENT TO  
FG-5000 & FG-5100 ALUMINUM WINDOW WALL SYSTEM FRAMING



CASE 1  
TYPICAL ELEVATIONS FOR DOOR ADJACENT TO  
EXISTING STRUCTURE W/ ASD DESIGN PRESSURE  
RATING UP TO +70, -70 psf



CASE 2  
TYPICAL ELEVATIONS FOR DOOR ADJACENT TO  
EXISTING STRUCTURE W/ ASD DESIGN PRESSURE  
RATING GREATER THAN +70, -70 psf, UP TO +70, -80 psf

**FASTENERS LEGEND**

- ▲ : AT JAMB & HEADER
- \* : AT THRESHOLD, JAMB & HEAD (CASE 1)  
AT THRESHOLD (CASE 2)

**FASTENERS TYPES AT ▲**

D- 3/8" Ø H.H. TYPE "F" BOLT W/  
3/4" MIN. EDGE DISTANCE, BEYOND  
ANY FINISH MATERIAL. BOLT TO BE  
MIN. FULLY ENGAGED INTO PROFILE  
THICKNESS

**FASTENERS TYPE AT \***

G- 1/4" Ø-20 ELCO DRILL FLEX SELF  
DRILLING SCREWS W/ 1/2" MIN.  
EDGE DISTANCE, BEYOND ANY FINISH  
MATERIAL. FULLY ENGAGED INTO  
PROFILE THICKNESS

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)

DESIGN BY: [blank] DATE: [blank]

DATE: 03/16/15

15-029

PROJECT NO. [blank]

ISSUE NO. [blank]

DATE: [blank]

BY: [blank]

SCALE: [blank]

SHEET #3 OF 26

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TULIF TESTING & ENGINEERING COMPANY

4500 W. UNIVERSITY BLVD., SUITE 100, TAMPA, FL 33609

www.nileco.com

PH: 813.974.1111

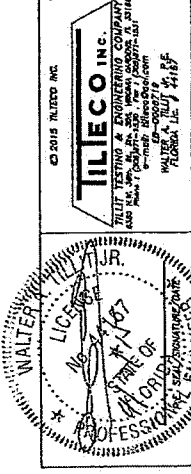
FLORIDA LIC. # 14167

WALTER W. NILECO JR.

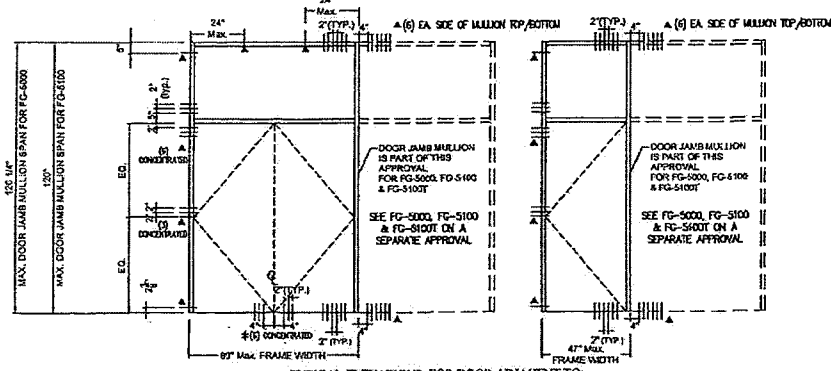
LIC. # 14167

STATE OF FLORIDA

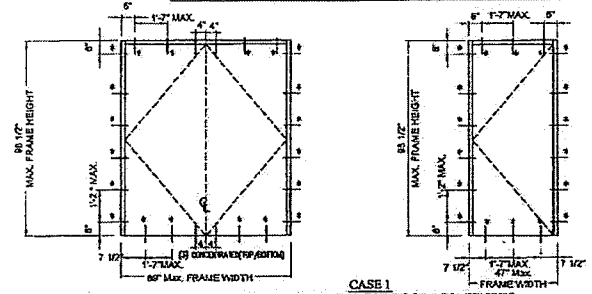
PROFESSIONAL ENGINEER



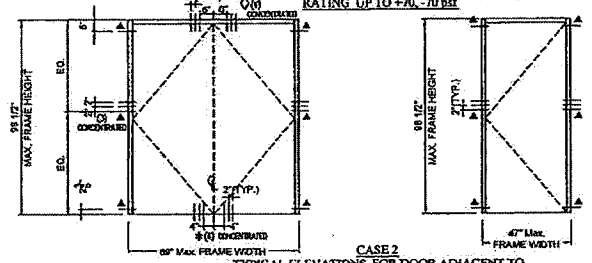
DOOR & DOOR JAMB MULLION ANCHORAGE TO WOOD (VALID FOR 3'-6"x8'-0" & 7'-0"x8'-0" DOORS)



TYPICAL ELEVATIONS FOR DOOR ADJACENT TO FG-5000 & FG-5100 ALUMINUM WINDOW WALL SYSTEM FRAMING



TYPICAL ELEVATIONS FOR DOOR ADJACENT TO EXISTING STRUCTURE W/ ASD DESIGN PRESSURE RATING UP TO +70, -70 psf



TYPICAL ELEVATIONS FOR DOOR ADJACENT TO EXISTING STRUCTURE W/ ASD DESIGN PRESSURE RATING GREATER THAN +70, -70 psf UP TO +70, -80 psf

**FASTENERS LEGEND**

▲ : AT JAMB, HEADER AND AT DOOR JAMB MULLION (TOP/BOTTOM)

\* : AT THRESHOLD, JAMB & HEAD (CASE 1), INTO SINGLE 2x BUCK AT THRESHOLD (CASE 2), INTO DOUBLE 2x BUCK

**FASTENERS TYPE AT ▲**

E- 5/16" Ø LAG SCREWS TO DOUBLE 2x BUCK (G=0.55) W/ 3" MIN. PENETRATION INTO WOOD W/ 1 1/2" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL, OR 5/16" Ø ELCO ULTRACONS W/ 3" MIN. PENETRATION INTO DOUBLE 2x BUCK (G=0.55) W/ 1 1/2" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL

**FASTENERS TYPE AT \***

H- 1/4" Ø ELCO ULTRACONS W/ 1 1/2" MIN. PENETRATION INTO SINGLE 2x BUCK W/ 3" MIN. PENETRATION INTO DOUBLE 2x BUCK W/ 1" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)

DESIGNER: DRANK INC. DATE: 03/14/15

PROJECT: 15-029 DRAWING NO. SHEET 24 OF 28

STILE ALUMINUM ENTRANCE DOOR (NET GLAZED) LARGE & SMALL MISSILE IMPACT

Okcaste BuildingEnvelope

800 ANDREWS BLVD. SUITE 1000, TAMPA, FL 33606-3451

PHONE: 813.288.8888 FAX: 813.288.8889

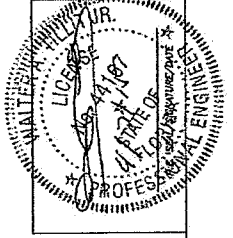
WWW.OKCASTE.COM

TILECO INC.

1000 W. WASHINGTON AVE. SUITE 1000 TAMPA, FL 33606-3451

PH: 813.288.8888 FAX: 813.288.8889

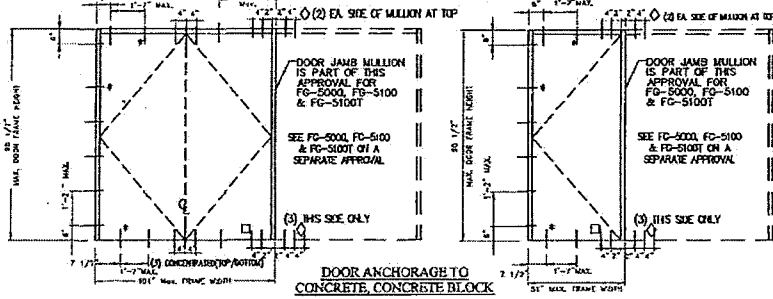
WWW.TILECO.COM



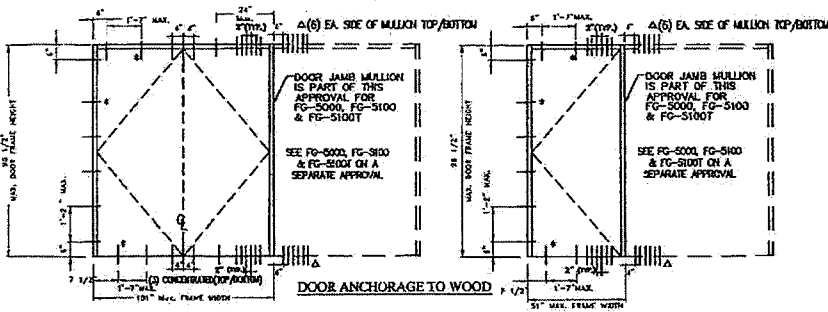
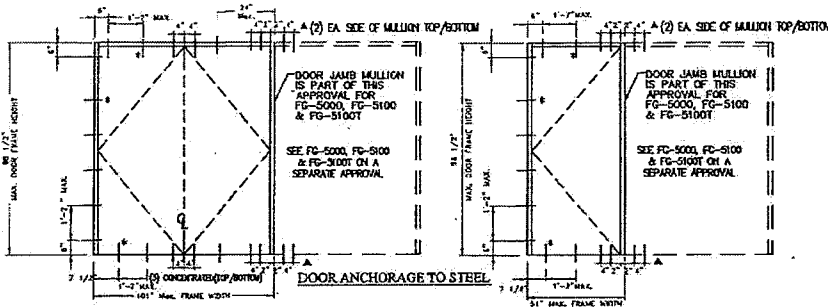
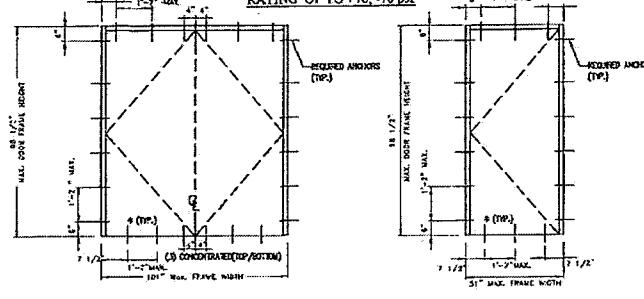


**DOOR ANCHORAGE TO CONCRETE, CONCRETE BLOCK, STEEL AND WOOD SUBSTRATES**  
(VALID FOR 8'-0"x8'-0" & 4'-0"x8'-0" DOORS)

TYPICAL ELEVATIONS FOR DOOR ADJACENT TO FG-5000, FG-5100 & FG-5100T ALUMINUM WINDOW WALL SYSTEM FRAMING



TYPICAL ELEVATIONS FOR DOOR ADJACENT TO EXISTING STRUCTURE W/ ASD DESIGN PRESSURE RATING UP TO +70, -70 psf



**ANCHORAGE TO (Min. f'c=3ks) CONCRETE OR ASTM C-90 GROUTED FILLED CONCRETE BLOCK**

REQUIRED ANCHOR:	LOCATION:
* 1/4" F.H. ELCO ULTRACON ANCHOR W/ 1 3/4" MIN. EMBEDMENT W/ 2 1/2" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL.	AT HEAD, SILL & JAMBS OF DOOR
◇ 3/8" F.H. POWERS FASTENERS TAPPER SCREW ANCHOR W/ 2" MIN. EMBEDMENT INTO POURED CONCRETE (MIN. F'c = 3 KSI), W/ 4 1/2" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL.	AT HEAD & SILL OF DOOR JAMB MULLION AT WINDOW WALL SIDE
◇ 3/8" LTD PH/RED HEAD SCREW ANCHOR W/ 2" MIN. EMBEDMENT, W/ 4" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL.	AT HEAD & SILL OF DOOR JAMB MULLION AT WINDOW WALL SIDE
□ 3/8" F.H. POWERS FASTENERS TAPPER SCREW ANCHOR W/ 1 3/4" MIN. EMBEDMENT INTO POURED CONCRETE (MIN. F'c = 3 KSI), W/ 6" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL.	AT HEAD & SILL OF DOOR JAMB MULLION AT DOOR SIDE

**ANCHORAGE TO 1/8" THICK ASTM A-36 STEEL OR 12 GAGE, ASTM A-653, GRADE 33 STEEL**

REQUIRED ANCHOR:	LOCATION:
* 1/4"-20 F.H. ELCO DRILL FLEX SELF DRILLING SCREWS W/ 1/2" MIN. EDGE DISTANCE BEYOND ANY FINISH MATERIAL. SCREWS TO BE MIN. FULLY ENGAGED INTO PROFILE THICKNESS.	AT HEAD, SILL & JAMBS OF DOOR
▲ 3/8" H.H. TYPE "T" BOLT W/ 3/4" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL. BOLT TO BE MIN. FULLY ENGAGED INTO PROFILE THICKNESS	AT HEAD & SILL OF DOOR JAMB MULLION AT EITHER SIDE OF MULLION

**ANCHORAGE INTO G=0.55 MIN. WOOD**

REQUIRED ANCHOR:	LOCATION:
* #14 F.H. WOOD SCREWS OR 1/4" ELCO ULTRACON TO SINGLE 2x BUCK W/ 1 1/2" MIN. PENETRATION W/ 1" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL.	AT HEAD, SILL & JAMBS OF DOOR
Δ 5/16" LAG SCREWS TO DOUBLE 2x BUCK (G=0.55) W/ 3" MIN. PENETRATION INTO WOOD W/ 1 1/2" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL, OR 5/16" ELCO ULTRACONS W/ 3" MIN. PENETRATION INTO DOUBLE 2x BUCK (G=0.55) W/ 1 1/2" MIN. EDGE DISTANCE, BEYOND ANY FINISH MATERIAL.	AT HEAD & SILL OF DOOR JAMB MULLION AT EITHER SIDE OF MULLION

FLORIDA BUILDING CODE (High & Non High Velocity Hurricane Zone)  
 SERIES MSD-375 (MEDIUM) & MSD-500 (WIDE)  
 STILE ALUMINUM ENTRANCE DOOR (WET GLAZED)  
 LARGE & SMALL MISSILE IMPACT

Drawn By: 02/16/16  
 DATE: 15-029  
 DRAWN BY: 02/16/16

**Oidecastle BuildingEnvelope**  
 80 AIRPORT RD. TERRELL, TX 75080  
 www.Oidecastle.com-Phone 800-848-4507

DATE: 02/16/16  
 CHECKED BY: 02/16/16  
 APPROVED BY: 02/16/16  
 SHEET 26 OF 28

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 TILICO TESTING & ENGINEERING COMPANY  
 1000 W. 17th Street, Suite 100, Ft. Lauderdale, FL 33311  
 Phone: 754-346-1111 Fax: 754-346-1112  
 e-mail: info@tilico.com  
 WALTER PHILLIPS, JR., P.E.  
 LICENSED PROFESSIONAL ENGINEER  
 FLORIDA Lic. # 44167

WALTER PHILLIPS, JR.  
 LICENSED PROFESSIONAL ENGINEER  
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