



City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT
324 EAST PINE STREET
P.O. BOX 5004
TARPON SPRINGS, FLORIDA 34688-5004
(727) 942-5611
FAX (727) 943-4651

**TECHNICAL REVIEW COMMITTEE (TRC) AGENDA
THURSDAY, JUNE 3, 2021
2ND FLOOR CONFERENCE ROOM
324 EAST PINE STREET, TARPON SPRINGS, FLORIDA**

TO:

Karen Lemmons, Economic Dev. Manager	Tom Funcheon, Public Works Director
Pat McNeese, Principal Planner	Anthony Mannello, Streets & Stormwater Sup.
Renea Vincent, Planning & Zoning Director	Bob Robertson, Project Admin. Director
Kevin Powell, Building Development	Paul Smith, Public Services Director
David Gilson, Building Development	Nick Makris, Projects Supervisor
Shannon Brewer, Horticulturalist	Jevon Miller, Project Administration Department
Lisa Godwin, Building Development	Ray Page, Public Services
Anthony Boone, Police Department	Francisco Pavez, Public Services
Sargent Robert Faugno, Police Department	Judy Staley, Research & Information Officer
Captain Rick Kinney, Fire Rescue	Trish Hickey, Executive Secretary
Officer Steve Gassen, Code Enforcement	Megan Araya, Floodplain Coordinator
Heather Freundel, Water Distribution	

FROM: Kimberly Yothers, Planning and Zoning Coordinator

DATE: 5/27/2021

NOTE: Please send comments via email to pmcneese@ctsfl.us; kyothers@ctsfl.us

1) VARIANCES

- a) 21-63 - Tarpon Springs Plaza (Pressman) - DI - 41522 US Highway 19 N
- b) 21-62 - Tarpon Springs Plaza (Pressman) - Variance Front, Rear, Side - 41522 US Highway 19 N
- c) 21-66 - Tarpon Springs Building Company - Variance side setbacks - 0 E Live Oak St

2) NEW APPLICATIONS

- a) 21-57 - Papous Distillery - CRA Building Code Assistance Grant - 12 E Pine Street
- b) 21-58 - Currents Restaurant - CRA Building Code Assistance Grant - 128 E Tarpon Ave
- c) 21-59 - Lincoln Ave - 828 Lincoln Ave-Site Plan Review
- d) 21-64 - StoryBrooke - Discussion Item - 40 Lots Lake Butler
- e) 21-65 - Vasilis Kontos - Site Plan Review - Parking Lot - 0 Levis Ave
- f) 21-67 - George Andriotis - Conditional Use Restaurant - 227 E Lemon St
- g) 21-68 - Mavromatis - CU Single Family Home - 0 Spruce Street
- h) 21-69 - Nicole and Jeffery See - Vacation of Oak Court - Oak Court in the Gnuoy Park Subdivision
- i) 21-70 - City of Tarpon Springs - Special Area Plan Amendment - Ordinance 21-xx

All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611.

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-63 – Tarpon Springs Plaza – 41522 US Highway 19 N

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Tarpon Springs Plaza		Email todd@pressmaninc.com	
Address 41522 US highway 19, N.			
City Tarpon		State fl	Zip
Phone	Fax		Cellular

Applicant

Name same		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

Agent (if applicable)

Name Todd Pressman		Email todd@Pressmaninc.com	
Address 200 2nd Ave., South, #451			
City St. Petersburg		State fl	Zip 33701
Phone 727-804-1760	Fax		Cellular same

General Information

Project Name Tarpon Springs Plaza Expansion		
Property Location or Address same		
Legal Description (attach additional sheets as necessary) Tarpon Springs offc map Blk. 22, S. 150 FT		
Tax Parcel Number(s) 12/27/15/89982/022/0701	Site Acreage	Percentage of City

Land Use & Zoning Information

Present Designations of Property (County)	
Land Use Category CG	Zoning District HB

The following should be furnished with this application:

- Completed original application with digital copies of all application documents
- Property survey including legal description
- Written Description of proposal
- Site Plan of proposed project if applicable
- Proof of ownership (warranty deed, title certification, etc.)

We need to look at density under the zoning and the FLU category as well as ISR for total site development...a dn if a Conditional Use will be necessary.

CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application

AFFIDAVIT
ALREADY ON FILE

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that _____ is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

AGENT

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: _____ Title Holder/Property Owner: _____

Date: _____ Title Holder/Property Owner: _____

Date: _____ Title Holder/Property Owner: _____

Date: _____ Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this _____ day of _____, A.D., 20 ____
by _____, who is personally known to me or who has produced
_____ as identification and who did (did not) take an oath.

PROPERTY OWNER NAME PRINTED

NOTARY PUBLIC

Name: _____

Signature: _____

Stamp: _____

PARCEL ID: 12-21-19-09902-022-0101
 OWNER: TARPON SPRINGS PLAZA LLC
 PO BOX 1098
 DUNEDIN, FL 34691

SITE ADDRESS: 41522 US HIGHWAY 19 NORTH
 TARPON SPRINGS, FL 34689

ZONING: HB - HIGHWAY BUSINESS DISTRICT

SITE AREA: 149 ACRES (69,043 SF. +/-)

EXISTING BUILDING AREA: 21,600 CONDITIONED

PROPOSED NEW BUILDING AREA 1,500 SF.

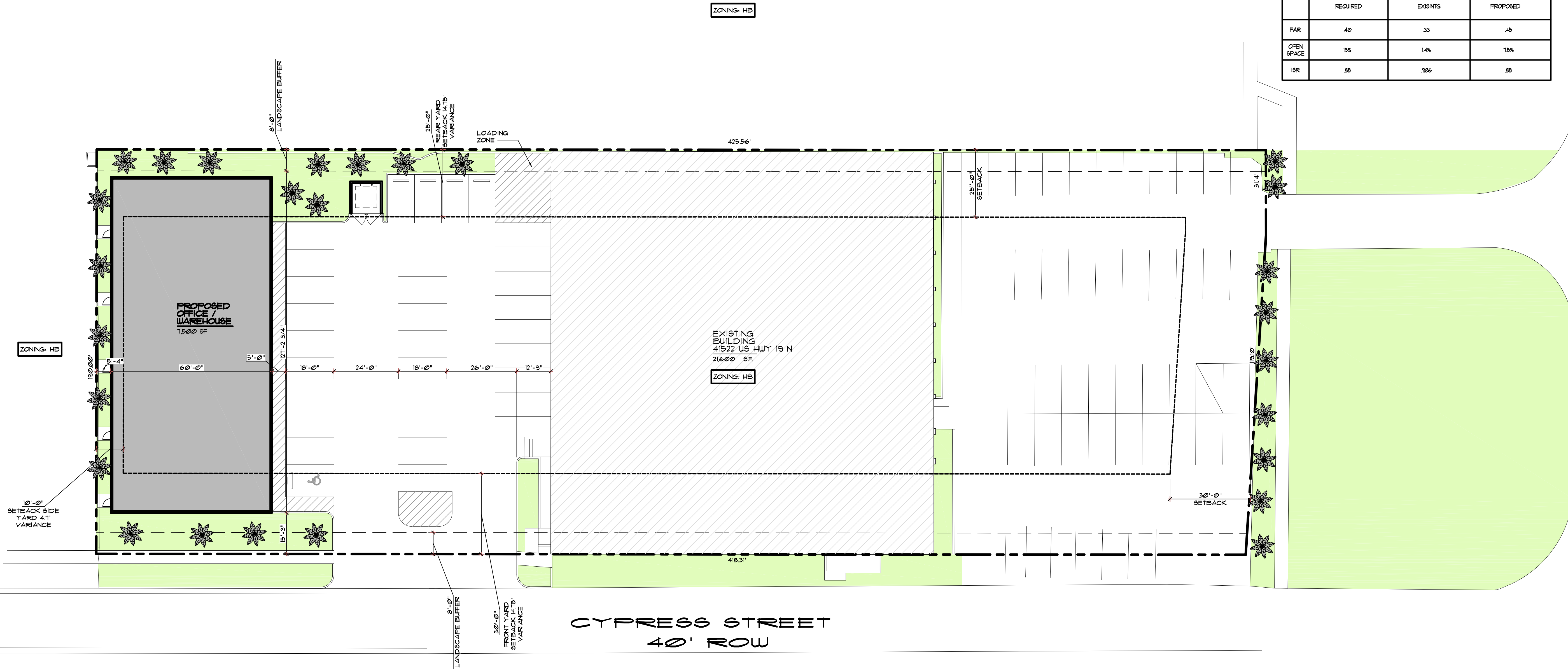
PROPOSED TOTAL BUILDING AREA 23,100 SF.

FLOOD ZONE: X

HEIGHT: MAX HEIGHT 35 FT

PARKING:
 EXISTING RETAIL: 14'00" @ 1 PER 250 SF. = 56.4 SPACES
 EXISTING WAREHOUSE: 1,500' @ 1 PER 1500 SF. = 9 SPACES
 NEW OFFICE / WAREHOUSE: 1,500' @ 1 PER 650 SF. = 115
 PARKING REQUIRED = 13 SPACES
 PARKING SHOWN ON PLAN = 14 SPACES

	REQUIRED	EXISTING	PROPOSED
FAR	.40	.33	.45
OPEN SPACE	5%	14%	15%
ISR	.25	.386	.25

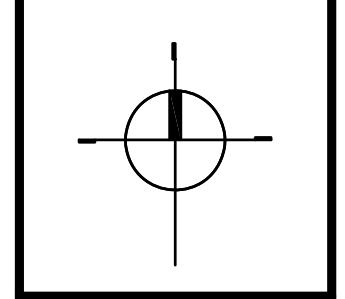


US HIGHWAY 19 NORTH

REVISIONS	BY

OLIVERI ARCHITECTS
 AA 0002921
 Member of the American Institute of Architects
 3277 US Hwy. 19 N. Palm Harbor, FL 34684
 Phone 727.781.7525 - FAX 727.781.6623
 www.oliveriarchitects.com

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 OLIVERI ARCHITECTS.
 ALL RIGHTS RESERVED.



CONCEPT SITE PLAN
 SCHEMATIC DESIGN
 SCHEME

New Freestanding
OFFICE / WAREHOUSE
 41522 U.S. Highway 19 N.
 Tarpon Springs, FL
 Pinellas County

Date: 05.17.21
 Scale: AS NOTED
 Project Mgr: DSH
 Drawn: SEH
 Job: 21-031

Sheet
AS2

CONCEPT SITE PLAN
 SCALE: 1" = 20'-0"

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-62 – Tarpon Springs Plaza – 41522 US Highway 19 N

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
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CITY OF
TARPON SPRINGS
 FLORIDA

TEL: (727) 942-5611
 EMAIL: planning@ctsfl.us

www.ctsfl.us

This application **MUST** be completed **IN FULL** and submitted with all applicable documents listed below in order to be scheduled for a Board or Committee.

All fees **MUST** be paid in full prior to Public Hearing.

- Completed** original application form and digital copy
- Application fee:
 - Variance Request - \$250.00 each, or
 - Appeal of Administrative Decision - \$250.00 each, and
 - Newspaper Ad - \$150.00 each
 - Postcards (500 foot radius) - \$0.77 each, and
 - Placard - \$ 16.00

(Call for fee calculation assistance if needed)

- Property survey, signed and sealed by a professional land surveyor
- Site Plan with documentation of variance request (to scale with measurements called out)
- Photographs of site if relevant to request.
- Digital copies of all application materials (including completed application and plans)
- Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)
- Other supporting information, as necessary

1. Property Owner(s)

Name Tarpon Springs Plaza, LLC		Email Todd@Pressmaninc.com	
Address 41522 US Highway 19, N.			
City Tarpon Springs		State FL	Zip
Phone 727-804-1760	Fax		Cell same

2. Applicant (if different than owner)

Name same		Email	
Address			
City		State	Zip
Phone	Fax		Cell

3. Agent (if applicable)

Name todd Pressman		Email Todd@Pressmaninc.co	
Address 200 2nd Ave., South, #451			
City St. Petersburg		State FL	Zip 33701
Phone 727-804-1760	Fax		Cell same

4. General Information

Property Location or Address 12-27-15-89982-022-0701		
Legal Description (attach additional sheets as necessary) TARPON SPRINGS OFFICIAL MAP BLK 22, S 150 FT OF LOTS 7 AND 8 LESS RD R/W (SEE S07-27-16)		
Tax Parcel Number(s) 12-27-15-89982-022-0701	Land Use Category CG	Zoning District HB

Variance Requested:

I am requesting a variance from Land Development Code (LDC) Section(s) 215.00 (B).

Please describe the project and how it varies from the Code (attach additional sheets as necessary). (e.g., A side setback variance reduction from the required 10 feet to 7 feet for the purpose of constructing a building addition)

- 1) Front yard set back required at 30'. Seeking to exist at 15', so a variance of 15'

- 2) Rear yard setback required at 25'. Seeking to exist at 10'3", so a variance of 14.75'

- 3) Side yard setback required at 10'. Seeking to exist at 5'4", so a variance of 4.7'

To view the LDC standards and section references, follow the link below:

https://library.municode.com/fl/tarpon_springs/codes/code_of_ordinances?nodeId=COOR_APCOZOLADECO

Board of Adjustment Review Standards:

Per LDC Section 215.02(B) (link provided below), the Board of Adjustment may only grant a variance when the following standards are determined to be met and proven by competent substantial evidence. **Please review the standards listed below and provide a justification on how your request meets each of the standards (attach additional sheets as necessary).**

https://library.municode.com/fl/tarpon_springs/codes/code_of_ordinances?nodeId=COOR_APCOZOLADECO_ART_XIIADEN_S215.02VA

- (1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district. *(Do you have a physical hardship that prevents you from meeting the requirements of the code?) (Provide photographs if possible)*
 - (a) Preservation of a protected or native tree(s), but not an invasive tree(s), as defined in Sections 133 and 134 of the LDC, may be considered as a relevant environmental condition. *(If there are protected or native trees on your property, they could be considered a physical hardship if their preservation results in the need for the variance.)*
 - (b) Location of the property in the Historic District may be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within that District before any variance may be granted. *(If the need for the variance is in response to the property being located in the Historic District, it could be considered a physical hardship.)*

The site is severely constrained. In order to provide minimal access, trucks turning radius, provide some setbacks, landscaping, parking and all other development criteria, relief of the required setbacks is desperately needed.

- (2) The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant. *(Did you create the situation that requires a variance (e.g. you put in a pool at the minimum setback, but now want a pool screen enclosure that is too close to the property line as a result of the chosen pool location)?)*

The conditions of the site, constrained on 3 sides, are not created by the applicant and in meeting development criteria for the use of the site, is not created by the applicant

- (3) Literal enforcement of the requirements of the Code would have the effect of denying the applicant reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property. *(Would the approval of the variance allow for the reasonable use of the property and its structures? If the variance is denied, would you still have reasonable use of the property?)*

In order to provide a site with development ability, meeting the minimal necessities of the development code, the applicant would not have a reasonable use of the land without the variances proposed

- (4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings, or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances. *(Would approval of the variance result in a special privilege that other properties within the same zoning district do not have (e.g. allowing a building to exceed the maximum height just to add another story to the building)?)*

If approved, there will be no special granting or privilege and allow what others have

- (5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance. *(Would approval of this request have an adverse effect on surrounding properties?)*

Granting the variances will not have any detrimental or injurious affect on property values, nor alter the character of the area but would add to the area and be a positive use of property

Helpful Links:

The following links may be used to assist you in completing this application, as well as, providing supporting documentation.

- Tarpon Springs Zoning Application - <https://gis.ctsfl.us/portal/apps/webappviewer/index.html?id=9596539ae16744b4af44d320f190c791>
- Tarpon Springs Land Development Code - https://library.municode.com/fl/tarpon_springs/codes/code_of_ordinances?nodeId=COOR_APCOZOLADECO
- Pinellas County Property Appraiser – <http://www.pcpao.org/>
- Pinellas County Clerk, Official Records – <https://ccmspa.pinellascounty.org/PublicAccess/default.aspx>

Applicant's Signature:

The information included in and with this application is true and correct to the best of my knowledge.

Applicant's Signature

Date

Agent's Signature: (I represent the applicant/owner)

The information contained in and with this application is true and correct to the best of my knowledge.

Agent's Signature

Date

Owner's Signature:

I authorize the agent named above on this form to provide subject matter on the application contained herein for the purposes of discussion with City Staff, and to attend public hearings on my behalf. In addition, I authorize the filing of this application and certify ownership of the property described in this application as myself. Within this application, I have included all parties to an existing contract for sale. I further assent to the City's Comprehensive Plan as it applies to the property and it is understood that this application must be complete and accurate, and the appropriate fee paid prior to processing.

Owner's Signature

Date

STATE OF FLORIDA)

COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this _____ day of _____, A.D., 20 ____
by _____, who is personally known to me or who has produced
PROPERTY OWNER NAME PRINTED
_____ as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name: _____

Signature: _____

Stamp:

PARCEL ID: 12-21-19-09902-022-0101
 OWNER: TARPON SPRINGS PLAZA LLC
 PO BOX 1098
 DUNEDIN, FL 34691

SITE ADDRESS: 41522 US HIGHWAY 19 NORTH
 TARPON SPRINGS, FL 34689

ZONING: HB - HIGHWAY BUSINESS DISTRICT

SITE AREA: 149 ACRES (69,043 SF. +/-)

EXISTING BUILDING AREA: 21,600 CONDITIONED

PROPOSED NEW BUILDING AREA 1,500 SF.

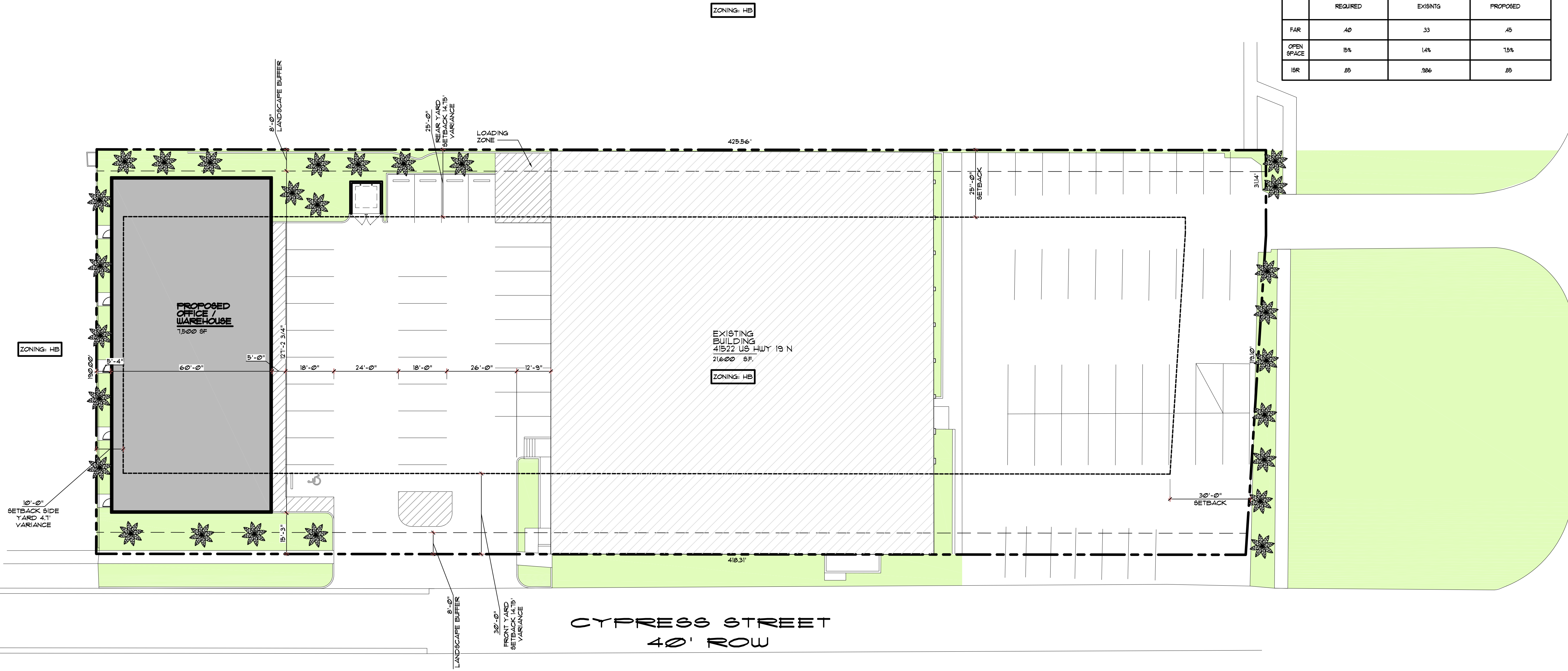
PROPOSED TOTAL BUILDING AREA 23,100 SF.

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HEIGHT: MAX HEIGHT 35 FT

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 EXISTING WAREHOUSE: 1,500' @ 1 PER 1500 SF. = 5 SPACES
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	REQUIRED	EXISTING	PROPOSED
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OPEN SPACE	5%	14%	15%
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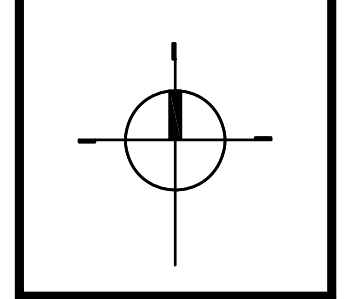


US HIGHWAY 19 NORTH

REVISIONS	BY

OLIVERI ARCHITECTS
 AA 0002921
 Member of the American Institute of Architects
 3277 US Hwy. 19 N. Palm Harbor, FL 34684
 Phone 727.781.7525 - FAX 727.781.6623
 www.oliveriarchitects.com

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 OLIVERI ARCHITECTS.
 ALL RIGHTS RESERVED.



CONCEPT SITE PLAN
 SCHEMATIC DESIGN
 SCHEME

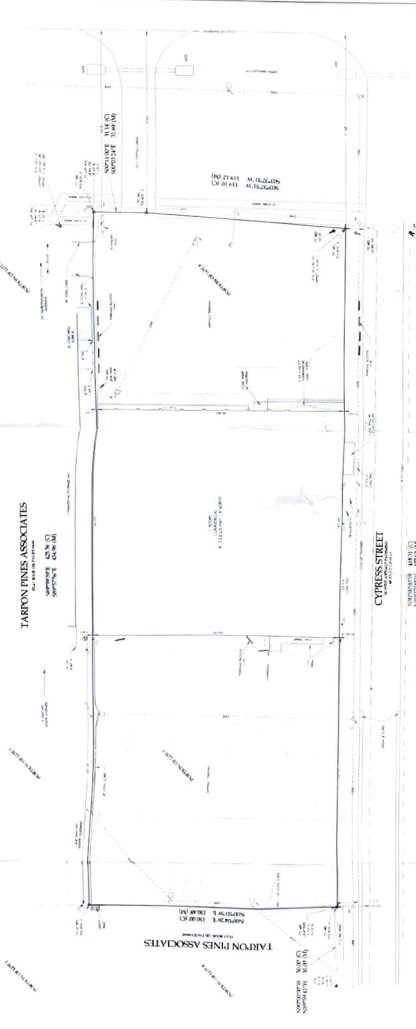
New Freestanding
OFFICE / WAREHOUSE
 41522 U.S. Highway 19 N.
 Tarpon Springs, FL
 Pinellas County

Date: 05.17.21
 Scale: AS NOTED
 Project Mgr: DSH
 Drawn: SEH
 Job: 21-031

Sheet
AS2

H:\Projects\2021\21031 - Office-WH - Tarpon Springs, FL\02-SD-Concept Site Plan\SD-D3-FLPL.dwg, 5/17/2021 1:28:44 PM, mstanovich, Adobe PDF

US HIGHWAY 19 NORTH - STATE ROAD 55



TARRON PINES ASSOCIATES
 10000 W. STATE ROAD 55, SUITE 100
 TAMPA, FL 33613
 PHONE: 813.973.1111
 FAX: 813.973.1112
 WWW.TARRONPINES.COM

- LEGEND:**
- AD ADJUSTED
 - BL BOUNDARY
 - EP END POINT
 - IR/ IRON ROD
 - OR ORANGE
 - OE OIL FIELD ELECTRIC
 - YB YELLOW BOND
 - YC YELLOW CHAIN
 - PC PINE CONCRETE
 - IP IRON PIPE
 - SD SAND & GRAVEL
 - SMO SMOKE
 - CLP CLIP
 - EN END
 - EN/C END/CORNER
 - CO CONCRETE
 - CR CURB
 - TR TRAILER
 - TP TELEPHONE POLE
 - PH PHYSICAL
 - ND NON-DESCRIPT
 - STA STATION
 - TA TANK
 - ME METER
 - MS METER SIGN
 - GL GROUND LEVEL
 - WH WATER
 - WT WIRE
 - WV WATER VALVE
 - WV WIRE VALVE
 - OK OK
 - SA SAND
 - MA MARIJUANA

LEGAL DESCRIPTION:
 THE SOUTH 150.00 FEET OF LOTS 7 AND 8, USING VERT OF U.S. 190.00' AS 19.00' BLOCK 22, MAP OF THE TOWN OF TARRON PINES, ACCORDING TO THE MAP OR PART THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 20, LESS THAT PORTION OF SAID LOTS 7 AND 8, AS SHOWN ON SAID MAP, BEING THE PORTION OF SAID LOTS 7 AND 8, AS SHOWN ON PLAT BOOK 4172, PAGE 19, FOR ROAD RIGHT-OF-WAY PURPOSES, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD PLAIN:
 THIS SURVEY IS NOT IN A FLOOD HAZARD AREA AS SHOWN ON THE FLOOD HAZARD MAP OF PINELLAS COUNTY, FLORIDA, AS SHOWN ON PLAT BOOK 4172, PAGE 19, FOR ROAD RIGHT-OF-WAY PURPOSES, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

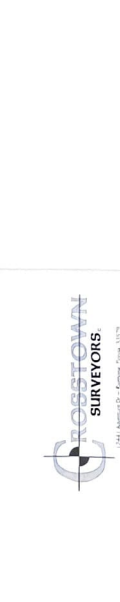
NOTES:

1. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH.
2. THIS SURVEY WAS PREPARED FOR SECTION 15162-2548, BEING 50' WIDE OF U.S. HIGHWAY 19 NORTH AS RECREATED FROM THE FDOT MAPS FOR SECTION 15162-2548, BEING 50' WIDE.
3. NO UNDERGROUND UTILITIES, UNDERGROUND ENCUMBRANCES OR BUILDING FOUNDATIONS WERE MEASURED OR LOCATED AS PART OF THIS SURVEY UNLESS OTHERWISE SHOWN.
4. THERE IS AN APPARENT 1.06' DISCREPANCY IN THE RIGHT-OF-WAY BETWEEN WHAT IS EXISTING IN THE FIELD AND WHAT IS CALCULATED FROM THE RIGHT-OF-WAY MAP FOR 8.37'.
5. THIS SURVEY IS BASED ON FOUNDATION DATA AND DOES NOT REFLECT OR DETERMINE OWNERSHIP.
6. BOUNDARY RECONSTRUCTED FROM DEED BOOKS 6172, PAGE 219, 6222, PAGES 18 AND 2147, PLAT BOOK 120, PAGE 64 AND RIGHT-OF-WAY INFORMATION PROVIDED BY FDOT, STATE FORM NO. 1516-2548.
7. ATTENTION IS DIRECTED TO THE FACT THAT THIS SURVEY MAY HAVE BEEN REPRODUCED OR ENLARGED IN SIZE DUE TO REPRODUCTION. THIS SHOULD BE TAKEN INTO CONSIDERATION WHEN OBTAINING SCALED DATA.
8. THESE SURVEY DRAWINGS WERE PREPARED FOR THE EXCLUSIVE USE OF THE PARTY OR PARTIES CERTIFIED TO BELOW AND THE CLIENT FOR THIS PROJECT. COPIES, REPRODUCTIONS, DISTRIBUTION, AND/OR USE OF THIS DRAWING IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF CROSTOWN SURVEYORS, INC. IS STRICTLY PROHIBITED. ANY QUESTIONS CONCERNING THE CONTENT OR PURPOSE OF THIS DRAWING SHOULD BE DIRECTED TO CROSTOWN SURVEYORS, INC.

CERTIFICATIONS:
 TARRON PINES PLAZA, LLC
 10000 W. STATE ROAD 55 - PINELLAS COUNTY
 FIDELITY NATIONAL TITLE INSURANCE COMPANY

JOB NUMBER	12022	REVISIONS	12	SECTION	275	TOWNSHIP	17 N 30 W	SCALE	1" = 30'	FIELD DATE	02/09/12	DRAWN BY	J.A.	SHEET	1 OF 1
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A BOUNDARY SURVEY OF 41522 U.S. HIGHWAY 19 NORTH (STATE RD 55) - PINELLAS COUNTY



**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-66 – Tarpon Springs Building Company – 0 Live Oak Street

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
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 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

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**CITY OF TARPON SPRINGS, FLORIDA
Board of Adjustment Application**

Return to:
Planning & Zoning Department
324 E. Pine Street
Tarpon Springs, FL 34689
(727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name TARPON SPRINGS Building CO. LLC.		Email MASTROS1973@gmail.com	
Address 321 E. TARPON AVE			
City TARPON SPRINGS		State FLA	Zip 34689
Phone 727-798-3993	Fax	Cellular 727-798-3993	

Applicant

Name SAME AS ABOVE		Email	
Address			
City		State	Zip
Phone	Fax	Cellular	

Agent (if applicable)

Name FANTELIS MASTROVASILIS		Email MASTROS1973@gmail.com	
Address 58 W. CENTER ST			
City TARPON SPRINGS		State FLA	Zip 34689
Phone 727-798-3993	Fax	Cellular 727-798-3993	

General Information

Property Location or Address 0 LIVE OAK ST TARPON SPRINGS FL 34689		
Legal Description (attach additional sheets as necessary)		
Tax Parcel Number(s) 12-27-15-89982-006-0101	Land Use Category	Zoning District

Requested Action: [please check all that apply]

- Setback variance
 Fence height variance
 Sidewalk waiver
 Other *non conforming*
 Parking variance
 FAR variance
 Appeal or re-hearing
 LOT of recent VARIANCE

Describe Request and how it varies from the code: (attach additional sheets as necessary)

Requesting 5 ft ^{side} setbacks (reduction of side setbacks to 5 feet)

Required LDC Regulation(s): [list all that apply]

**CITY OF TARPON SPRINGS, FLORIDA
Board of Adjustment Application**

The following **MUST** be furnished with this application: [incomplete applications will not be accepted]

- Completed original application form and digital copies of all application documents**
- Application fee:
 - Variance Request \$250.00 each, or
 - Appeal of Administrative Decision \$250.00 each, and
 - Newspaper Ad \$150.00 each, and
 - Postcards to 500 foot radius \$.77 each, and **(Call for assistance with fees if needed.)**
 - Placard \$ 16.00
- Property survey, signed and sealed by a professional land surveyor
- Site Plan with documentation of variance request (to scale with measurements called out)
- Photographs of site if relevant to request.
- Digital copies of all plans and documents
- Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)
- Other supporting information, as necessary

Board of Adjustment Review Standards

The Board of Adjustment shall grant no variance unless all of the following standards are met and are proven by competent substantial evidence: **(Please review standards and explain how your request meets each one, use additional sheets if necessary.)**

(1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.

(a) Preservation of a Protected Tree(s) or Native Tree(s), but not an Invasive Tree(s), as defined in Sections 133, Tree Protection and Preservation, and 134, Landscaping and Screening, of the LDC, may be considered as a relevant environmental condition under this subsection.

(b) Location of the property in the Historic District within the City may also be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within that District before any variance may be granted. In addition, any variance applied for within the Historic District shall be considered by the Board of Adjustment only after the Board considers the comments and recommendations of the Heritage Preservation Board.

CITY OF TARPON SPRINGS, FLORIDA
Board of Adjustment Application

(2) The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant. Specifically, no variance may be granted arising from illegal construction of a structure or an illegal use of the premises which would have otherwise required a building permit or other specific permit to be issued and which construction or which use was commenced unlawfully. Under such conditions, the property owner shall have no legal right to apply for a variance and the Board will have no legal right to grant such a variance.

(3) Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property; and

(4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings, or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances.

(5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.

CITY OF TARPON SPRINGS, FLORIDA
Board of Adjustment Application

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

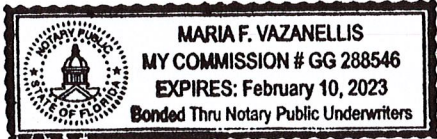
I (we) certify that Pantelis MASTROVASILIS is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: <u>2-25-21</u>	Title Holder/Property Owner: <u>TARPOW SPRINGR BUILDING CO. LLC. Pantelis MASTROVASILIS</u>
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 25 day of February, A.D., 2021 by Pantelis Mastrovasilis, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

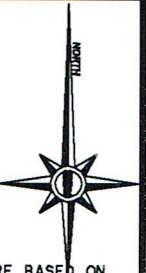


NOTARY PUBLIC
Name: MARIA VAZANELLI
Signature: [Handwritten Signature]
Stamp: _____

LEGEND

- FIR = FOUND IRON ROD
- P.Pipe = PINCHED PIPE
- FOEP = FOUND OPEN END PIPE
- FCM = FOUND CONC. MONUMENT
- CONC. = CONCRETE
- SCIR = SET 1/2" IRON ROD #5545
- FCIR = FOUND CAPPED IRON ROD
- A = ARC
- C.B. = CHORD BEARING
- R = RADIUS
- CH = CHORD
- P.Pole = POWER POLE
- U.Pole = UTILITY POLE
- L.Pole = LIGHT POLE
- P.B. = PLAT BOOK
- PG. = PAGE
- HYD. = FIRE HYDRANT
- x-x-x- = FENCE LINE
- | -| -| - = FENCE LINE
- (M & P) = MEASURED & PLAT
- L.L.F.E.L. = LOWEST LIVING FLOOR ELEV.
- A/C = AIR CONDITIONER PAD
- 12x4 = EXISTING ELEVATION
- 12.4 = PROPOSED ELEVATION
- C.L.F. = CHAIN LINK FENCE
- GAR. EL. = GARAGE ELEVATION
- P.O.B. = POINT OF BEGINNING
- S.F. = SQUARE FEET
- R/W = RIGHT OF WAY

BOUNDARY SURVEY



NOTES:

- ALL ELEVATIONS SHOWN HERE ARE BASED ON N.A.V.D. 1988 UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHOWN HERE ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.
- ALL EASEMENTS ARE FOR UTILITY AND OR DRAINAGE UNLESS OTHERWISE NOTED.
- UNDERGROUND STRUCTURES OR UTILITIES ARE NOT LOCATED ON THIS SURVEY.
- THIS SURVEY IS ONLY FOR THE USE OF THE PARTIES THAT ARE BEING CERTIFIED TO.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE POLICY.

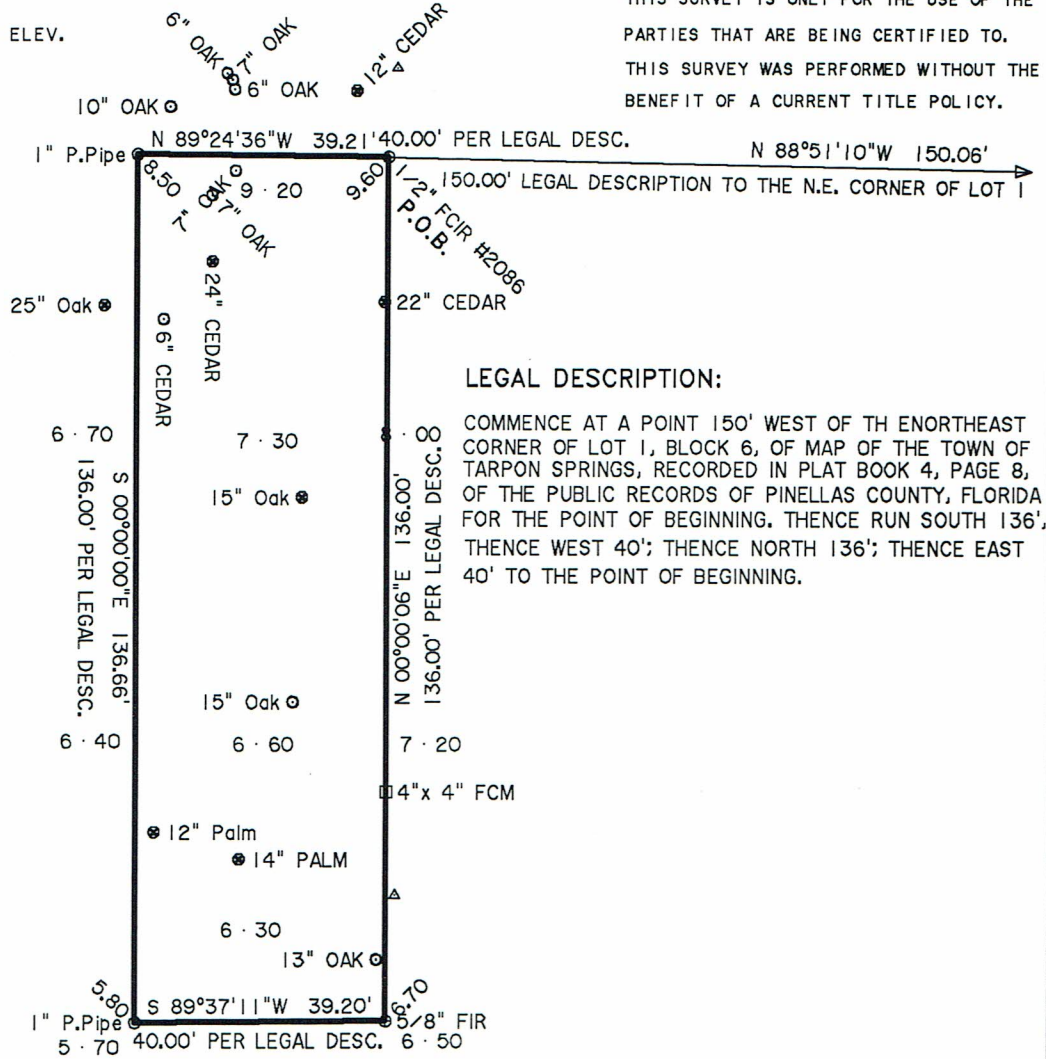
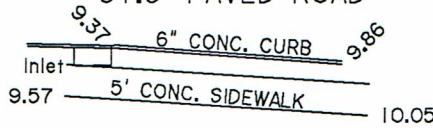
LIVE OAK STREET

VARIABLE WIDTH R/W

CENTERLINE ROAD 9 · 26

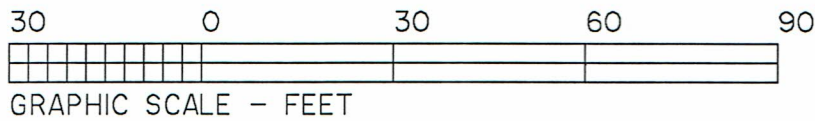
9 · 71 CENTERLINE ROAD

31.5' PAVED ROAD



LEGAL DESCRIPTION:

COMMENCE AT A POINT 150' WEST OF THE NORTHEAST CORNER OF LOT 1, BLOCK 6, OF MAP OF THE TOWN OF TARPON SPRINGS, RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA FOR THE POINT OF BEGINNING. THENCE RUN SOUTH 136'; THENCE WEST 40'; THENCE NORTH 136'; THENCE EAST 40' TO THE POINT OF BEGINNING.



LEGAL DESCRIPTION:

SEC. 12 TWP. 27 S RNG. 15 E

" SEE ABOVE "

MOHAMMAD B. FAR

8131 MEADOWVIEW PLACE
TRINITY, FL 34655
(727) 375-1740 . FAX(727) 375-1741
e-mail: MOHAMMADBFA@AOL.COM

SUBJECT TO SETBACKS, EASEMENTS AND RESTRICTIONS OF RECORD

FLOOD PLANE CERTIFICATION ACCORDING TO THE F.I.R.M. MAP, COMMUNITY PANEL NUMBER: 12103C/0038/G DATED: 09/03/03 . THIS PROPERTY APPEARS TO BE IN FLOOD ZONE " X & AE " AND THE BASE 100 YEAR FLOOD ELEVATION IS 9' MEAN SEA LEVEL

CERTIFIED TO: TARPON SPRINGS BUILDING CO., LLC

This certifies that a survey of this legal described hereon was made under my supervision and that the survey complies with the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17 F.A.C., pursuant to Section 472.027, Florida Statutes. And, that the sketch hereon is a true and accurate representation thereof to the best of my knowledge and belief, subject to notes and notations shown hereon.

DRAWN BY: MBF

FIELD WORK DATE: 05/06/21

REV. NO. 1

CHECKED BY: ARON

FIELD BOOK NO.: 1537

REV. NO. 2

SCALE: 1" = 30'

PAGE NO.: 14

REV. NO. 3

JOB NUMBER: 210506

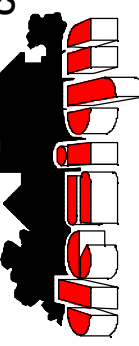
REV. NO. 4

05/06/21

DATE

MOHAMMAD B. FAR, P.E.S. #5545

STATE OF FLORIDA
SURVEYOR



WHILE THESE PLANS HAVE BEEN CHECKED FOR ACCURACY, IT IS THE USER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE THESE PLANS!

PETE MASTROVASILIS
 LOT 48 - CEDAR STREET, TARPON SPRINGS
 2020 (EDITION 7) FLORIDA BUILDING CODE, RESIDENTIAL



CONCEPTUAL
 PRELIMINARY
 FINAL DRWG.

LOT NO.

MODEL
 CUSTOM

SCALE
 1/4" = 1'-0"

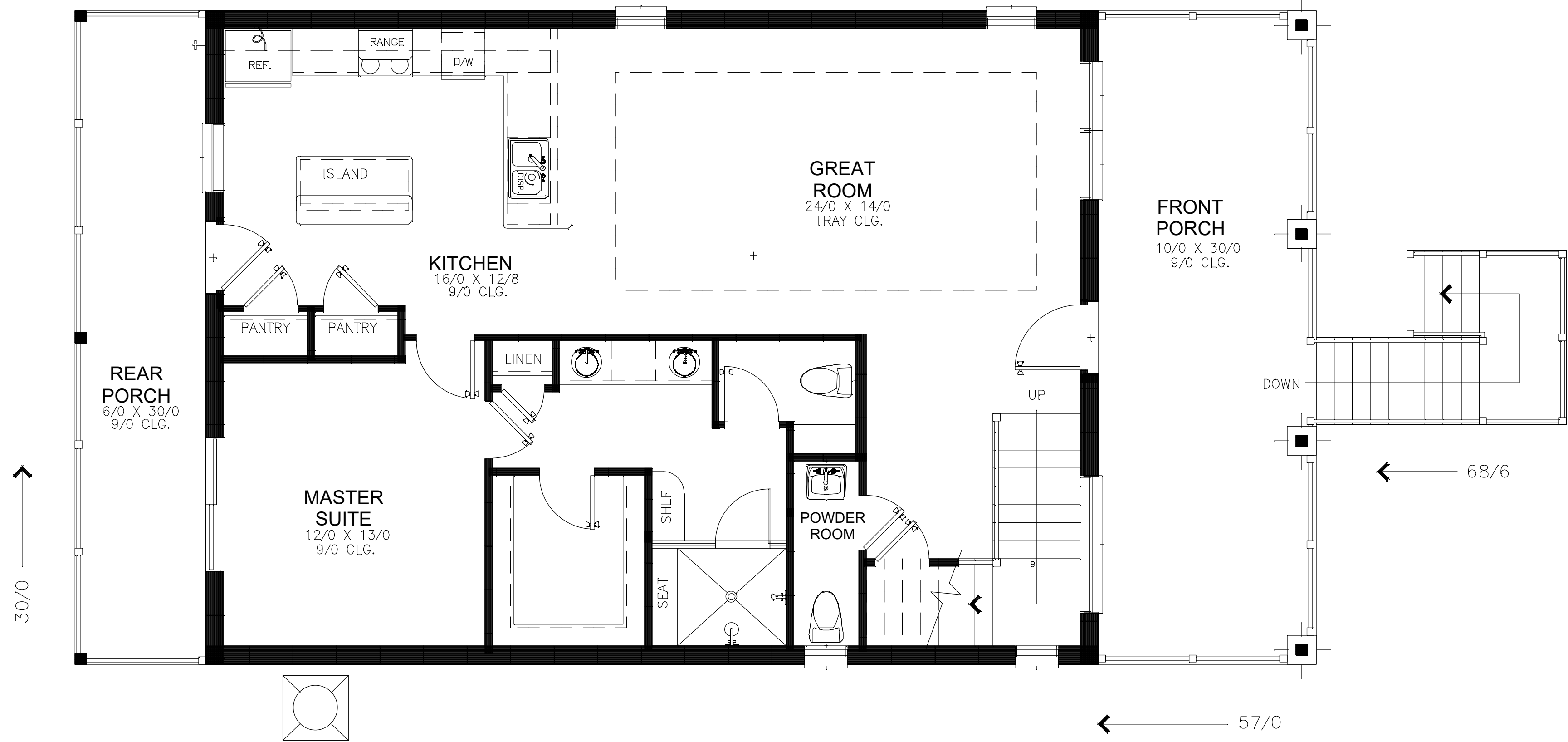
DATE
 7-25-20

REVISED

DRAWN BY
 GLC/BJD

SHEET

A1

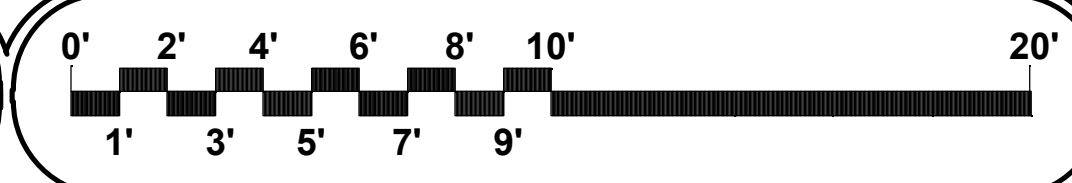


MAIN LEVEL LAYOUT

1/4" = 1'-0"

MAIN LEVEL LIVING AREA	1230
UPPER LEVEL LIVING AREA	845
TOTAL LIVING AREA	2075
LOWER LEVEL PARKING AREA	1710
MAIN LEVEL FRONT PORCH	375
MAIN LEVEL REAR PORCH	180
UPPER LEVEL FRONT PORCH	300
TOTAL AREA	4640

CDG Design, LLC.
 Weeki Wachee, FL
 (352) 585-6768
 gclayton@tampabay.rr.com



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ENGINEER OF RECORD
RICHARD G. MARCEAU
 FL. P.E. # 64466
 (813) 325-9973

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN, AND FIND IT TO BE IN COMPLIANCE WITH ALL SECTIONS OF THE 2020 FLORIDA BUILDING CODE, EDITION 7 - RESIDENTIAL

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 WEEKI WACHEE, FL 34614
 (352) 585-6768
 gclayton@tampabay.rr.com

REVISIED 5-16-21

SEAL
 RICHARD G. MARCEAU, P.E. # 64466

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 LOT 48- CEDAR STREET, TARPON SPRINGS
 2020 (EDITION 7) FLORIDA BUILDING CODE - RESIDENTIAL



CONCEPTUAL
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LOT NO.

MODEL
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SCALE
 1/4" = 1'-0"

DATE
 7-25-20

REVISED

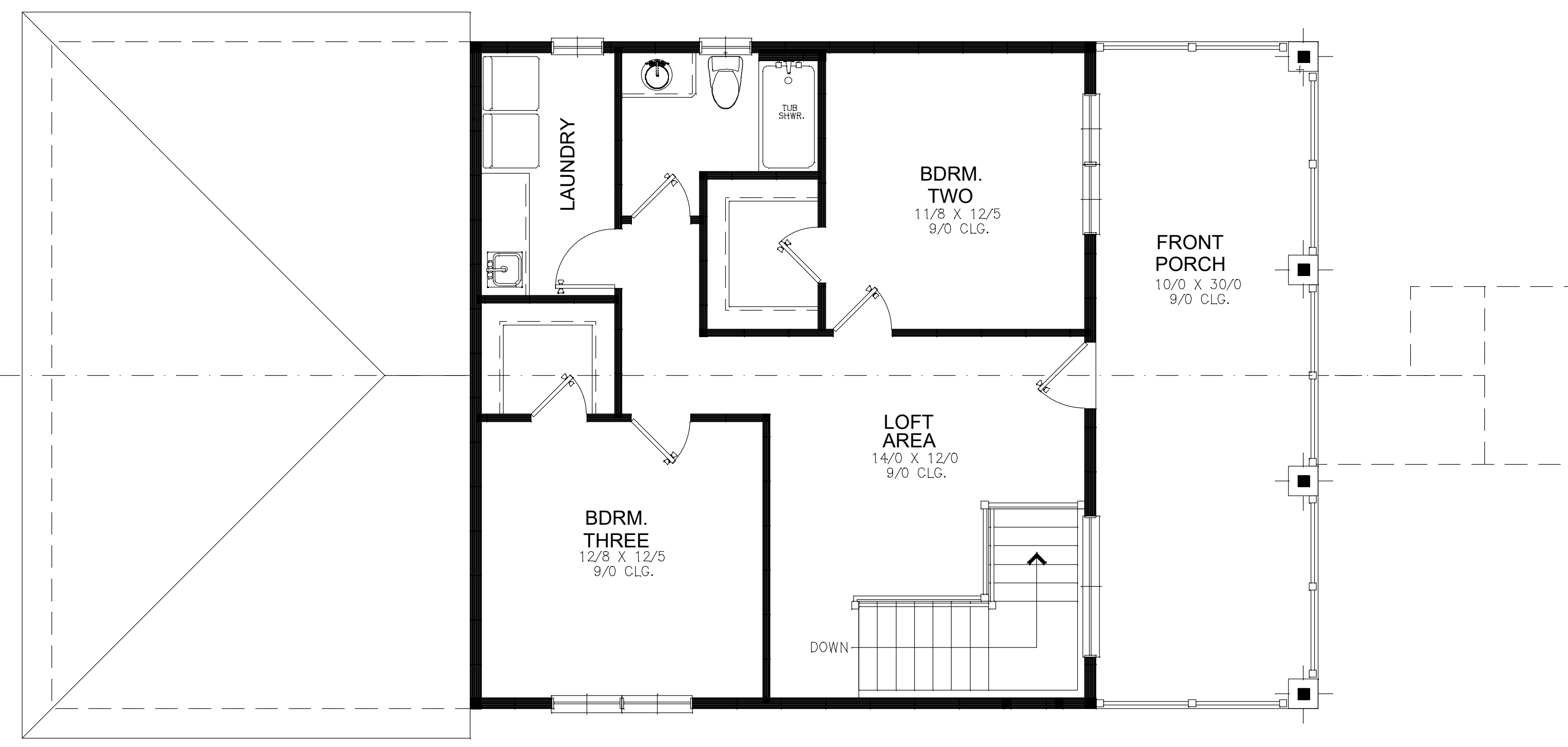
DRAWN BY
 GLC/BJD

SHEET
A2/1



FRONT ELEVATION

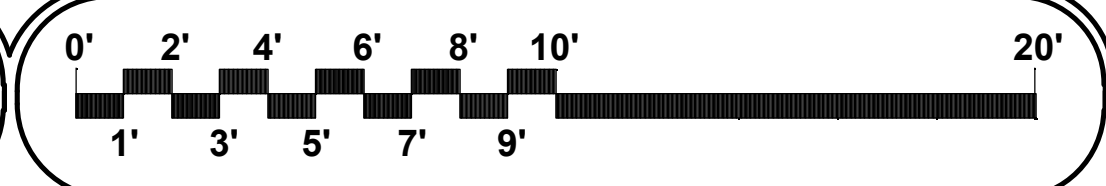
1/4" = 1'-0"



UPPER LEVEL LAYOUT - 1

1/4" = 1'-0"

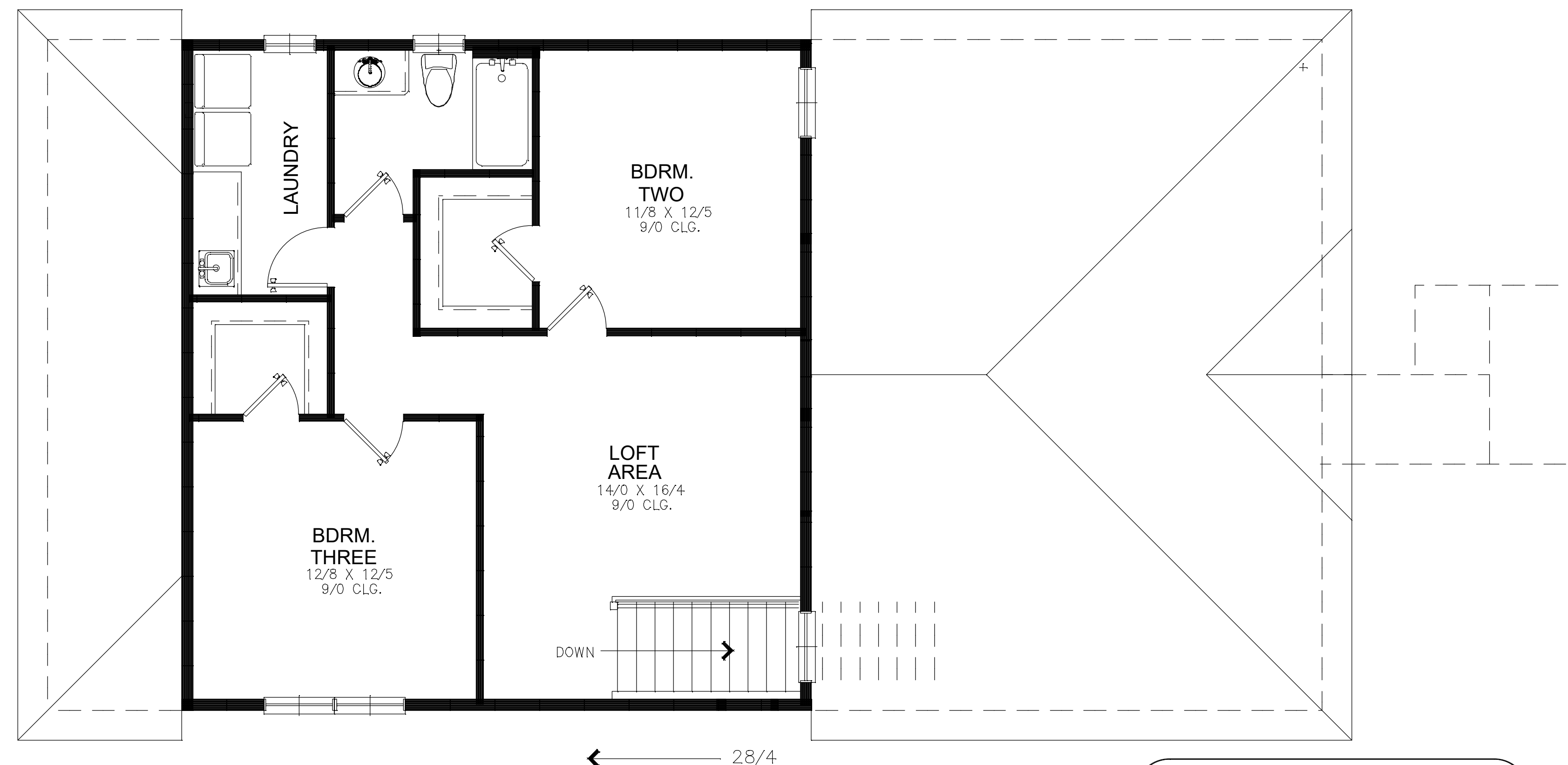
MAIN LEVEL LIVING AREA	1230
UPPER LEVEL LIVING AREA	845
TOTAL LIVING AREA	2075
LOWER LEVEL PARKING AREA	1710
MAIN LEVEL FRONT PORCH	375
MAIN LEVEL REAR PORCH	180
UPPER LEVEL FRONT PORCH	300
TOTAL AREA	4640



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REVISED 5-16-21



UPPER LEVEL LAYOUT - 2

1/4" = 1'-0"

MAIN LEVEL LIVING AREA	1230
UPPER LEVEL LIVING AREA	845
TOTAL LIVING AREA	2075
LOWER LEVEL PARKING AREA	1710
MAIN LEVEL FRONT PORCH	375
MAIN LEVEL REAR PORCH	180
UPPER LEVEL FRONT PORCH	300
TOTAL AREA	4640



FRONT ELEVATION

1/4" = 1'-0"

WHILE THESE PLANS HAVE BEEN PREPARED BY A PROFESSIONAL ENGINEER, THE BUILDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE THESE PLANS!

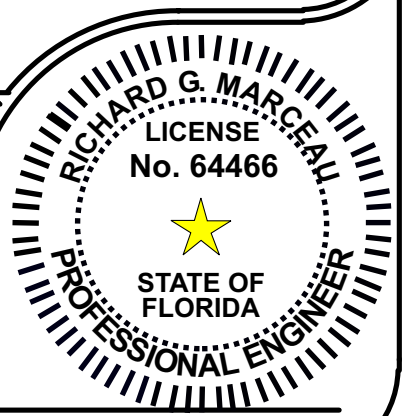
PETE MASTROVASILIS
LOT 48- CEDAR STREET, TARPON SPRINGS
2020 (EDITION 7) FLORIDA BUILDING CODE, RESIDENTIAL



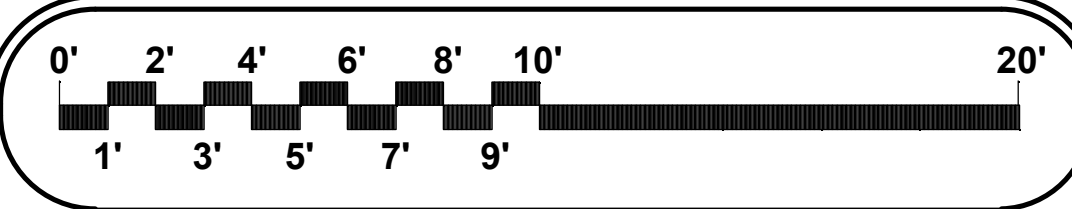
CONCEPTUAL
PRELIMINARY
FINAL DRWG.

LOT NO.
MODEL
CUSTOM
SCALE
1/4" = 1'-0"
DATE
7-25-20
REVISED
DRAWN BY
GLC/BJD
SHEET
A2/2

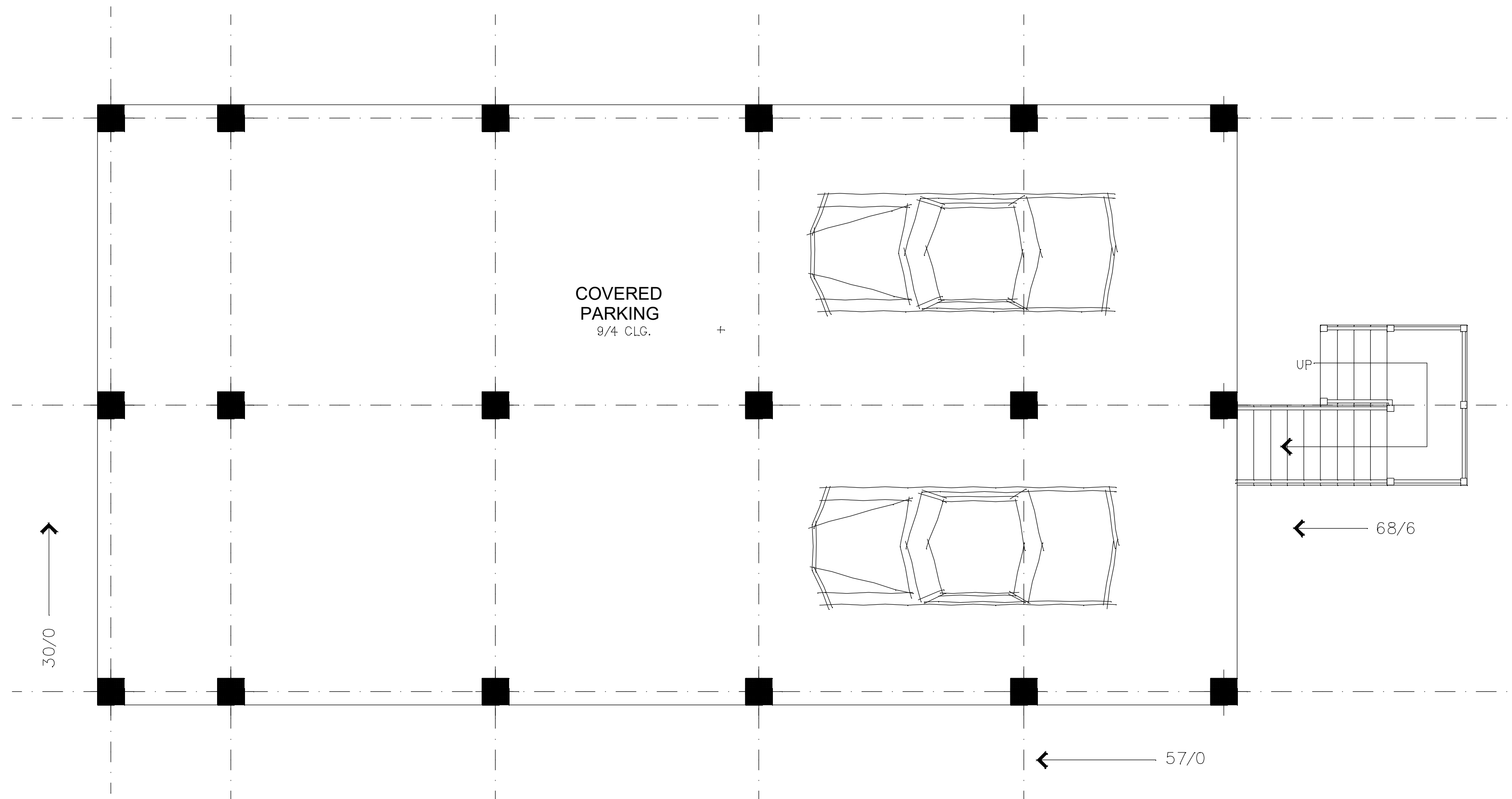
REVISED 5-16-21



RICHARD G. MARCEAU, P.E. # 64466



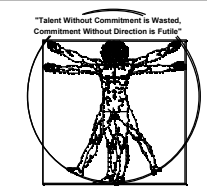
SEAL



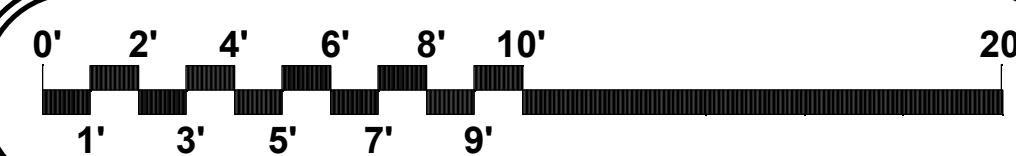
LOWER LEVEL PARKING

1/4" = 1'-0"

MAIN LEVEL LIVING AREA	1230
UPPER LEVEL LIVING AREA	845
TOTAL LIVING AREA	2075
LOWER LEVEL PARKING AREA	1710
MAIN LEVEL FRONT PORCH	375
MAIN LEVEL REAR PORCH	180
UPPER LEVEL FRONT PORCH	300
TOTAL AREA	4640



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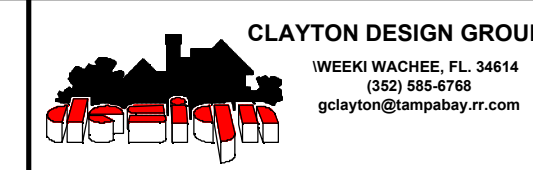


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ENGINEER OF RECORD
RICHARD G. MARCEAU
FL. P.E. # 64466
(813) 325-9973

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SEAL
RICHARD G. MARCEAU, P.E. # 64466

REVISED 5-16-21



CONCEPTUAL
PRELIMINARY
FINAL DRWG.

LOT NO.

MODEL
CUSTOM

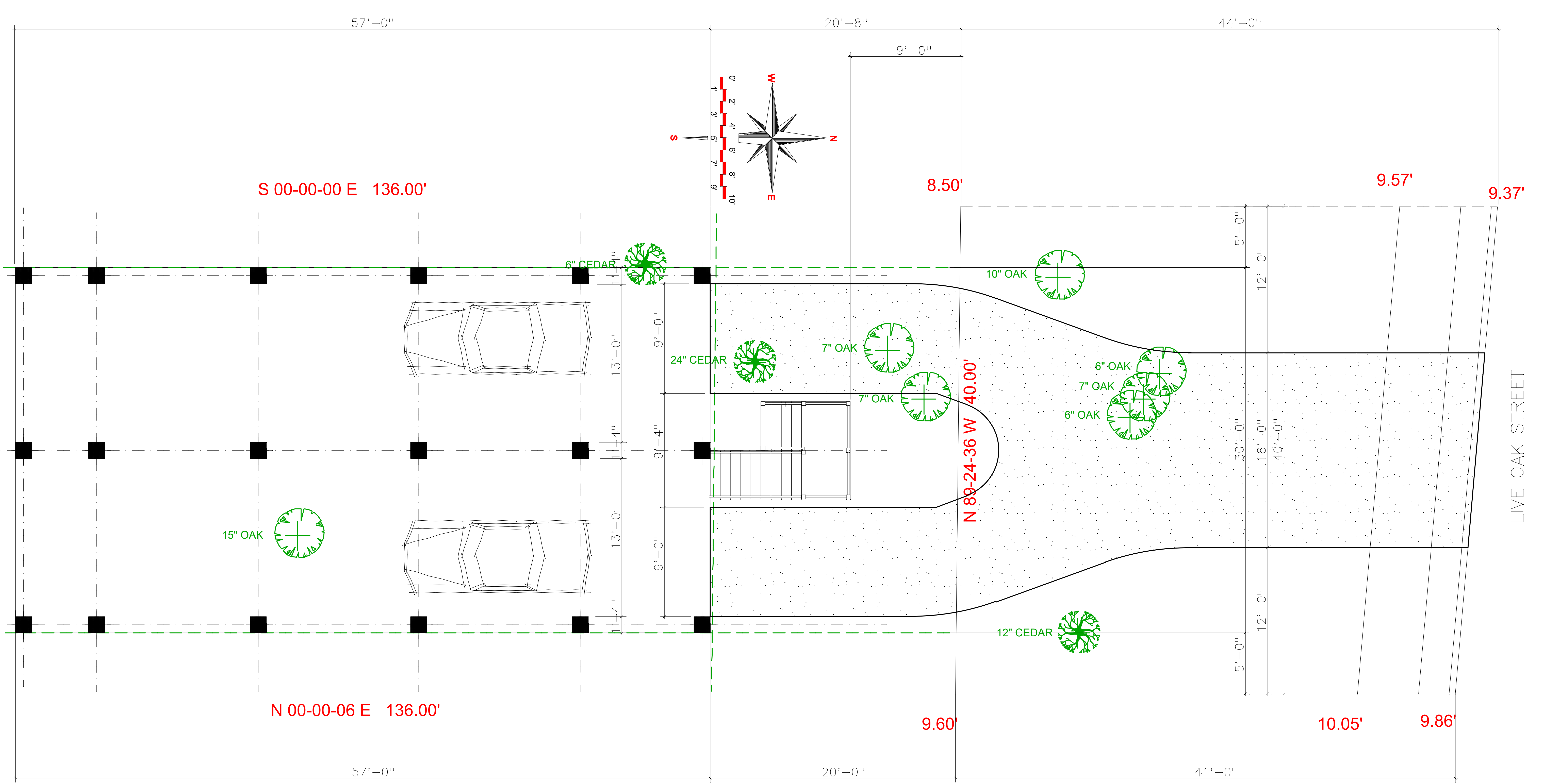
SCALE
1/4" = 1'-0"

DATE
7-25-20

REVISED

DRAWN BY
GLC/BJD

SHEET
A3



SITE LAYOUT

1/4" = 1'-0"
 SECTION 12, TWP. 27 S., RNG. 15 E.

REVISED 5-16-21

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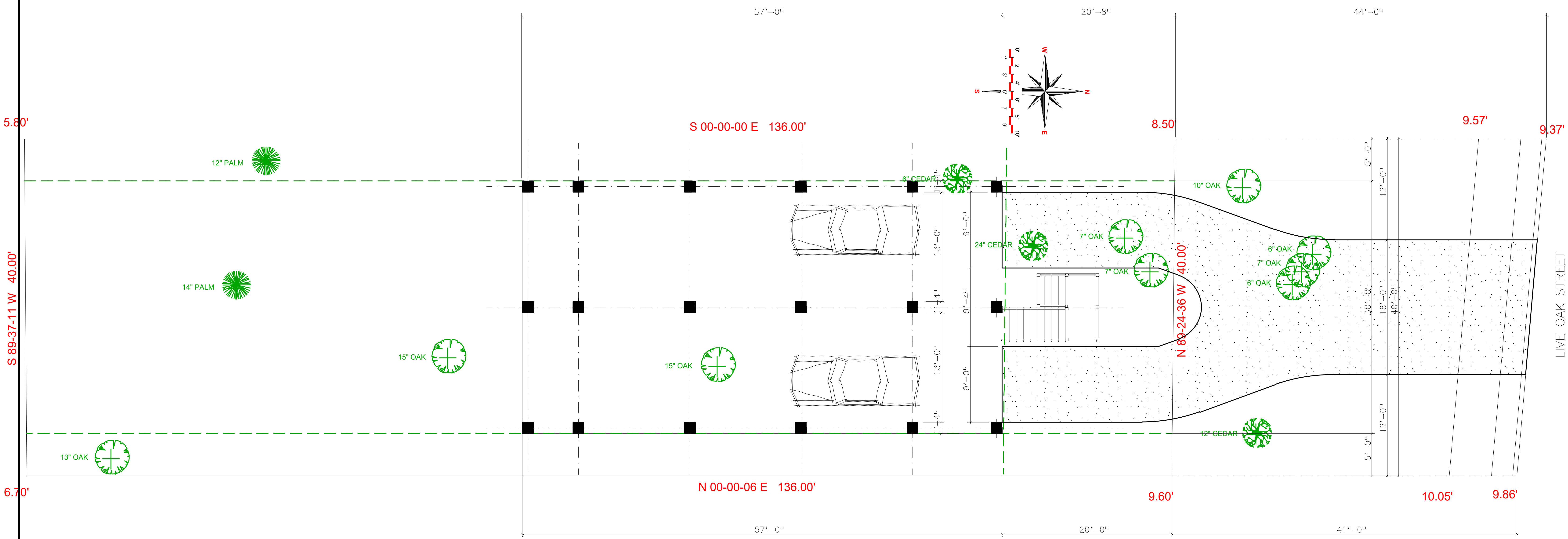
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SITE LAYOUT

3/16" = 1'-0"
SECTION 12, TWP. 27 S., RNG. 15 E.

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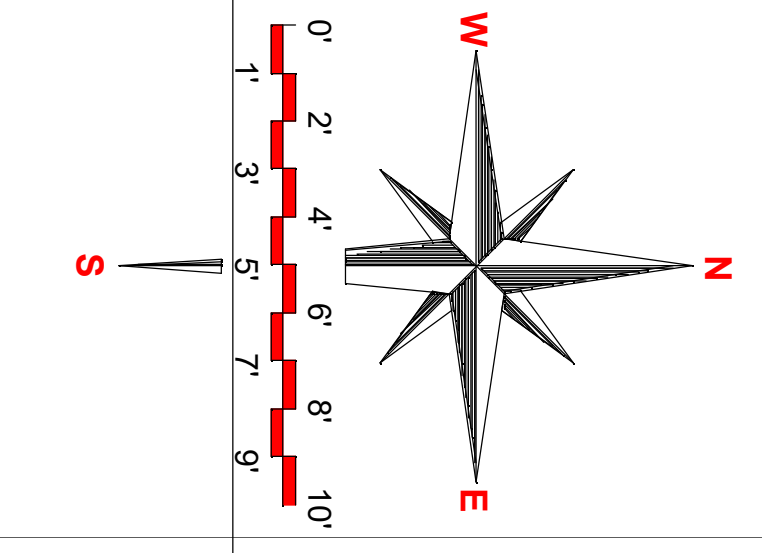
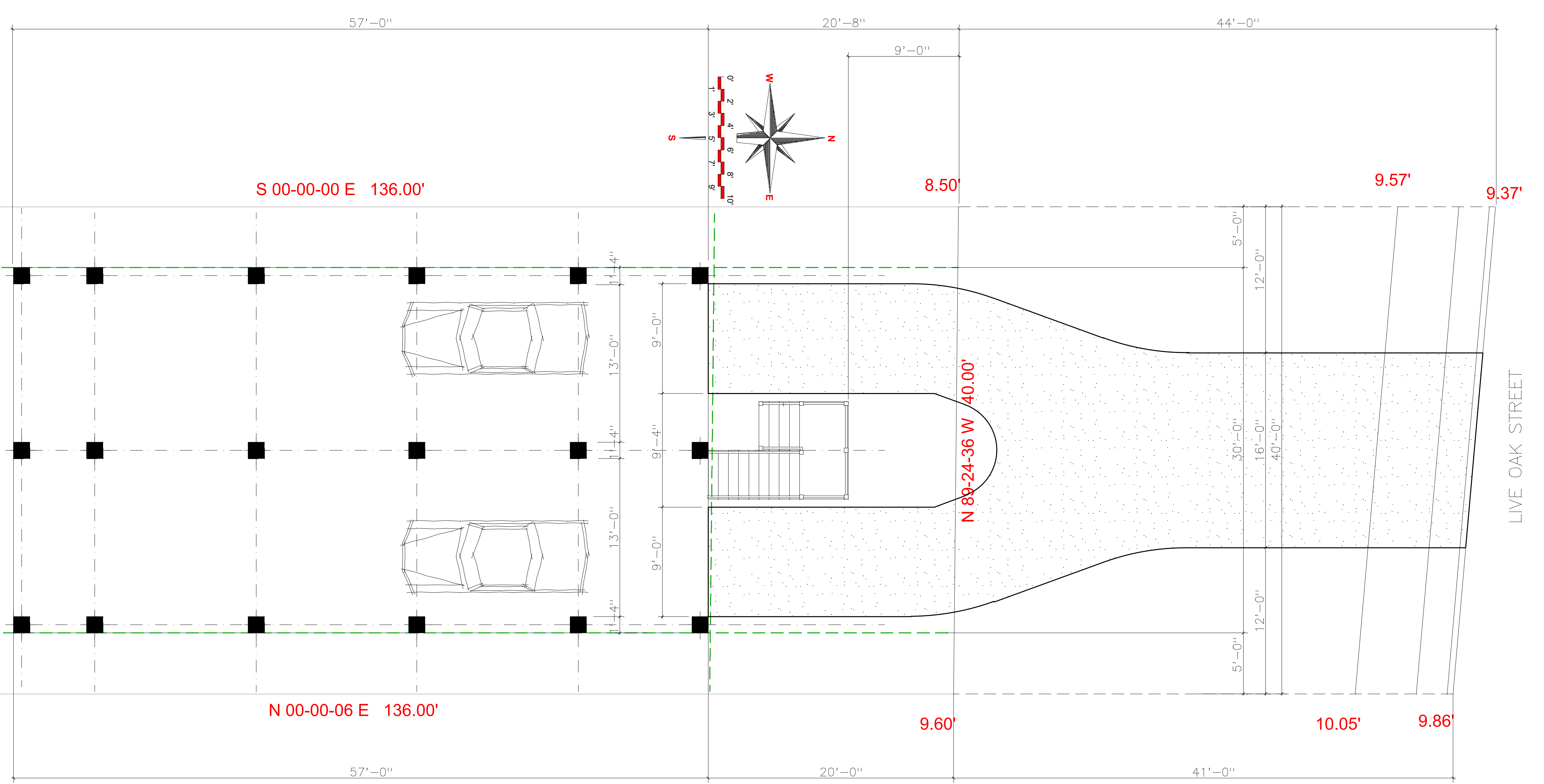
PETE MASTROVASILIS
 LOT 48- CEDAR STREET, TARPON SPRINGS
 2020 (EDITION 7) FLORIDA BUILDING CODE, RESIDENTIAL



CONCEPTUAL
 PRELIMINARY
 FINAL DRWG

LOT NO.
 MODEL
 CUSTOM
 SCALE
 1/4" = 1'-0"
 DATE
 7-25-20
 REVISED
 DRAWN BY
 GLC/BJD
 SHEET

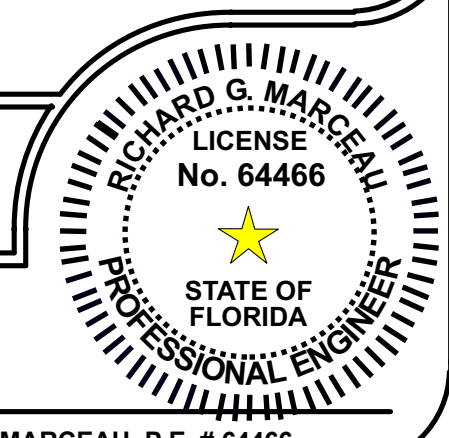
S1



SITE LAYOUT

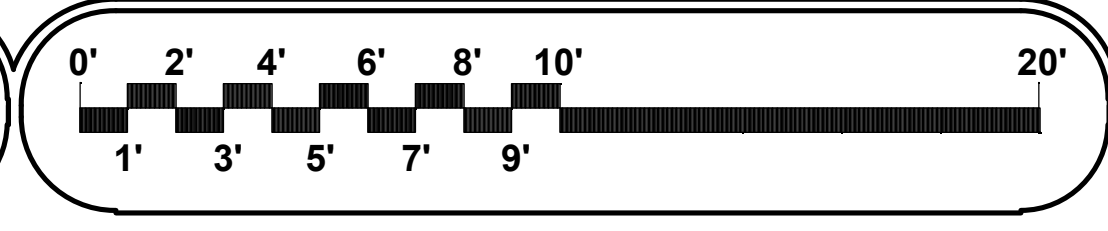
1/4" = 1'-0"
 SECTION 12, TWP. 27 S., RNG. 15 E.

REVISED 5-16-21



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 FL. P.E. # 64466
 (813) 325-9973

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 WEEKI WACHEE, FL 34614
 (352) 585-6768
 gclayton@tampabay.rr.com

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-57 – Papous Craft Distillery – 12 E Pine Strteet

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

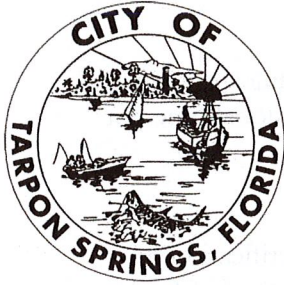
- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.



City of Tarpon Springs, Florida

324 E. PINE STREET
P.O. BOX 5004
TARPON SPRINGS, FL 34688-5004
(727) 938-3711

CRA BUILDING CODE ASSISTANCE PROGRAM GRANT GRANT APPLICATION

I. Applicant / Business Information

Please type or print

Applicants' Name: Papou's Craft Distillery, LLC, DBA Tarpon Springs Distille
Barry Butler

Mailing Address: 605 N. Pinellas Ave

Phone / Email: 813-766-9539 | barry@tarponspringsdistillery.net

Property Owner: 12 E Pine, LLC

Mailing Address: P.O. Box 113

City / State / Zip Code: Elfers, FL 34680

Phone /Email: 727-505-9662 | capo@fortunahq.com

Proposed Project: Fire suppression system for barrel aging house

Business Name: Papou's Craft Distillery, LLC DBA Tarpon Springs Distillery

Address: 605 N. Pinellas Ave, Tarpon Springs, FL 34689

*If the business is a partnership, attach a sheet listing name, address, and telephone number of each partner.

*If the business is a corporation, attach a sheet listing name, address, and telephone number of each shareholder and officer who owns any portion of the corporate stock. Publicly held companies are exempt.

II. Description of Building Improvements

- A. Please provide an exact description of the work required for building or fire code compliance or required upgrades to the building; [attach sheets as necessary] In stallation of a sprinkler system and fire monitoring alarm.
- B. Please attach a site plan and/or sketch plans and specifications detailing the scope of work.
- C. Please digitally attach at least two (2) photos of the building project area in its current condition.

III. Cost of the Building Improvements

Please provide cost estimates for the planned improvements (attach itemized list and estimates)

Fire Suppression (walls, sprinklers, etc.): \$ 33,370.00
Electrical: \$ _____
Structural Alterations or Accessibility Improvements: \$ _____
Air System Handlers (A/C, heating): \$ _____
Other: _____ \$ _____
Total Project Cost: \$ 33,370.00
Grant Funds Requested: \$ 7,500

(50% reimbursable to a max. \$7,500 for a single-story building, \$10,000 for a two-story building)

Please attach an itemized listing of costs or estimates from a licensed contractor.

IV. Applicant's Acknowledgements

Please read and initial all of the following:

BB The undersigned applicant agrees to utilize any grant funds received in strict conformance with the guidelines set forth by the Community Redevelopment Agency in Resolution 2020-01

BB All grant applications must receive approval by the Technical Review Committee (TRC) before any construction can commence. No grants will be awarded on an application if work has been started or completed. **ANY COST FOR WORK PREVIOUSLY COMPLETED PRIOR TO AN APPROVED APPLICATION CANNOT BE REIMBURSED UNDER ANY CIRCUMSTANCE. DO NOT START ANY PHYSICAL RENOVATIONS UNTIL AFTER FINAL APPLICATION APPROVAL BY THE TRC, AND NOTICE TO PROCEED/BUILDING PERMITS HAS BEEN ISSUED.**

BB All grant applications for buildings/properties within the Historic District must receive all applicable Certificates of Approval (CA) from the Heritage Preservation Board (HPB) before any construction can commence. No grants will be awarded on an application if work has been started or completed.

BB All applicants that are awarded a grant understand that when submitting for reimbursement that "cash receipts" will not be accepted due to auditing requirements - NO EXCEPTIONS. You must pay for materials and services by check, money order or by credit card. Verification of payment must be submitted with reimbursement request.

BB Only properties located within the Community Redevelopment Area (CRA) are eligible for this grant. All businesses must have a current Local Business Tax License by completion of the project and prior to reimbursement.

BB All grant recipients must complete a W-9 Tax Form and will receive a 1099 Tax Form for their award.

VIII. Building Owner's Signature (if different from applicant)

Anthony Triggiano
Owner's Name (Printed or Typed)

5-6-21
Date

[Signature]
Owner's Signature

5-6-21
Date

STATE OF Florida
COUNTY OF Pinellas

Sworn to and subscribed before me by Anthony Triggiano who is personally known to me or produced FL DL as identification, this 6 day of May, 2021.

Notary's Signature Tiffany Holt
SEAL:



STATE OF FLORIDA-PINELLAS COUNTY

I hereby certify that the foregoing is a true copy as recorded in the official records of Pinellas County:

This 1 day of May, 2021
KEN BURKE
Clerk of the Circuit Court & Comptroller

By: Deanda M. Norton
Deputy Clerk



Permit Number _____
Parcel ID Number _____

NOTICE OF COMMENCEMENT

State of Florida
County of Pinellas

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Parkens, Mrs. S. Safford Lot 24

a) Street (job) Address: 12 Pine Street, Tarpon Springs, FL 34689

2. General description of improvements: Installation of a new fire sprinkler system, including new underground fire service.

3. Owner Information or Lessee information if the Lessee contracted for the improvement:

a) Name and address: Papou's Craft Distillery, LLC DBA Tarpon Springs Distillery

b) Name and address of fee simple titleholder (if different than Owner listed above) _____

c) Interest in property: Lessee

4. Contractor Information

a) Name and address: Protagis LLC, dba Protagis Fire & Safety

b) Telephone No.: 877-662-3473 Fax No.: (optional) _____

5. Surety (if applicable, a copy of the payment bond is attached)

a) Name and address: _____

b) Telephone No.: _____

c) Amount of Bond: \$ _____

6. Lender

a) Name and address: _____

b) Telephone No.: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

a) Name and address: Barry Butler, 960 S. Florida Ave, Tarpon Springs, FL 34688

b) Telephone No.: 813-766-9539 Fax No.: (optional) _____

8. a) In addition to himself or herself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b) Phone Number of Person or entity designated by Owner: _____

9. Expiration date of notice of commencement (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____ 20

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated therein are true to the best of my knowledge and belief.

Barry Butler Owner
(Signature of Owner or Lessee, or Owner's or Lessee's (Authorized Officer/Director/Partner/Manager) (Print Name and Provide Signatory's Title/Office))

The foregoing instrument was acknowledged before me by means of physical presence or on-line notarization, this 04 day of May, 2021 by Barry Scott Butler as OWNER (type of authority, e.g. officer, trustee, attorney in fact) for Barry Scott Butler as OWNER

for Papou's Craft Distillery LLC (name of party on behalf of whom instrument was executed)

Personally Known Produced ID
Type of ID Florida Drivers License Notary Signature Edgardo Roman

Print name EDGARDO ROMAN



EDGARDO ROMAN
Commission # GG 206852
Expires April 12, 2022
Bonded Thru Budget Notary Services



PROTEGIS
FIRE & SAFETY

March 17, 2021

Tarpon Springs Distillery
605 North Pinellas Avenue
Tarpon Springs, Florida 34689

Attention: Barry Butler

Reference: New Fire Sprinkler System

Dear Mr. Butler,

Protegis LLC dba Protegis Fire & Safety, referred to herein as Protegis, and Tarpon Springs Distillery, referred to herein as the "Purchaser", agrees for Protegis to install a fire sprinkler system and auxiliary equipment for the above referenced project.

Work and equipment to be installed according to the attached specifications.

The price of the total installation as described is: **Thirty-Three Thousand Three Hundred Seventy Dollars (\$33,370.00).**

Inside Fire Sprinkler System	\$19,850.00
Underground Fire Service Main	\$13,520.00

Thank you for this opportunity to be of service, and if acceptable, please sign and return one copy. Please contact us should you have any questions regarding this proposal.

ACCEPTED

Protegis LLC (dba Protegis Fire & Safety)



(Purchaser)

By Ed Tupman
Ed Tupman

By Barry Butler

Date Mar. 17, 2021

Date March 24, 2021

Tarpon Springs Distillery

SPECIFICATIONS

SCOPE OF WORK: Provide design, labor, and material to install a wet-type sprinkler system. Brass upright sprinklers are to be installed in the attic space, and chrome semi-recessed sprinklers are to be installed in the ceiling. Scope of work to start at the 6-inch city main on Pine Street.

DESIGN CRITERIA:

- Ground floor assumed to be used for storage of whiskey, 6 tiers of wood barrels or less. The design density used is .22 gpm/sf x 4,000 sf (or the entire floor area). 250 gpm is added at the point of connection for outside hose stream allowance. NFPA does not address the storage of flammable liquids of distilled spirits. The design density comes from “The Distilled Spirits Council of the United States, Inc.”
- The attic is assumed to be inaccessible for storage. The design density used is .10 gpm/sf x 1,950 sf. 100 gpm is added at the point of connection for outside hose stream allowance.

PIPE AND FITTINGS: All pipe and fittings to be as approved by the latest adopted edition of NFPA 13.

HANGERS AND SUPPORTS: Approved hangers to support sprinkler systems.

ELECTRIC BELL: One (1) electric bell to be installed on the outside wall adjacent the sprinkler riser and one (1) on the inside wall.

ALARM SWITCH: One (1) flow switch to be installed on the system riser.

BACKFLOW PREVENTER: One (1) double check detector assembly with bypass meter to be installed on the system riser.

CONTROL VALVE AND SUPERVISION: Control valves to include tamper switches per NFPA requirements.

TRENCHING: Excavation and suitable backfill for fire main. Backfill with flowable fill and dense grade.

UNDERGROUND PIPE: Install 4-inch CPVC DR-18 pipe from the city tap to the northeast corner of the building.

FIRE DEPARTMENT CONNECTION: One (1) Storz type FDC to be located on the property line.

TESTING: All interior pipe to be tested per NFPA 13 and underground pipe to be tested per NFPA 24 requirements.

DESIGN DRAWINGS: Certified plans for permit submittals.

FREIGHT: All freight included.

TAXES: Pinellas county sales tax included.

PERMITS: Pinellas county permit fees included.

WAGE RATE: Non-prevailing.

All of the above to be installed per The Florida Building Code (Latest Edition), NFPA Standards, and local authorities having jurisdiction.

Items NOT included:

- Sewer fees associated with new underground water service
- Fire hydrant
- Procedures necessary to work with lead paint, asbestos, or any other hazardous materials
- Cost for architect to furnish electronic CAD files
- Specific insurance carrier requirements (i.e. FM Global, etc.)
- Electrical wiring (see alarm quote)
- Galvanized pipe
- Painting or priming of pipe
- Custom-painted sprinkler heads and/or escutcheons
- Seismic restraints
- Fire hose valves or racks
- Fire extinguishers
- Fire alarm system (see separate quote)
- Underground domestic water service
- Excavation of rock or shale
- Excavation to a depth greater than 3 feet below grade
- Shoring of trenches
- Testing for the presence of and/or treatment of Microbiologically Influenced Corrosion (MIC) contaminants in the water supply.

Clarifications:

- This proposal is based on the following city water supply to be available at the connection to the city main: 64 PSI static pressure and 38 PSI residual pressure flowing 1,035 GPM. Flow test information provided by Tarpon Springs Utilities.
- Schedule is to be mutually agreed upon between customer and Protegis, equipment lead time may affect schedule.
- Anticipated material increases are included to April 17, 2021. Escalation of material costs is not included beyond that date. The pricing above reflects current supplier pricing. In the event of significant delay or price increase of material occurring during the performance of the work through no fault of the Contractor, the contract sum, time of performance, and/or contract requirements shall be equitably adjusted by change order. A change in price of an item of material shall be considered significant when the price of an item increases 5% percent between the date of this proposal and the date of installation.
- This proposal pricing is valid for 30 days.

CITY MAIN

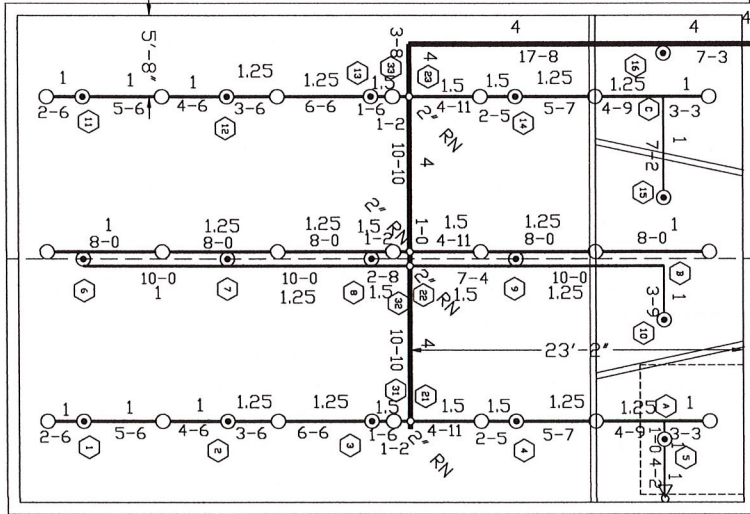
PINE ST.

TAPPING SLEEVE AND VALVE WITH ROAD BOX

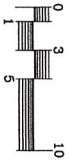
4" C-900 DR14
40 LF +/-

STORZ
FLDC

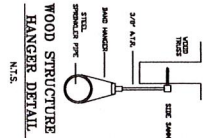
FENCE



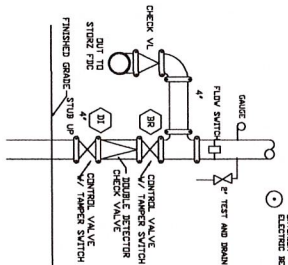
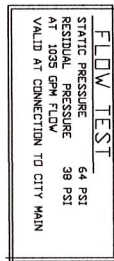
FIRE SPRINKLER PLAN



GRAPHIC SCALE: 1/8" = 1'-0"



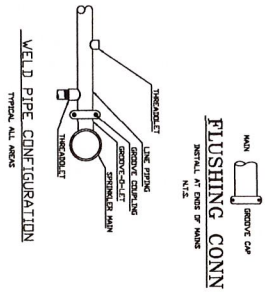
N.T.S.



HANGER DETAIL

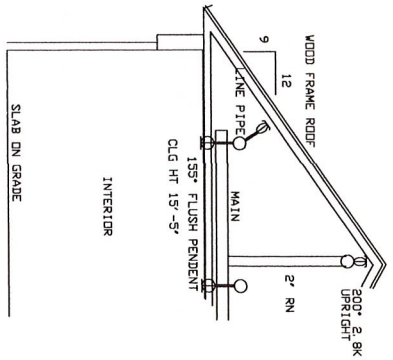
N.T.S.

HYDRAULIC NAMEPLATE	
COMPANY	PROTEGIS
PRINT	FP-2
DATE	4-4-21
FOR	DISTILLERY
AT	12 PINE ST
DISCHARGE RATE, 20 GPM/1"	ALL SF
DISCH. AREA	ALL SF
SPRINKLED WITH	2 GPM
# SPRINKLED	4
# SPRINKLED ON RISER	4
PISTON PRESSURE	150 PSI
MIN. ALLOWANCE	200 GPM
OCCUPANT CLASS	STORAGE
COMMITTEE	3 TIER BARRELS
STORAGE HT	9'
INSTALLER	PROTEGIS



WELD PIPE CONFIGURATION

N.T.S.



PARTIAL SECTION VIEW

N.T.S.

LEGEND

○ 1/2" 200° OR BRASS UPRIGHT	○ 1/2" 155° OR FLUSH PENDENT
○ 2" BK TY1121	○ TY3331
○ 1/2" 155° OR HORIZ SIDEWALL TY3331	○ CALC. PDIN

NOTES:
 SCOPE: NEW WET PIPE SYSTEM IN EXISTING 1 STORY BUILDING, INCLUDING UNDERGROUND SUPPLY ALL WORK TO COMPLY WITH NFPA 13 (2016), FPFC 7TH ED. & LOCAL CODES.
 ALL MATERIALS TO BE UL LISTED.
 ALL PIPING TO BE TESTED AT 200 PSI FOR 2 HOURS.
 COMPLETED CONTRACTOR MATERIAL TEST CERTIFICATES TO BE FORWARDED TO FIRE MARSHAL & OWNER.
 THIS PROJECT IS NOT LOCATED IN A FLOOD OR EARTHQUAKE ZONE REQUIRING CONSIDERATION IN THE DESIGN OF THE SPRINKLER SYSTEM.
 ALL SPRINKLERS, VALVES, FITTINGS AND EQUIPMENT ARE TO COMPLY WITH NFPA REQUIREMENTS. PIPING TO BE BLACK STEEL SCHEDULE 7 WITH GROOVES AND WELD FITTINGS, SCH 40 WITH SCOPE FITTINGS.
 ALL UNDERGROUND PIPING TO BE FLUSHED BEFORE CONNECTION TO SYSTEM.
 OCCUPANCY DISTILLERY IN OCCUPIED AREA, LIGHT FIXTURES IN BLIND SPACE UNDERGROUND TO HAVE 36" MINIMUM COVER.
 BARRELS WILL BE STACKED UP TO 3 HIGH.
 SYSTEM WILL HAVE CENTRAL STATION MONITORING.

COMPANY: **PROTEGIS**
 FIRE AND SAFETY
 P.O. BOX 2176
 RIVERVIEW, FL 33568
 813-662-3473

PROJECT: **TARPON SPRINGS DISTILLERY**
 12 PINE ST.
 TARPON SPRINGS, FL

NO. OF SPRINKLERS	150	200	200
NO. OF VALVES	16	21	21
NO. OF FITTINGS	1	1	1
TOTAL SPRINKLING TIME	30	30	30
TOTAL SPRINKLING TIME	30	30	30

Drawn by: **FP-1**

4-1 General

4-1.1

Outside fire protection equipment should be provided for manual fire-fighting operations. Public and/or private hydrants should afford this protection. Hydrants should be installed at intervals of not more than 300 (90m) feet apart. Protection for multiple tank installations (tank farms) can be provided via methods such as master streams, as delivered by fixed monitor nozzles or hydrant mounted monitor nozzles. Refer to NFPA 24, Standard for the Installation of Private Fire Service Mains and Their Appurtenances.

4-1.2

Inside fire protection equipment should be provided for manual fire-fighting operations.

4-1.2.1

Listed fire extinguishers should be provided in all areas. Refer to OSHA 29 C.F.R. § 1910.157 "Portable Fire Suppression Equipment" and NFPA 10, Standard for Portable Fire Extinguishers. In addition, local building and fire codes (authority having jurisdiction) must also be followed and can sometimes exceed the NFPA and OSHA requirements.

4-1.2.1.1

See OSHA 29 C.F.R. § 1910.157 for specific employee-related requirements for the use of fire extinguishers.

4-1.2.2

In areas and jurisdictions where conditions and codes require inside hose, OSHA 29 C.F.R. § 1910.158, along with NFPA 25, Standard for the Inspection, Testing, and Maintenance of Water-Based Fire Protection Systems and all applicable local building and fire codes, should be followed.

4-2 Sprinkler & Water Spray Protection

4-2.1

Where automatic sprinkler systems are installed, they should be in accordance with NFPA 13, Installation of Sprinkler Systems, or NFPA 15, Standard for Water Spray Fixed Systems for Fire Protection, or both, except as modified herein. Wet pipe sprinkler systems are preferred in all areas.

4-2.2

Sprinkler design criteria for each specific occupancy should be in accordance with Tables 4-2.2a to 4-2.2e.

4-2.3

Where water spray fixed systems are required, they must be installed in accordance with NFPA 15, Standard for Water Spray Fixed Systems For Fire Protection, OSHA § 1910.163 "Fixed Extinguishing Systems Water Spray And Foam," along with all applicable local codes.

4-2.4

Specific situations and local codes can require both sprinkler and fixed systems for fire protection.

4-2.5

In spaces protected by sprinkler systems and equipped with large ceiling fans, the ceiling fans should automatically shutdown in case of a fire alarm or sprinkler system activation. This can be accomplished through fan control integration into the fire alarm control center.

4 | PROTECTION PRACTICES

Table 4-2.2a
Process Occupancies¹

Occupancy	Type of Sprinkler System	Density gpm/ft ² (mm/min)	Area of Demand ft ² (m ²)	Hose Stream Demand gpm (L/min)
Grain Handling (including drying)	Protect in accordance with NFPA 13 for Ordinary Hazard Group 2 occupancy (with a suggested minimum design area of 2000 ft ² (186 m ²)).			
Mashing and Fermenting ²	Wet	0.20 (8)	2000 (186)	250 (950)
	Dry	0.20 (8)	2600 (242)	250 (950)
Still House	Wet or Dry	0.20 (8)	5000 (465) first level 2000 (186) intermediate and ceiling levels	500 (1900)
Barrel Fill and Drain Areas	Wet or Dry	0.25 (10)	5000 (465)	500 (1900)
Barrel Warehousing	See Tables 4-2.2c, 4-2.2d and 4-2.2e			
Tanker Loading, Unloading Station	Deluge/Water Spray	0.25 (10)	Simultaneous operation of all sprinklers (see NFPA 15)	500 (1900)
Tank Rooms ³	Wet or Dry	165°F	5000 (465)	500 (1900)
		286°F	4000 (372)	500 (1900)
Bottling Areas	Wet	0.20 (8)	3000 (279)	500 (1900)
	Dry	0.20 (8)	5000 (465)	500 (1900)
Cooperage	Protect in accordance with NFPA 13 for Ordinary Hazard Group 2 occupancy (with a suggested minimum design area of 2000 ft ² (186 m ²)).			

1) For use with sprinkler temperature ratings between 165°F and 286°F (74°C-141°C), unless otherwise noted.

2) Minimum of 600 gpm (2300 L/min) sprinkler demand at base of riser in accordance with NFPA 13 requirements for Ordinary Hazard occupancy.

3) Sprinklers should be provided beneath all tanks with a horizontal dimension greater than 4 feet (1.2m). Design should be based on an end head pressure of 15 psi (100 kPa). Sprinklers provided under any solid or grated catwalks should be designed to provide a density of 0.15 gpm per ft² (6 mm/min). The overall tank room design should consider the simultaneous operation of ceiling, under tank, and under catwalk sprinklers within the area of demand specified above.

Table 4-2.2c
Sprinkler Protection Design Requirements for Single-Row and Double-Row, Racked Storage of Distilled Spirits in Barrels

Number of Tiers of Barrels between Floor and Ceiling ²	Sprinkler Design Criteria ^{1,2} (sprinkler temperature ratings between 165°F – 286°F [74°C – 141°C], both wet and dry systems)							
	Ceiling Only		Ceiling with In-Racks One Level ⁴		Ceiling with Level Under Bottom Barrel (Jamieson or Burke System) ^{5,6}		Ceiling with In-Racks At Each Catwalk Level (Diamond Stagger System) ^{6,8}	
	Density gpm/ ft ² (mm/min)	Area of Application ft ² (m ²)	Density gpm/ ft ² (mm/min)	Area of Application ft ² (m ²)	Density gpm/ ft ² (mm/min)	Area of Application ft ² (m ²)	Density gpm/ ft ² (mm/min)	Area of Application ft ² (m ²)
0 – 6	0.22 (9) ⁷	4000 (372)						
7 – 9	0.30 (12)	4000 (372)						
10 – 12	0.40 (16)	3000 (279)						
13 – 15	0.50 (20)	3000 (279)	0.30 (12)	4000 (372)	0.35 (14)	3000 (279)	0.22 (9)	2000 (186)
16 – 18			0.40 (16)	3000 (279)	0.50 (20)	3000 (279)	0.22 (9)	2000 (186)
19 – 21			0.40 (16)	3000 (279)	0.50 (20)	3000 (279)	0.22 (9)	2000 (186)
22 – 24			0.40 (16)	3000 (279)	0.55 (22)	3000 (279)	0.22 (9)	2000 (186)

- 1) Hose stream demand is not required.
- 2) Where there is a sloping roof, the sprinkler on each line closest to the eaves may have less than 18 inches (450 mm) clearance.
- 3) Where draft floors are provided every sixth tier vertically, protection requirements for 0-6 barrels may be used.
- 4) Design of in-rack sprinklers should be based on the simultaneous operation of the most hydraulically remote 6 sprinklers at a minimum operating pressure of 30 psi (2 bar). Refer to Figures 4-2.2a and 4-2.2b.
- 5) Design of sprinklers under bottom barrels is based on a discharge density of 0.15 gpm / ft² (6 mm/min) over the hydraulically most remote 2,500 ft² (232 m²). Refer to Figure 4-2.2c.
- 6) Design of in-rack sprinklers is based on the simultaneous operation of the most hydraulically remote 10 sprinklers (5 on each two top levels) at a minimum operating pressure of 30 psi (2 bar). Refer to Figure 4-2.2d.
- 7) It is permissible to have a sprinkler clearance less than 18 inches (450 mm) providing the discharge density is increased by 0.01 gpm/ft² (0.4 mm/min) for each 1 inch (25 mm) reduction in sprinkler clearance.
- 8) The Jamieson/Burke and Diamond Stagger systems are old-style systems. Information is provided for reference only. New installations should not utilize these designs.

COMMERCIAL LEASE

THIS LEASE AGREEMENT is made and entered on this 1st day of March 2021 by and between **12 EAST PINE LLC** of 12 E Pine St Tarpon Springs FL 34689, hereinafter called the "LANDLORD" and **PAPOU'S CRAFT DISTILLERY, LLC, DBA TARPON SPRINGS DISTILLERY**, whose business address is 605 N Pinellas Ave Tarpon Springs FL 34689, hereinafter called the "TENANT".

WITNESSETH, that the Landlord for and in consideration of the rents, convenience and agreements herein set forth, hereby leases to the Tenant, the following described as:

12 E Pine St Tarpon Springs FL 34689
Parcel ID 12-27-15-66573-000-0240
(the "Leased Premises")

On the following terms and conditions, to wit:

1. **TERM:** The term of this lease shall be for Five (5) years beginning March 1st 2021 (the "Commencement Date") and ending on the last day of the 60th month term ending January 31st 2021 unless the said term shall be sooner terminated as hereinafter set forth.

2. **RENT:** Tenant shall pay rents payable under the terms of this lease to "12 EAST PINE, LLC" as base rent for the leased premises, in equal monthly installments as follows:

Rent shall be abated for the month of March 2021.

Beginning April 1st, 2021 Tenant shall pay the sum of \$2,000.00 per month for 11 months.

Beginning March 1st, 2022 Tenant shall pay the sum of \$2,500.00 per month for 12 months.

Beginning March 1st, 2023 Tenant shall pay the sum of \$2,750.00 per month for 12 months.

Beginning March 1st, 2024 Tenant shall pay the sum of \$3,000.00 per month for 12 months.

Beginning March 1st, 2025 Tenant shall pay the sum of \$3,250.00 per month for 12 months

All rents are due in advance on the first day of each calendar month commencing from the effective date of this lease, and continuing thereafter, until the said total shall be paid. Rents shall include applicable sales tax.

In the event any rental payments is not paid and remains unpaid for a period of 10 days, then Tenant shall be liable for and agrees to pay a late charge in an amount equal to five percent (5%) of each such delinquent payments.

3. **OPTION TO RENEW:** Tenant has option to renew for an additional 5 years with rent being changed to reflect market value at that time. Notwithstanding the forgoing, any request for an increase in rent of more than 15% over the initial rate shall require a 1-year notice from Landlord to allow Tenant to find alternative storage options.

4. **LANDLORD ALTERATIONS:** Landlord shall remodel bathroom, install adequate interior lighting for barrel storage See Exhibit A.



5. **SECURITY AND DEPOSITS:** Tenant has on deposit with Landlord \$2,000.00 dollars as security for Tenant's performance of Tenant's obligations. If Tenant fails to pay rent or other charges due, or otherwise defaults with respect to any provision hereof, Landlord may use all or any portion of said deposit for the payment of any rent or other charge in default to compensate Landlord for any loss or damage which Landlord may suffer thereby. If Landlord so uses or applies all or any portion of said deposit, Tenant shall, within ten (10) days after written demand to deposit cash with Landlord in an amount sufficient to restore said deposit to the full amount hereinabove stated, and Tenant's failure to do so shall be a material breach hereof. Landlord shall not be required to keep said deposit separate from its general accounts. If Tenant performs all of Tenant's obligations, said deposit, or so much thereof as has not applied by Landlord, shall be returned, without payment of interest or other increment for its use, to Tenant within thirty (30) days after the expiration of the term thereof, and after Tenant has vacated the property. The Security Deposit shall be non-interest bearing.

6. **TAXES:** Tenant will pay Landlord, together with Tenant's payment of each monthly installment of Minimum Annual Rent and additional rent any applicable sales or privilege taxes imposed in connection with this Lease or the sums payable hereunder. Such payments will be made on a timely basis in accordance with applicable law. This Section will apply to any tax imposed by Florida Statute 212.031 as well as increases in or replacements to such tax and any similar additional tax including, but not limited to, those levied by local, state or federal governmental authorities.

7. **USAGE:** The property shall be used and occupied only for a **Barrel storage house and event space** and other related purposes and for no other purpose. Items that may be stored in the building include: whiskey barrels and other items consistent with the operation of a distillery, tables, chairs, décor items, and other items consistent with the operation of events. Without limiting the foregoing, Tenant shall not use nor permit the use of the property in any manner that will tend to create waste or a nuisance.

Tenant shall, at Tenant's expense, execute and comply with all statutes, ordinances, and regulations of all governmental bodies, applicable to the Property, as well as all covenants and restrictions of record which regulate the use by the Tenant of the Property.

8. **UTILITIES:** Tenant shall punctually pay for sewer and water. Tenant shall punctually pay for gas, electricity, telephone, and garbage collection consumed in connection with the property, together with any taxes thereon. If any such services are not separately metered as to the Leased Premises, Tenant shall pay a reasonable proportion to be determined by Landlord of all charges jointly metered with other Property. Landlord shall not be liable to Tenant for interruption in or curtailment of any utility service, nor shall any such interruption or curtailment constitute a constructive eviction or grounds for rental abatement in whole or in part hereunder.

9. **MAINTENANCE, REPAIRS, AND ALTERATIONS:**

a. **Casualty and Condemnation.** The specific provisions hereof relating to repairs after casualty or condemnation shall take precedence over the terms of this Section 9, but only to the extent in conflict herewith.



b. Landlord Responsibilities. Landlord at Landlord's expense shall keep in good order, condition, and repair the roof, foundations, exterior walls, general structure and all outside common areas, and shall comply at its expense with any applicable local, state, and federal ordinances related to the condition of the building and outside common areas where such condition has not been adversely effected by Tenant's use of the Property.

c. Tenant's Responsibilities. Except as provided for herein as Landlord's responsibilities, Tenant shall maintain the Property in good order and condition and perform all necessary repairs and replacements in and to the Property, interior and exterior, nonstructural, and ordinary and extraordinary, and unforeseen and foreseen and will accomplish such repairs within a reasonably prompt timeframe with the appropriate materials, in a good and workmanlike manner, in compliance with all applicable Laws and in a style, character and quality conforming to existing construction. Except for such repairs and alterations described in Section 4 of this Agreement, such repairs and replacements include, all necessary repairs and replacement of the plumbing, flooring, electrical, and interior walls of the building, boiler and chiller heating and ventilation systems, fire alarm panel, access entry system, plate glass, the water, sewage, gas and electrical lines and installations servicing the building and the Leased Premises, restoration made necessary by fire or other casualty arising from act or omission of Tenant or Tenant's agents, invitees, licensees, contractors, employees or visitors and all necessary repairs and replacements of improvements to the Leased Premises originally constructed by Landlord or its predecessors or their respective employees or agents, unless such obligation of Landlord for such repairs or restoration is otherwise limited herein.

d. Landlord's Rights. If Tenant fails to perform Tenant's obligations under this Section, or under any other provision of this Lease, Landlord shall have the option to enter upon the Leased Premises after ten (10) days prior written notice to Tenant, or in the case of an emergency, immediately without prior notice, in order to perform such obligations on Tenant's behalf and put the Leased Premises in good order, condition, and repair. The reasonable cost of such performance by Landlord shall become due and payable as Additional Rent to Landlord.

e. Landlord's Obligations. Except for the obligations of Landlord under Section 9 of this Lease, it is intended by the parties to this Lease that Landlord have no obligation whatsoever to repair and maintain the Leased Premises nor the equipment therein, all of which obligations are intended to be those of the Tenant. Notwithstanding the foregoing, Landlord shall, at Landlord's sole cost and expense, keep and maintain the basic structure, the foundation and roof systems.

Tenant acknowledges that Landlord is not responsible for guard services or other security measures, and that Landlord has no obligation to provide such services or measures. Tenant assumes all responsibility, including costs, for the security of the Leased Premises and of Tenant, its agents or invitees.

f. Request for Repairs. All requests for repairs or maintenance that are the responsibility of Landlord pursuant to any provision of this Lease must be made in writing to Landlord, and Landlord shall respond to such requests without undue delay.

g. Termination of Lease: On the last day of the term hereof, or on any sooner termination, Tenant shall surrender the Property to Landlord in the same condition as received, ordinary wear and tear excepted, clean and free of debris. Tenant's movable machinery, furniture, fixtures, and equipment, other than that which is affixed to the Property so that it cannot be removed without damage to the Property and which Landlord does not require Tenant to remove, may be removed by Tenant upon expiration of the lease term. Tenant shall make reasonable repairs to any damage to the Property occasioned by the installation or removal of its trade fixtures, furnishings, and equipment. Upon termination or expiration of this lease for any cause whatsoever, if Tenant fails to remove its effects within fifteen (15) days of such termination, for which Tenant's access to shall not be unreasonably denied, they shall be deemed abandoned, and Landlord may, at its option, remove the same in any manner that the Landlord shall chose, store them without liability to the Tenant for loss thereof, and Tenant agrees to pay the Landlord on demand any and all reasonable expenses incurred in such removal, including court costs, attorney's fees, and storage charges for any length of time the same shall be Landlord's possession, or the Landlord may, at its option, without notice, sell said effects or any part of the same at a private sale and without legal process for such price as the Landlord may obtain, and apply the proceeds of such sale upon the amounts due under this lease from the Tenant to Landlord and upon the expenses incident to the removal and sale of said effects. Tenant shall deliver all keys and combinations to locks within the Property to Landlord upon the termination of this Lease for any reason. Tenant's obligations to perform under this provision shall survive the end of the lease term.

h. Landlord's Interest Not Subject to Liens: As provided in 713.10, Florida Statutes, the interest of Landlord shall not be subject to liens for improvements made by Tenant, any Tenant shall notify any contractor making such improvements of this provision. An appropriate notice of this provision may be recorded by Landlord in the Public Records of Pasco County, Florida in accordance with the said statute, without Tenant's joinder or consent.

10. **FIRE OR OTHER CASUALTY:** In case of damage by fire or other casualty to the building in which the leased property is located, without the fault of the Tenant, if damage is so extensive as to amount practically to the total destruction of the leased property or of such building, this lease shall cease, and the rent shall be apportioned to the time of damage. In all other cases where the lease property is damaged by fire or other casualty without the fault of the Tenant, the Landlord may elect to repair the damage with reasonable dispatch. If the damage has rendered the leased property untenable in whole or in part, there shall be an apportionment of the rent until the damage has been repaired, if Landlord elects to repair the damage. In determining what constitutes reasonable dispatch, consideration shall be given to delays caused by strikes, adjustment of insurance, or other causes beyond the Landlord's control. Notwithstanding the foregoing provisions, in the event the leased property shall be damaged by fire or other insured casualty due the fault or neglect of the Tenant, or the Tenants employees, agents, visitors, or customers, then, without prejudice to any other rights and remedies of the Landlord, the damage shall be repaired by the Landlord, but there shall be no apportionment or abatement of any rent.

11. **INSURANCE INDEMNITY:** Without limiting the generality of the foregoing, Tenant agrees that, at Tenant's sole cost and expense, Tenant will procure and continue in force throughout the period of this Lease, for the benefit of Landlord and Tenant at their respective interests may appear, a policy or policies of public liability insurance, in form and coverage

satisfactory to Landlord, written by a company authorized to engage in the business of general liability insurance in the State of Florida protecting Landlord and Tenant against any and all claims for injury to persons or Property occurring in, upon or about the Property, and each and every part thereof, and the sidewalks in front of the Leased premises, including all damages from signs, glass, awnings, fixtures or other appurtenances now or thereafter placed upon the Leased premises during the term of this Lease. Said public liability policy or policies shall be in an amount not less than \$1,000,000.00 in respect to injuries to or death of persons in any one accident and in an amount not less than \$1,000,000.00 in respect to injuries to or death of more than one person, and in an amount not less than \$1,000,000.00 from damage to Property. Tenant shall promptly pay when due any and all insurance premiums in connection with any policy or policies of insurance and shall deliver evidence of such insurance to Landlord. Should Tenant fail to furnish evidence of such insurance, Landlord may obtain such insurance and the premiums on such insurance shall be deemed to be additional rent to be paid by Tenant to Landlord on demand.

All policies of insurance provided for herein shall be issued by insurance companies with general policyholders rating of not less than "A" Class VI as rated in the most current available "Best's Insurance Reports", and qualified to do business in the State of Florida, and general liability and umbrella liability policies shall be issued in the names of the Landlord, Tenant and other such persons or firms as Landlord specifies from time to time. Such policies shall be for the mutual and joint benefit and protection of Landlord, Tenant and others hereinabove mentioned, and executed copies of such policies of insurance or certificates thereof shall be delivered to the Landlord within ten (10) days after delivery of possession of the Premises to Tenant and thereafter within thirty (30) days prior to the expiration of the term of each such policy. As often as any such policy shall expire or terminate, renewal or additional policies shall be procured and maintained by the Tenant in like manner and amounts and to like extent. All policies of insurance delivered to the Landlord must contain a provision that the company writing said policy will give to the Landlord thirty (30) days notice in writing in advance of any cancellation or lapse or the effective date in any reduction in the amounts of insurance. All public liability, property damage and other casualty policies shall be written as primary policies, not contributing with and not in excess of coverage which the Landlord may carry.

12. **DEFAULT:** a. Tenant's Default. Tenant's default shall be defined as the occurrence of one or more of the following events:

i. Tenant's continued default in the payment of any rental or additional rental due hereunder for a period of ten (10) days after delivery of written notice of such default to tenant or more;

ii. Tenant's continued default in performance of any other covenant of this Lease for a period of thirty (30) days or more after delivery of written notice of such default to Tenant, except where Tenant has provided to Landlord a plan of compliance detailing a timeline and associated steps to remediate the default ("Plan of Compliance") and Landlord has approved such Plan of Compliance;

iii. Tenant's making an assignment for the benefit of creditors, or a receiver or trustee being appointed for Tenant, or the filing of any action or proceeding, voluntarily or



involuntarily, by or against Tenant under, or otherwise seeking the benefit of, any bankruptcy, reorganization, arrangement, or insolvency law;

iv. Tenant's vacating or abandoning the Property without the Landlord's prior written authorization to do so, will constitute immediate default. For purposes of this document, the term vacating or abandoning is defined as failure of Tenant to utilize the Property for the purposes of barrel storage or event space for a period of at least sixty (60) contiguous days (not counting, for any purpose, those days when such operation is halted by reason of remodeling, fire or similar casualty, condemnation, government review/intervention, or reasons beyond Tenant's reasonable control, and treating such days as they didn't exist), then Landlord, as its sole remedy, may terminate this Lease on thirty (30) days' notice to Tenant and this Lease shall so terminate on the thirtieth (30th) day if Tenant fails to resume operation of barrel storage or event hosting on the Property.

v. Tenant's interest under this Lease being sold under execution or other legal process;

vi. Tenant's interest under this Lease being assigned by operation of law;

b. Landlord's Remedies for Tenant's Default. Upon the occurrence of one or more of the events described in Section 12(a) above, Landlord, at Landlord's option, may exercise any one or more of the following options. The below remedies shall be cumulative, and the exercise of one shall not preclude the exercise of each and every other remedy.

i. Terminate Tenant's right to possession under this Lease and re-enter and take possession of the Property and relet the Property on behalf of Tenant, at such rent and under such terms and conditions as Landlord may deem best under the circumstances for the purpose of reducing Tenant's liability, and Landlord shall not be deemed to have thereby accepted a surrender of the Property, and Tenant shall remain liable for all rents and additional rents due under this Lease and from all damages suffered by Landlord because of Tenant's breach of any of the covenants of this Lease. At any time during such repossession or reletting, Landlord may, by giving written notice to Tenant, elect to exercise its option under the following subparagraph to accept a surrender of the Property, terminate and cancel this Lease, and retake possession and occupancy of the Property on behalf of Landlord;

ii. Declare this Lease to be terminated, ended and null and void, and re-enter upon and take possession of the Property whereupon the terms hereby granted and all right, title and interest of Tenant in the Property shall end. Such termination shall occur only when Landlord has expressly stated by written notice to Tenant that the Lease is terminated, and shall be without prejudice to Landlord's right to collect from Tenant any rental or additional rental which has accrued prior to such termination together with all damages suffered by Landlord because of the Tenant's breach of any covenant under this Lease;



iii. Declare the entire remaining unpaid rent for the balance of this Lease to be immediately due and payable and may, at Landlord's option, take immediate action to recover and collect same either by distress or otherwise; or

iv. Exercise any and all rights and privileges that Landlord may have under the laws of either the State of Florida or of the United States of America, or both.

c. Landlord's Default. The occurrence of one or more of the following events shall constitute Landlord's Default.

i. Landlord's continued default in performance of any other covenant of this Lease for a period of thirty (30) days or more after delivery of written notice of such default to Landlord, except where Landlord has provided to Tenant a plan of compliance detailing a timeline and associated steps to remediate the default ("Plan of Compliance") and Tenant has approved such Plan of Compliance in writing;

ii. Landlord's making an assignment for the benefit of creditors, or a receiver or trustee being appointed for Landlord, or the filing of any action or proceeding, voluntarily or involuntarily, by or against Landlord under, or otherwise seeking the benefit of, any bankruptcy, reorganization, arrangement, or insolvency law; or

iii. Landlord has requested that Tenant, pursuant to Section 21 of this Lease, sign a subordination agreement that materially alters Tenant's rights and responsibilities under this Lease, and Tenant opts to terminate the Lease.

d. Tenant's Remedies for Landlord's Default. Upon the occurrence of one or more of the events in Section 12(c) above, Tenant shall have the right to terminate this Agreement effective upon delivery of written notice to Landlord and shall owe no further Rent or Revenue Share Payment to Landlord. Tenant shall be entitled to collect from Landlord any reasonable costs associated with such termination together with all damages suffered by Tenant because of Landlord's breach of any covenant under this Lease.

13. **TENANT'S COMPLIANCE:** Tenant shall properly and promptly comply with and execute all rules, orders, and regulations of the Southeastern Underwriter's Association for fire and other casualties, at Tenant's own cost and expense. Tenant shall not do or permit to be done anything which shall invalidate the insurance policies referred to in this Lease Tenant agrees to pay any increase in the amount of insurance premiums over and above the rate now in force that may be caused by Tenant's use or occupancy of the property. In the event any increase in premiums is caused by the act or omission of Tenant in violation of the terms hereof, payment by Tenant of such increase shall not release Tenant from liability for such violation.

14. **WAIVER OF SUBROGATION:** Tenant and Landlord each hereby release and relieve the other, and waive their entire right of recovery against the other, for loss or damage arising out of, or incident to the perils actually insured against under this Lease which perils occur in, on, or about the property, whether due to the negligence of Landlord or Tenant or their agents, employees,

contractor's, and/or invitees. Tenant and Landlord shall, upon obtaining the policies of insurance required hereunder, give notice to the insurance carrier or carriers that the foregoing mutual waiver of subrogation is contained in this lease.

15. **INDEMNITY:** Tenant shall indemnify and hold harmless Landlord from and against any and all injury, expense, damages, and claims arising from Tenant's use of the property, whether due to damage to the property, claims for injury to the person or property of any other tenant of the building (if applicable) or any other person rightfully in or about the property, from the conduct of Tenant's business, or from any activity, work or things done, permitted or suffered by Tenant or its agents, servants, employees, licenses, customers, or invitees in or about the property or elsewhere or consequent upon or arising from Tenant's failure to comply with applicable laws, statutes, ordinances or regulations, and Tenant shall further indemnify and hold harmless Landlord from and against any and all such claims and from and against all costs, attorney's fees, expenses, and liabilities incurred in the investigation, handling, or defense of any such claim or any action or proceeding brought in connection therewith by a third person or any governmental authority, and in case any action or proceeding is brought against the landlord by reason of any such claim, tenant upon notice from Landlord shall defend the same at Tenant's expense by counsel satisfactory to the Landlord, and this indemnity shall not require payment as a condition precedent to recovery. To the extent that any of the aforementioned injury, expense, damages, and claims arise out of Landlord's failure to alter or maintain the Property as required by this Agreement, Landlord shall indemnify and hold harmless Tenant from and against any and all such claims and from and against all costs, attorney's fees, expenses, and liabilities incurred in the investigation, handling, or defense of any such claim or any action or proceeding brought in connection therewith by a third person or any governmental authority, and in case any action or proceeding is brought against the Tenant by reason of any such claim, Landlord upon notice from Tenant shall defend the same at Landlord's expense by counsel satisfactory to the Tenant, and this indemnity shall not require payment as a condition precedent to recovery.

16. **EXEMPTION OF LANLORD FROM LIABILITY:** Except where such injury is caused by Landlord's gross negligence or willful misconduct with respect to Landlord's responsibilities under this Agreement, Tenant hereby agrees that Landlord shall not be liable for injury to Tenant's business or any loss of income therefrom or for damage to the goods, wares, merchandise or other property of Tenant, Tenant's employees, invitees, customers, or any other person in or about the property, including without limitation such damage or injury is caused by or results from fire, steam, electricity, gas, water, or rain, or from the breakage, leakage, obstruction or other defects of pipes, sprinklers, wires, appliances, plumbing, air-conditioning or lighting fixtures, or from any other cause, whether the said damage or injury results from latent defects or other conditions arising upon the property or upon other portions of the building(s) of which the property is a part, or from other sources or places and regardless of whether the cause of such damage or injury or the means of repairing the same is inaccessible to Tenant. Except for damages arising out of Landlord's gross negligence or willful misconduct as relating to Landlord's responsibilities under this Agreement, Landlord shall not be liable for any damages arising from an act or neglect of any other tenant of the building in which the Property is located.

17. **DAMAGE AND DESTRUCTION:** If at any time during the term hereof there is damage to the Property, Landlord shall allow Tenant thirty (30) days to provide a plan for the

repair of such damage for Landlord's approval, such approval not to be unreasonably withheld. If Tenant has not provided such a plan, Landlord may at Landlord's option cancel and terminate this lease as of the date of occurrence of such damage by giving written notice to Tenant of Landlord's election to do so within thirty (30) days after the date of occurrence of such damage

18. **ASSIGNMENT AND SUBLETTING;**

a. **Landlord's Consent Required.** Tenant shall not voluntarily or by operation of law assign, mortgage, sublet, or otherwise transfer or encumber all or any part of Tenant's interest in this Lease or in the property or Tenants possession thereof without Landlord's prior written consent. Any attempted assignment, transfer, mortgage, encumbrance or subletting without Landlord's consent shall be void and shall constitute a breach hereof. No term or provision contained below in this Section 12 shall be deemed to limit Landlord's right to reasonably withhold consent to any proposed transfer or encumbrance of Tenant's interest in Landlord's absolute discretion, and for any reason whatsoever. If Tenant desires to assign or sublet the property or any portion thereof, it shall first notify Landlord of its desire to do so and shall submit in writing to Landlord: (i) the name of the proposed assignee or subtenant; (ii) the nature of the proposed assignee's or subtenant's business to be conducted on the Property (iii) the terms of the proposed assignment or sublease and (iv) such financial information as Landlord may reasonably request concerning the proposed assignee or subtenant.

In the event Tenant assigns or sublets all or a portion of said premises, Landlord shall be entitled to receive any rents received by Tenant in excess of the regular Rent (not including any Revenue Share portion) due Landlord pursuant to this Lease Agreement, or any portion thereof, as the intent is that Tenant shall not profit from any assignment or sublease.

b. **No Release or Waiver.** Regardless of Landlord's consent, no subletting or assignment shall release Tenant from Tenant's obligation or alter the primary liability of Tenant to pay the rent and to perform all other obligations to be performed by Tenant hereunder. The acceptance of rent by Landlord from any other person shall not be deemed to be a waiver by Landlord from any provision hereof. Consent to one assignment or subletting shall not be deemed consent to any subsequent assignment or subletting. In the event of default by any assignee of Tenant or any successor of Tenant in the performance of any of the terms hereof, Landlord may proceed directly against Tenant without the necessity of exhausting remedies against said assignee. Landlord may not consent to subsequent assignments or subletting hereof or amendments or modifications to this Lease with assignees of Tenant, without notifying Tenant, or any successor of Tenant, and without obtaining its or their consent thereto and such action shall relieve Tenant of liability hereunder.

19. **RADON DISCLOSURE:** Radon is a naturally occurring radioactive gas that, when it has accumulated in a building in sufficient quantities may present health risks to persons who are exposed to it over time. Levels of radon that exceed federal and state guidelines have been found in buildings in Florida. Additional information regarding radon and radon testing may be obtained from you county public health unit. This acknowledgement is given pursuant to Florida Statute 404.056(8) and is required by law to be given at or before the time a Contract for Sale or lease of real property is signed.



20. **ESTOPPEL CERTIFICATE:**

a. Certificate. Tenant shall at any time upon not less than ten (10) days prior written notice from Landlord, execute, acknowledge, and deliver to Landlord and/or any lender or purchaser designated by Landlord a statement in writing (i) certifying that this lease, as so modified, stating the nature of such modification, is in full force and effect and the date to which the rent and other charges are paid in advance, if applicable, and (ii) acknowledging that there are not, to Tenant's knowledge, any uncured defaults on the part of the Landlord's hereunder, or specifying such defaults if they are claimed. Any such statement may be conclusively relied upon by any purchaser or encumbrancer of the Property.

b. Failure to deliver Certificate: Tenant's failure to deliver such statement within such time shall be conclusive upon Tenant and the requesting party may rely thereon (i) that this lease is in full force and effect, without modification except as may be represented by Landlord (ii) that there are no uncured defaults in Landlord's performance, (iii) that no rent has been paid in advance.

21. **SUBORDINATION:** Tenant accepts this lease subject to any deeds of trust, master lease, security interest or mortgages which might now or hereafter constitute a lien upon the property and all renewals, extensions, modifications, and replacements thereof, and to recorded covenants and zoning ordinances and other building and fire ordinances and governmental regulations relating to the use of the property. Tenant shall at any time hereafter, on demand, execute any instrument, releases or other documents that may be required by any mortgagee for the purpose of subjecting and subordinating this lease to the lien of any such deed of trust, master lease, security interest or mortgage hereafter constituting a lien on the property so long as such instrument, release or other document does not alter any material terms of this Lease Agreement. In the case where such instrument, release or other document purports to alter any material terms of this Lease Agreement, Tenant shall have the option of terminating this Lease Agreement upon thirty (30) days notice with no penalty. Where there is no such purported material alteration of terms, Tenant's failure to execute such documents within ten (10) days after written demand, Landlord shall execute such documents on behalf of Tenant as Tenant's attorney-in-fact. Tenant does hereby make, constitute and irrevocably appoint Landlord as Tenant's attorney-in-fact and in Tenant's name, place, and stead, to execute such documents in accordance with this section. Landlord, at its sole option, shall have the right to waive the applicability of this section so that this lease will not be the subject and subordinate to any specific deed of trust, master lease, security interest or mortgage.

22. **INCORPORATION OF PRIOR AGREEMENTS/AMENDMENTS:** This lease contains all agreements of the parties with respect to any matter mentioned herein. No prior agreement or understanding pertaining to any such matter shall be effective. This lease may be modified in writing only, signed by the parties in interest at the time of modification. Except as otherwise stated in this lease, Tenant hereby acknowledges that neither the Landlord nor any of its employees or agents has made any oral or written warranties or representations to Tenant relative to the condition or use by Tenant of said property, and Tenant acknowledges that Tenant assumed all responsibility regarding the Occupational Safety Health Act, the legal use and the adaptability of the property, and the compliance thereof with all applicable laws and regulations in effect during the term hereof, except as otherwise specifically stated in this lease.

23. **LANDLORD'S ACCESS:** Upon reasonable prior notice, Landlord and Landlord's agents shall have the right to enter the property at reasonable times for the purpose of inspecting, showing to prospective purchasers, lenders, or tenants, performing any obligation of Tenant hereunder of which Tenant is in default, and making such alterations and repairs to the property or to the building of which it is a part as Landlord may deem necessary or desirable, all without being deemed guilty of an eviction of Tenant and without abatement of rent, and Landlord may erect scaffolding and other necessary structures where reasonably required by the character of any work performed, provided that the business of Tenant shall be interfered with as little as reasonably practicable. Such reasonable times shall not include hours outside of standard business hours, except in the case of making such alterations and repairs to the property or to the building pursuant to Landlord's obligations under Sections 4 and 9 of this Agreement, and in no case without the express consent of Tenant shall such reasonable times include a time during which an event is being held, pursuant to Tenant's use of the Property as an event space, at the Property. Tenant hereby waives any claims for damages for any injury to or interference with Tenant's business, any loss of occupancy or quiet enjoyment of the property, and any other loss occasioned thereby.

24. **ENVIRONMENTAL COMPLIANCE:**

a. The parties acknowledge that Tenant may store barrels filled with whiskey, liquor or spirits, supplies, equipment, and inventory utilized in operation of its business, including, cleaning solvents and other flammable materials, including spiritous liquors. Tenant shall comply with all federal, state and local laws and ordinances in the storing, use, and handling of such hazardous materials. **TENANT SHALL NOT BE PERMITTED TO STORE, USE AND HANDLE ANY OTHER MATERIALS DEEMED HAZARDOUS WITHOUT LANDLORDS WRITTEN CONSENT.**

b. Except as provided for herein, Tenant shall not use, generate, manufacture, produce, store, release, discharge, or dispose of, on, under or about the property, or transport to or from the property, any Hazardous Substance or allow any other person or entity to do so. Tenant shall keep and maintain the Property in compliance with, and shall not cause or permit the Property to be in violation of, any Environmental Laws as defined herein.

c. Tenant shall give prompt notice to Landlord of (i) any proceeding or inquiry by any governmental authority with respect to the presence of any Hazardous Substance on the Property or the migration thereof from or to other property, (ii) all claims made or threatened by any third party against Tenant, Landlord or the property relating to any loss or injury resulting from any Hazardous Substance, and (iii) Tenant's discovery of any occurrence or condition on any real property adjoining or in the vicinity of the Property that could cause the Property or any part hereof to be subject to any restriction on the ownership, occupancy, transferability or use of the Property under any Environmental Law or any regulation adopted in accordance therewith.

d. Tenant shall protect, indemnify, and hold harmless Landlord, its directors, officers, employees, agents, successors and assigns from and against any and all loss, damage, costs, expense or liability directly or indirectly arising out of or attributable to the use, generation, manufacture, production, storage, release, threatened release discharge, disposal and transport or

presence of a Hazardous Substance on, under, about, to and from the Property, including without limitation all foreseeable consequential damages and the costs of any necessary repair, cleanup or detoxification of the Property, in any way arising from the acts of Tenants.

e. "Environmental Laws" shall mean, any federal, state or local law, statute, ordinance or regulation pertaining to health, industrial hygiene, or the environmental conditions on, under, or about the Property, including without limitation the Comprehensive Environmental Response Compensation and Liability Act of 1980, as amended from time to time, 42 U.S.C. Sections 9601 et seq, and the Resource Conservation and Recovery Act of 1976 as amended from time to time, 42 U.S.C. Sections 6901 et seq. The term "Hazardous Substances" shall include without limitation (i) Those substances included within the definition of "hazardous substances" "hazardous materials" "toxic substances" or "solid waste" in CERCLA, RCRA, and the Hazardous Materials Transportation Act, 49 U.S.C. sections 1801 et seq., and in the regulations promulgated pursuant to said laws, or as amended, (ii) those substances defined as "hazardous wastes" in any Florida Statute, (iii) Those substances listed in the United States Department of Transportation Table (49 CFR Part 172.101 and amendments thereto) or by the Environmental Protection Agency, (iv) such other substance, materials, and wastes which are or become regulated under applicable local, state, or federal law, or which are classified as hazardous or toxic under federal, state, or local laws or regulations, and (v) any material, waste, or substance which is (1) petroleum (2) asbestos (3) polychlorinated biphenyls (4) designated as a "hazardous substance" pursuant to Section 311 of the Clean Water Act, 33 U.S.C. Sections 1251 et seq., or listed pursuant to Section 307 of the Clean Water Act, (5) flammable explosive, or (6) radioactive materials.

f. Upon reasonable prior notice, Landlord shall have the right to inspect the property and audit Tenant's operations thereon to ascertain Tenant's compliance with the provisions of this lease at any reasonable time, and Tenant shall provide periodic certifications to Landlord, upon request, that Tenant is in compliance with the environmental restrictions contained herein. Such reasonable times shall not include hours outside of standard business hours, and in no case without the express consent of Tenant shall such reasonable times include a time during which an event is being held, pursuant to Tenant's use of the Property as an event space, at the Property. Landlord shall have the right, but not the obligation, to enter upon the Property and perform any obligation of Tenant hereunder of which Tenant is in default, including without limitation any remediation necessary due to environmental impact of Tenant's operations on the Property, without waiving or reducing Tenant's liability for Tenant's default hereunder, except that Tenant's liability shall be offset where Landlord's performance of any such obligation or remediation, whether conducted personally or through a third party, is conducted in a negligent manner.

g. All of the terms and provisions of this Section shall survive expiration or termination of this lease for any reason whatsoever.

25. **STATEMENT OF GUARANTY:** The undersigned irrevocably and unconditionally guarantee payment under this lease, when due, whether by acceleration or otherwise, of the lease, and in all schedules or leases now or hereafter entered into with Landlord and all the obligations and liabilities due to become due to Landlord from Tenant from any lease, note or other obligation of tenant to landlord, together with all interest therein and all attorney's fees, costs and expenses or collection incurred by the landlord in enforcing any such obligations and liabilities.



26. **ATTORNEY'S FEES:** In the event the Landlord or the Tenant breaches any of the terms of this agreement whereby the party not in default employs attorneys to protect or reinforce its rights hereunder and prevails, then the defaulting party agrees to pay the other party reasonable attorney's fees so incurred by such other party.

27. **PARTIES BOUND:** This lease agreement shall be binding upon and inure to the benefit of the parties hereto and the respective heirs, legal representatives, successors, and assigns when permitted by this agreement.

28. **BROKERS:** Tenant and Landlord each represent and warrant to the other that it has had no dealings with any person, firm, broker or finder ("Broker") in connection with the negotiation of the Lease and/or the consummation of the transaction contemplated hereby, and that no broker or other person, firm, or entity is entitled to any commission or finders fee in connection with said transaction. Tenant and Landlord do each hereby agree to indemnify, protect, defend, and hold the other harmless from and against liability for compensation or charges which may be claimed by any such unnamed broker, finder, or other similar party by reason of any dealings or actions of the indemnifying party, including any cost, expenses, and attorney's fees reasonable incurred with respect thereto. The brokers shall be compensated for their services rendered in connection with this Lease in accordance with the terms of a separate written agreement or agreements. No Broker shall be a third party beneficiary under this Lease for any purpose or have any rights or remedies with respect hereto.

29. **NOTICES:**

a. All notices required or permitted by this Lease shall be in writing and may be delivered in person (by hand, by messenger, or courier service) or may be sent by certified or registered mail, or by overnight courier or mail service that guarantees next day delivery and provides a receipt; with postage prepaid, or by facsimile transmission, and shall be deemed sufficiently given if served in a manner specified in this Section. The following are the addresses of the parties for delivery or mailing of notice purposes:

If to Tenant:
**605 N Pinellas Ave
Tarpon Springs FL 34689**

If to Landlord:
**P.O. Box 113
Elfers FL 34680**

Either party may, by written notice to the other, specify a different address for notice purposes. A copy of all notices required or permitted to be given to Landlord hereunder shall be concurrently transmitted to such party or parties, at such addresses as Landlord may from time to time hereafter designate by written notice to Tenant.

b. Any notice sent by registered or certified mail, return receipt requested, shall be deemed given on the date of delivery shown on the receipt card or if no delivery date is shown, the postmark thereon. Notice delivered by overnight courier that guarantees next day delivery and provides a receipt shall be deemed given 24 hours after delivery of the same to the service or courier. If any notice is transmitted by facsimile transmission or similar means, the same shall be deemed served

or delivered upon telephone confirmation or receipt of the transmission thereof, provided a copy is also delivered via delivery or mail. If notice is received on a Sunday or legal holiday, it shall be deemed received on the next business day.

30. **MISCELLANEOUS:**

a. **ENTIRE AGREEMENT.** This Lease contains the entire agreement between Landlord and Tenant concerning the Leased Premises, and no representations or agreements, either oral or written, between them other than those expressed in this Lease will survive the execution of this Lease. No subsequent alteration, amendment, change, or addition to this Lease will be binding upon Landlord or Tenant unless in writing and signed by the party against whom enforcement is sought. All attached Exhibits referenced herein are by such reference made a part hereof.

b. **NO PARTNERSHIP OR JOINT VENTURE.** It is the intent of the parties that their relationship be that of Landlord and Tenant only. Nothing herein will create or be deemed to create a partnership, joint venture or other form of business relationship between Landlord and Tenant.

c. **CAPTIONS AND SECTION NUMBERS.** The captions and section numbers appearing in this Lease are inserted as a matter of convenience and will not be viewed as defining or limiting the scope or intent of any section of this Lease.

d. **CONSTRUCTION.** Words or any gender used in this Lease will be construed to include all genders and words in the singular number will be construed to include the plural, where the context so requires. The words "herein", "hereof", and "hereunder" when used in this Lease will be construed to refer to this Lease in its entirety and not to any particular section or provision of this Lease. This Lease was the product of negotiations between representatives for Landlord and representatives for Tenant and the language and terms of this Lease will not be construed against either party hereto, notwithstanding its original authorship by one of the parties.

e. **PARTIAL INVALIDITY.** If any term, covenant, or condition of this Lease or the application thereof to any person or circumstances will, to any extent, be declared invalid or unenforceable, the remainder of this Lease, or the application of such terms, covenant or condition to persons or circumstances other than those as to which it is held invalid or unenforceable, will not be affected thereby and each term, covenant or condition of this Lease will be valid and will be enforced to the fullest extent permitted by law.

f. **NO OPTION.** The submission of this Lease for examination does not constitute a reservation of or option for the Leased Premises and this Lease becomes effective only upon execution and delivery thereof by both Landlord and Tenant.

g. **RECORDING.** Tenant will not record this Lease or any memorandum thereof without the written consent of Landlord. Any such unauthorized recordation will, at Landlord's option, result in the immediate termination of this Lease without notice or opportunity to cure.

h. **GOVERNING LAW.** This Agreement will be construed and enforced in accordance with the laws of the State of Florida.

i. **JURISDICTION AND VENUE.** If any action is instituted to enforce this Agreement, the parties hereby submit to the personal jurisdiction of the State of Florida. In any action to enforce this Agreement, the parties hereby consent to exclusive venue in the appropriate state courts of Pasco County, Florida.

j. **NOTICE OF DAMAGE OR ACCIDENTS.** Tenant will give immediate notice to Landlord in case of fire or any other casualty or accidents to person or property in or about the Leased Premises.

k. **SUCCESSORS.** This Lease will bind the parties hereto and their several respective heirs, executors, administrators, successors and assigns. Nothing contained in this Lease will restrict Landlord's right to assign or encumber this Lease. If Landlord sells or transfers its interest in the Leased Premises and the purchaser or transferee assumes Landlord's obligations hereunder, Landlord will be deemed released from all duties and liabilities hereunder and Tenant will attorn to the new Landlord and will execute any document evidencing it as well as any estoppel provided for elsewhere in this Lease.

l. **TIME IS OF THE ESSENCE.** Time is of the essence of this Lease.

m. **JURY TRIAL.** Neither Landlord nor Tenant shall seek a jury trial in any lawsuit, proceeding, counterclaim, or any other litigation proceeding based upon or arising out of this lease, any related agreement or instrument, or the dealings or the relationship between Landlord and Tenant. Neither Landlord nor Tenant will seek to consolidate any such action, in which a jury trial has been waived, with any other action in which a jury trial cannot or has not been waived.

n. **NOTICES.** The rent payable under the terms of this Lease and any notices to the Landlord shall be mailed to the address of Landlord on the execution page hereof, or such other address as the Landlord may designate in writing. Any notices to the Tenant shall be mailed to the address of Tenant on the execution page hereof, or such other address as Tenant may designate in writing.

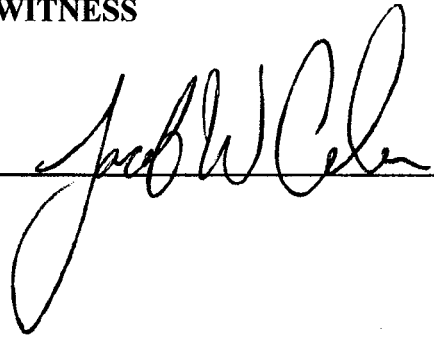
n. **THEFT OR BURGLARY.** Landlord shall not be liable to Tenant for losses to property or personal injury caused by criminal acts or entry by any person into the Leased Premises or the Property, except to the extent of Landlord's gross negligence, willful misconduct or breach of this Lease.

p. **AUTHORITY.** If Tenant is a corporation, trust, or general or limited partnership, the individual signing on behalf of said entity acknowledges that it has the legal authority to execute this Lease on behalf of said entity.



IN WITNESS WHEREOF, the undersigned landlord and tenant hereto execute this agreement as of the day and year first above written.

WITNESS



LANDLORD

12 EAST PINE, LLC



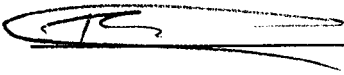
DATE: 3-1-21

WITNESS



TENANT

PAPOU'S CRAFT DISTILLERY, LLC



DATE: 3/1/2021



12 EAST PINE LLC

P.O. Box 113 Elfers FL 34680

727-301-2109

2/16/2021

Exhibit A

Bathroom: Landlord to install new toilet and sink. Landlord to paint walls and replace flooring if needed.

Lighting: Lighting is adequate for barrel storage per PAPOU'S CRAFT DISTILLERY LLC.

Handwritten signature or initials.

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-58 – Currents Restaurant – 128 E Tarpon Ave

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

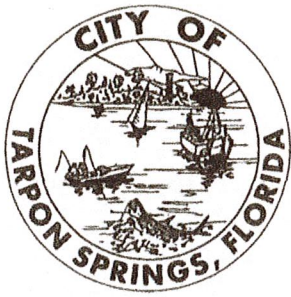
- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLAREST INFORMATION POSSIBLE TO THE APPLICANT.



City of Tarpon Springs, Florida

324 E. PINE STREET
P.O. BOX 5004
TARPON SPRINGS, FL 34688-5004
(727) 938-3711

CRA RESTAURANT RECRUITMENT GRANT PROGRAM GRANT APPLICATION

I. Applicant / Business Information

Please type or print

Applicants' Name:

Tracy Swade

Mailing Address:

200 E Tarpon Ave

City / State / Zip Code:

T.S. FL 34689

Phone / Fax / Email:

727 940 5377 | currentsrestaurant@gmail.com

Property Address:

200 E. Tarpon Ave

City / State / Zip Code:

T.S. FL 34689

Business Name:*

Currents Restaurant

Business Owner:

Tracy Swade

City / State / Zip Code:

Tarpon Springs, FL 34689

Phone / Fax / Email:

727 481 3260 | currentsrestaurant@gmail.com

Property Owner:

John Tarapan

Mailing Address:

128 E Tarpon Ave

City / State / Zip Code:

Tarpon Springs, FL 34689

Phone / Fax / Email:

727 365 7570

*If the business is a partnership, attach a sheet listing name, address, and telephone number of each partner.

*If the business is a corporation, attach a sheet listing name, address, and telephone number of each shareholder and officer who owns any portion of the corporate stock. Publicly held companies are exempt.

II. Description of Improvements Necessary for Restaurant Use

Replace w/ some

Please provide a brief description of the planned improvement: [attach sheets as necessary]

New Dining Room Commercial Carpet

III. Cost of the Improvements

Please provide cost estimates for the planned improvements, and attach an itemized listing of costs or estimates from a licensed contractor. Eligible costs are essential building alterations including but not limited to, design/engineering, floor drains, health code requirements, ADA compliance, permanent kitchen fixtures and utilities.

Total Project Cost:

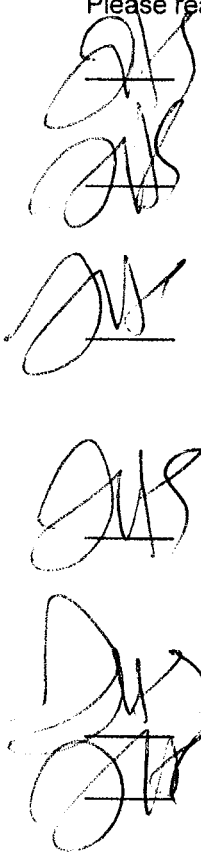
\$ \$6100

Grant Funds Requested: (See page 3 for grant limits)

\$ \$3050

IV. Applicant's Acknowledgements

Please read and initial all of the following:



The undersigned applicant agrees to utilize any grant funds received in strict conformance with the guidelines set forth by the Community Redevelopment Agency in Resolution 2010-59.

All grant applications must receive approval by the Technical Review Committee (TRC) before any construction can commence. No grants will be awarded on an application if work has been started or completed.

All applicants will be required to present proper permitting through the Development Services Department before any application will receive an "approved" grant award. This includes any changes required to obtain a building permit. Variances and/or zoning change requests must be handled prior to award approval.

All applicants that are awarded a grant understand that when submitting for reimbursement that "cash receipts" will not be accepted due to auditing requirements - NO EXCEPTIONS. You must pay for materials and services by check, money order or by credit card. Verification of payment must be submitted with reimbursement request.

Only properties located within the Community Redevelopment Area (CRA) are eligible for this grant.

All grant recipients must complete a W-9 Tax Form and will receive a 1099 Tax Form for their award.

V. Funding

Under this grant program the applicant may request up to \$7,500.

PLEASE NOTE: Grant funds can be used for up to 50% of total project costs, not to exceed \$7,500. To ensure an efficient reimbursement, please make certain that the applicant name and/or business name on this application matches the name on the method of payment used. For example, if John Smith is applying for a grant, John Smith's name should appear on proof of payment provided to the City, not a corporate or other business name

VI. Checklist

Only completed applications will be accepted so please be sure you submit the following with this application:

- List of all business owners including name, address and telephone number.
- Itemized list of costs or estimates from a licensed contractor. "before" photo
- Completed W-9 Tax Form.

VII. Applicant's Signature

Tracey Swade
Applicant's Name (Printed or Typed)

4/20/21
Date

[Signature]
Applicant's Signature

4/20/21
Date

STATE OF FL
COUNTY OF Pinellas

Sworn to and subscribed before me by Tracey Swade who is personally known to me or produced In Person as identification, this 3 day of May, 20 21.

Notary's Signature Kimberly Upst
SEAL:

RECEIVED

MAY 3 2021



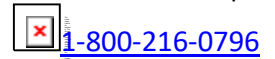
KIMBERLY A. OTHERS
Commission # **GG 353000**
Expires **July 30, 2023**
Bonded Thru Budget Notary Services

Rev. 09/14

**Planning & Zoning
Department**

It's time to review your itemized quote and special financing options

Need help?



Get excited - your flooring quote is ready!

Hi, TRACEY!

Your itemized flooring quote below includes the cost of labor and materials. After your purchase, we'll call to schedule your installation

Your Project Total

\$6,142.20
This quote expires on
04/07/2021

[Purchase Now](#)

Or call our Home Depot Flooring Center:
[1-877-494-0440](tel:1-877-494-0440)

Floor Type	Room Type	Description	Material	Labor	Line Total
1.Carpet	DR1, DR3, DR2	1000-046-358 - Social Network III (Commercial) (12'0 x 105'0) Color: Coffee Bean Order Cuts: 12'0x84'3 , 12'0x20'9	\$3263.40	\$2913.80	\$6177.20

Material - DR1, DR3, DR2

Quantity	Description	Unit	Unit Price	Price
140.00	1000-046-358 - Social Network III (Commercial) (12'0 x 105'0) Color: Coffee Bean Order Cuts: 12'0x84'3 , 12'0x20'9	SY	\$23.31	\$3263.40
12.00	Metal	LF	\$0.00	\$0.00
291.00	Vinyl Cove Base <i>Add price & color to order</i>	LF	\$-0.01	\$0.00
			Subtotal:	\$3263.40
			Tax @ 0.0 %:	\$0.00

Material Total: \$3263.40

Labor - DR1, DR3, DR2

Quantity	Description	Unit	Unit Price	Price
140.00	Basic glue-down carpet install	SY	\$4.00	\$560.00
3.00	Basic furniture moving (light furniture)	Each	\$25.00	\$75.00
951.00	Rip up and haul away carpet and pad	SF	\$0.30	\$285.30
1049.00	Remove and Haul Away Glued Down Wood	SF	\$1.50	\$1573.50
488.00	Remove Existing Qtr Rnd	LF	\$0.00	\$0.00
291.00	Install new vinyl base (customer provides)	LF	\$1.00	\$0.00

Warning: Inform customer that there may be height differences between the following rooms: DR1 and DR3, within DR3. If this is not acceptable, additional charges for build up or rip up will apply.

1.00		Each	\$0.00	\$0.00
------	--	------	--------	--------

Resolution: must discuss and also to the left in the hall after entering the building

Installer Issue(s):

- **Job has a cut over the maximum length of 50'0. Verify with installer if this calculation can be sold or if job must be turned to run the shorter direction to avoid damaging customer's walls when bringing carpet roll in. This is a commercial job. Installers must review and approve diagrams and quote, and possibly do a site visit, before quote is completed**

1.00		Each	\$0.00	\$0.00
------	--	------	--------	--------

Resolution: To cut around booths customer must remove the table to make this happen

Warning: The following labels were found on the plan. Please ensure that they do not impact the quote. This item must be deleted before the quote can be marked complete.

1.00	CUSTOMER WANTS CARPET CUT AROUND BASE OF THE BOOTHS	Each	\$0.00	\$0.00
------	---	------	--------	--------

CUSTOMER ACKNOWLEDGED THAT THEY DID NOT WANT FOLLOWING ROOMS MEASURED: DIN RM

Warning: The following item was deleted from the previous quote. You must decide whether to do the same to this quote. This warning must be deleted before continuing.

1.00		Unknown	\$0.00	\$0.00
------	--	---------	--------	--------

291.00 Vinyl Cove Base


Add price & color to order @ \$-0.01/LF


1.00	Custom Labor-ALL MISC, CLUTTER , BREAKABLE, MACHINES TABLES CHAIRS TO BE REMOVED BY CUSTOMER	Each	\$0.00	\$0.00
1.00	Custom Labor-Customer to either remove or unscrew foot rail at bar in order to R.U and re-install carpet.	Each	\$0.00	\$0.00
12.00	Furnish And Install Rubber Reducer	LF	\$5.00	\$60.00
1.00	Custom Labor-cut around booths	Each	\$175.00	\$175.00
24.00	Custom Labor-VINYL TEE TRACK	LF	\$5.00	\$120.00
100.00	MODERATE SUBFLOOR PREP - FOR FLATNESS ISSUES FROM AND INCLUDING 1/8" UP TO AND INCLUDING 1/4" PER ROOM (INSTALLER PROVIDES LEVELER). MAXIMUM CHARGE OF 250SF/ROOM APPLIES. UN-FORSEEN CHARGES CAN ONLY BE ASSESSED AFTER INSTALL HAS BEGUN	SF	\$0.65	\$65.00
1.00	Custom Labor- added prep for area to the left of entrance once entering the building	Each	\$0.00	\$0.00
			Subtotal:	\$2913.80
			Labor Total:	\$2913.80

Order Summary

SubTotal:	\$6177.200000000001
Credit for Deposit/Measure	\$-35.00
Grand Total:	\$6142.20

Why Home Depot Installers?

 **Affordable**
 We offer a wide range of affordable financing options, including The Home Depot Consumer Credit Card and the Home Depot Project Loan. [Apply Now](#)

 **Licensed**
 The Home Depot’s flooring installation professionals and contractors are local, licensed, insured, and undergo a thorough background-screening process.



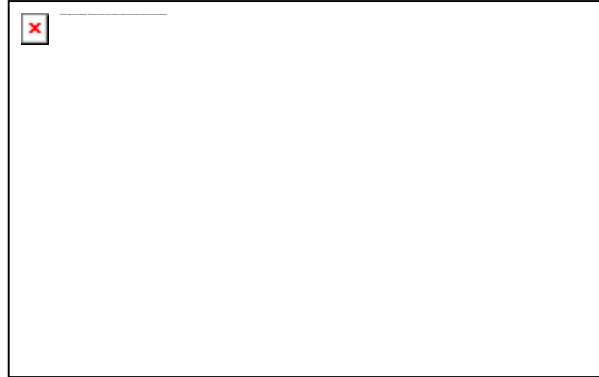
Backed by The Home Depot

All labor, products and installation for your project are 100% backed by The Home Depot.



Subfloor Evaluation

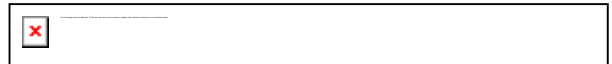
We'll evaluate your subfloor and existing conditions under your floor to help ensure a smooth installation of your new floors.



Special Financing Available

See if you have pre-qualified for the Home Depot credit card without impacting your credit score!

[Apply Now](#)



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The Home Depot, Attn: Privacy Official
[2455 Paces Ferry Road, N.W.](#)
[Atlanta, GA 30339-4024, USA](#)

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Kim Yothers

From: Karen Lemmons
Sent: Monday, May 3, 2021 5:09 PM
To: Kim Yothers
Subject: Currents Restaurant Grant

Hi Kim,

Got home and found Tracy had emailed the carpet quote. Can you please add this to the grant application and in the electronic file? Thanks. Please note this is a Restaurant grant, not Façade.

Thanks!

Karen Lemmons

Economic Development Manager
City of Tarpon Springs
www.ctsfl.us
www.exploretarponsprings.com
727-943-4932



From: Currents Restaurant <currentsrestaurant@gmail.com>
Sent: Monday, May 3, 2021 2:39 PM
To: Karen Lemmons <klemmons@ctsfl.us>
Subject: Fwd: Your quote for Carpet Installation is ready!

External Email - Use caution with links and attachments

----- Forwarded message -----

From: The Home Depot Home Services <home_services_no_reply@homedepot.com>
Date: Mon, 5 Apr 2021 at 12:30 PM
Subject: Your quote for Carpet Installation is ready!
To: currentsrestaurant@gmail.com <currentsrestaurant@gmail.com>

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-59 - Kokkinos – 828 Lincoln Ave

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLAREST INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Nick, Patty Hokkinos		Email Patty@msConstruction.net.	
Address 09 Whitcomb Blvd.			
City Tarpon Springs		State FLA.	Zip 34689
Phone 727 9464845	Fax 727 9344665	Cellular	

Applicant

Name Nick, Patty Hokkinos		Email	
Address same as above.			
City		State	Zip
Phone	Fax	Cellular	

Agent (if applicable)

Name		Email	
Address			
City		State	Zip
Phone	Fax	Cellular	

General Information

Project Name Lincoln Ave.			
Property Location or Address 828 Lincoln Ave Tarpon Springs Fla.			
Legal Description (attach additional sheets as necessary) Disston, & Keeney's BLK 5, S. 140 Ft of N. 145 Ft of E 1500 ft of 13.			
Tax Parcel Number(s) 13-27-15-21348-005-0130.			

Existing Land Use & Zoning Information

Present Designations of Property		Current Use of Property
Land Use Category	Zoning District	

Site Acreage:

Upland _____ Wetland _____ Submerged _____ TOTAL _____

Flood Information: [please check all that apply]

Zone X Zone X Shaded Zone AE Zone VE

Base Flood Elevation (BFE): [please list all elevations] _____

**CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application**

Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	GPD	GPD	GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis / Review by Engineering Division		
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day
TPD = trips per day

The following MUST be furnished with this application: [incomplete applications will not be accepted]

Completed original application with digital copies of all application documents

Application fee (based on site acreage)

- 0 – 5 acres; \$ 500.00
- 5.01 – 10 acres; \$ 750.00
- 10.01 – 15 acres; \$1,000.00
- 15.01 – 20 acres; \$1,500.00
- 20.01 acres or more; \$2,000.00

Proof of ownership (warranty deed, title certification, etc.)

N/A Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC

N/A Traffic Impact Study, if required by Section 122.11, LDC

N/A Endangered/Threatened Species Study, if required by Section 144.00, LDC

Acknowledge compliance with the City's Public Art Ordinance (see criteria below)

N/A Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)

Five (5) complete sets of plans including all the following items.

A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.

B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:

1. All required information shall be submitted on standard sheets (24" x 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
8. Existing contours and proposed grades at one foot intervals.
9. Flood zone and required first floor elevation(s).
10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
12. Lot dimensions including curve data.
13. Proposed setback dimensions.
14. Gross floor area by type for non-residential uses.
15. Gross density for residential uses and number and types of units.
16. The proposed architectural elevations and floor plans with accurate dimensions.
17. Proposed private and public streets with right-of-way dimensions.
18. Proposed phasing plan by anticipated commencement and completion date.
19. Dumpster location and screening.
20. Required parking calculations (parking provided and required).
21. Size and location of required loading zones.
22. Required (proposed) sidewalks and internal walkways.
23. Driveways and access improvements.
24. Location and type of site lighting including pole height and fixture type.
25. Description of the maintenance of common facilities for residential projects.
26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

CITY OF TARPON SPRINGS, FLORIDA
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water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:

1. Projects with an aggregate job value under \$1,000,000.00.
2. Residential developments of new construction for affordable housing.
3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:
 - a. The application is approved within six months of the date of application.
 - b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

APPLICANT'S ACKNOWLEDGEMENT:

Type of Public Art Activity [please initial only one]

This project is exempt from the Public Art Program requirements.

Please state exemption: _____

_____ I will contract with a professional artist to create a permanent, public artwork as part of the development.

_____ In lieu of an on-site project, I will contribute .75 percent of the aggregate job value* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

**Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.*

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

- (A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.
- (B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.
- (C) Design Requirements for all non-residential site plans.
 1. Parking
 - a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.
 - b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

CITY OF TARPON SPRINGS, FLORIDA
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- c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.
 - d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.
 - e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.
2. Sidewalks and private frontages (the area between the building and right-of-way)
 - a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.
 3. Landscaping
 - a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.
 4. Elevation of buildings
 - a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.
 5. Pedestrian promenades on waterfront lots
 - a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.
 6. All site plans and building plans shall adhere to the additional building design requirements set out below;
 - a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.
 - b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.
 - c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.
 - d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.
 - e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

CITY OF TARPON SPRINGS, FLORIDA
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- f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.
- g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.
- h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.
- i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.
- j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.
- k. Buildings may have flat roofs enclosed by parapets or sloped roofs.

7. Requirements Specific to Hotels:

- a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.
- b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.
- c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.
- d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.
- e. Multiple connections shall be required between the structure and the public right-of-way.
- f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

(D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that _____ is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

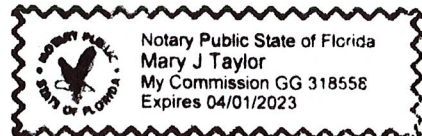
I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: _____	Title Holder/Property Owner: _____
Date: <u>5-17-21.</u>	Title Holder/Property Owner: <u>[Signature]</u>
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 17th day of May, A.D., 20 21 by Nick Kokkinos, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

NOTARY PUBLIC
Name: _____
Signature: [Signature]
Stamp: _____



Instrument #: 2020344848, Pg 1 of 1, 8/24/2020 5:11:15 PM DOC TAX PD(F.S. 201.02) \$479.50, INT. TAX PD (F.S. 199) \$0.00, DOC TAX PD (F.S. 201.08) \$0.00, Deputy Clerk: SSANDERS Pat Frank, Clerk of the Circuit Court Hillsborough County

Prepared by:
Robin Hodgdon
Wollinka-Wikle Title Insurance Agency, Inc.
10015 Trinity Blvd., Suite 101
Trinity, Florida 34655
File Number: TR20514

E-RECORDED *simplifile*
ID: 2021032573
County: Pinellas
Date: 2-1-2021 Time: 3:27 PM

General Warranty Deed

Made this August 13, 2020 A.D. By **Blue Planet Holdings, LLC, a New York Limited Liability Company**, whose address is: 54 LeFevre Lane, New Paltz, New York 12561, hereinafter called the grantor, to **Patty Kokkinos and Nick Kokkinos, wife and husband**, whose post office address is: 509 Whitcomb Blvd., Tarpon Springs, Florida 34689, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Pinellas County, Florida, viz:

The South 140 Feet of the North 145 Feet of the East 150 Feet of Lot 13, Block 5, DISSTON AND KEENEY'S SUBDIVISION, per Plat thereof recorded in Plat Book 1, Page(s) 31, Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part.

Parcel ID Number: 13/27/15/21348/005/0130

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2019.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Marganita Abreu
Witness Printed Name Marganita Abreu

Vienna Polanco (Seal)
Blue Planet Holdings, LLC, a New York Limited Liability Company BY: Vienna Polanco, Member
Address: 54 LeFevre Lane, New Paltz, New York 12561

Alvis Yee
Witness Printed Name Alvis Yee

Address: _____ (Seal)

State of New York
County of Queens

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 13 day of August, 2020, by Vienna Polanco, Member of Blue Planet Holdings, LLC, a New York Limited Liability Company, who is/are personally known to me or who has produced NY driver license as identification.

NUMAEL GRANADOS
Notary Public, New York State
No. 01GR623634
Qualified in Queens County
Commission Expires Oct. 31, 2022

Notary Public
Print Name: _____
My Commission Expires: _____

DEED Individual Warranty Deed - Legal on Face



Property Summary (as of 14-May-2021)				Parcel Map			
Parcel Number 13-27-15-21348-005-0130							
Owner Name KOKKINOS, NICK KOKKINOS, PATTY							
Property Use 0000 Vacant Residential - lot & acreage less than 5 acres							
Site Address 828 LINCOLN AVE TARPON SPRINGS FL 34689							
Mailing Address 509 WHITCOMB BLVD TARPON SPRINGS FL 34689-2643							
Legal Description DISSTON & KEENEY'S BLK 5, S 140FT OF N 145FT OF E 150FT OF LOT 13							
Current Tax District TARPON SPRINGS (TS)							
Year Built							
Living (HTD) SF	Gross SF	Living Units	Buildings 0				

Exemptions				
Year	Homestead	Use %	Status	Property Exemptions & Classifications
2022	No	0%		No Property Exemptions or Classifications found. Please note that Ownership Exemptions (Homestead, Senior, Widow/Widower, Veterans, First Responder, etc... will not display here).
2021	No	0%		
2020	No	0%		

Miscellaneous Parcel Info						
Most Recent Recorded Deed	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Elevation Certificate	Plat (Condo) Book/Page
21368/1633	\$99,200	121030274046	<u>A</u>	Compare Preliminary to Current FEMA Maps	Check for EC	H1/31



Tree Survey Report

Prepared By:

Fotios Vasacas
ISA Certified Arborist®
#FL-6635A

April 17, 2021

SITE:

828 Lincoln Ave, Tarpon Springs, FL 34689

LEGAL DESCRIPTION:

DISSTON & KEENEY'S BLK 5, S 140FT OF N 145FT OF E 150FT OF LOT 13

OWNER:

KOKKINOS, PATTY
KOKKINOS, NICK
509 WHITCOMB BLVD
TARPON SPRINGS FL 34689-2643

A pre-development tree survey in accordance with City Ordinance 133.04(D), addressing the specific issues of tree removal and retention in context of the proposed development.

I. Tree Survey

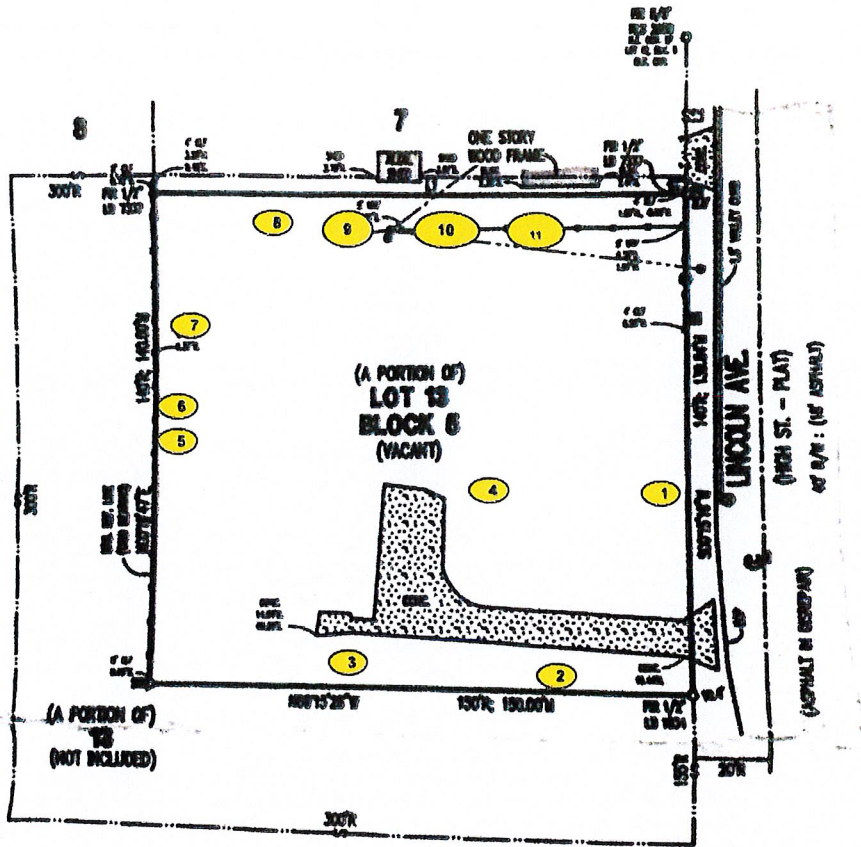
II. Tree List

III. Arborist Statements

IV. ISA Certified Arborist Certifications

I. Tree Survey

1



II. Tree List

Tree No.	Species (common name)	DBH	Canopy Size	Protected Tree	Proposed for Removal	Arborist Notes
1	Live Oak	21"	65%	YES	YES	<i>Healthy tree but roots look disturbed; to be removed for fence installation</i>
2	Sabal Palm	13.31"	100%	YES	NO	
3	Sabal Palm	16.56"	100%	YES	NO	
4	Laurel Oak	16.87"	50%	YES	YES	<i>Codominant trunk</i>
5	Laurel Oak	12.42"	65%	YES	YES	<i>Roots look disturbed</i>
6	Laurel Oak	14.65"	50%	YES	YES	<i>Roots look disturbed</i>
7	Laurel Oak	26"	70%	YES	YES	
8	Live Oak	21.01"	50%	YES	NO	
9	Sabal Palm	18.47"	100%	YES	NO	
10	Laurel Oak	22.29"	70%	YES	NO	
11	Laurel Oak	20.70"	70%	YES	NO	

III. Arborist Statements

Based on the proposed site layout drawings supplied to us we have assessed the arboricultural implications of the development as follows :

- A. There are a total of eleven (11) trees on the property, all of which are classified as Protected Trees per the City of Tarpon Springs, FL.
- B. Five (5) trees are requested to be removed to facilitate installation of a fence..
- C. All five (5) trees to be removed are classified as Protected Trees in the City of Tarpon Springs.
- D. Per the City of Tarpon Springs Code 134.04 - Minimum Tree Planting, a minimum of eleven (11) trees shall be required for this lot size of approximately 21,000 square feet.
- E. To meet the minimum tree planting requirements, five (5) replacement trees will need to be installed to maintain a minimum of eleven (11) trees on this property.
- F. The replacement tree(s) shall be a minimum of 1 and ½ inch in diameter measured 12 inches above ground with a minimum crown of 2 feet and a minimum height of 6 feet upon planting, being grade Florida #1 or better, and shall come from the list of species authorized under the landscaping requirements per the City of Tarpon Springs code..

IV. ISA Certified Arborist Certifications

I, Fotios Vasacas, CERTIFY to the best of my knowledge and belief:

- 1. That the statements of fact contained in this tree survey are true and correct.
- 2. That the survey analysis, opinions and conclusions are limited only by the reported assumptions and limiting conditions, and that they are my person, unbiased professionally analysis, opinions and conclusions.
- 3. That I have no present or prospective interest or bias with respect to the parties involved.
- 4. That my compensation is not contingent upon predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event.

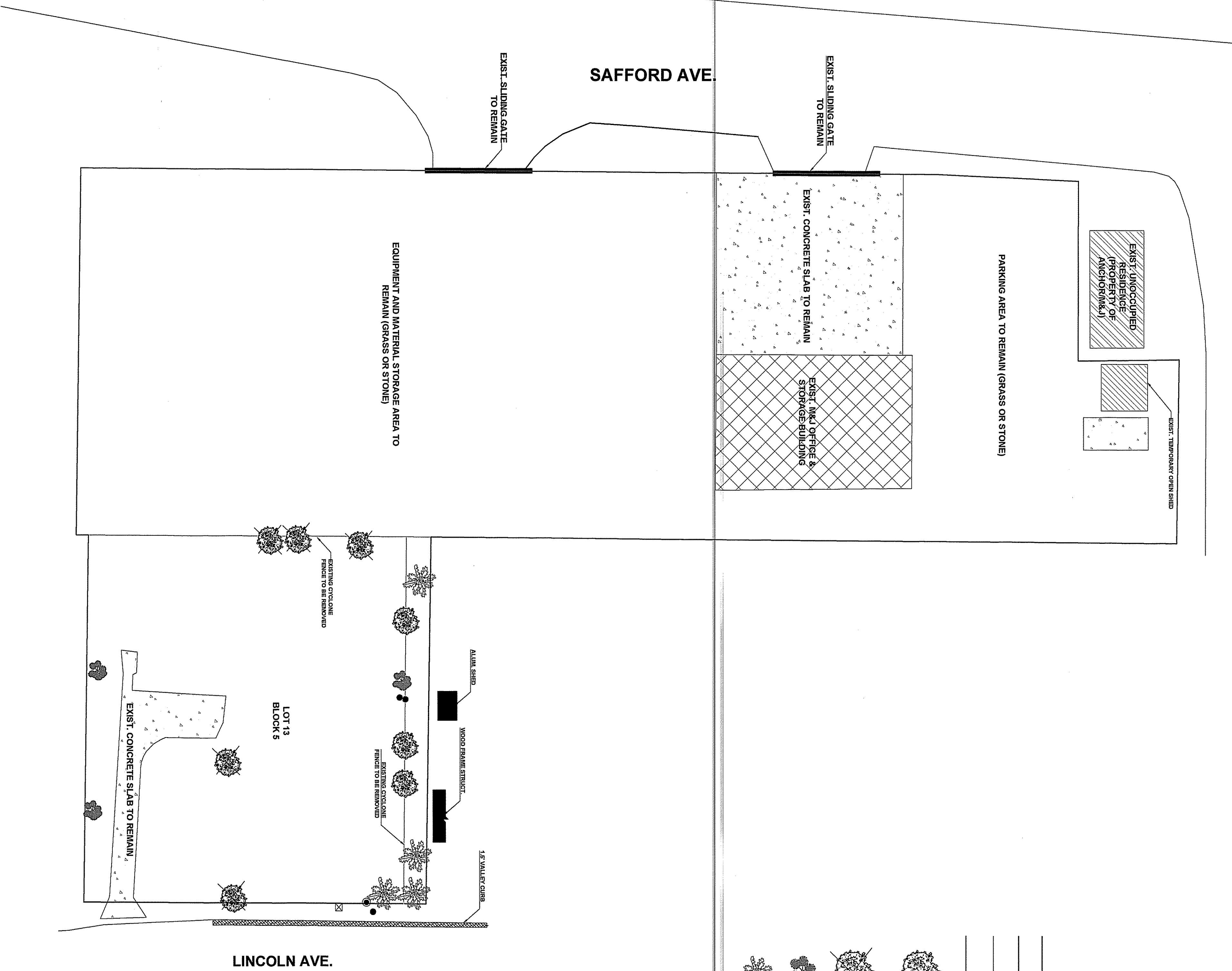


04/19/2021

Fotios Vasacas

Dated

ISA Certified Arborist® FL-6635A



KEY NOTES:

1. INFORMATION PRESENTED BASED ON PROPERTY SURVEY PREPARED BY GEORGE A. SHIMP II & ASSOCIATES FOR LOT 13, AND GOOGLE EARTH AND PINELLAS COUNTY PROPERTY APPRAISAL'S WEBSITE. SCALED AND OVERLAYED IMAGERY FOR ALL OTHER.

- POWER POLE
- SEWER CLEANOUT
- ⊗ WATER METER
- PROPERTY LINE
- CYCLONE FENCE EXISTING
- CYCLONE FENCE TO BE REMOVED
- CYCLONE FENCE NEW
- EXISTING OAK (SEE TREE SURVEY)
- EXISTING OAK TO BE REMOVED (SEE TREE SURVEY)
- EXISTING SABAL PALM (SEE TREE SURVEY)
- NEW TREE TO BE PLANTED (SEE TREE SURVEY)

SCALE 1:300

EC-1

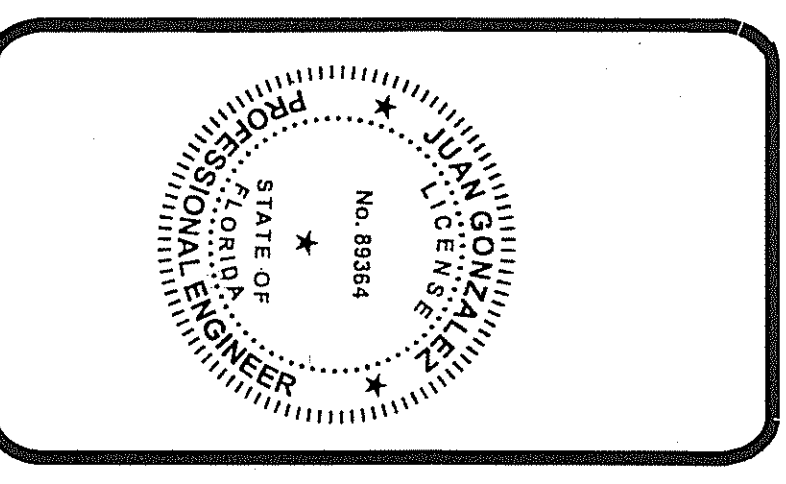
**EXISTING
CONDITIONS
& DEMO PLAN**

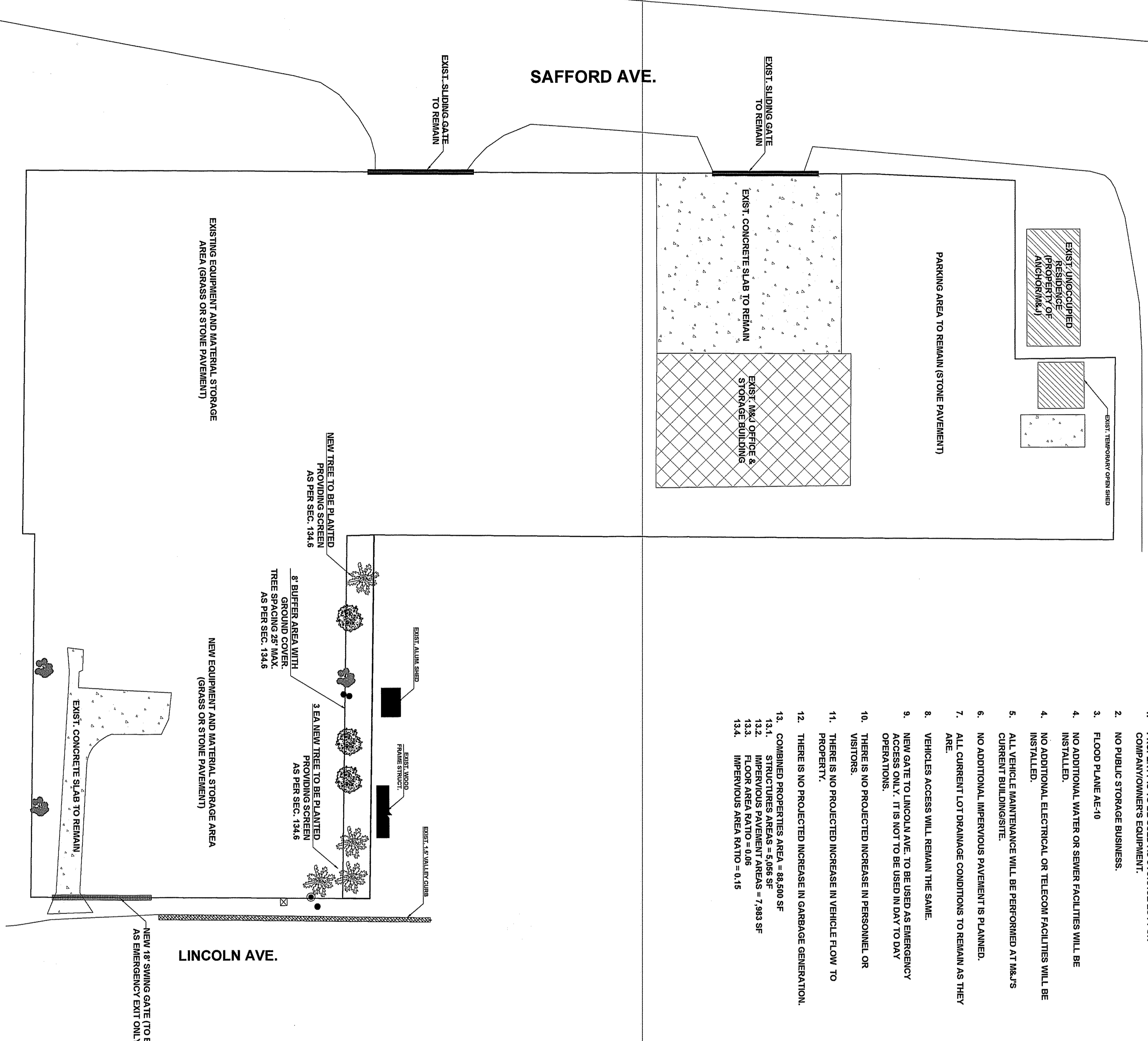
PLAN DATE	
4-15-21	

Project: Nick & Patty Kokkinos
828 Lincoln Ave.
Tarpon Springs, FL

This drawing was created based on the information provided by the property Owner and documents supplied by them. Engineer cannot certify that information is correct or exact other than to the best of his knowledge.

Juan Gonzalez
Juan Gonzalez, PE # 89364





PROPERTY USE NOTES:

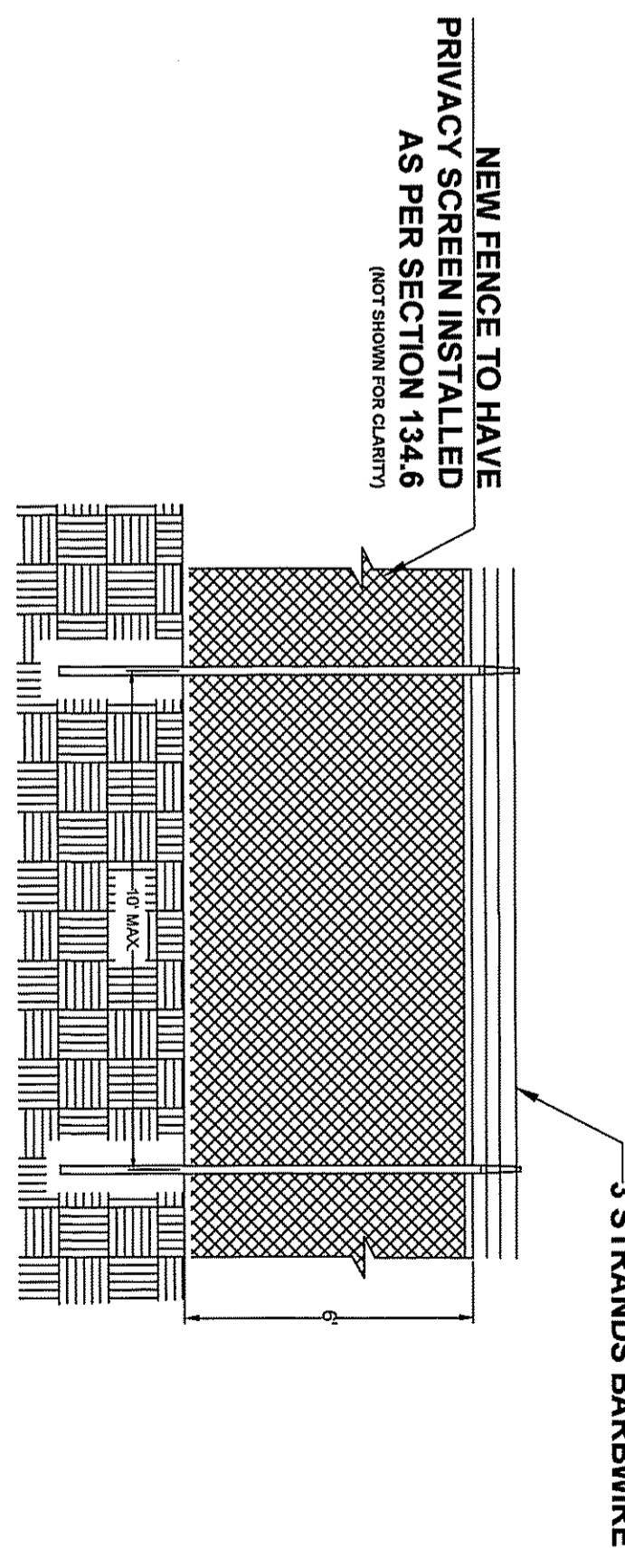
1. PROPERTY IS TO BE USED AS STORAGE LOT FOR COMPANY/OWNER'S EQUIPMENT.
2. NO PUBLIC STORAGE BUSINESS.
3. FLOOD PLANE AE-10
4. NO ADDITIONAL WATER OR SEWER FACILITIES WILL BE INSTALLED.
5. NO ADDITIONAL ELECTRICAL OR TELECOM FACILITIES WILL BE INSTALLED.
6. ALL VEHICLE MAINTENANCE WILL BE PERFORMED AT MAJ'S CURRENT BUILDING/SITE.
7. NO ADDITIONAL IMPERVIOUS PAVEMENT IS PLANNED.
8. ALL CURRENT LOT DRAINAGE CONDITIONS TO REMAIN AS THEY ARE.
9. VEHICLES ACCESS WILL REMAIN THE SAME.
10. NEW GATE TO LINCOLN AVE. TO BE USED AS EMERGENCY ACCESS ONLY. IT IS NOT TO BE USED IN DAY TO DAY OPERATIONS.
11. THERE IS NO PROJECTED INCREASE IN PERSONNEL OR VISITORS.
12. THERE IS NO PROJECTED INCREASE IN VEHICLE FLOW TO PROPERTY.
13. THERE IS NO PROJECTED INCREASE IN GARBAGE GENERATION.
- 13.1. COMBINED PROPERTIES AREA = 88,500 SF
- 13.1. STRUCTURES AREAS = 5,065 SF
- 13.2. IMPERVIOUS PAVEMENT AREAS = 7,983 SF
- 13.3. FLOOR AREA RATIO = 0.06
- 13.4. IMPERVIOUS AREA RATIO = 0.15

KEY NOTES:

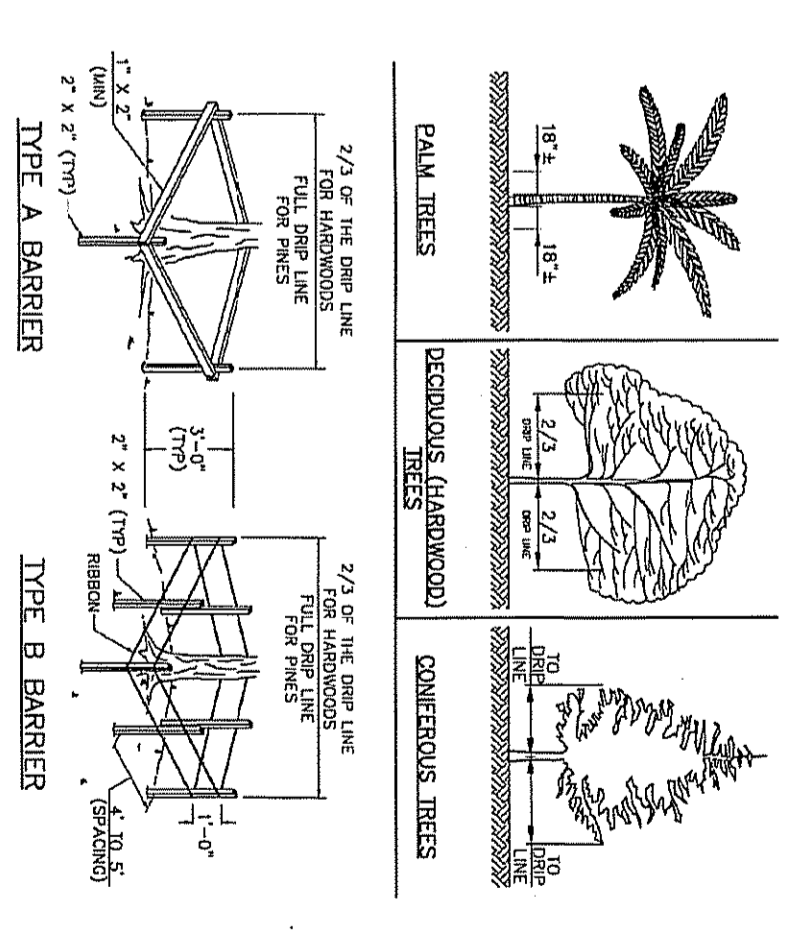
1. INFORMATION PRESENTED BASED ON PROPERTY SURVEY PREPARED BY GEORGE A. SHIMP II & ASSOCIATES FOR LOT 13, AND GOOGLE EARTH AND PINELLAS COUNTY PROPERTY APPRAISALS WEBSITE, SCALED AND OVERLAYED IMAGERY.

- POWER POLE
- SEWER CLEANOUT
- ⊗ WATER METER
- PROPERTY LINE
- CYCLONE FENCE EXISTING
- CYCLONE FENCE TO BE REMOVED
- CYCLONE FENCE NEW
- EXISTING OAK (SEE TREE SURVEY)
- EXISTING SABAL PALM (SEE TREE SURVEY)
- NEW TREE TO BE PLANTED (SEE TREE SURVEY)

NEW CYCLONE FENCE DETAIL (N.T.S)



TREE PROTECTION DETAIL (N.T.S)
(IF CONSTRUCTION OPERATIONS TAKE PLACE)



SCALE 1:300

S-1

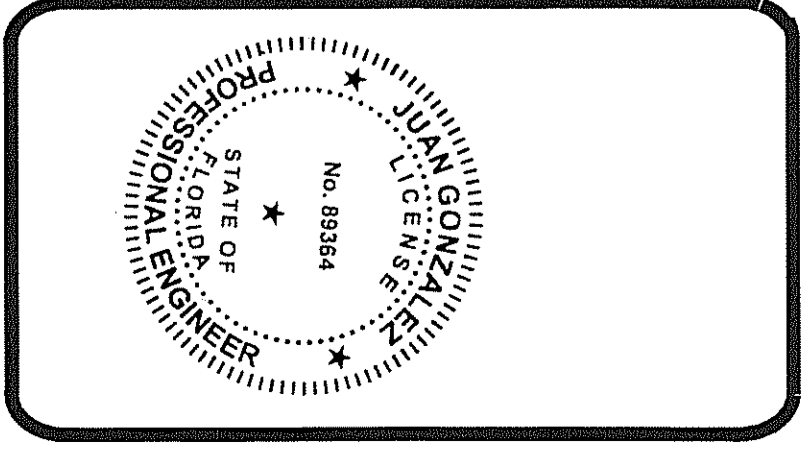
PROPOSED SITE

PLAN DATE	4-15-21

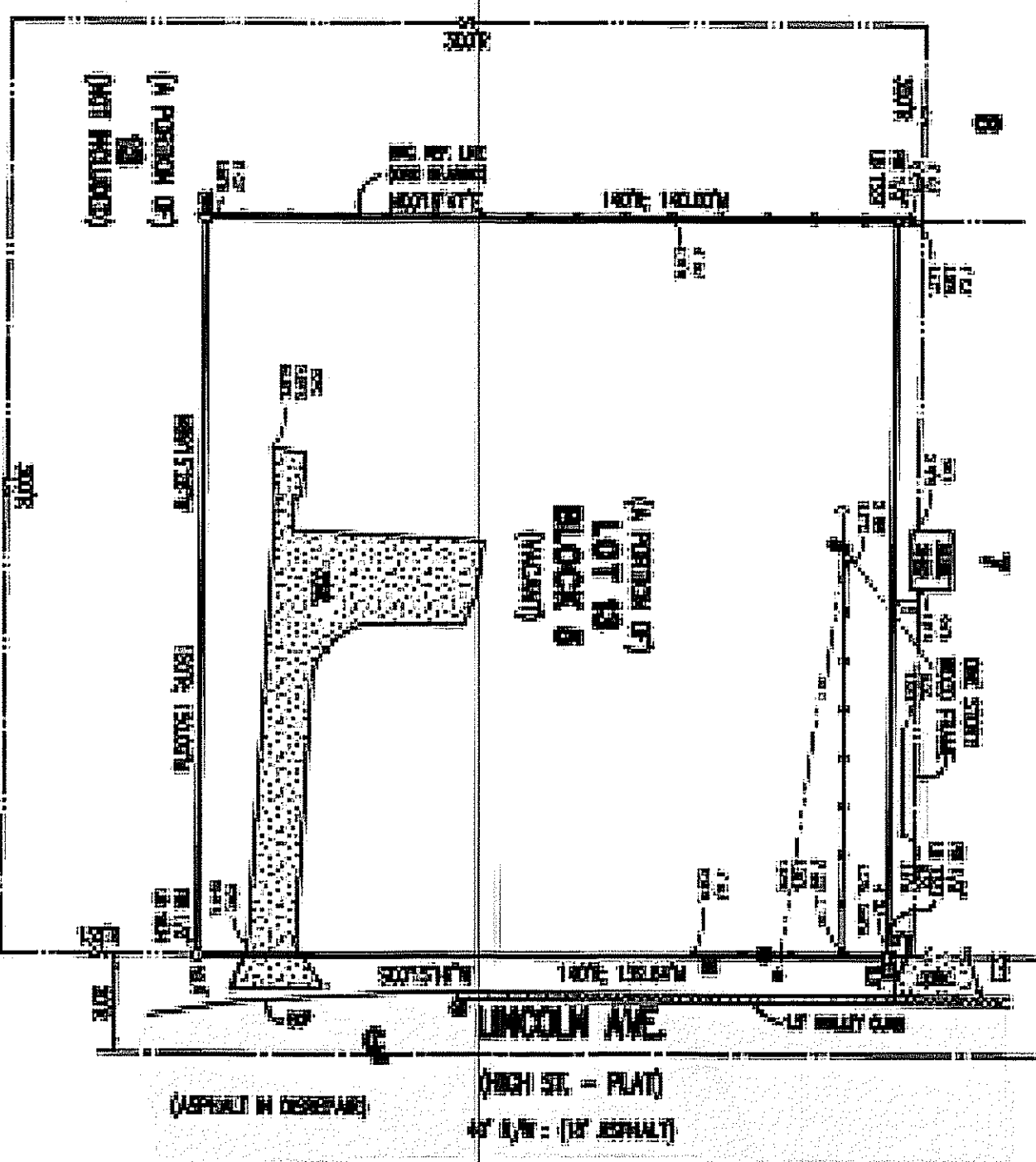
Project: Nick & Patty Kokkinos
828 Lincoln Ave.
Tarpon Springs, FL

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Juan Gonzalez, PE # 89364



SECTION 13 TOWNSHIP 27 SOUTH RANGE 5 EAST PINELLAS COUNTY, FLORIDA
BOUNDARY SURVEY - SHEET 1 OF 2



LINE L1
 SIGHT WIRE - 150% 142.87M
 LINE L2
 MONUMENT - 30% 205.24M

- LEGEND**
- - POWER POLE
 - - SEWER CLEAN OUT
 - ⊗ - TELLER WELT
 - ⊠ - WATER METER
 - ⊞ - WATER VALVE
 - - GAS WIRE
 - - OVERHEAD WIRES

LEGAL DESCRIPTION

THE SOUTH 140 FEET OF THE NORTH 145 FEET OF THE EAST 150 FEET OF LOT 18, BLOCK 6, DESSON AND KENNEY'S SUBDIVISION, PER PLAN THEREOF RECORDED IN PLAT BOOK 1, PAGE 31, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE AE (BASE FLOOD ELEVATION OF 10 FEET), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF TARPON SPRINGS, PINELLAS COUNTY, COMMUNITY NUMBER 120229 (MAP NUMBER 12022-019-0), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR
 NICK KOKKINOS

© COPYRIGHT 2020
 ALL RIGHTS RESERVED
 CHRISTOPHER A. GONZALEZ, P.E.
 828 LINCOLN AVE., TARPON SPRINGS, FL 34689
 AND BE GOVERNED BY THE TERMS AND CONDITIONS OF THE
 CONTRACT BETWEEN THE CLIENT AND THE ENGINEER.

SCALE 1/32"=1'

SL-1

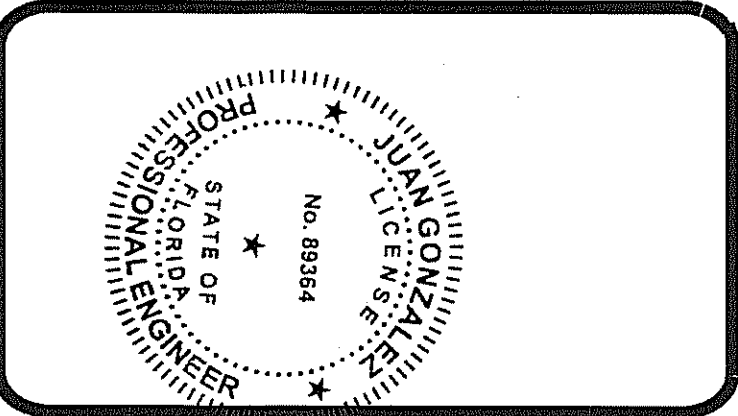
PROPOSED SITE

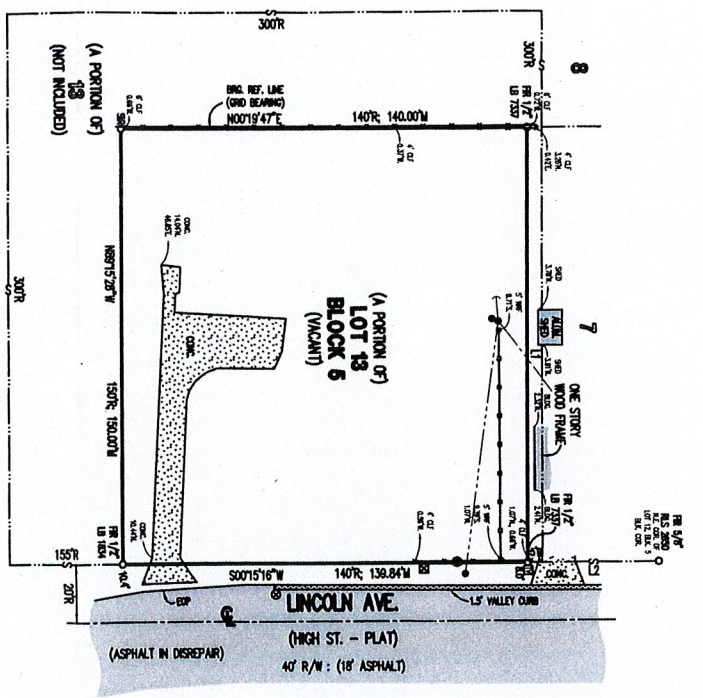
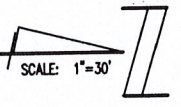
PLAN DATE	
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Project: Nick & Patty Kokkinos
 828 Lincoln Ave.
 Tarpon Springs, FL

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 Juan Gonzalez, PE # 89364





LINE L1
 S89°11'40"E - 150'R - 149.82'M
 LINE L2
 N00°20'16"E - 305'R - 305.24'M

- LEGEND**
- - POWER POLE
 - ⊙ - SEWER CLEAN OUT
 - ⊠ - TELCOM VAULT
 - ⊞ - WATER METER
 - ⊗ - WATER VALVE
 - - CITY WIRE
 - - - OVERHEAD WIRES

LEGAL DESCRIPTION

THE SOUTH 140 FEET OF THE NORTH 145 FEET OF THE EAST 150 FEET OF LOT 13, BLOCK 5, DISTION AND KEENEY'S SUBDIVISION, PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE AE (BASE FLOOD ELEVATION OF 10 FEET), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF TARPON SPRINGS, PINELLAS COUNTY, COMMUNITY NUMBER 120259 (MAP NUMBER 12103C-0019-G), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR
 NICK KOKKINOS

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 George A. Shimp II & Associates, Inc.
 All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of George A. Shimp II & Associates, Inc.

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE STANDARDS OF PRACTICE FOR THE CERTIFICATION DESCRIBED IN THE STATE OF FLORIDA RULE 3C-17, F.A.C. FURTHERMORE, I AND MY PARTNERS, AGENTS OR EMPLOYEES HAVE NOT EXTENDED TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE PERSONAL SIGNATURE, SEAL AND SIGNATURE OF THE SURVEYOR. SURVEYOR: GEORGE A. SHIMP II

UNOFFICIAL COPY
 FOR INFORMATIONAL PURPOSES ONLY FOR THE CERTIFIED PARTIES

JOB NUMBER: 200296	DATE SURVEYED: 10-15-2020
DRAWING FILE: 200296.DWG	DATE DRAWN: 10-20-2020
LAST REVISION: N/A	X REFERENCE: N/A

GEORGE A. SHIMP II
 AND ASSOCIATES, INCORPORATED
 LAND SURVEYORS LAND PLANNERS
 5301 DASOTO BOULEVARD, SUITE D
 PALM HARBOR, FLORIDA 34683
 PHONE (727) 784-5496 FAX (727) 786-1256
 M.A.T.
 LB 1834

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-64 – Storybrooke (Giannulis) – 40 Vacant Lots North of Disston Ave

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLAREST INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Tarpon Land Trust LLC		Email johnmills1209@aol.com	
Address 1209 N Florida Ave			
City Tarpon Springs		State Fl	Zip 34689
Phone 727-410-7122	Fax		Cellular 727-410-7122

Applicant

Name Fla Home Buy LLC		Email mikeg@flahomebuy.com	
Address 81 Highland Rd			
City Tarpon Springs		State Fl	Zip 34689
Phone 727-504-0524	Fax 727-666-7703		Cellular 727-504-0524

Agent (if applicable)

Name NA		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

General Information

Project Name StoryBrooke (40 Lot Spots)		
Property Location or Address SEE ATTACHMENT		
Legal Description (attach additional sheets as necessary) <small>LOTS 11, 12, 13, 14, 15, 16, 17, 18, 19 AND 20, BLOCK C, LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 AND 17, BLOCK D, AND LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, AND 20, BLOCK E, LAKE BUTLER HEIGHTS AN ADDITION TO THE CITY OF TARPON SPRING</small>		
Tax Parcel Number(s) SEE ATTACHMENT	Site Acreage	Percentage of City

Land Use & Zoning Information

Present Designations of Property (County)	
Land Use Category RA	Zoning District

The following should be furnished with this application:

- Completed original application with digital copies of all application documents
- Property survey including legal description
- Written Description of proposal
- Site Plan of proposed project if applicable
- Proof of ownership (warranty deed, title certification, etc.)

CITY OF TARPON SPRINGS, FLORIDA
Discussion Item/Meeting Request Application

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Fla Home BUY LLC is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: _____ Title Holder/Property Owner: _____

Date: _____ Title Holder/Property Owner: _____

Date: _____ Title Holder/Property Owner: _____

Date: _____ Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this _____ day of _____, A.D., 20 ____
by _____, who is personally known to me or who has produced
_____ as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name: _____

Signature: _____

Stamp:

Patricia McNeese

From: Mike Giannulis <mikegiannulis@gmail.com>
Sent: Monday, May 17, 2021 3:26 PM
To: Patricia McNeese; johnmmills1209@aol.com
Cc: Planning
Subject: Re: Attached 40 lot survey
Attachments: Discussion Item Application 6.18.2019 (1).pdf

External Email - Use caution with links and attachments

Meeting with the TRC:

Hi Patricia and Kim,

I have copied John on this email. He is the owner of the property that I want to meet to discuss.

Can you please go ahead and book a time for me at the upcoming meeting on June 3rd? We are interested in bringing affordable housing to the area, but don't know enough yet of how it could work to even present a plan to the city.

I am a Tarpon native (3rd generation) and would LOVE to work on a project like this.

John can reply if needed but he doesn't want to sign anything and I can understand why as we are only in very early discussions.

Thanks!
Mike Giannulis

PS - I'm attaching the unsigned version of the doc to just provide you with further details you may need to set the meeting.

On Thu, May 13, 2021 at 3:48 PM Mike Giannulis <mikegiannulis@gmail.com> wrote:

Thank you for sending all this over. For some reason it all appeared in my inbox today at the same time.

I have spoken with the owner to see if he will fill this out and get it notarized. However, we aren't under contract yet or anything. I believe he is going to call and speak with Renee.

Can you let me know if the 7.5 units per acre is a hard and fast rule or if there is an appeal to stretch that to the 40.

The current owner says if we vacate the right of ways the property is 4.99 acres. At 7.5 units per acre that puts us right at 37.5 units. Can we round up to 38 or down to 37? Is there a way to get it to 40?

Mike

On Wed, May 12, 2021 at 4:09 PM Patricia McNeese <pmcneese@ctsfl.us> wrote:

Hi Mike,

I would suggest scheduling this as a discussion item with our Technical Review Committee (TRC). It's a free service and you would have all of the City Departments there to ask questions. I have attached the form. If you can submit that along with the survey and a narrative with your questions and an idea of what you want to do with the property, we can schedule for the next available TRC of June 3. The submittal deadline is May 20.

Thank you! -Pat

Patricia L. McNeese, AICP

Principal Planner

City of Tarpon Springs

324 East Pine Street

P.O. Box 5004

Tarpon Springs, FL 34688-5004

727-938-3711, ext. 2255

pmcneese@ctsfl.us

From: Mike Giannulis <mikegiannulis@gmail.com>

Sent: Wednesday, May 5, 2021 11:59 AM

To: Planning <planning@ctsfl.us>

Subject: Attached 40 lot survey

External Email - Use caution with links and attachments

Hi, nice chatting with you today. Here's the email you asked for with further questions.

I have also attached the survey which should help you locate the property easier as well.

We are exploring the purchase of this land which is located on Meres blvd right near Mango Circle.

The current owner is John Mills through this Trust.

Some general questions we need to know:

- 1) Can we build 40 Single Family homes on this property?
- 2) Has any of these lots been approved or in the process?
- 3) Has it already been sub-divided into 40 parcels/lots?
- 4) What are the setbacks per lot?
- 5) Is it in an opportunity zone?
- 6) What is your permitting/approval process like?
- 7) How easy is it to tie in to utilities/sewer/etc? What is the distance to the main lines?
- 8) How many townhomes could be built (based on density plans) if we were to do townhomes instead of Single Family?
- 9) What sort of impact fees can we expect per lot, if any?
- 10) Anything else you think we should know?

--

[Twitter](#)

[Business Blog](#)

[Productivity Blog](#)

[Health & Fitness Blog](#)

Patricia McNeese

From: Kim Yothers
Sent: Thursday, May 6, 2021 4:34 PM
To: Mike Giannulis; Planning
Subject: RE: Attached 40 lot survey

Good afternoon,

I have additional information that should answer the balance of your questions.

The land could be divided up but not into 40 lots as it would not conform to the dimensional regulations of the Zoning District. The land use designation for the property is RU (Residential Urban) which allows 7.5 units per acre so your single family homes or townhomes would need to comply with that.

Contrary to the information I posted below, you would be required to complete site planning regardless of what you build since you would be required to build the road and address stormwater in order to develop all of the lots.

Best regards,



Kimberly Yothers
Planning and Zoning Coordinator
City of Tarpon Springs
Phone: (727)942-5611
Email: kyothers@ctsfl.us

From: Kim Yothers <kyothers@ctsfl.us>
Sent: Thursday, May 6, 2021 4:12 PM
To: Mike Giannulis <mikegiannulis@gmail.com>; Planning <planning@ctsfl.us>
Subject: RE: Attached 40 lot survey

Good afternoon,

I am working on answering all of your questions. I have pasted answers for the ones that I have available now in **Red** below for your convenience.

- 1) Can we build 40 Single Family homes on this property? **More review must be done in order to determine this answer.**
- 2) Has any of these lots been approved or in the process? **There are no current, active approvals for these properties.**
- 3) Has it already been sub-divided into 40 parcels/lots? **The property was platted in 1972. More review will have to take place to determine whether the lots can be divided along the original plat lines.**
- 4) What are the setbacks per lot? **The lots are located in the RM – Residential Multifamily Zoning District. The setbacks vary depending on what is proposed I have pasted the link to Section 25.05 for your review.**
https://library.municode.com/fl/tarpon_springs/codes/code_of_ordinances?nodeId=COOR_APCOZOLADECO_ARTIIDIRE_S25.05RMREMUDI
- 5) Is it in an opportunity zone? **The property is located in an opportunity zone. I have pasted a link to the information page below.**

<https://www.pced.org/general/custom.asp?page=OpportunityZones&DGPCrSrt=&DGPCrPg=2>

6) What is your permitting/approval process like? **It depends on what you are building, Planning and Zoning would require site planning for townhomes and then you would have to go through the Building Development Department for permitting. Single family detached dwellings are permitted by the Building Development Department.**

7) How easy is it to tie in to utilities/sewer/etc? What is the distance to the main lines? **The Planning and Zoning Department does not participate in utility hook ups for properties within the City limits. Please use the following link to submit an inquiry for Utilities: <http://www.ctsfl.us/index.php/utility-availability-statement/>**

8) How many townhomes could be built (based on density plans) if we were to do townhomes instead of Single Family? **More review must be done in order to determine this answer.**

9) What sort of impact fees can we expect per lot, if any? **Please click on the following link for information regarding impact fees: <https://www.ctsfl.us/wp-content/uploads/2021/01/Informational-Guide-to-Permitting.pdf>**

10) Anything else you think we should know? **Not that I know of.**

I will work toward getting answers to the three questions that indicate the need for further review.

I will get back to you as soon as I am able to get the answers.

Best regards,



Kimberly Yothers
Planning and Zoning Coordinator
City of Tarpon Springs
Phone: (727)942-5611
Email: kyothers@ctsfl.us

From: Mike Giannulis <mikegiannulis@gmail.com>

Sent: Wednesday, May 5, 2021 11:59 AM

To: Planning <planning@ctsfl.us>

Subject: Attached 40 lot survey

External Email - Use caution with links and attachments

Hi, nice chatting with you today. Here's the email you asked for with further questions. I have also attached the survey which should help you locate the property easier as well.

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- 4) What are the setbacks per lot?

- 5) Is it in an opportunity zone?
- 6) What is your permitting/approval process like?
- 7) How easy is it to tie in to utilities/sewer/etc? What is the distance to the main lines?
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- 9) What sort of impact fees can we expect per lot, if any?
- 10) Anything else you think we should know?

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[Twitter](#)

[Business Blog](#)

[Productivity Blog](#)

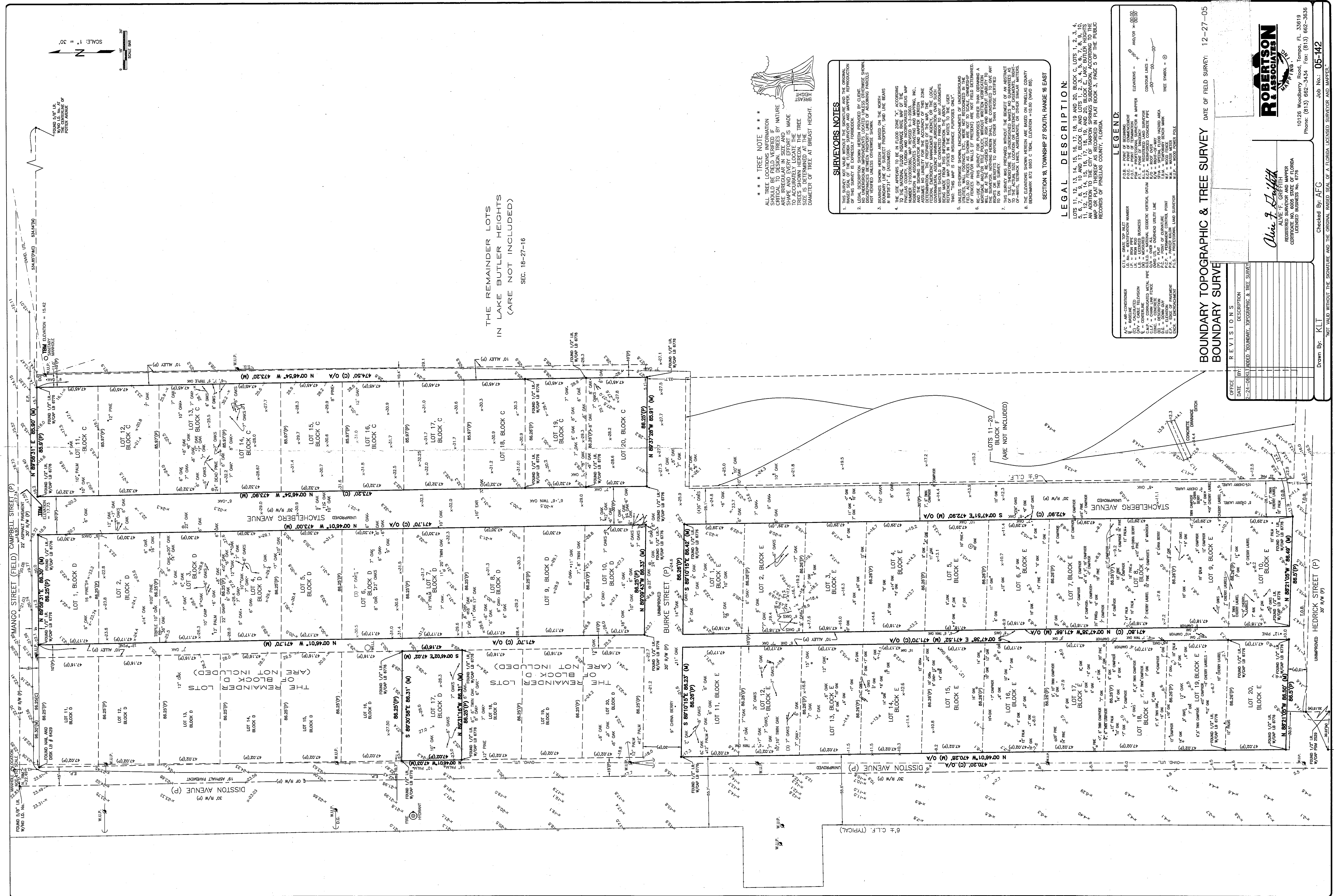
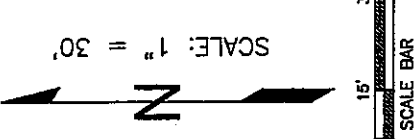
[Health & Fitness Blog](#)

[Scale Up Newsletter](#)

[Youtube Channel](#)

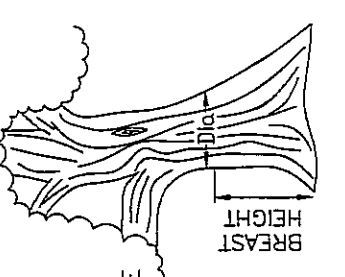
Never want me to email you again? Just reply "Unsubscribe" and I'll permanently add you to my blocked list.

Michael Giannulis | 7853 Gunn Hwy #360, Tampa, Fl 33626



THE REMAINDER LOTS
IN LAKE BUTLER HEIGHTS
(ARE NOT INCLUDED)

SEC. 18-27-16



*** TREE NOTE ***
ALL TREE LOCATIONS INFORMATION
SHOULD BE FIELD VERIFIED IF
NECESSARY. TREE HEIGHTS
ARE IRREGULAR IN SIZE AND
SHAPE AND EVERY EFFORT IS MADE
TO ACCURATELY LOCATE THE TREE
SIZE IS DETERMINED AT THE
DIAMETER OF TREE AT BREAST HEIGHT.

- SURVEYOR'S NOTES**
- THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE ORIGINAL PLAT OF THE FLORIDA SURVEYOR AND MAPPER, REPRODUCTION OF THIS SURVEY IS EXPRESSLY FORBIDDEN.
 - NO UNDERGROUND UTILITIES OR STRUCTURES WERE SHOWN UNLESS DISCREPANCIES BETWEEN PROPERTY LINES OF ADJOINING PARCELS WERE OBSERVED AND INDICATED BY THE SURVEYOR.
 - BOUNDARY LINES WERE BASED ON THE MOST ACCURATE AVAILABLE DATA AND THE SURVEYOR'S FIELD MEASUREMENTS.
 - THE APPEARANCE OF THIS SURVEY IS NOT TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE SURVEYOR'S FIELD MEASUREMENTS AND THE SURVEYOR'S FIELD MEASUREMENTS ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE SURVEYOR'S FIELD MEASUREMENTS.
 - THE SURVEYOR'S FIELD MEASUREMENTS ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE SURVEYOR'S FIELD MEASUREMENTS.
 - THE SURVEYOR'S FIELD MEASUREMENTS ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE SURVEYOR'S FIELD MEASUREMENTS.
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LEGAL DESCRIPTION
LOTS 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, BLOCK C, LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 AND 17, BLOCK D, AND LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, AND 20, BLOCK E, LAKE BUTLER HEIGHTS, SECTION 18, TOWNSHIP 27 SOUTH, RANGE 16 EAST, PINELLAS COUNTY, FLORIDA, AS SHOWN ON PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 3 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

LEGEND:

0.1 = GRADE TOP INLET	P.O.B. = POINT OF BEGINNING
0.2 = GRADE TOP OUTLET	P.O.C. = POINT OF COMMENCEMENT
0.3 = GRADE TOP MANHOLE	P.O.E. = POINT OF ESTABLISHMENT
0.4 = GRADE TOP WATER MAIN	P.O.F. = POINT OF FURNISHMENT
0.5 = GRADE TOP SANITARY MANHOLE	P.O.G. = POINT OF GROUND
0.6 = GRADE TOP SEWER	P.O.H. = POINT OF HORIZON
0.7 = GRADE TOP TELEPHONE	P.O.I. = POINT OF INTERSECTION
0.8 = GRADE TOP GAS	P.O.J. = POINT OF JUNCTION
0.9 = GRADE TOP CABLE TELEVISION	P.O.K. = POINT OF KNOT
1.0 = GRADE TOP POWER LINE	P.O.L. = POINT OF LIGATION
1.1 = GRADE TOP FENCE	P.O.M. = POINT OF MORTGAGE
1.2 = GRADE TOP CHAIN LINK FENCE	P.O.N. = POINT OF NAIL
1.3 = GRADE TOP WOOD FENCE	P.O.O. = POINT OF OBTUSION
1.4 = GRADE TOP CONCRETE FENCE	P.O.P. = POINT OF PERPETUITY
1.5 = GRADE TOP METAL FENCE	P.O.Q. = POINT OF QUARTERS
1.6 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.R. = POINT OF REVISION
1.7 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.S. = POINT OF SURVEY
1.8 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.T. = POINT OF TANGENT
1.9 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.U. = POINT OF UTILITY
1.10 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.V. = POINT OF VERTICITY
1.11 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.W. = POINT OF WIND
1.12 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.X. = POINT OF X
1.13 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.Y. = POINT OF Y
1.14 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.Z. = POINT OF Z
1.15 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.A. = POINT OF A
1.16 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.B. = POINT OF B
1.17 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.C. = POINT OF C
1.18 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.D. = POINT OF D
1.19 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.E. = POINT OF E
1.20 = GRADE TOP WOOD POST AND RAIL FENCE	P.O.F. = POINT OF F

BOUNDARY TOPOGRAPHIC & TREE SURVEY DATE OF FIELD SURVEY: 12-27-05
BOUNDARY SURVEY

REVISIONS

DATE	DESCRIPTION
12-27-05	INITIAL BOUNDARY TOPOGRAPHIC & TREE SURVEY

Office: _____
Date: _____

ROBERTSON R. & ASSOCIATES
MAP & SURVEYING
10126 Woodberry Road, Tampa, FL 33619
Phone: (813) 662-3434 Fax: (813) 662-3636
Job No.: 05-142

Checked By: AFG
Drawn By: KLT

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL BASED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-65 – Kontos Construction – 0 Levis Ave

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEARST INFORMATION POSSIBLE TO THE APPLICANT.

**CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application**

Return to:
Planning & Zoning Department
324 E. Pine Street
Tarpon Springs, FL 34689
(727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name GEORGE KONTOS		Email 207GEORGEK@GMAIL.COM	
Address 207 n FLORIDA AVE			
City TARPON SPRINGS		State FL	Zip 34689
Phone 727-938-0021	Fax 727-937-6017		Cellular 908-229-1366

Applicant

Name VASILIS KONTOS		Email VASILIS@KONTOSROOFING.COM	
Address 201 S. LEVIS AVE			
City TARPON SPRINGS		State FL	Zip 34689
Phone 727-938-0021	Fax 727-937-6017		Cellular 727-224-6360

Agent (if applicable)

Name VASILIS KONTOS		Email VASILIS@KONTOSROOFING.COM	
Address 201 S. LVIS AVE			
City TARPON SPRINGS		State FL	Zip 34689
Phone 727-938-0021	Fax 727-937-6017		Cellular 727-224-6360

General Information

Project Name LEVIS AVE - OFF SITE PARKING
Property Location or Address LEVIS AVE, TARPON SPRINGS, FL 34689
Legal Description (attach additional sheets as necessary) MAGNOLIA HEIGHTS BLK A, LOT 11
Tax Parcel Number(s) 12-27-15-54396-001-0110

Existing Land Use & Zoning Information

Present Designations of Property		Current Use of Property
Land Use Category VACANT	Zoning District TS	VACANT

Site Acreage:

Upland _____ Wetland _____ Submerged _____ TOTAL _____

Flood Information: [please check all that apply]

Zone X Zone X Shaded Zone AE Zone VE

Base Flood Elevation (BFE): [please list all elevations] _____

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

Level of Service/Concurrency:

The following information shall be provided for new uses and/or development proposals altering the intensity of any existing use(s):

Service	Existing	Proposed	Net Change
Potable Water	GPD	GPD	GPD
Sanitary Sewer	GPD	GPD	GPD
Solid Waste	TPY	TPY	TPY
Transportation	TPD	TPD	TPD
Storm Drainage	Analysis / Review by Engineering Division		
Hurricane Shelter	Spaces	Spaces	Spaces

GPD = gallons per day
 TPD = trips per day

The following **MUST** be furnished with this application: [incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents
- Application fee (based on site acreage)
 - 0 – 5 acres; \$ 500.00
 - 5.01 – 10 acres; \$ 750.00
 - 10.01 – 15 acres; \$1,000.00
 - 15.01 – 20 acres; \$1,500.00
 - 20.01 acres or more; \$2,000.00
- Proof of ownership (warranty deed, title certification, etc.)
- Hurricane Shelter Space Impact Study, if required by Section 122.12, LDC
- Traffic Impact Study, if required by Section 122.11, LDC
- Endangered/Threatened Species Study, if required by Section 144.00, LDC
- Acknowledge compliance with the City's Public Art Ordinance (see criteria below)
- Demonstrate compliance with urban design requirements, if property is in the WDI zoning district (see criteria below)
- Five (5) complete sets of plans including all the following items.
 - A. All site plans shall be prepared under the direction of a Florida Registered Engineer and sealed by same.
 - B. All submittals for site plan approval shall include a completed application form with proof of ownership and designation of agent, if applicable, and provide the following information unless otherwise determined by the Director that the context of the application clearly requires less:
 1. All required information shall be submitted on standard sheets (24" x 36"). Site Plan submissions requiring more than one sheet shall include match lines and consecutive numbering.
 2. An accurate boundary survey sealed by a Registered Surveyor containing the complete legal description, plus easements, encroachments, existing structures, and rights-of-way affecting the property shall accompany the site plan. The survey shall also include the name, location and width of existing or platted streets and street rights-of-way within or contiguous to the site. Total site area is required (upland and submerged) with the limits of any jurisdictional wetlands and MHW levels clearly identified.
 3. Site plans shall be prepared at a scale of one inch equals sixty feet (1" = 60') or larger. As necessary, a smaller scale may be used for large projects. All drawings shall show the scale at which they are drawn, north arrow, vicinity map, the date they were drawn, and the date of all revisions.
 4. In addition to all proposed buildings and parking areas, the site plan must show all proposed utilities including sanitary sewer service, and potable water supply, including the location of proposed fire hydrants.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

5. The location, size, and type of all storm water management facilities with calculations signed and sealed by an engineer.
6. The location, description, and terms of any proposed easements, reservations, or dedications, together with any necessary legal instruments.
7. A tree survey with overlay of proposed development indicating size, type, location of trees to remain.
8. Existing contours and proposed grades at one foot intervals.
9. Flood zone and required first floor elevation(s).
10. Complete screening details, including fences or walls and landscaping provided by size, type, spacing, location with the method of irrigation.
11. A table of land use showing total area plus a breakdown of all open space (permeable surface) areas, pavement, building, etc.
12. Lot dimensions including curve data.
13. Proposed setback dimensions.
14. Gross floor area by type for non-residential uses.
15. Gross density for residential uses and number and types of units.
16. The proposed architectural elevations and floor plans with accurate dimensions.
17. Proposed private and public streets with right-of-way dimensions.
18. Proposed phasing plan by anticipated commencement and completion date.
19. Dumpster location and screening.
20. Required parking calculations (parking provided and required).
21. Size and location of required loading zones.
22. Required (proposed) sidewalks and internal walkways.
23. Driveways and access improvements.
24. Location and type of site lighting including pole height and fixture type.
25. Description of the maintenance of common facilities for residential projects.
26. The location, type, height, and size of proposed signs.

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the Public Art Program.

§ 296.00 ART DESIGN STANDARDS FOR DEVELOPMENT AND REDEVELOPMENT.

(A) All projects and developments consisting of new construction, or renovation related to commercial, industrial, mixed-use projects and developments, and residential projects and developments, with the specific exception of renovations to or development of individual Single Family Residential Lots which are hereby exempted from the requirements of this Ordinance, any of which equal or exceed an aggregate job value of \$1,000,000.00, which are submitted for building permits must allocate not less than one percent (1%) of the aggregate job value up to the sum of \$100,000.00 per project for the provision of public art. If renovations affect multiple structures on a project site, which may be permitted separately, the aggregate job value is based on the construction valuation of all permits for the site.

(B) When a project is subject to the requirement of a public art allocation, the developer shall have two options:

1. The developer may contract with a professional Artist to create a permanent public artwork as part of the development project. Artworks must be located in publicly accessible locations. If desired, support will be available from both City staff and the Public Art Committee to assist in the selection of an Artist. Before contracting with the Artist, the property owner will submit for approval by the Public Art Committee the Artist's qualifications, the Artist's proposal, a statement of how the project satisfies the parameters of the Public Art Program, and a budget reflecting that the allocation of funds required by the Program has been met.

Such artwork may include amenities such as streetscapes, paving treatments, architecturally integrated

CITY OF TARPON SPRINGS, FLORIDA
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water features as well as mosaics, murals, or sculpture, etc. The artwork must be completed or commissioned before a certificate of occupancy will be issued.

2. In lieu of an on-site project, a developer may contribute .75 percent of the aggregate job value to the City's Public Art Fund. This in lieu fee must be paid prior to the issuance of building permit.

(C) Excluded from this requirement shall be:


1. Projects with an aggregate job value under \$1,000,000.00.
2. Residential developments of new construction for affordable housing.

3. Eligible projects pending approval for a building permit that have submitted a complete application prior to the date of passage of this Ordinance provided that:

- a. The application is approved within six months of the date of application.
- b. Construction begins within six months of the issuance of such approval and is diligently pursued to completion.

APPLICANT'S AKNOWLEDGEMENT:

Type of Public Art Activity [please initial only one]

 This project is exempt from the Public Art Program requirements.

Please state exemption: PROJECT WILL BE UNDER \$1,000,000.00

_____ I will contract with a professional artist to create a permanent, public artwork as part of the development.

_____ In lieu of an on-site project, I will contribute .75 percent of the aggregate job value* to the City's Public Art Fund. I understand this fee must be paid prior to the issuance of a building permit.

**Aggregate job value means the total of all construction costs associated with a particular site plan project regardless of the number of permits associated with the project, or whether it is a phased project. Construction costs include all labor, structural materials, plumbing, electrical, mechanical, infrastructure, and site work.*

The following is an excerpt from the City's Comprehensive Zoning and Land Development Code regarding the WDI zoning district urban design requirements.

Compatibility Review:

- (A) All uses in the WDI District shall be evaluated for compatibility with surrounding uses and furthering the intent of the WDI District as it relates to promoting the tourist oriented economy.
- (B) Uses under this Code Section (§ 25.14) are evaluated for compatibility factors such as scale, mass, intensity, location, size, height, style and aesthetics. This list of factors is considered to be non-exclusive and the reviewing body may consider other relevant factors in making a compatibility determination. The use in order to be compatible shall be found to preserve the character of the adjacent neighborhoods.
- (C) Design Requirements for all non-residential site plans.
 1. Parking
 - a. Parking lots/spaces may not be located in any required front setback or within the required pedestrian promenade. Alternative parking surfaces may be utilized throughout the district. All other applicable standards of the Land Development Code for the construction of parking lots shall be required.
 - b. Actual parking to be provided shall not exceed 110% of the required parking after the provision of all applicable credits and reductions allowed elsewhere in this Code.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

- c. Parking lots shall be masked from the street frontage and/or water frontage by a streetscreen as described in 6.b. below.
 - d. Where parking lot access can be provided from a side street or alley, direct access from Dodecanese Blvd. and Athens Street shall be prohibited.
 - e. Alternatives to the requirements of Section 127.03, Parking Lot Design and 134.05, Parking Lot Landscaping may be considered by the Board of Commissioners during site plan review when a superior alternative can be demonstrated that achieves the intent of buffering and screening off-street parking.
2. Sidewalks and private frontages (the area between the building and right-of-way)
- a. Pedestrian sidewalks and other pedestrian amenities may be located in any required setback or yard. Outdoor cafes, seating areas, terraces, canopies, arcades and other similar amenities that serve to integrate the public sidewalk with the fronting structure shall be allowed and encouraged within any required yard or setback. In addition to the standards of Section 132.00, public sidewalks shall be a minimum of 8'. Where insufficient right of way exists, a pedestrian easement shall be granted to provide the required 8' of sidewalk width. Awnings or galleries shall be required to provide shade for pedestrians along the primary and secondary frontages of the building.
3. Landscaping
- a. In addition to the landscaping requirements elsewhere in this Code, one street tree of at least 1.5" caliper or a cluster of three palm trees shall be planted for each 30' of frontage along the public right-of-way. Trees shall be of a species that, at maturity, the canopy shall not interfere with the building façade.
4. Elevation of buildings
- a. In order to preserve the urban streetscape, non-residential structures shall be constructed at or near street grade.
5. Pedestrian promenades on waterfront lots
- a. Waterfront lots shall provide a minimum 15' pedestrian promenade along the river frontage; arcades shall be allowed over the promenade with a minimum clearance of 10'; the pedestrian promenade shall form a continuous walkway along the river frontage. Pedestrian access from the street frontage to the promenade may be interior or exterior to the building. Where placement within the 15' setback is technically or economically impracticable, alternative placements of the pedestrian walkway may be considered by the Board of Commissioners during the site plan review process.
6. All site plans and building plans shall adhere to the additional building design requirements set out below;
- a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.
 - b. Streetscreens shall be between 3.5 feet and 8 feet in height and constructed of a material matching the adjacent building facade.
 - c. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated.
 - d. A building recess of 5-10 feet between the second and third story, along the primary frontage, shall be required. At least 50% of the recess shall be setback a minimum of 10 feet. The remainder shall not be less than 5 feet. A building recess or accent line that architecturally differentiates the 1st and 2nd story shall be required.
 - e. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

CITY OF TARPON SPRINGS, FLORIDA
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- f. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.
 - g. The facades on frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story. Two-way visibility shall be maintained and shall not be obstructed by the use of reflective films, coatings, glazings or window signage.
 - h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be no less than 2:12.
 - i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the TRC.
 - j. Exterior finish materials on all facades shall be limited to stone, brick, wood, and/or stucco. Balconies, galleries and arcades shall be of similar materials as the primary structure or may be made of concrete, painted wood or metal.
 - k. Buildings may have flat roofs enclosed by parapets or sloped roofs.
7. Requirements Specific to Hotels:
- a. Façade colors shall be of low reflectance, subtle, neutral, or earth tone colors, the use of high-intensity or metallic colors shall be prohibited.
 - b. The use of neon tubing, strobe lights, moving lights, and other similar lighting mechanisms shall be prohibited.
 - c. All facades visible from adjoining properties or public streets shall be designed to contribute to the overall scale of the building's features and encourage community integration by featuring characteristics similar to the front façade.
 - d. Loading docks, trash collection, parking lots, and other outdoor storage and activity areas shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts are fully contained.
 - e. Multiple connections shall be required between the structure and the public right-of-way.
 - f. Walking routes (other than driveways and parking aisles) shall be provided as primary pedestrian access-ways between buildings, parking lots, and public sidewalks and shall be of a material that differentiates those routes from surrounding parking lots.

(D) Waivers

The Board of Commissioners may consider a waiver to the maximum front setback required in this Section when a superior alternative is presented and compatibility review requirements of this section have been met.

CITY OF TARPON SPRINGS, FLORIDA
Subdivision / Site Plan Approval Application

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that Vasilis Kontos is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

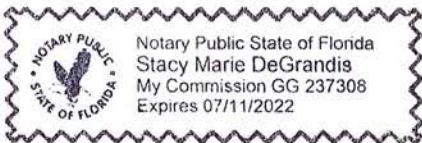
I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: 4/28/21
Date: _____
Date: _____
Date: _____

Title Holder/Property Owner: [Signature]
Title Holder/Property Owner: _____
Title Holder/Property Owner: _____
Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 28th day of April, A.D., 2021
by George Kontos, who is personally known to me or who has produced
PROPERTY OWNER NAME PRINTED
_____ as identification and who did (did not) take an oath.



NOTARY PUBLIC
Name: [Signature]
Signature: [Signature]
Stamp: _____

Contract for Sale of Real Estate

0 Lewis Ave
TS 34698
908-229-1366
Buyer

Diane
Compass Land & Title (727) 712-3535 9/28/2017
2925 Alt 19 N, Palm Harbor, FL 34683
George Kantas, 207 N. Florida Ave, Tarpon Springs, hereinafter called Buyer, of the sum of
five hundred + no/100 (\$ 500) DOLLARS
as deposit on account of offer to purchase the property of Rodger King, PO Box 1008, Tampa, FL 33601
813-254-5464 hereinafter called Seller, said property being known as
Magnolia Heights, Blk A, Lot 11 (Lewis Ave) Tax Parcel
No 12-27-15-54396-001-0110, Pinellas County, FL

upon the conditions and terms as follows:
1. Full Purchase Price \$ 25,000, payable \$ 25,000 in cash, of which the above deposit shall apply as part and shall be held by said Agent in escrow pending closing of transaction, balance payable in the following manner: cash at closing

2. Abstract of title recertified to date shall be furnished by Seller and delivered to the Buyer or his attorney for examination of title within 15 days after the full execution hereof, which said abstract shall be the property of the said Buyer after full payment of the aforesaid purchase price, or Seller at his option shall purchase and deliver to Buyer title insurance policy on the real property covered hereunder in the amount of the full purchase price.

In the event the title shall be proven to be unmerchantable, the Seller shall have a period of 15 days after notification thereof within which to cure defects in title, and this sale shall be closed within 15 days after notice of such curing to the Buyer or his attorney. Upon Seller's failure to correct unmerchantability within the time limit, the earnest money deposit shall be returned to the Buyer upon demand, and all rights and liabilities arising hereunder shall terminate.

Subject to the aforesaid curative period, this sale shall be closed on or before Oct 17, 2017

3. Seller agrees to convey title to the aforesaid property to the Buyer George Kantas by Warranty deed, free and clear of all encumbrances or liens except current property taxes.

4. The required documentary stamps shall be placed on the deed by Seller. The Buyer shall properly execute any required notes and mortgages and place the required stamps thereon.

5. All adjustments of taxes, insurance premiums, interest, assessments and rents or other items on the said property are to be made on a prorata basis as of date of closing. If the amount of taxes and assessments for the current year cannot be ascertained, rates for the previous year shall be used in prorating taxes and assessments, due allowance being made for homestead and other exemptions, if allowed for either year 2017

6. The Seller agrees to pay said Agent a sum equal to 2% of the purchase price as commission, at the time of closing this transaction. If the Buyer fails to perform this contract within the time herein specified, time being of the essence of this agreement, the deposit made by the Buyer shall be forfeited, and the amount of such deposit shall be divided equally between the Agent and the Seller, after paying out of such deposit any expense of the transaction incurred by either; provided, however, that the amount received or retained by the Agent shall not exceed the full amount of said commission, any excess to be paid the Seller. If the transaction shall not be closed because of refusal of the Seller to perform, then the Seller shall pay said commission to the Agent on demand. Failure or refusal of wife or husband of Seller or Buyer to execute deed or mortgage required hereunder shall be deemed default on the part of such Seller or Buyer.

7. The Words "Agent", "Buyer", and "Seller" herein employed shall include their heirs, administrators, executors and successors, and said words, and any pronouns relative thereto, shall include the masculine, feminine and neuter gender, and the singular and plural number, wherever the context so admits or requires.

8. This instrument shall become effective as a contract when signed by the Agent, Buyer and Seller. If not signed by all parties on or before Oct 1, 2017 any monies deposited shall be refunded and this instrument shall be void.

9. No agreements, unless incorporated in this contract shall be binding upon the Agent, Buyer, or Seller.

10. Intangible taxes on mortgages required by law shall be paid by Seller.

11. If the improvements are damaged by fire or other casualty before the closing hereunder and can be restored to substantially the same condition as now within a period of 60 days thereafter, the Seller shall so restore the improvements and the closing date hereinabove set shall be extended accordingly, but if such restoration cannot be completed within that time this contract shall be declared cancelled.

12. Executed in triplicate.

WITNESSES AS TO SIGNATURES OF BUYER:

WITNESSES AS TO SIGNATURES OF SELLER:

NO agent (Agent) (SEAL)

By _____
ABOVE OFFER HEREBY CONFIRMED:
George Kantas (Buyer) (SEAL)

(Buyer) (SEAL)

ACCEPTED AND APPROVED this _____ day of _____, 19____
Rodger King (Seller) (SEAL)

(Seller) (SEAL)

Prepared by:

Compass Land & Title, LLC
1609 W. De Leon St, 2nd Floor
Tampa, Florida 33606

File Number: 17-861

Consideration: \$25,000.00

General Warranty Deed

Made this October 18, 2017 A.D. By **Rodger King**, a married man whose address is: PO Box 1008, Tampa, FL 33601, hereinafter called the grantor, to **George Kontos and Mihalia Kontos, husband and wife**, whose post office address is: 207 North Florida Ave, Tarpon Springs, Florida 34689, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Pinellas County, Florida, viz:

Lot 11, Block A, MAGNOLIA HEIGHTS, according to the map or plat thereof, as recorded in Plat Book 16, Page(s) 63, of the Public Records of Pinellas County, Florida.

****Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any members of the household of Grantor reside thereon.****

Parcel ID Number: 12-27-15-54396-001-0110

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2016.

Prepared by:

Compass Land & Title, LLC
1609 W. De Leon St, 2nd Floor
Tampa, Florida 33606

File Number: 17-861

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature] _____ (Seal)
Witness Printed Name Danielle Windham Address: Rodger King

[Signature] _____
Witness Printed Name Jennifer Guadoni

State of Florida
County of Hillsborough

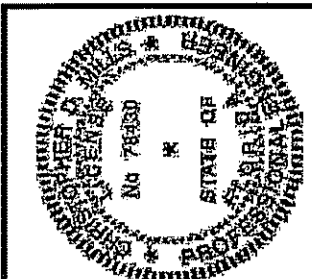
The foregoing instrument was acknowledged before me this 18th day of October, 2017, by Rodger King, who is/are personally known to me or who has produced license as identification.

[Signature]
Notary Public
Print Name: Danielle Windham
My Commission Expires: 8/5/19



INDEX OF DRAWINGS	
SHEET	DESCRIPTION
S-1	GENERAL INFORMATION, DEMOLITION PLAN, GRADING AND DRAINAGE PLAN, PARKING AND DRIVE WAY APRON DETAILS AND LOT LAYOUT PLAN
S-2	PINELLAS COUNTY CONCRETE DRIVE WAY APRON DETAILS AND NOTES

BUILDING DATA	
OWNER	GEORGE KONTOS AND MIHALIA KNOTOS 207 NORTH FLORIDA AVENUE TARPON SPRINGS, FLORIDA 34689
ENGINEER	CHRISTOPHER D. MILLS, P.E. MCKINLEY ENGINEERING AND CONSULTING PO BOX 16341 CLEARWATER, FLORIDA 33766
PARCEL:	12-27-15-54395-001-0110
ZONING:	0000 (VACANT RESIDENTIAL)
FLOOD ZONE:	X
GEOTECHNICAL INFORMATION: ASSUMED SOIL BEARING PRESSURE OF 2,000 PSF	
VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK	THESE PLANS COMPLY WITH FLORIDA BUILDING CODE 7TH EDITION 2020



This has been electronically signed and sealed by Christopher D. Mills, P.E. using a digital signature and date. Printed signatures and dates are not considered signed and sealed and the signature must be verified on any electronic copies.

KONTOS ROOFING PARKING
LOT 11 - LEVISA AVENUE
TARPON SPRINGS, FLORIDA

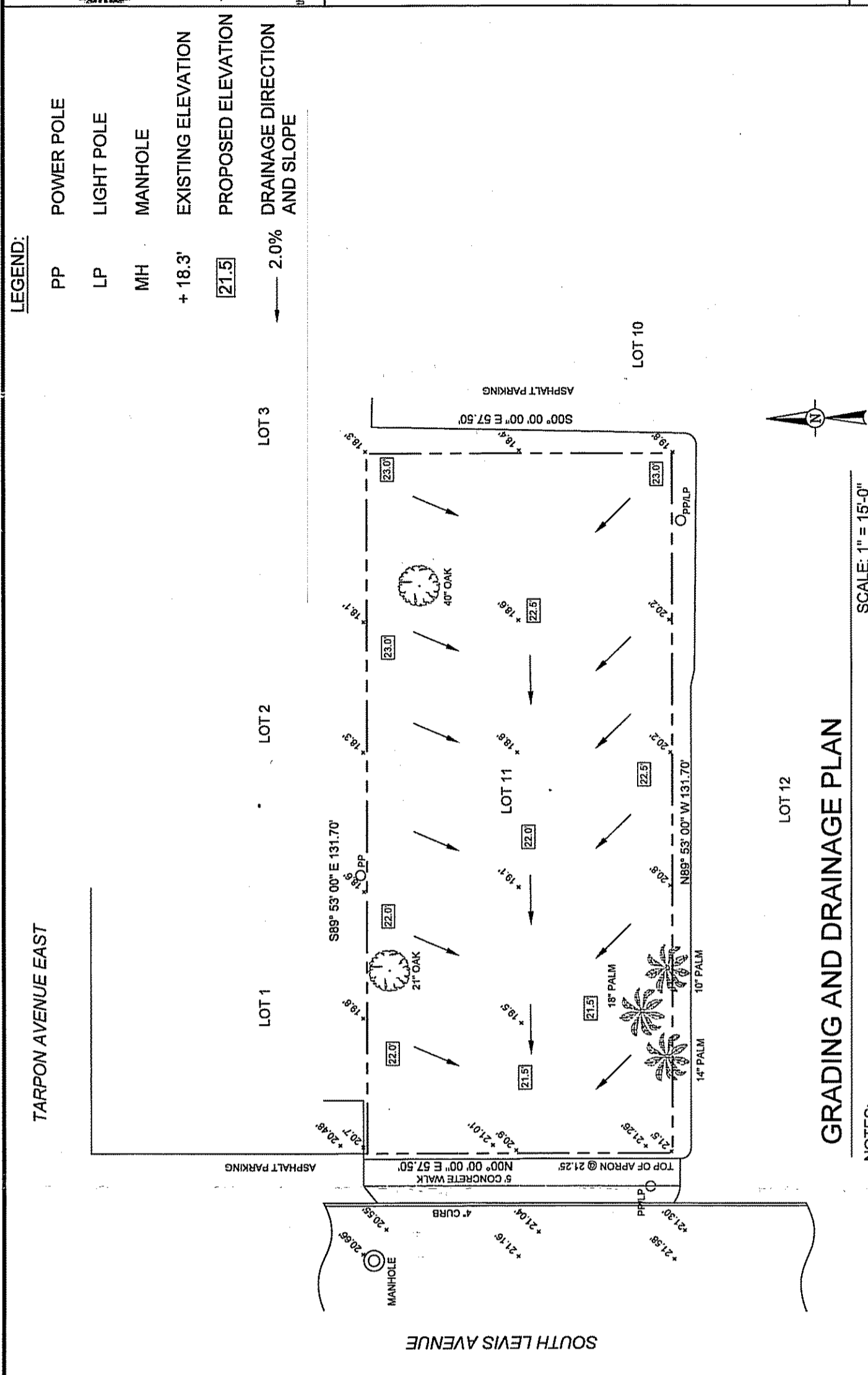
Mckinley Engineering and Consulting
Post Office Box 16341
Clearwater, Florida 33769



Christophe D. Mills
Digitally signed by Christopher D. Mills
Date: 2021.10.21 11:45:52
FL LICENSE # 78430

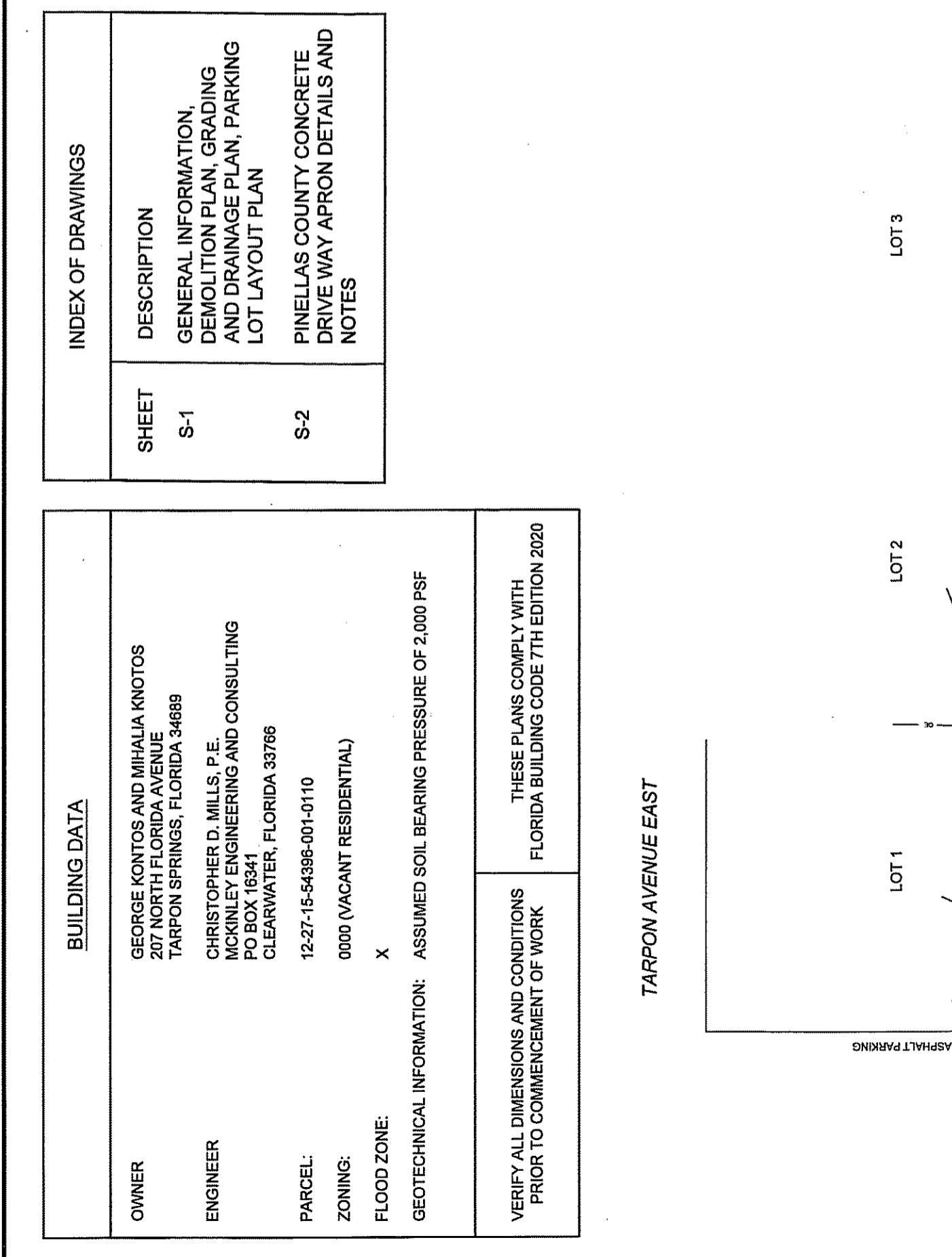
JOB # 20.01.13
DATE: 02/10/21

S-1

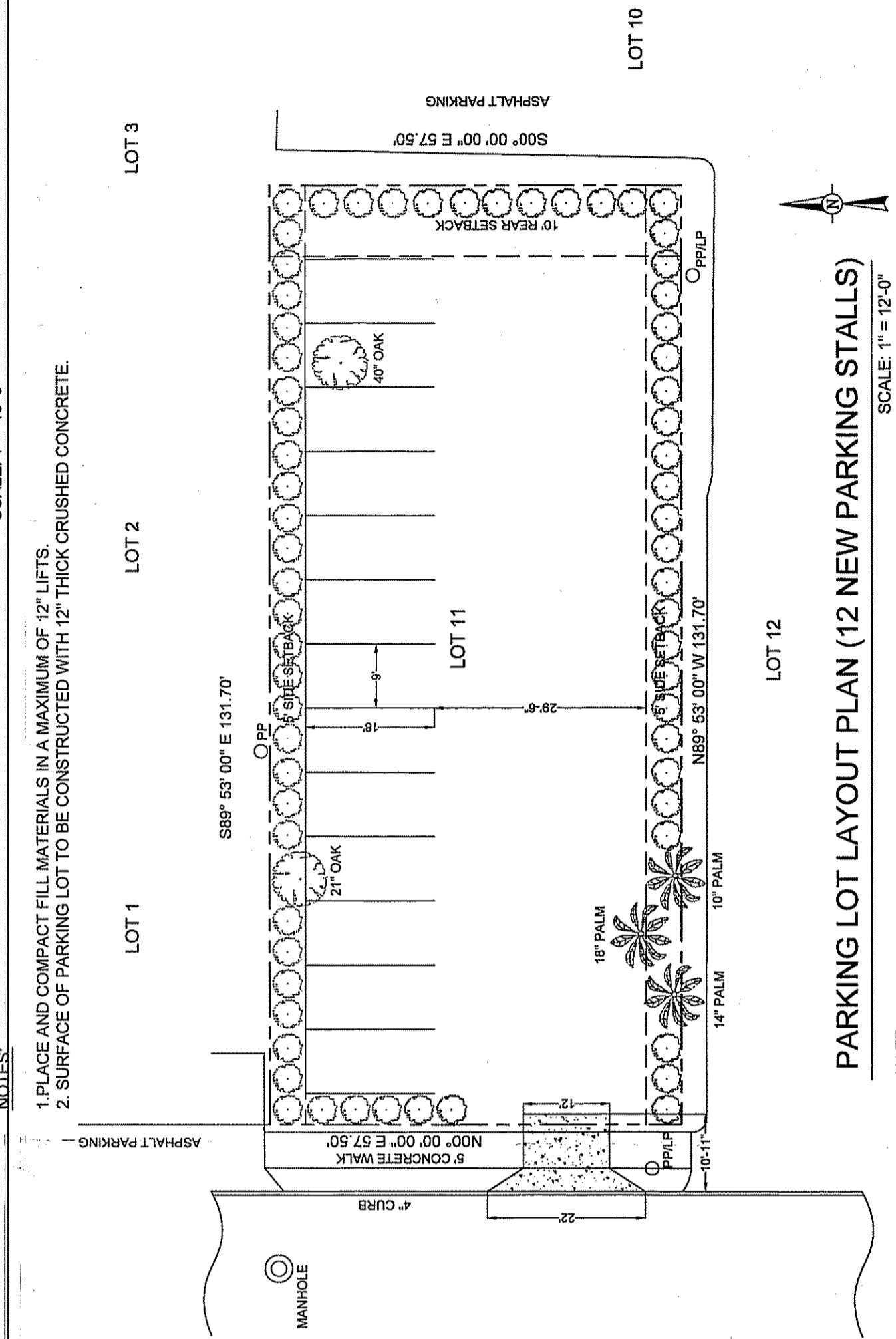


GRADING AND DRAINAGE PLAN

- NOTES:**
 1. PLACE AND COMPACT FILL MATERIALS IN A MAXIMUM OF 12" LIFTS.
 2. SURFACE OF PARKING LOT TO BE CONSTRUCTED WITH 12" THICK CRUSHED CONCRETE.

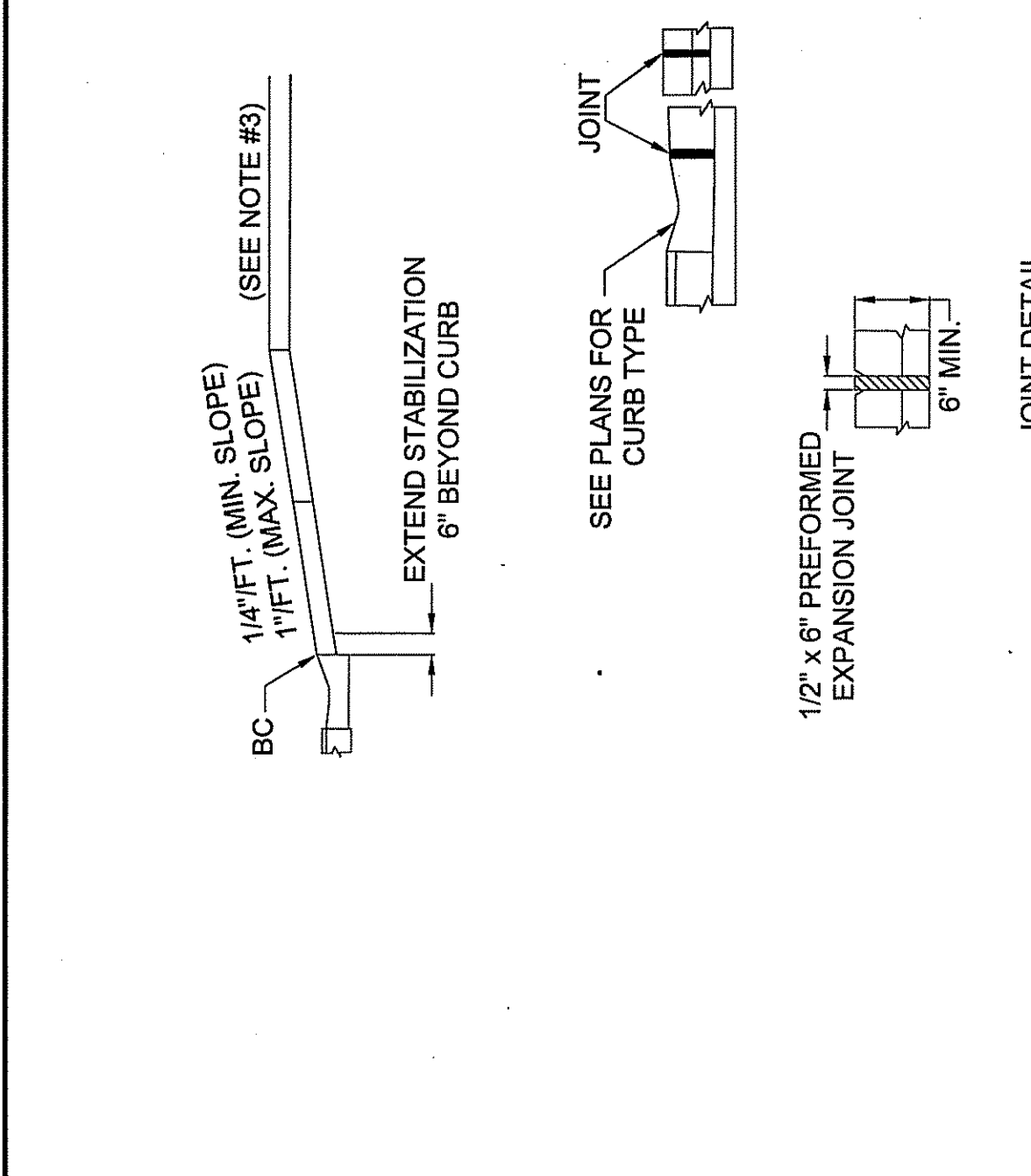
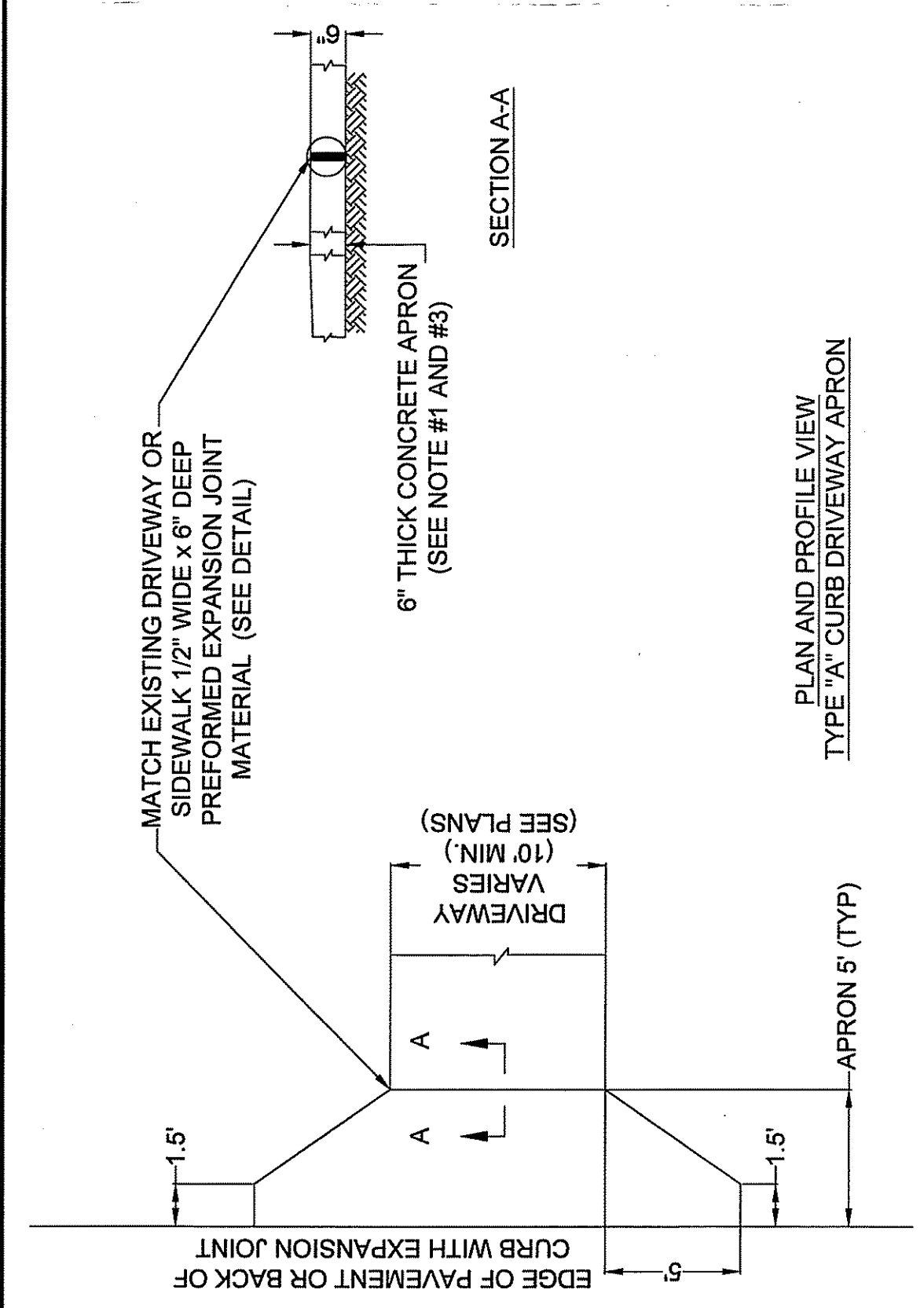


DEMOLITION PLAN

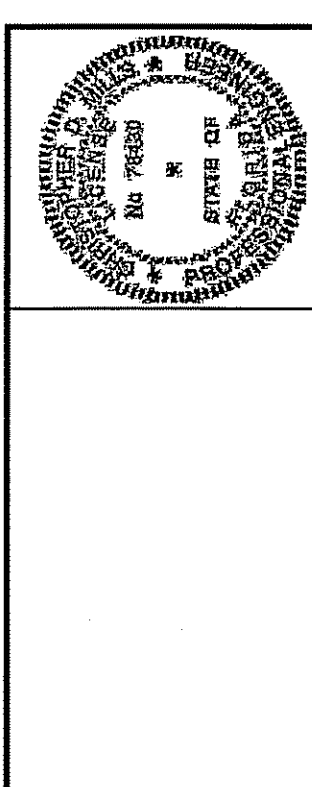


PARKING LOT LAYOUT PLAN (12 NEW PARKING STALLS)

NOTE:
 PARKING LOT TOTAL AREA = 7,573 SQUARE FEET
 VEGETATION TOTAL AREA = 1,745 SQUARE FEET
 PERCENT VEGETATION = 23%

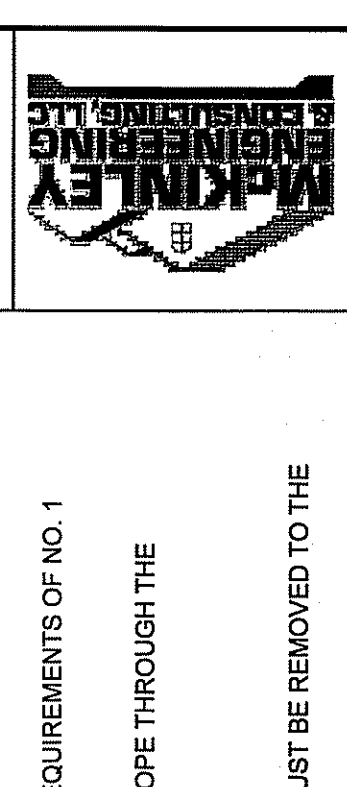


This has been electronically signed and sealed by Christopher D. Mills, P.E. using a digital signature and date. Printed reproductions of this signature and date are considered signed and sealed and the signature must be verified on any electronic copies.

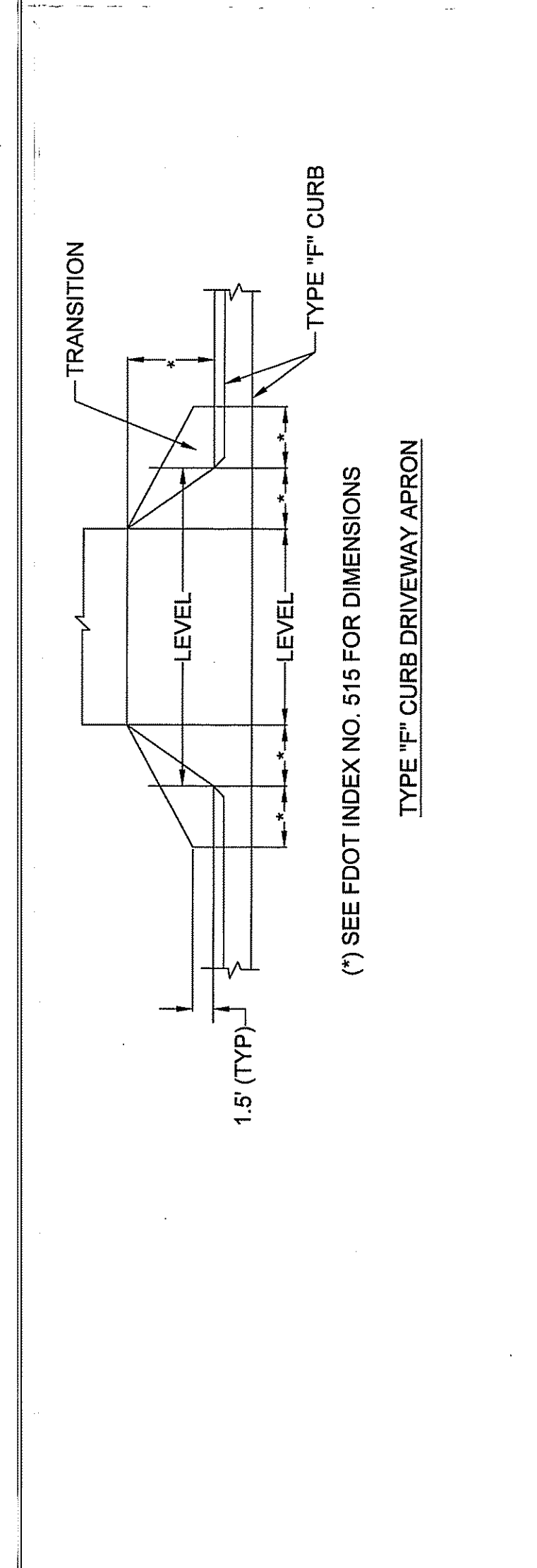


GEORGE KONTOS AND MIHALIA KNOTOS
 207 NORTH FLORIDA AVENUE
 TARPON SPRINGS, FLORIDA 34689

McKinley Engineering and Consulting
 Post Office Box 16341
 Clearwater, Florida 33766



CHRISTOPHER D. MILLS, P.E.
 FL LICENSE # 78430
 JOB # 20.01.13
 DATE: 02/10/21
 S-2



(*) SEE FDOT INDEX NO. 515 FOR DIMENSIONS
 TYPE "F" CURB DRIVEWAY APRON

NOTES:
 1. CONCRETE DRIVEWAY APRONS AND SIDEWALK CROSSINGS SHALL BE CONSTRUCTED OF CONCRETE PAVEMENT (3000 PSI), 6" THICK REINFORCED WITH 6" x 6" #10#10 WELDED WIRE FABRIC, (2" MINIMUM COVER FROM THE BOTTOM.)
 2. FIBER REINFORCED CONCRETE 3000 PSI (MIN.) MAY BE USED IN PLACE OF THE REQUIREMENTS OF NO. 1 ABOVE.
 3. CONSTRUCTION OF APRON/DRIVEWAY CROSS SLOPES AND SIDEWALK CROSS SLOPE THROUGH THE DRIVEWAY SHALL COMPLY WITH FDOT INDEX NO. 515 FOR ADA REQUIREMENTS.
 4. REMOVE TREE ROOTS WITHIN 10" OF PROPOSED GRADE.
 5. WHEN THERE IS EXISTING SIDEWALK CROSSING THE PROPOSED DRIVEWAY, IT MUST BE REMOVED TO THE NEAREST JOINT BEYOND THE DRIVEWAY.
 6. SIDEWALKS ADJACENT TO LOT PROPERTY LINES SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% PER FDOT INDEX 310.
 7. CORNER LOTS INVOLVING HANDICAP RAMPS SHALL BE IN ACCORDANCE WITH FDOT INDEX 304 FOR SIDEWALK AND RAMP CONSTRUCTION.
 8. THE LENGTH OF THE PARKING SPACE AND USE OF WHEEL STOPS SHALL BE IMPLEMENTED IN A MANNER THAT ASSURES VEHICLE OVERHANG WILL AVOID CONTACT WITH ABUTTING OBJECTS SUCH AS LANDSCAPING, IRRIGATION, OR WALLS AND VEHICLE INTRUSION ON WALKWAYS.
 9. WHEEL STOPS SHALL BE USED, THE LENGTH SHALL BE 4' TO 6' LONG AND 4" HIGH. IF A WHEEL STOP WITH OVERHANG AREA IS INSTALLED IN PARKING SPACE, THE DISTANCE FROM THE FRONT END OF THE SPACE TO THE REAR OF THE WHEEL STOP SHALL BE 3'. IT SHALL BE PLACED SO AS TO AVOID BUMPER OVERHANG BEYOND THE DESIGNATED PARKING SPACE AND TO AVOID CREATING A SAFETY HAZARD FOR PEDESTRIANS.
 10. PLANTER STRIPS WITH SHRUBS SHALL HAVE A MINIMUM UNPAVED WIDTH OF 2'. PLANTER STRIPS WITH TREES SHALL HAVE A MINIMUM UNPAVED WIDTH OF 5'. WHERE FEASIBLE, THE SURFACE OF THE PLANTER STRIPS SHOULD BE CONCAVE TO HELP CHANNEL STORMWATER RUNOFF. HIGH SHRUBS OR SMALL TREES MAY BE USED FOR PERIMETER PLANTING, EXCEPT AT DRIVEWAY ENTRANCES WHERE PLANT MATERIAL SHALL BE POSITIONED TO AVOID OBSTRUCTING MOTORIST VIEWS AND BE SENSITIVE TO SIGHT DISTANCE REQUIREMENTS.

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-67 - George Andriotis - 227 E Lemon St

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE CLEARST INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Stephen Grimme		Email Sgrimme@smithequity.com	
Address 713 Bayshore Drive			
City Tarpon Springs		State Florida	Zip 34689
Phone	Fax		Cellular 727-946-6700

Applicant

Name George Andriotis		Email @gcalawfirm.com	
Address 930 Bayshore Drive			
City Tarpon Springs		State FL	Zip 34689
Phone 727-937-1400	Fax		Cellular

Agent (if applicable)

Name		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

General Information

Property Location or Address 227 E Lemon Street, T.S., FL 34689		
Legal Description (attach additional sheets as necessary) See Attached		
Tax Parcel Number(s) 12-27-15-77778-401-0280		
Current Use of Property Vacant		
Conditional Use Requested Restaurant / Cafe / Eatery		
Present City of Tarpon Springs Designations	Land Use Category SAP	Zoning District T4B

IMPORTANT NOTE: In connection with the approval of any Conditional Use, the Board of Commissioners may make the approval subject to conditions, stipulations and/or safeguards as it deems necessary to ensure compliance with the provisions of the Land Development Code (LDC) and/or Comprehensive Plan. Failure to comply with the approval conditions shall be deemed a violation of the LDC and be enforced as such.

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

The following **MUST** be furnished with this application: [incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents
- \$500.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- Survey, signed and sealed by a professional land surveyor
- Legal description of the property
- Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)
- Written description of proposed use
- Site plan, as applicable
- A copy of the completed DBPR Division of Alcoholic Beverages and Tobacco application if requesting a beer, wine and/or liquor license
- A detailed floor plan and preliminary report from State/County oversight agency if requesting an ACLF/ALF
- If applying to establish a Nonconforming Lot pursuant to Section 209.02, LDC the applicant must also submit an architectural elevation and a complete site plan that meets the requirements of Section 210.00, LDC *et seq.*
- Mailing labels for public notices and applicable postage charges. (City staff will prepare the labels and calculate postage charges when a complete application is submitted.)

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that George Andriotis is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: 4/27/21

Title Holder/Property Owner: [Signature]

Date: _____

Title Holder/Property Owner: STEPHEN S. GRIMMER
MANAGER 3303 DAG 6146 LLC

Date: _____

Title Holder/Property Owner: _____

Date: _____

Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 27 day of April, A.D., 2021 by George Andriotis, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.



NOTARY PUBLIC

Name: Farah Vann

Signature: Farah Vann

Stamp: _____

[Interactive Map of this parcel](#)

[Sales Query](#)

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12-27-15-77778-401-0280

[Compact Property Record Card](#)

[Tax Estimator](#)

Updated April 28, 2021

[Email Print](#)

[Radius Search](#)

[FEMA/WLM](#)

Ownership/Mailing Address Change Mailing Address	Site Address
3303 DDG GRACE LLC 713 BAYSHORE DR TARPON SPRINGS FL 34689-2406	227 E LEMON ST TARPON SPRINGS



Property Use: 0752 (ALF - Boarding House (less than 10 units)) **Current Tax District:** TARPON SPRINGS (TS) **Total Living:** SF: 2,880 **Total Gross SF:** 4,088 **Total Living Units:** 1

[click here to hide] **Legal Description**

SAFFORD'S, A.P.K. BLK 40A, LOTS 28 & 29 & S OF 1/2 VAC ALLEY ON N

Tax Estimator File for Homestead Exemption			2021 Parcel Use	
Exemption	2021	2022		
Homestead:	No	No	Homestead Use Percentage: 0.00%	
Government:	No	No	Non-Homestead Use Percentage: 100.00%	
Institutional:	No	No	Classified Agricultural: No	
Historic:	No	No		

Parcel Information Latest Notice of Proposed Property Taxes (TRIM Notice)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone <small>(NOT the same as a FEMA Flood Zone)</small>	Flood Zone <small>(NOT the same as your evacuation zone)</small>	Plat Book/Page
20766/1074	\$156,300 Sales Query	121030274045	C	Compare Preliminary to Current FEMA Maps	H1/14

2020 Interim Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2020	\$128,347	\$128,347	\$128,347	\$128,347	\$128,347

[click here to hide] **Value History as Certified (yellow indicates correction on file)**

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2019	No	\$99,938	\$99,938	\$99,938	\$99,938	\$99,938
2018	No	\$98,440	\$95,750	\$95,750	\$98,440	\$95,750
2017	No	\$91,659	\$87,045	\$87,045	\$91,659	\$87,045
2016	No	\$79,132	\$79,132	\$79,132	\$79,132	\$79,132
2015	No	\$72,450	\$72,450	\$72,450	\$72,450	\$72,450
2014	No	\$91,329	\$66,114	\$66,114	\$91,329	\$66,114
2013	No	\$77,462	\$60,104	\$60,104	\$77,462	\$60,104
2012	No	\$37,824	\$37,824	\$37,824	\$37,824	\$37,824
2011	No	\$49,972	\$49,972	\$49,972	\$49,972	\$49,972
2010	No	\$120,581	\$120,581	\$120,581	\$120,581	\$120,581
2009	No	\$119,046	\$119,046	\$119,046	\$119,046	\$119,046
2008	No	\$145,600	\$145,600	\$145,600	\$145,600	\$145,600
2007	No	\$69,300	\$69,300	\$69,300	N/A	\$69,300
2006	No	\$161,300	\$161,300	\$161,300	N/A	\$161,300
2005	No	\$120,700	\$120,700	\$120,700	N/A	\$120,700
2004	No	\$111,200	\$111,200	\$111,200	N/A	\$111,200
2003	No	\$93,800	\$93,800	\$93,800	N/A	\$93,800
2002	No	\$90,200	\$90,200	\$90,200	N/A	\$90,200
2001	No	\$82,300	\$82,300	\$82,300	N/A	\$82,300
2000	No	\$79,100	\$79,100	\$79,100	N/A	\$79,100
1999	No	\$75,100	\$75,100	\$75,100	N/A	\$75,100
1998	No	\$47,900	\$47,900	\$47,900	N/A	\$47,900
1997	No	\$42,500	\$42,500	\$42,500	N/A	\$42,500
1996	No	\$34,200	\$34,200	\$34,200	N/A	\$34,200

2020 Tax Information

2020 Tax Bill	Tax District: TS
2020 Final Millage Rate	20.0018

Do not rely on current taxes as an estimate following a change in ownership. A significant

Ranked Sales (What are Ranked Sales?) [See all transactions](#)

Sale Date	Book/Page	Price	Q/U	V/I
21 Dec 2007	16103 / 0277	\$180,000	Q	I

change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our new [Tax Estimator](#) to estimate taxes under new ownership.

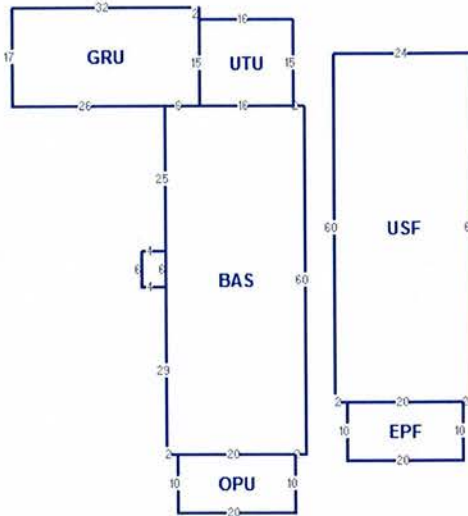
2020 Land Information

Seawall: No	Land Use	Land Size	Unit Value	Units	Total Adjustments	Adjusted Value	Method
	Miscellaneous (07)	50x121	11.25	6050.0000	1.0000	\$68,062	SF

[click here to hide] 2021 Building 1 Structural Elements [Back to Top](#)

Site Address: 227 E LEMON ST

Building Type: Single Family
 Quality: Fair
 Foundation: Continuous Footing Poured
 Floor System: Wood
 Exterior Wall: Masonry Brick
 Roof Frame: Gable Or Hip
 Roof Cover: Metal Corrugated/She
 Stories: 2
 Living units: 1
 Floor Finish: Carpet/ Vinyl/Asphalt
 Interior Finish: Wood/Wallboard
 Fixtures: 6
 Year Built: 1920
 Effective Age: 54
 Heating: None



[Compact Property Record Card](#)

Cooling: None

[Open plot in New Window](#)

Building 1 Sub Area Information

Description	Living Area SF	Gross Area SF
Base (BAS)	1,440	1,440
Enclosed Porch (EPF)	0	200
Open Porch Unfinished (OPU)	0	224
Upper Story (USF)	1,440	1,440
Utility Unfinished (UTU)	0	240
Garage Unfinished (GRU)	0	544
Total Living SF: 2,880		Total Gross SF: 4,088

[click here to hide] 2021 Extra Features

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
PORCH	\$7.00	96.00	\$672.00	\$672.00	1990
PORCH	\$7.00	120.00	\$840.00	\$840.00	1990

[click here to hide] Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
---------------	-------------	------------	-----------------

No Permit Data Found





If you are experiencing issues with this map loading, you may need to clear your web browsing history, then close and restart your browser.

[Interactive Map of this parcel](#)

[Map Legend](#)

[Sales Query](#)

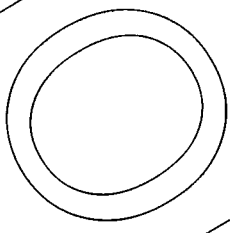
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[Contact Us](#)

1045



General Warranty Deed

Made this December 21, 2007, A.D. By **REBECCA SMIRLIS FERNANDES and RUSSELL FERNANDES JR., wife and husband and ANGELA S. BECKER and DAVID R. BECKER, wife and husband**, whose address is: 3277 Rolling Woods Dr., Palm Harbor, FL 34683, hereinafter called the grantor, to **SMITH EQUITY BUILDERS, INC.**, whose post office address is: 460 E. Lemon Street, Studio A, Tarpon Springs, FL 34689, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Pinellas County, Florida, viz:

Lots 28 and 29, and South 1/2 of vacated alley on North, in Block 40A, of A. P. K. Safford's Subdivision of Block 40, Map of Tarpon Springs, according to the Plat thereof, as recorded in Plat Book 5, at Page 24, of the Public Records of Pinellas County, Florida.

Parcel ID Number: 12-27-15-7778-401-0280

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2008.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Dina L. DeFalle

Witness Printed Name **DINA L. DeFALLE**

JR Dring

Witness Printed Name _____

Rebecca Smirlis Fernandes
_____ (Seal)
REBECCA SMIRLIS FERNANDES

Russell Fernandes Jr.
_____ (Seal)
RUSSELL FERNANDES JR.

Angela S. Becker
_____ (Seal)
ANGELA S. BECKER

David R. Becker
_____ (Seal)
DAVID R. BECKER

State of **FLORIDA**
County of **PINELLAS**

The foregoing instrument was acknowledged before me this 21st day of December, 2007, by **REBECCA SMIRLIS FERNANDES and**

To Whom it May Concern;

The original Smirlis Bakery building is a Tarpon Springs treasure and in desperate need of restoration. Currently I am under contract to purchase the building and envision a lively restaurant, cafe, eatery as the use and believe it to be consistent/compatible with the former use of the space and the surrounding neighborhood.

As you are aware I am applying for a Conditional Use to allow for this project to progress. As not to put the cart before the horse regarding the purchase or further permitting/planning I am requesting your favorable consideration so the deal can progress to closing and Tarpon Springs can once again enjoy this historic building and landmark.

Thank you,

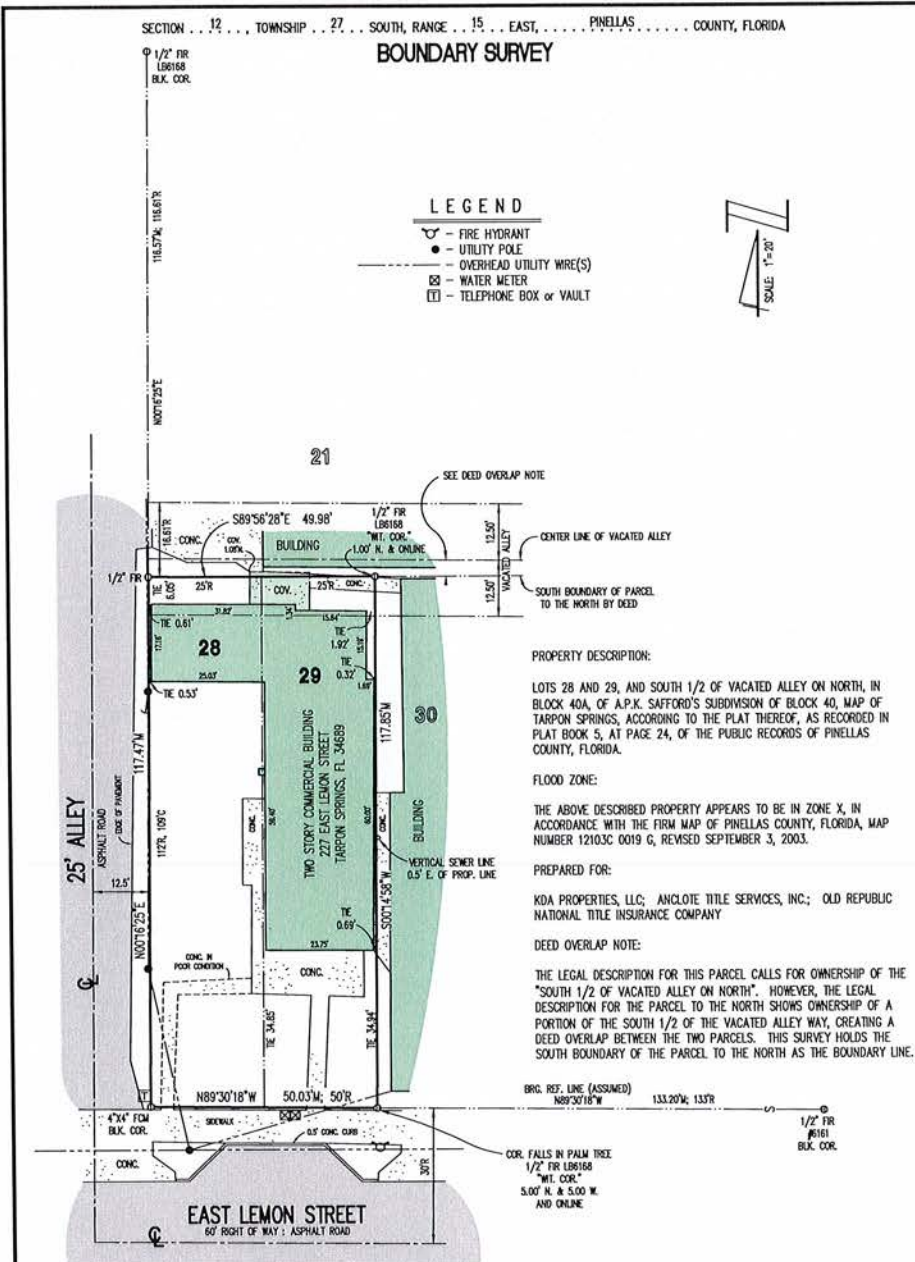
George C Andriotis

SECTION . . . 12 . . . TOWNSHIP . . . 27 . . . SOUTH, RANGE . . . 15 . . . EAST, . . . PINELLAS . . . COUNTY, FLORIDA

BOUNDARY SURVEY

LEGEND

- FIRE HYDRANT
- UTILITY POLE
- OVERHEAD UTILITY WIRE(S)
- WATER METER
- TELEPHONE BOX or VAULT



PROPERTY DESCRIPTION:

LOTS 28 AND 29, AND SOUTH 1/2 OF VACATED ALLEY ON NORTH, IN BLOCK 40A, OF A.P.K. SAFFORD'S SUBDIVISION OF BLOCK 40, MAP OF TARPON SPRINGS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, AT PAGE 24, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE:

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X, IN ACCORDANCE WITH THE FIRM MAP OF PINELLAS COUNTY, FLORIDA, MAP NUMBER 12103C 0019 G, REVISED SEPTEMBER 3, 2003.

PREPARED FOR:

KDA PROPERTIES, LLC; ANCLOTE TITLE SERVICES, INC.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

DEED OVERLAP NOTE:

THE LEGAL DESCRIPTION FOR THIS PARCEL CALLS FOR OWNERSHIP OF THE "SOUTH 1/2 OF VACATED ALLEY ON NORTH", HOWEVER, THE LEGAL DESCRIPTION FOR THE PARCEL TO THE NORTH SHOWS OWNERSHIP OF A PORTION OF THE SOUTH 1/2 OF THE VACATED ALLEY WAY, CREATING A DEED OVERLAP BETWEEN THE TWO PARCELS. THIS SURVEY HOLDS THE SOUTH BOUNDARY OF THE PARCEL TO THE NORTH AS THE BOUNDARY LINE.

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULES 11C-17.001 & 11C-17.002. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR THINGS UNLESS OTHERWISE INDICATED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE SURVEYOR OR MAPPER WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

6161

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY GREGORY A. SHIMP, PSM#161

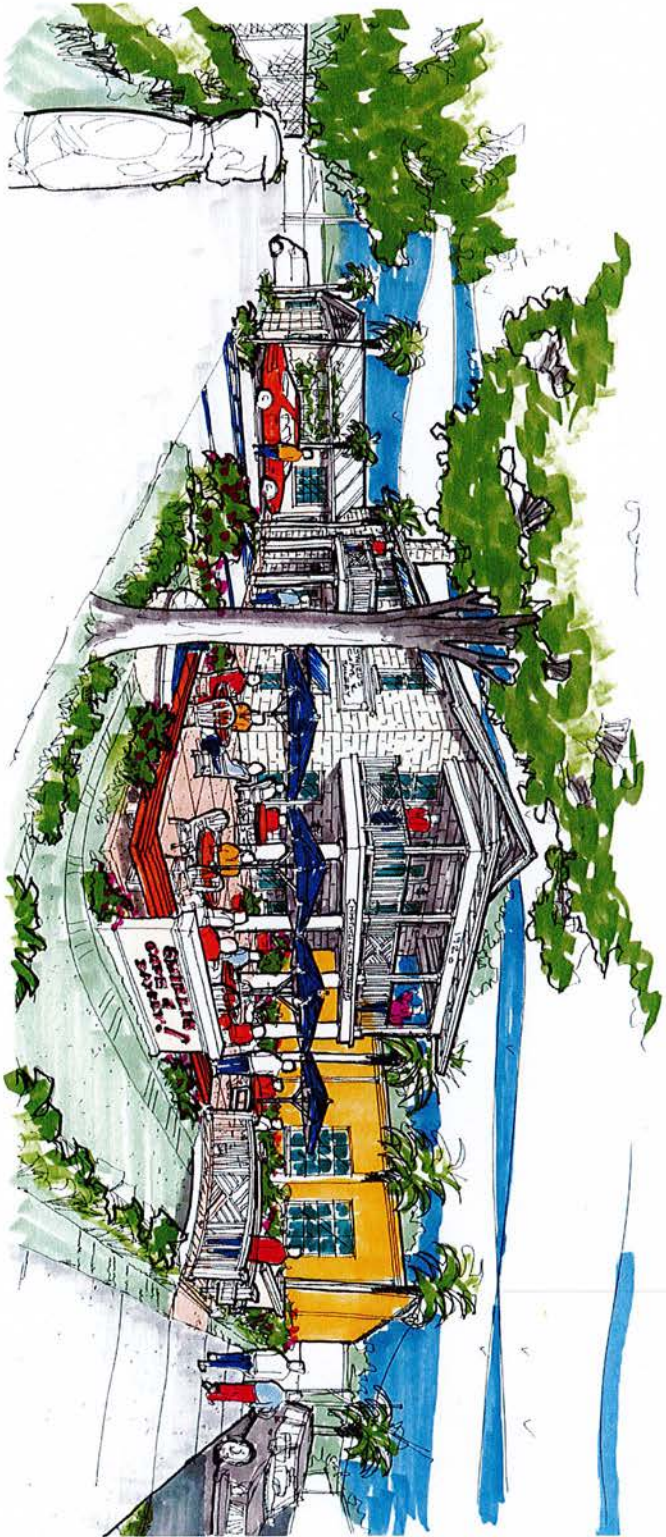
GREGORY A. SHIMP, PSM, LLC
PROFESSIONAL SURVEYOR & MAPPER No. 6161

THIS SURVEY IS UNLAWFUL AND VOID UNLESS ATTACHED TO SURVEYOR'S REPORT.

JOB NUMBER: 210092	DATE SURVEYED: 4/21/2021
DRAWING FILE: 210092.DWG	DATE DRAWN: 4/21/2021
LAST REVISION: N/A	X REFERENCE: N/A

GREGORY A. SHIMP, PSM, LLC
PROFESSIONAL SURVEYOR & MAPPER
8237 CRESCENT MOON DRIVE, NEW PORT RICHEY, FLORIDA, 34655
PHONE (727) 859-2161
www.gregshimp.com gregshimp@gmail.com

LB 7981



SMIKLIS BAKERY
SCHEME 'A'
09/2011

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-68 – Mavromatis – 0 Spruce Street**

DATE: **6/3/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

Return to:
 Planning & Zoning Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Athens Place, LLC		Email maria@olympuspainting.com	
Address 556 Anclote Road			
City Tarpon Springs		State FL	Zip 34689
Phone 727-942-4149	Fax 727-938-6297	Cellular ----	

Applicant

Name Leon Mavromatis		Email maria@olympuspainting.com	
Address 556 Anclote Road			
City Tarpon Springs		State FL	Zip 34689
Phone 727-942-4149	Fax 727-938-6297	Cellular 727-946-0455	

Agent (if applicable)

Name		Email	
Address			
City		State	Zip
Phone	Fax	Cellular	

General Information

Property Location or Address Spruce Street		
Legal Description (attach additional sheets as necessary) RIVERVIEW LOTS 9 & 10		
Tax Parcel Number(s) 12-27-15-75852-000-0090; 12-27-15-75852-000-0100		
Current Use of Property Vacant Residential		
Conditional Use Requested Single Family Detached Dwelling		
Present City of Tarpon Springs Designations	Land Use Category 0000	Zoning District T4c

IMPORTANT NOTE: In connection with the approval of any Conditional Use, the Board of Commissioners may make the approval subject to conditions, stipulations and/or safeguards as it deems necessary to ensure compliance with the provisions of the Land Development Code (LDC) and/or Comprehensive Plan. Failure to comply with the approval conditions shall be deemed a violation of the LDC and be enforced as such.

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

The following **MUST** be furnished with this application: [incomplete applications will not be accepted]

- Completed original application with digital copies of all application documents
- \$500.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- Survey, signed and sealed by a professional land surveyor
- Legal description of the property
- Proof of ownership (a copy of the deed which conveyed title to the present owner of the property)
- Written description of proposed use
- Site plan, as applicable
- A copy of the completed DBPR Division of Alcoholic Beverages and Tobacco application if requesting a beer, wine and/or liquor license *N/A*
- A detailed floor plan and preliminary report from State/County oversight agency if requesting an ACLF/ALF *N/A*
- If applying to establish a Nonconforming Lot pursuant to Section 209.02, LDC the applicant must also submit an architectural elevation and a complete site plan that meets the requirements of Section 210.00, LDC *et seq. N/A*
- Mailing labels for public notices and applicable postage charges. (City staff will prepare the labels and calculate postage charges when a complete application is submitted.)

CITY OF TARPON SPRINGS, FLORIDA
Conditional Use Application

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

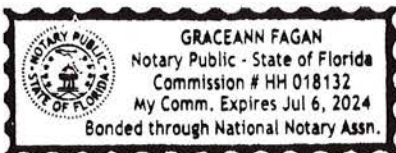
I (we) certify that _____ is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: <u>04/27/21</u>	Title Holder/Property Owner: <u>Leon Mavromatis</u>
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____

STATE OF FLORIDA)
COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me this 27th day of April, A.D., 2021 by Leon Mavromatis, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.



NOTARY PUBLIC
Name: Graceann Fagan
Signature: Graceann Fagan
Stamp: _____

Prepared by:
Mariana Posavec
Capstone Title, LLC
2539 Countryside Blvd., Suite 3
Clearwater, Florida 33761

File Number: 711-15-19

\$20,500

General Warranty Deed

Made this February 23, 2015 A.D.

By **Pedro Marciano and Miguelina Marciano, Husband and Wife**

whose post office address is: 7827 Floradora Drive, New Port Richey, FL 34654,

hereinafter called the grantor,

to **Athens Place, LLC, a Florida Limited Liability Company,**

whose post office address is: 556 Anclote Road, Tarpon Springs, FL 34689,

hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Pinellas County, Florida, wiz:

Lots 9 and 10, Riverview Subdivision, according to the map or plat thereof, as recorded in Plat Book 3, Page(s) 17, of the Public Records of Pinellas County, Florida.

Said property is not the homestead of the Grantor(s), under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: 12-27-15-75852-000-0090

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2014.

Prepared by:
Marilina Posavec
Capstone Title, LLC
2539 Countryside Blvd., Suite 3
Clearwater, Florida 33761

File Number: 711-15-19

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Marilina Posavec
Witness Printed Name Marilina Posavec

Iryna Karavan
Witness Printed Name IRYNA KARAVAN

Pedro Marciano (Seal)
Pedro Marciano
Address: 7827 Floradora Drive, New Port Richey, FL 34654

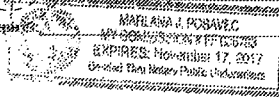
Miguelina Marciano (Seal)
Miguelina Marciano
Address: 7827 Floradora Drive, New Port Richey, FL 34654

State of Florida
County of Pinellas

The foregoing instrument was acknowledged before me on this 23rd day of February, 2015, by Pedro Marciano and Miguelina Marciano, who is/are personally known to me or who has produced Valid ID as identification.

Notary Public
Print Name:

My Commission Expires:



We are proposing to change the use of both lots 9 and 10 on Spruce Street to build single family homes. The development of these lots in this way will be beneficial to the area as this development will fall in line with the other single family homes close by.



CDG Design, LLC
 Wendi Wachter, FL
 (322) 585-6768
 richayton@claytondesign.com



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 CLAYTON DESIGN GROUP

THE ENGINEER HAS NOT REVIEWED THE PRELIMINARY THESE MANUFACTURER'S INFORMATION IS SUPPLIED TO THE ENGINEER. MAKE ANY CHANGES AFTER THESE LOADS. CONDITIONS AND RESERVES THE RIGHT TO LAYOUT TO ESTIMATE ANY LOAD BEARING.

ENGINEER OF RECORD
RICHARD G. MARCEAU
 FL P.E. # 84468
 (813) 325-9973

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN, AND FIND IT TO BE IN COMPLIANCE WITH ALL SECTIONS OF THE 2020 FLORIDA BUILDING CODE, EDITION 7 - RESIDENTIAL.

CLAYTON DESIGN GROUP
 RICHARD G. MARCEAU, P.E. # 84468
 LICENSE No. 64466
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

DRAFT 5-1-21

S1
 SHEET
 DRAWN BY: G.C./B.J.D.
 REVISID:
 DATE: 5-1-21
 SCALE: 1/4" = 1'-0"
 MODEL: CUSTOM

CONCEPTUAL
 PRELIMINARY
 FINAL DRWG.

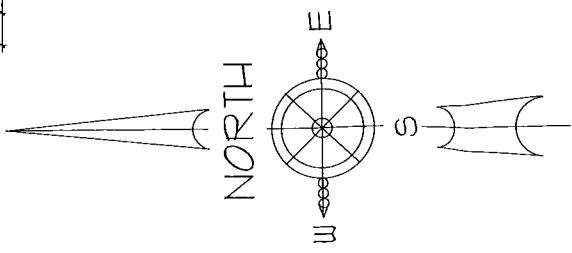
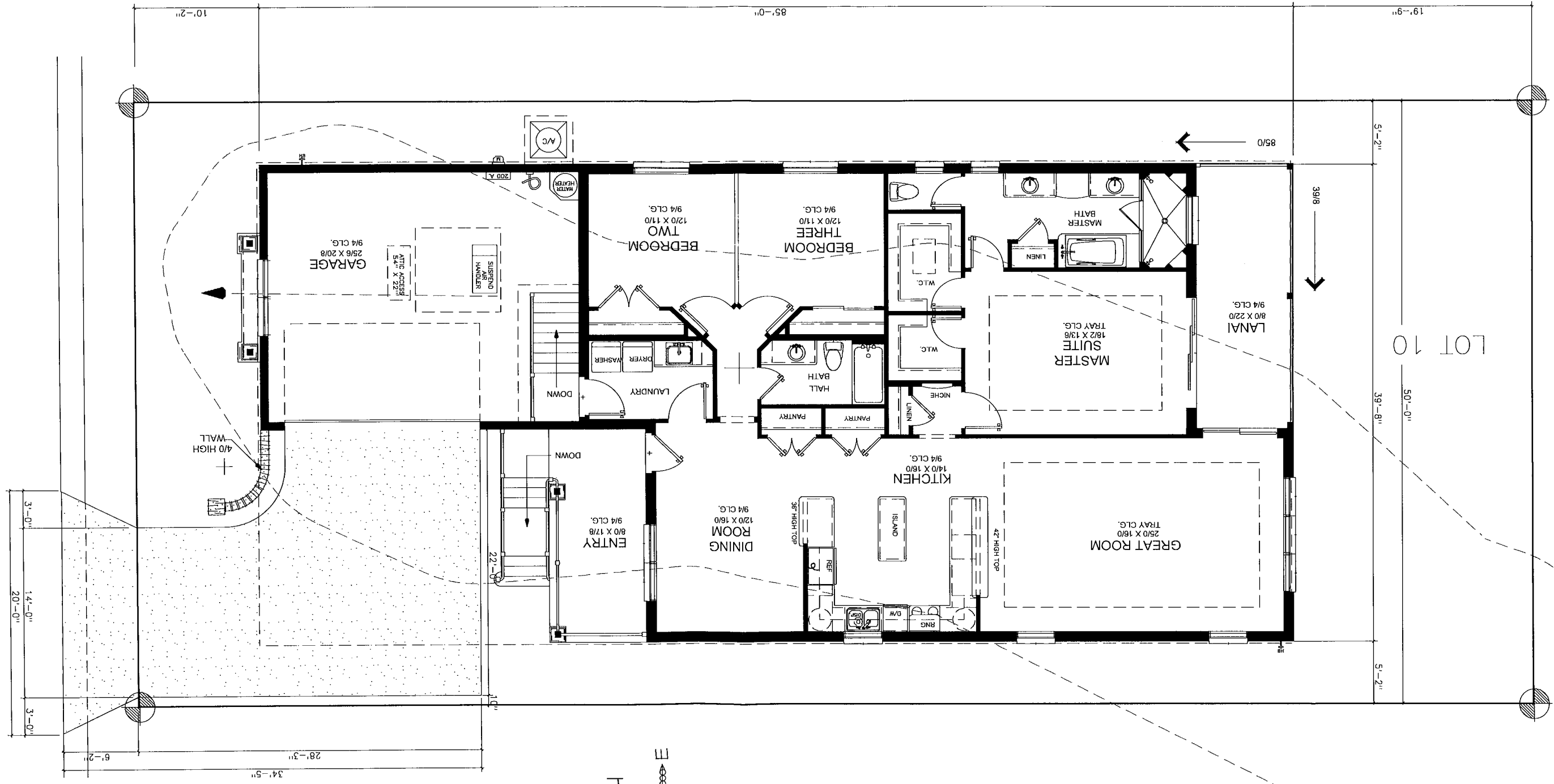
LOTS 9 & 10
 SPRUCE STREET (SINGLE FAMILY)
 2020 (EDITION 7) FLORIDA BUILDING CODE, RESIDENTIAL

WHILE THESE PLANS HAVE BEEN CHECKED FOR ACCURACY, IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY DO NOT SCALE THESE PLANS!

CLAYTON DESIGN GROUP
 WENDI WACHTER, FL, M.A.S.
 (322) 585-6768
 richayton@claytondesign.com

LIVING AREA	2061
GARAGE	576
LANAI	176
ENTRY	193
TOTAL AREA	3006

1/4" = 1'-0"
SITE LAYOUT WITH MAIN LEVEL LAYOUT

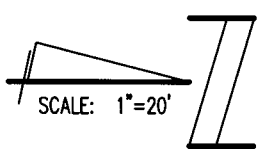
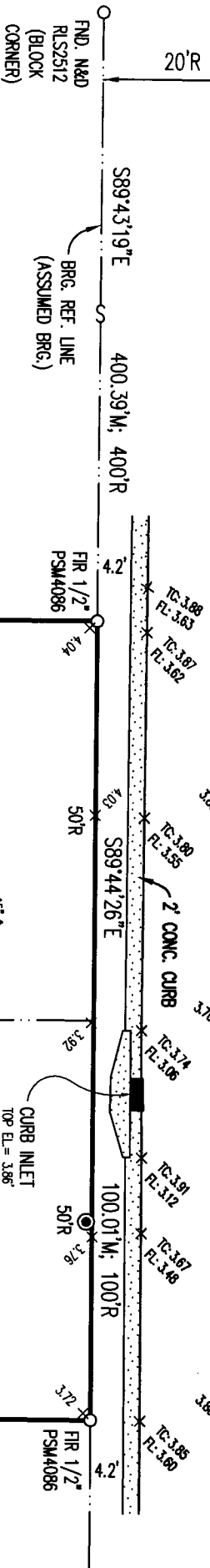


ON-SITE T.B.M.
SET "X" CUT
ELEV. = 4.08'
N.A.V.D. 1988

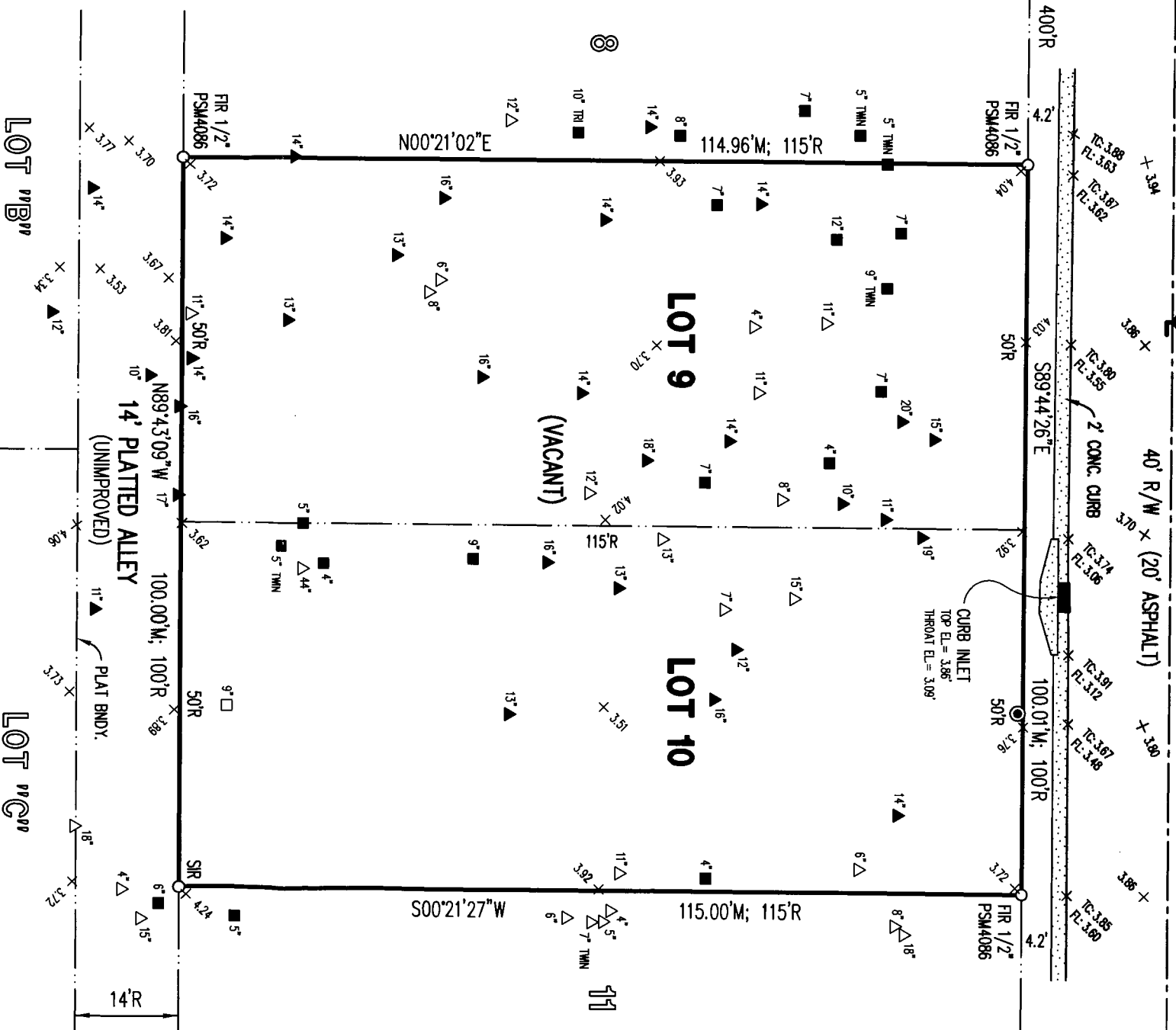
ON-SITE T.B.M.
SET NAIL & TIN
ELEV. = 3.69'
N.A.V.D. 1988

SPRUCE STREET

40' R/W (20' ASPHALT)



BENCH MARK
Y 1462
ELEV. = 14.91'
N.A.V.D. 1988



**MRS. S. SAFFORD PARKEN'S SUBDIVISION OF
BLOCK 62 IN THE TOWN OF TARPON SPRINGS
P.B. 1, PG. 99, H.C.P.R.**

- LEGEND**
- + 0.00 - ELEVATION
 - - GRATE INLET
 - - SEWER CLEAN OUT
 - - CHERRY LAUREL
 - △ - OAK
 - ▲ - PALM
 - - UNKNOWN TREE

LEGAL DESCRIPTION

LOTS 9 AND 10, RIVERVIEW SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 17, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE AE (BASE FLOOD ELEVATION OF 9 FEET), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF TARPON SPRINGS, PINELLAS COUNTY, COMMUNITY NUMBER 120259 (MAP NUMBER 12103C-0019-G), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR
ATHENS PLACE LLC

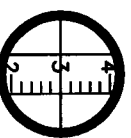
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ALL RIGHTS RESERVED
George A. Shimp II & Associates, Inc.
Anyone copying this document in any manner without the expressed consent of George A. Shimp II & Associates, Inc. shall be prosecuted to the full extent of the law.
DO NOT COPY OR REPRODUCE

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE S-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

George A. Shimp III
GEORGE A. SHIMP III, PROFESSIONAL SURVEYOR & MAPPER No. 6137
THIS SURVEY IS NOT COMPLETE OR VALID WITHOUT THE SURVEYOR'S REPORT (SHEET 2)

JOB NUMBER: 150153	DATE SURVEYED: 6-17-2015
DRAWING FILE: 150153.DWG	DATE DRAWN: 6-22-2015
LAST REVISION: N/A	X REFERENCE: N/A

**GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED**
LAND SURVEYORS LAND PLANNERS
3901 DESOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256
E.K.M.
LB 1834



SURVEYOR'S REPORT SHEET 2 OF 2

SURVEY ABBREVIATIONS

A = ARC LENGTH
A/C = AIR CONDITIONER
AL = ALUMINUM FENCE
ALUM = ALUMINUM
ASPH = ASPHALT
BFE = BASE FLOOD ELEVATION
BLDG = BUILDING
BLK = BLOCK
BM = BENCH MARK
BNDY = BOUNDARY
BRG = BEARING
BNF = BARBED WIRE FENCE
C = CALCULATED
CS = CHORD BEARING
CBS = CONCRETE BLOCK STRUCTURE
CHD = CHORD
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CLOS = CLOSURE
COL = COLUMN
CONC = CONCRETE
CR = COUNTY ROAD
C/S = CONCRETE SLAB
COR = CORNER
COV = COVERED AREA

D = DEED
DOT = DEPARTMENT OF TRANSPORTATION
DRNG = DRAINAGE
D/W = DRIVEWAY
EL OR ELEV = ELEVATION
EGW = EDGE OF PAVEMENT
EGW = EDGE OF WATER
ESMT = EASEMENT
FCM = FOUND CONCRETE MONUMENT
FES = FLAGGED END SECTION
FIR = FOUND IRON PIPE
FIR = FOUND IRON ROD
FL = FLOW LINE
FLD = FIELD
FND = FOUND
FOP = FOUND OPEN PIPE
FPC = FLORIDA POWER CORP.
FPP = FOUND PINCHED PIPE
FRM = FRAME
FZL = FLOOD ZONE LINE
GAR = GARAGE
HOPR = HILLSBOROUGH COUNTY PUBLIC RECORDS
HWF = HOG WIRE FENCE
HWL = HIGH WATER LINE
INV = INVERT

LB = LAND SURVEYING BUSINESS
LFE = LOWEST FLOOR ELEV
LHSM = LOWEST HORIZONTAL SUPPORTING MEMBER
LS = LAND SURVEYOR
M = MEASURED
MAS = MASONRY
MES = MITERED END SECTION
MH = MANHOLE
MHWL = MEAN HIGH WATER LINE
MSL = MEAN SEA LEVEL
N&B = NAIL AND BOTTLE CAP
N&D = NAIL AND DISK
N&T = NAIL AND TAB
NGVD = NATIONAL GEODETIC VERTICAL DATUM
NO = NUMBER
O/A = OVERALL
OHW = OVERHEAD WIRE(S)
OR = OFFICIAL RECORDS
O/S = OFFSET
P = PLAT
PB = PLAT BOOK
PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PG = PAGE

PK = PARKER KALON
PL = PROPERTY LINE
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
POL = POINT ON LINE
PP = POWER POLE
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PROP = PROPERTY
PSM = PROFESSIONAL SURVEYOR & MAPPER
PT = POINT OF TANGENCY
PVC = PVC OR VINYL FENCE
PWMT = PAVEMENT
RAD = RADIUS
R = RECORD
REF = REFERENCE
RES = RESIDENCE
RL = RADIAL LINE
RLS = REGISTERED LAND SURVEYOR
RND = ROUND
RNG = RANGE
RRS = RAIL ROAD SPIKE
R/W = RIGHT-OF-WAY
S&B = SCHEDULED RELIEF ENCUMBRANCE
SEC = SECTION
WF = WOOD FENCE
WFS = WOOD FRAME STRUCTURE
WIF = WROUGHT IRON FENCE
WIT = WITNESS
WRF = WIRE FENCE
WV = WATER VALVE

*** ABBREVIATIONS MAY ALSO BE CONCATENATED AS REQUIRED.
*** OTHER COMMONLY RECOGNIZED AND/OR ACCEPTED ABBREVIATIONS ARE ALSO UTILIZED BUT NOT SPECIFIED HEREON.

GENERAL NOTES

1.) THIS SURVEY HAS BEEN EXCLUSIVELY PREPARED FOR THE NAMED ENTITIES (THE "CERTIFIED PARTIES") SHOWN HEREON AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR RE-USE THIS SURVEY FOR ANY PURPOSE WITHOUT THE EXPRESSED, WRITTEN CONSENT OF GEORGE A. SHIMP II & ASSOCIATES, INC. (THE "SURVEY FIRM") AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER (THE "SIGNING SURVEYOR"), HERINAFTER COLLECTIVELY REFERRED TO AS "THE SURVEYOR". NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THE CERTIFIED PARTIES SHOWN ON THIS SURVEY.

2.) UNAUTHORIZED COPIES AND/OR REPRODUCTIONS VIA ANY MEDIUM OF THIS SURVEY OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE SURVEYOR'S EXPRESSED, WRITTEN CONSENT.

3.) THE WORD "CERTIFY" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF THE SURVEYOR'S OPINION REGARDING THE FACTS OF THE SURVEY BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.

4.) THIS SURVEY SHALL BE VALID FOR ONE (1) YEAR FROM THE DATE OF FIELD SURVEY SHOWN HEREON.

5.) THIS PROPERTY WAS SURVEYED BASED ON THE PROPERTY'S LEGAL DESCRIPTION, AS SHOWN HEREON, WHICH UNLESS OTHERWISE STATED, WAS PROVIDED TO THE SURVEYOR BY THE CLIENT, OR CLIENT'S DESIGNATED AGENT.

6.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR TITLE COMMITMENT AND IS SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND/OR OTHER MATTERS OF RECORD. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, EXCEPT AS SHOWN.

7.) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER MATTERS OF RECORD THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

8.) THERE MAY BE ADDITIONAL EASEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY THAT ARE NOT SHOWN HEREON AND MAY (OR MAY NOT) BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

9.) BASIS OF BEARINGS IS ASSUMED.

10.) THERE ARE NO VISIBLE ENCROACHMENTS, EXCEPT AS SHOWN HEREON.

11.) THIS SURVEY SHOWS VISIBLE, ABOVE GROUND FEATURES. NO UNDERGROUND FEATURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN HEREON.

12.) ALL BUILDING TIES, PROPERTY MARKER LOCATIONS AND OTHER SITE IMPROVEMENT LOCATIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO ADJACENT BOUNDARY LINES, UNLESS OTHERWISE STATED.

13.) THE FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAP AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING AND DAMAGE. LARGER FLOODS THAN THOSE PREDICATED ON SAID MAP MAY OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THE FLOOD INSURANCE RATE MAP "IS FOR INSURANCE PURPOSES ONLY" AND ANY DAMAGES THAT MAY RESULT FROM RELIANCE ON THIS FLOOD ZONE DETERMINATION SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR. THE FLOOD ZONE LINES (IF ANY) SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON A SCALED INTERPRETATION FROM THE FLOOD INSURANCE RATE MAP AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

14.) UNLESS OTHERWISE SHOWN, THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP LINES, LINES AFFECTED BY ADVERSE USE, LINES OF CONFLICTING/OVERLAPPING DEEDS, OR OTHER LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.

15.) NO INFORMATION ON ADJOINING PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THE SURVEYOR.

16.) BECAUSE OF THE POSSIBILITY OF MOVEMENT OF THE MONUMENTATION FROM ITS ORIGINAL PLACEMENT BY PERSONS OTHER THAN THE SURVEYOR, IT IS RECOMMENDED THAT PRIOR TO ANY NEW IMPROVEMENTS ON THE PROPERTY THAT THE POSITION OF THE MONUMENTATION BE VERIFIED.

17.) FENCES AND WALLS (IF ANY) SHOWN ALONG THE BOUNDARIES OF THIS SURVEY ARE EXAGGERATED FOR CLARITY AND OWNERSHIP IS NOT DETERMINED. THE TIES AT THE PROPERTY CORNERS OR AT SPECIFICALLY DESIGNATED POINTS ARE BASED UPON FIELD LOCATIONS. FENCES AND WALLS ALONG OTHER PROPERTY BOUNDARIES MEANDER AND ARE APPROXIMATE. PRIOR TO THE RECONSTRUCTION OF ANY FENCES OR WALLS, IT WOULD BE PRUDENT TO HAVE THE BOUNDARY LINE STAKED.

18.) THE PRINTED DIMENSIONS SHOWN ON THIS SURVEY SUPERSEDE ANY SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.

19.) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY AND UNLESS OTHERWISE SHOWN, IS BASED ON EXISTING SURVEY MONUMENTATION AS FOUND IN THE FIELD.

20.) THE ACCURACY OF THIS SURVEY, AS OBTAINED BY FIELD-MEASURED CONTROL MEASUREMENTS AND CALCULATIONS, MEETS OR EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY REQUIREMENT AS SPECIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17, FLORIDA ADMINISTRATIVE CODE).

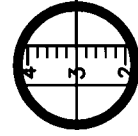
21.) THIS SURVEY IS BEING CERTIFIED ACCORDING TO THE LAST DATE OF FIELD SURVEY AND NOT THE SIGNATURE DATE (IF ANY).

22.) THIS SURVEY SHALL NOT BE FILED FOR PUBLIC RECORDS WITHOUT THE KNOWLEDGE AND THE EXPRESSED, WRITTEN CONSENT OF THE SURVEYOR.

23.) UNLESS OTHERWISE SHOWN, THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON THE DEFINITION OF A FOOT AS ADOPTED BY THE UNITED STATES BUREAU OF STANDARDS AND REFER TO THE HORIZONTAL PLANE.

24.) TREES BY NATURE ARE IRREGULAR IN SHAPE AND SIZE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THEM. THE TREE SIZE IS DETERMINED AT CHEST HEIGHT DIAMETER AND THE TREE LOCATION IS CENTER OF THE TREE TRUNK. ANY TREE LOCATIONS THAT ARE CRITICAL TO DESIGN SHOULD BE FIELD VERIFIED. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON. HOWEVER, TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL SURVEYOR AND MAPPER, THEREFORE, THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR IDENTIFICATION OF TREE SPECIES. ALL TREE TYPES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND ANY TREE SPECIES THAT ARE CRITICAL SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

25.) THIS SURVEY SHALL NOT BE USED WITH A SURVEY AFFIDAVIT. AN INCORRECT SURVEY AFFIDAVIT CAN INCREASE THE OWNER/BUYER'S LIABILITY, DECREASE THEIR LEGAL RIGHTS AND PROTECTIONS WHICH ARE AFFORDED BY A CURRENT SURVEY AND MAY RESULT IN COSTLY LITIGATION AS WELL. AN INCORRECT SURVEY AFFIDAVIT CAN BE THE RESULT OF CHANGES MADE TO THE PROPERTY SINCE THE DATE OF THE LAST SURVEY, WHICH MAY INCLUDE IMPROVEMENTS MADE BY THE OWNER, ADJACENT OWNERS OR UTILITY COMPANIES OR CHANGES IN THE SURVEY BOUNDARY MONUMENTATION. USE OF THIS SURVEY BY A LENDING INSTITUTION OR TITLE COMPANY IN CONJUNCTION WITH A SURVEY AFFIDAVIT IS STRICTLY PROHIBITED AND SHALL RENDER THIS SURVEY NULL AND VOID.



**GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED**
LAND SURVEYORS LAND PLANNERS
3801 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256

LB 1834

George A Shimp III

GEORGE A. SHIMP III, PROFESSIONAL SURVEYOR & MAPPER No. 6137

150153

JOB NUMBER

6-17-2015

DATE

ALT 19 N

E SPRUCE ST

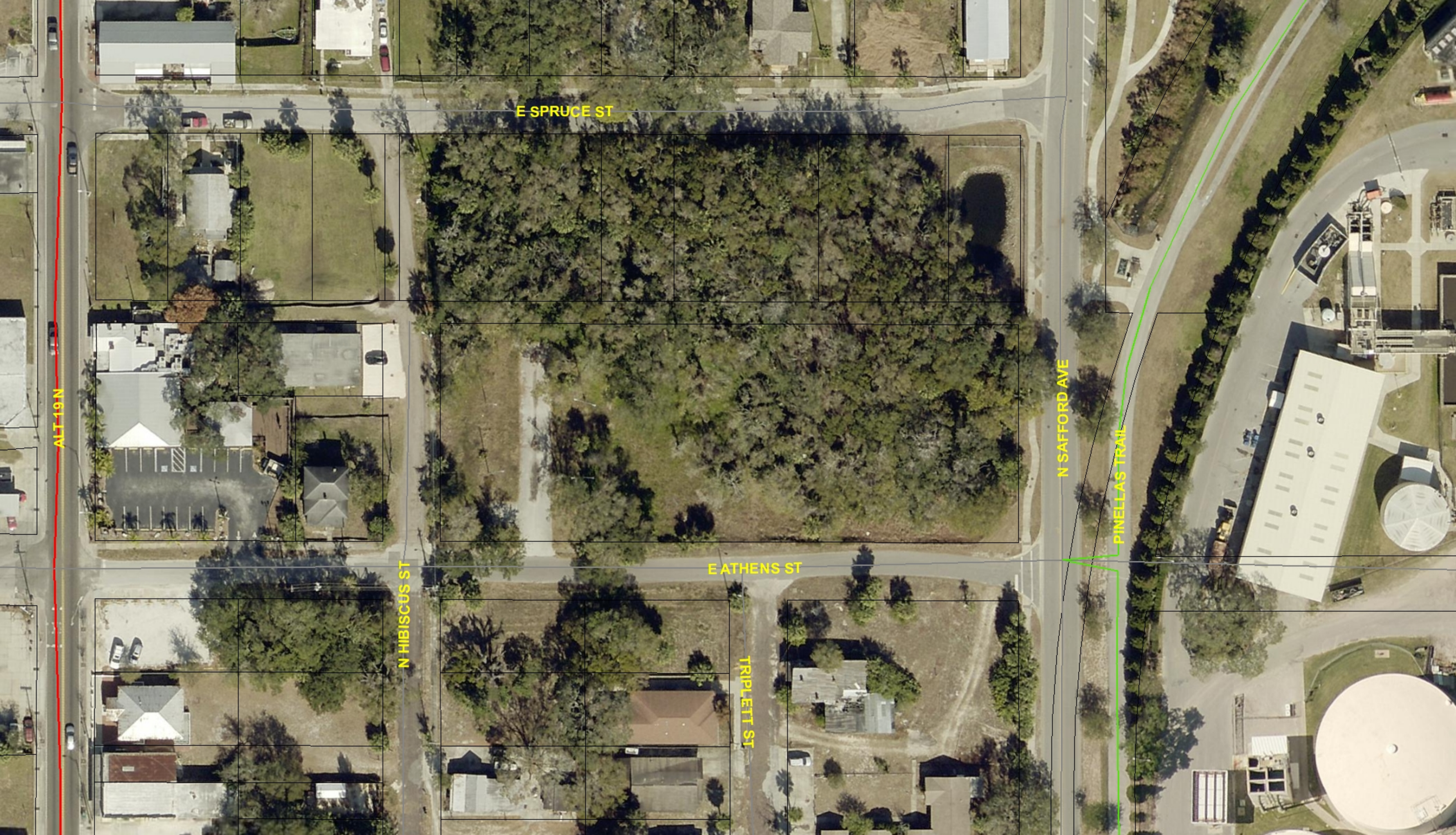
N HIBISCUS ST

E ATHENS ST

TRIPLETT ST

N SAFFORD AVE

PINELLAS TRAIL



**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: 21-69 – See – Oak Court in Gnuoy Park Subdivision

DATE: 6/3/2021

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Temporary Use Amendment to the LDC Special Area Plan
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

CITY OF TARPON SPRINGS, FLORIDA
Application for Vacation and Abandonment of
Streets, Rights-of-Way, Easements, Plats or Other Property

Return to:
 Planning & Zoning
 Department
 324 E. Pine Street
 Tarpon Springs, FL 34689
 (727) 942-5611

(Please type or print clearly)

Property Owner(s)

Name Nicole and Jeffery See		Email	
Address 598 Waterford Circle W			
City Tarpon Springs		State FL	Zip 34688
Phone	Fax		Cellular

Applicant

Name Nicole and Jeffery See		Email	
Address 598 Waterford Circle W			
City Tarpon Springs		State FL	Zip 34688
Phone	Fax		Cellular

Agent (if applicable)

Name Michael G. Kouskoutis		Email michael@kouslaw.com	
Address 623 E. Tarpon Ave			
City Tarpon Springs		State FL	Zip 34689
Phone 727-421-1334	Fax		Cellular

General Information

Property Location or Address See attached
Legal Description (attach additional sheets as necessary) See attached
Tax Parcel Number(s) See attached

Justification for Request: (attach additional sheets as necessary)

My clients own lots 8 and 9 as shown in the attached map. In this application, they request vacation of the Oak Court right-of-way in order to comply with Fire Code and to obtain a building permit to construct at 401 Sunshine Drive. Please note that my clients will record a unity-of-title for lots 8 and 9 contingent upon and simultaneous with the approval and recording of the requested vacation.

NOTE: Pursuant to Section 216.01 of the Land Development Code, no vacation shall be approved unless a positive finding, based on competent substantial evidence, either presented at a public hearing held by the Board of Commissioners or reviewed personally by the Board members is made on each of the following standards:

1. That the subject property is not needed for the distribution, expansion or maintenance of existing or future utility services;
2. The property does not provide the sole means of access to an adjoining property;
3. The property is not needed to implement the future circulation plans of the Traffic Circulation Element of the Comprehensive Plan; and,
4. The property does not provide the adjoining neighborhood with a viable access or vista to the City's shoreline.



Location map for Oak Ct vacation application – Jeffery and Nicole See

LEGEND

- FIR = FOUND IRON ROD
- P.Pipe = PINCHED PIPE
- FOEP = FOUND OPEN END PIPE
- FCM = FOUND CONC. MONUMENT
- CONC. = CONCRETE
- SCIR = SET 1/2" IRON ROD #5545
- FCIR = FOUND CAPPED IRON ROD
- A = ARC
- C.B. = CHORD BEARING
- R = RADIUS
- CH = CHORD
- P.Pole = POWER POLE
- U/Pole = UTILITY POLE
- L.Pole = LIGHT POLE
- P.B. = PLAT BOOK
- PG. = PAGE
- HYD. = FIRE HYDRANT
- x-x-x- = FENCE LINE
- |_|-|_|- = FENCE LINE
- (M & P) = MEASURED & PLAT
- L.L.F.E.L. = LOWEST LIVING FLOOR ELEV.
- A/C = AIR CONDITIONER PAD
- 12x4 = EXISTING ELEVATION
- 12.4 = PROPOSED ELEVATION
- C.L.F. = CHAIN LINK FENCE
- GAR. EL. = GARAGE ELEVATION
- P.O.B. = POINT OF BEGINNING
- S.F. = SQUARE FEET
- R/W = RIGHT OF WAY

SKETCH & LEGAL DESCRIPTION

OF A RIGHT OF WAY TO BE VACATED

NOTES:

ALL ELEVATIONS SHOWN HERE ARE BASED ON N.A.V.D. 1988 UNLESS OTHERWISE NOTED.

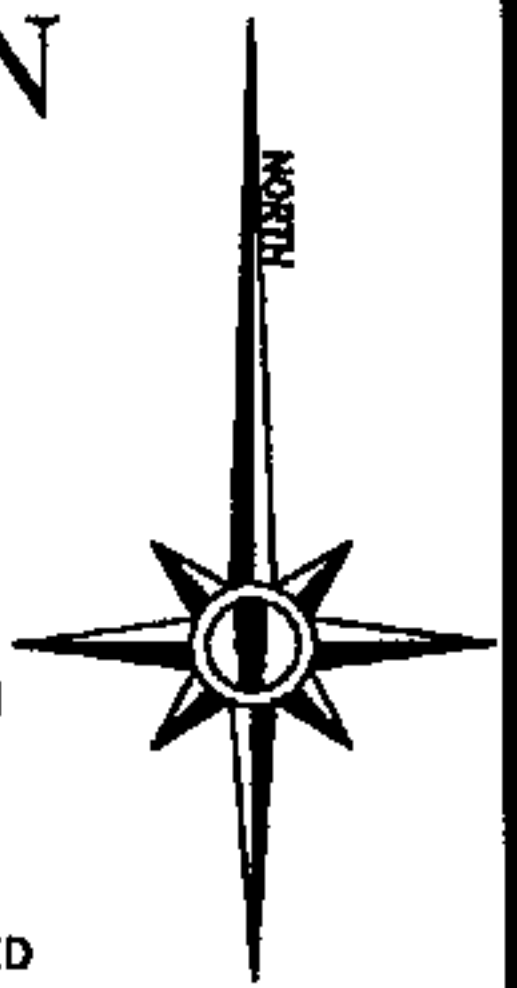
ALL DIMENSIONS SHOWN HERE ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.

ALL EASEMENTS ARE FOR UTILITY AND OR DRAINAGE UNLESS OTHERWISE NOTED.

UNDERGROUND STRUCTURES OR UTILITIES ARE NOT LOCATED ON THIS SURVEY.

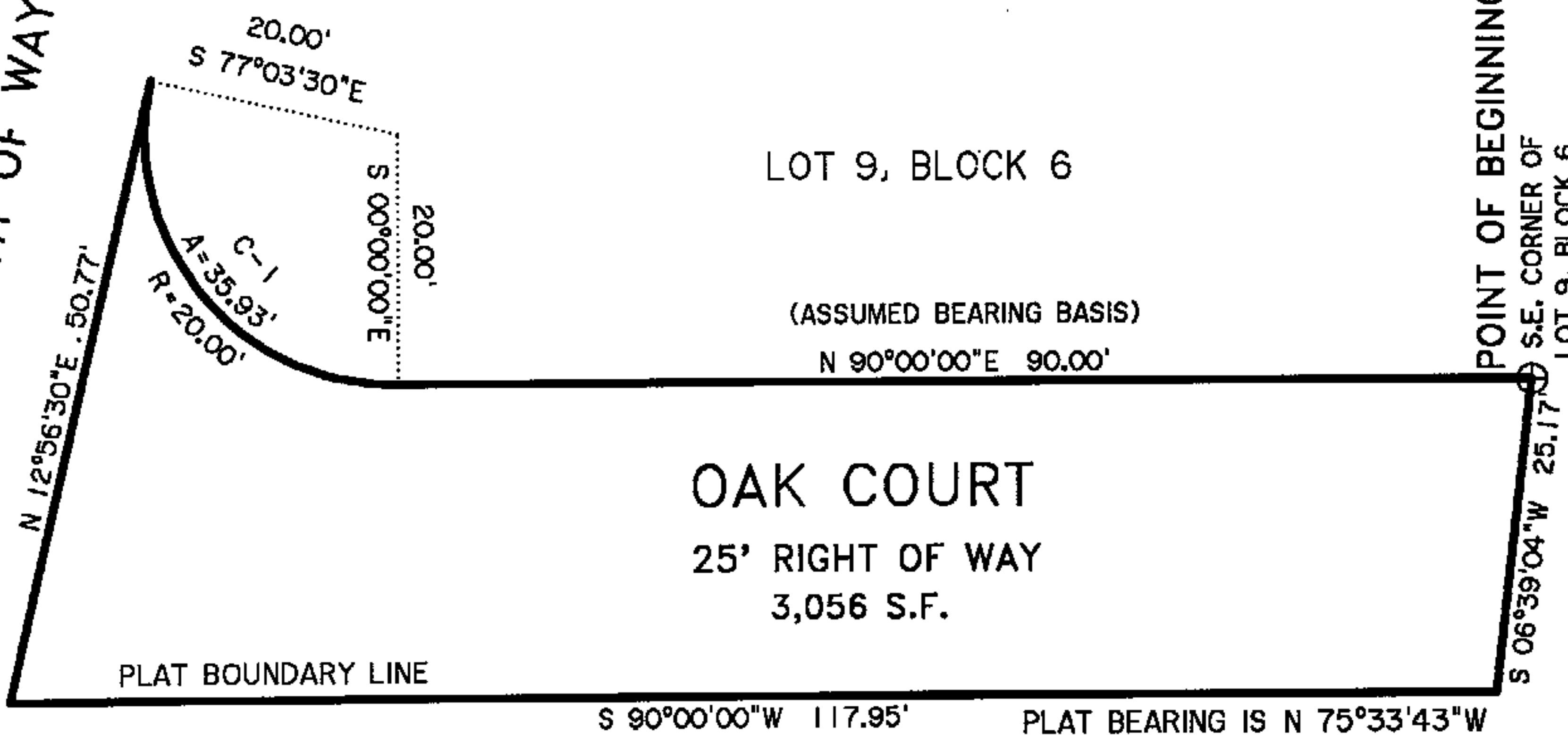
THIS SURVEY IS ONLY FOR THE USE OF THE PARTIES THAT ARE BEING CERTIFIED TO.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE POLICY.



CURVE	RADIUS	TANGENT	LENGTH	DELTA	DEGREE	CHORD	CH.BEARING
C-1	20.00'	25.12'	35.93'	102°56'30"	286°28'44"	31.29'	S 38°31'45"E

SUNSHINE DRIVE
50' RIGHT OF WAY



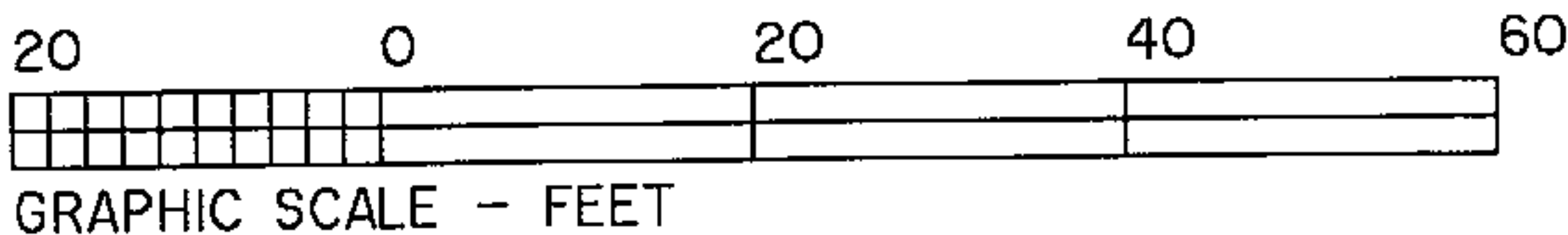
LOT 8, BLOCK 6

LONESOME PINE SUBDIVISION
PLAT BOOK 43, PAGE 26

LEGAL DESCRIPTION:

BEGIN AT THE SOUTHEAST CORNER OF LOT 9, BLOCK 6, GNUOY PARK SUBDIVISION, AS RECORDED IN PLAT BOOK 14, PAGE 60, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE S 06°39'04" W, 25.17' TO THE NORTH LINE OF LONESOME PINE SUBDIVISION AS RECORDED IN PLAT BOOK 43, PAGE 26, PUBLIC RECORDS OF PINELAS COUNTY, FLORIDA; THENCE ALONG SAID LINE, S 90°00'00"W, 117.95'; THENCE RUNNING ALONG THE EAST RIGHT OF WAY LINE OF SUNSHINE DRIVE, N 12°56'30" E, 50.77', THENCE TURNING AND RUNNING ALONG A CURVE CONCAVING TO THE LEFT WITH A RADIUS OF 20.00', ARC OF 35.93', CHORD DISTANCE OF 31.29' WHICH BEARS S 38°31'45"E; THENCE N 90°00'00" E, 90.00' TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION: SEC. 17 TWP. 27 S RNG. 16 E



SUBJECT TO SETBACKS, EASEMENTS AND RESTRICTIONS OF RECORD

FLOOD PLANE CERTIFICATION ACCORDING TO THE F.I.R.M. MAP, COMMUNITY PANEL NUMBER: 12103C/0038/G DATED: 09/03/03. THIS PROPERTY APPEARS TO BE IN FLOOD ZONE " X " AND THE BASE 100 YEAR FLOOD ELEVATION IS ---- MEAN SEA LEVEL

CERTIFIED TO: JEFFREY ALAN & NICOLE BERNADETTE SEE

MOHAMMAD B. FAR

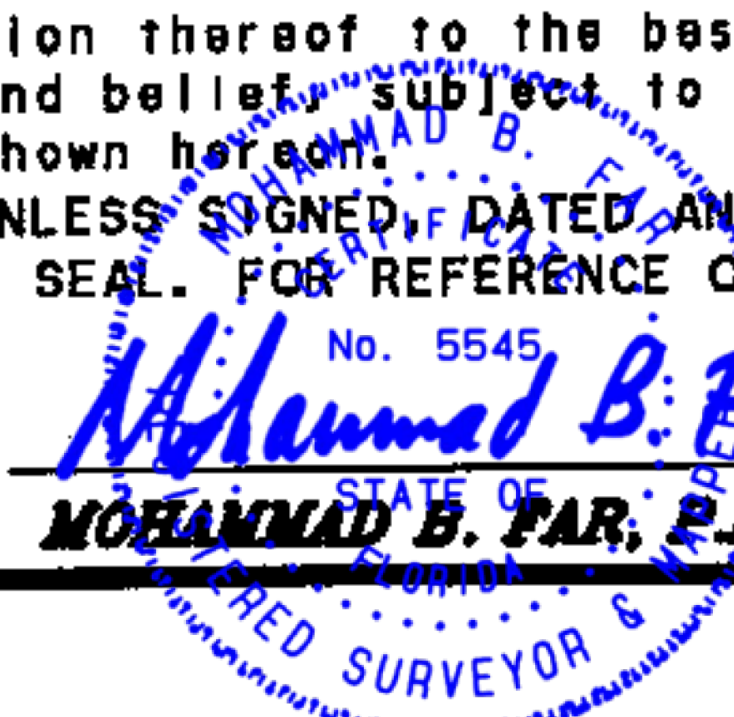
8131 MEADOWVIEW PLACE
TRINITY, FL 34655
(727) 375-1740 . FAX(727) 375-1741
e-mail: MOHAMMADBFAR@AOL.COM

This certifies that a survey of this legal described hereon was made under my supervision and that the survey complies with the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17 F.A.C., pursuant to Section 472.027, Florida Statutes. And, that the sketch hereon is a true and accurate representation thereof to the best of my knowledge and belief, subject to notes and notations shown hereon.

NOT VALID UNLESS SIGNED, DATED AND STAMPED WITH MY EMBOSSED SEAL. FOR REFERENCE ONLY.

DRAWN BY: MBF	FIELD WORK DATE: 04/21/21	REV. NO. 1
CHECKED BY: MBF	FIELD BOOK NO.: MISC.	REV. NO. 2
SCALE: 1" = 20'	PAGE NO.: SHEET	REV. NO. 3
	JOB NUMBER: 210426	REV. NO. 4

04/21/21
DATE **MOHAMMAD B. FAR, P.L.S. #5545**





Date May 19, 2021

--Re: Oak Court and Sunshine Drive Lonesome Pine Subdivision Plat Book 43, Page 26

_____ Charter / Spectrum has no objections provided easements for our facilities are
Retained / granted

XXX Charter / Spectrum has no objections provided applicant bears the expense for relocation
of any Spectrum facilities to maintain service to customers affected by the proposed
Vacate.

_____ In order to properly evaluate this request, Spectrum will need detailed plans of facilities
proposed for subject areas.
Spectrum has facilities within this area, which may conflict with subject project
Please call one call locating. **SEE NOTES**

_____ Spectrum requires 30 days written notice prior to construction start date to relocate
their facilities.

NOTES:

Sincerely,
Ozzie Perez

A handwritten signature in blue ink, appearing to read "Ozzie Perez", with a stylized flourish at the end.

Charter Communications, Inc. Spectrum
Field Engineer
Pinellas County
727-329-2817



April 27, 2021

Michael G. Kouskoutis, Attorney at Law
Kous Law
623 E Tarpon Ave.
Tarpon Springs, FL 34689

RE: Oak Court (Tarpon Springs, FL)

Dear Mr. Kouskoutis,

The Clearwater Gas System (CGS),

- has no objection or conflict with your proposed:
 - vacation of right-of-way
 - plat
 - construction
 - other
- maintains facilities within the area. One of the following conditions must be met prior to the release of a "No Objection" letter:
 - A. The owner/developer must reimburse The Clearwater Gas System for all cost incurred by relocation of our facilities.
 - B. A utility easement must be platted to encompass existing facilities.

Clearwater Gas System appreciates your communication on this matter. If you have any questions, please contact me at (727) 562-4900 Ext. 7425, or michelle.fry@clearwatergas.com.

Sincerely,

A handwritten signature in black ink that reads "Michelle Fry".

Michelle Fry
Engineering Technician



452 East Crown Point Road
Winter Garden, Florida 34787
Irma.Cuadra@duke-energy.com

May. 7, 2021

Via email: michael@kouslaw.com

Mr. Michael G. Kouskoutis
Attorney at Law
KOUSLAW PLLC
623 E. Tarpon Avenue
Tarpon Springs, Florida 34689

**RE: Vacation of a Portion of Right Of Way
Oak Court, Tarpon Springs
Pinellas County, Florida**

Dear Mr. Kouskoutis:

Please be advised that Duke Energy, Distribution and Transmission Departments have “**no objection**” to the vacation and abandonment of the following described Right Of Way:

Begin at the Southeast corner of Lot 9, Block 6, GNUOY PARK SUBDIVISION, as recorded in Plat Book 14, Page 60, of the Public Records of Pinellas County, Florida; thence South 06°39'04” West, 25.17 feet to the North line of LONESOME PINE SUBDIVISION as recorded in Plat Book 43, Page 26, Public Records of Pinellas County, Florida; thence along said line, South 90°00'00” West, 117.95 feet; thence running along the East Right Of Way line of Sunshine Drive, North 12°56'30” East, 50.77 feet; thence turning and running along a curve concaving to the left with a radius of 20.00 feet, arc of 35.93 feet, chord distance of 31.29 feet which bears South 38°31'45” East; thence North 90°00'00” East, 90.00 feet to the POINT OF BEGINNING; as shown on the attached Sketch & Legal Description document.

If I can be of further assistance, please do not hesitate to contact me.

Sincerely,

Irma Cuadra

Irma Cuadra
Research Specialist II



Frontier Communications
3712 W Walnut St.
Tampa, FL USA 33607
Office: (727) 462-1760
Fax: (727) 562-1175
Mobile: (941) 266-9218
Email: stephen.waidley@ftr.com

4/23/2021

Attn: Michael G. Kouskoutis
KousLaw
623 E Tarpon Ave
Tarpon Springs, FL 34689
(727) 421-1334

RE: Vacation of Right-of-Way – 401 Sunshine Dr, Tarpon Springs, FL (Oak Ct ROW)

Dear Mr. Kouskoutis,

- Our records do not indicate that there are Frontier Communications facilities in the area of the Plat request as per the attachment provided.
- Frontier Communications has no objection to the above referenced request as per the attachment.
- Frontier Communications has facilities within the proposed vacate area. A recordable non-exclusive Easement in favor of Frontier will be required for Frontier Communications facilities to remain in the proposed vacated R.O.W.
- Frontier Communications has facilities in the area, which may be in conflict with your proposed construction plans. Please contact Sunshine 811 by dialing 811, 2 full business days prior to the start of your work to have these facilities located for you. Please take all necessary precautions to protect and avoid damage of these facilities during your construction.
- Frontier Communications has facilities in the area, which may be in conflict with your proposed construction plans. Please send a set of construction plans and references to the Frontier Communications Engineering Department in regards to the above project.
- Frontier Communications has facilities in the area of your proposed construction. Prepayment is required to markup a set of construction plans in order to confirm and accurately depict Frontier Communications facilities. There will also be a reimbursement of all costs required for relocation/adjustments of Frontier Communications facilities needed to accommodate the proposed construction project.

Please call me if you have any questions or need any additional information at (941) 266-9218.

Sincerely,

Stephen Waidley
Frontier Communications
Regional Rights of Way & Municipal Affairs Manager



May 17 , 2021

Michael G. Kouskoutis
Attorney at Law
KOUSLAW PLLC
623 E. Tarpon Avenue
Tarpon Springs , Florida 34689

Re: Vacation of Oak Court Right of Way

Attn: Micheal Kouskoutis


Thank you for advising **Wide Open West (WOW!)** of the subject project.

_XXX WOW! Has " No Objection for Vacation of Right of Way .

Please refer any further correspondence to:

WOW!
Dave Hamlin
Construction Coordinator
3001 Gandy Blvd. N.
Pinellas Park, FL 33782

Sincerely,


David E. Hamlin Jr.
Construction Project Coordinator
WOW!
(678) 409-8721 Cell

**TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT SHEET**

PROJECT NAME: **21-70 – SmartCode Update**

DATE: **6/3/2021**

- APPLICATION TYPE:** Site Plan Site Plan Amendment Re-zoning
 Future Land Use Amendment Conditional Use Vacation Subdivision Plat Variance
 Certificate of Approval (Historic District) Conceptual Planned Development
 Preliminary Planned Development Final Planned Development Annexation
 Development Agreement Amendment to the LDC Special Area Plan Amendment
 Planned Development Modification License to Encroach Sidewalk Café
 Non-Conforming Lot of Record Minor Subdivision CRA Façade Improvement Grant
 CRA Restaurant Recruitment Grant CRA Building Code Assistance Grant Temporary Use
 Comprehensive Plan Amendment ROW Utilization Permit Design Review
 Appeal of an Administrative Decision Discussion Item Sidewalk Waiver Other

THIS APPLICATION WILL BE SCHEDULED FOR THE FOLLOWING PUBLIC HEARING(S):

- PLANNING & ZONING BOARD (P&Z) HERITAGE PRESERVATION BOARD (HPB)
 BOARD OF ADJUSTMENT (BOA) BOARD OF COMMISSIONERS (BOC)
 TRC ONLY

REVIEW COMMENTS:

REVIEWER DEPARTMENT:

APPROVE DENY DEFER SEE BELOW NO COMMENTS _____ REVIEWER INITIALS

ALL COMMENTS SHOULD BE WRITTEN LEGIBLY AND ADDRESS A SPECIFIC CODE/REGULATION/STANDARD SO THAT WE MAY PROVIDE THE clearest INFORMATION POSSIBLE TO THE APPLICANT.

ORDINANCE 2021-XX

AN ORDINANCE OF THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA, AMENDING CERTAIN SECTIONS OF APPENDIX "B" OF THE CITY OF TARPON SPRINGS CODE OF ORDINANCES (SPONGE DOCKS AND COMMUNITY REDEVELOPMENT AREA SMARTCODE) BY ADDING SECTION 4.10 ELEVATED STRUCTURES DESIGN GUIDELINES, AMENDING TABLE 4F: SPECIFIC FUNCTION & USE AND TABLE 5A: CODE SUMMARY, AND UPDATING MAP 5C: COASTAL HIGH HAZARD AREAS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF TARPON SPRINGS, FLORIDA:

Section 1. Chapter 4, Section 4.10 Elevated Structures Design Guidelines is added as shown in Attachment "A".

Section 2. The following Tables are amended as shown in Attachment "A":

- 1) TABLE 4F: Specific Function & Use
- 2) TABLE 5A: Code Summary

Section 3. Chapter 5, Map 5C: Coastal High Hazard Areas (CHHA) is updated as shown in Attachment "A", to reflect the current CHHA boundary.

Section 4. The provisions of this Ordinance shall be deemed to be severable. If any part of the Ordinance is deemed unconstitutional, it shall not affect the constitutionality of other portions of this Ordinance.

Section 5. This Ordinance shall become effective immediately upon final passage and adoption.



CITY OF TARPON SPRINGS CLERK'S OFFICE

410 NORTH RING AVENUE
TARPON SPRINGS, FL 34689



60% CONSTRUCTION DOCUMENTS

L&A PROJECT NO. 19035

MARCH 5, 2021

INDEX OF DRAWINGS

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- G0.1 COVER SHEET
- G0.2 ABBREVIATIONS, SYMBOL LEGEND, & MATERIALS LEGEND
- G0.3 PARTITION TYPES & FIRE EXTINGUISHER DETAILS

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- A8.2 DOOR DETAILS
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- S4.3 SECTIONS & DETAILS
- S4.4 SECTIONS & DETAILS

MECHANICAL INDEX - WEB

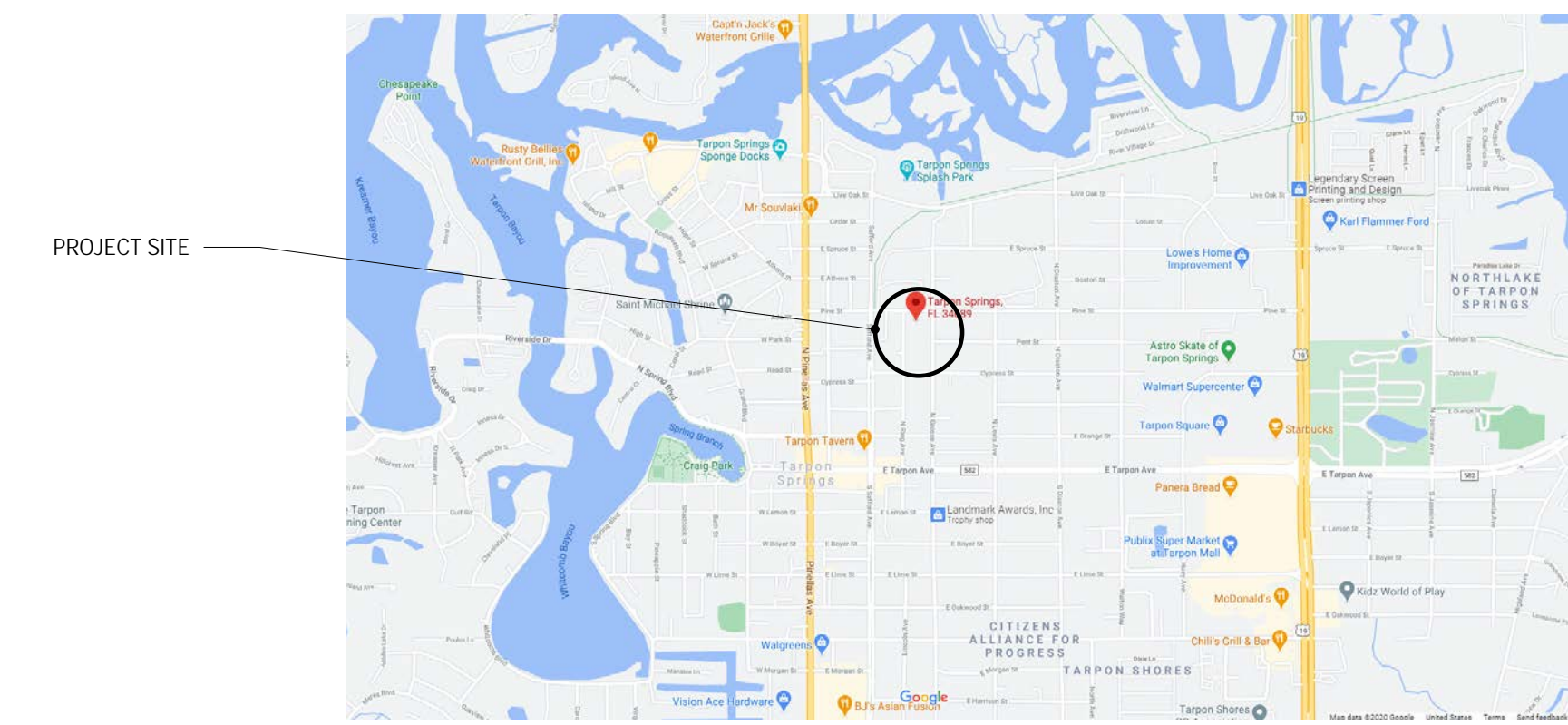
- WILLIAM E. BROWN, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. PE 57975 IS RESPONSIBLE FOR ALL SHEETS APPEARING ON THE COVER SHEET UNDER THE MECHANICAL HEADING
- M0.1 MECHANICAL LEGEND AND GENERAL NOTES
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PLUMBING INDEX - WEB

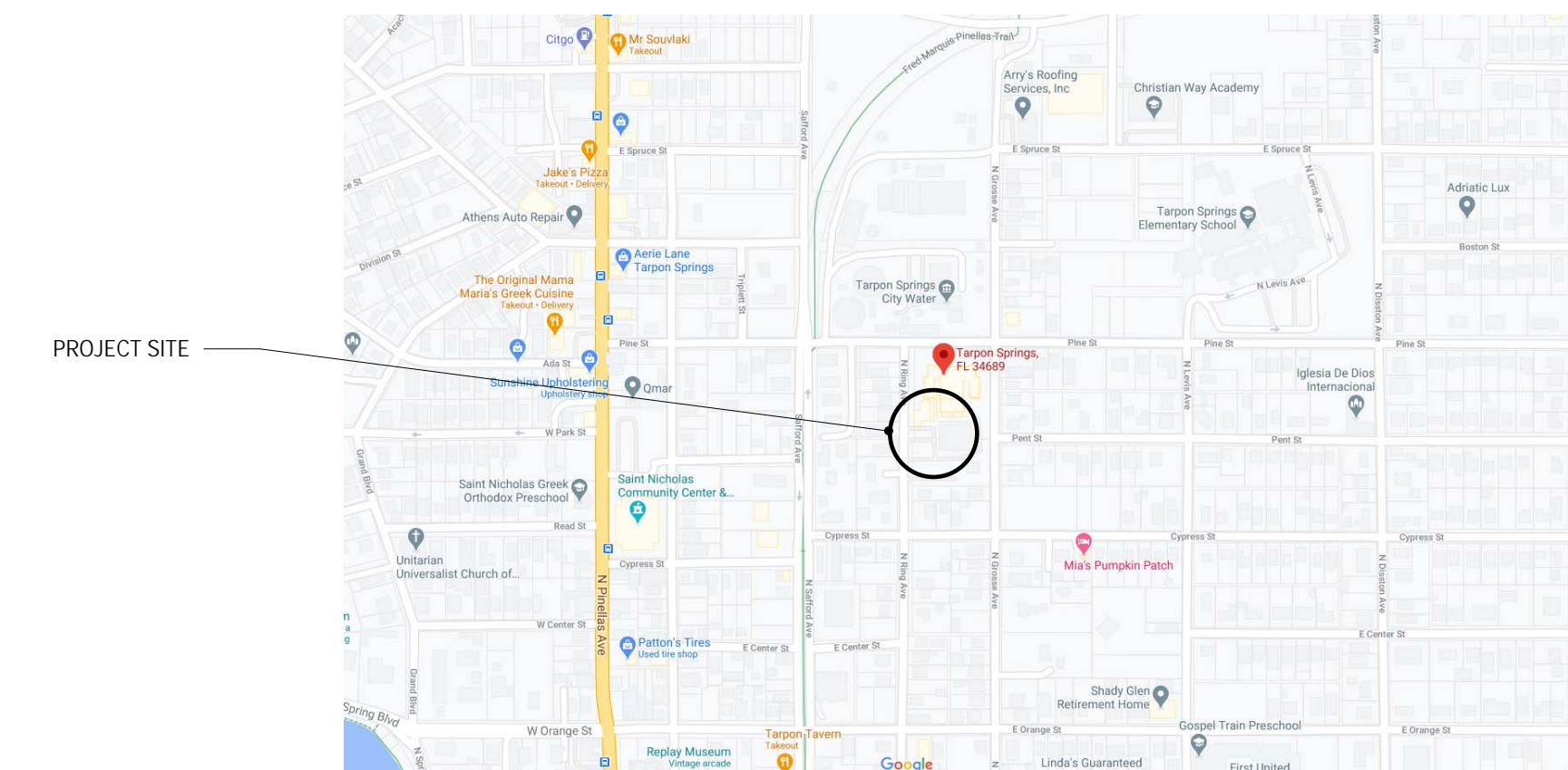
- WILLIAM E. BROWN, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. PE 57975 IS RESPONSIBLE FOR ALL SHEETS APPEARING ON THE COVER SHEET UNDER THE PLUMBING HEADING
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- E7.2 DETAILS
- E7.3 DETAILS
- E7.4 DETAILS
- E7.5 DETAILS



↑ REGIONAL MAP



↑ LOCAL MAP



Seal
NOT FOR CONSTRUCTION

DIGITAL SEALS

NO.	DATE	ISSUES & REVISIONS
2	12/10/2020	DESIGN DEVELOPMENT
3	03/05/2021	60% CONSTRUCTION DOCS

TO THE BEST OF THE ARCHITECTS AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS

Phase: 60% CONSTRUCTION DOCUMENTS
Drawn By: CKR
Checked By: CKR
Job No: 19035
Date: MARCH 5, 2021
3/5/2021 4:38:48 PM

COVER SHEET

G0.1

ABBREVIATIONS

SYMBOL LEGEND

MATERIALS LEGEND

GENERAL NOTES

Table with 2 columns: Abbreviation and Description. Includes sections A, B, C, D, E.

Table with 2 columns: Abbreviation and Description. Includes sections F, G, H, I, J, K, L.

Table with 2 columns: Abbreviation and Description. Includes sections M, N, O, P, Q, R.

Table with 2 columns: Abbreviation and Description. Includes sections S, T, U, V, W, X, Y, Z.

Table with 2 columns: Symbol and Description. Includes symbols for window type, partition type, assembly type, revision tag, note tag, equipment tag, interior elevation, column centerline, detail, section, exterior elevation, finished floor elevation.

Table with 2 columns: Material Symbol and Description. Includes symbols for CMU wall, brick veneer, stud wall, existing wall, rigid insulation, cavity insulation, insulation, wood, plywood, steel, rough lumber, precast concrete, concrete, compacted fill, finished grade.

- GENERAL NOTES: ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE GENERAL CONDITIONS OF THE CONTRACT AND THE PROJECT SPECIFICATIONS...

Table with 2 columns: Dimensioning Convention Symbol and Description. Includes symbols for partition construction, wall construction, column lines, partition alignment, window mullion.

LONG & ASSOCIATES architects | engineers, inc. 4025 South Manhattan Avenue, Tampa, FL 33611-2905

CITY OF TARPON SPRINGS CLERK'S OFFICE 410 NORTH RING AVENUE TARPON SPRINGS, FL 34689

NOT FOR CONSTRUCTION

Table with 3 columns: No, Date, Issues & Revisions. Shows revision history for schematic drawings, design development, and construction docs.

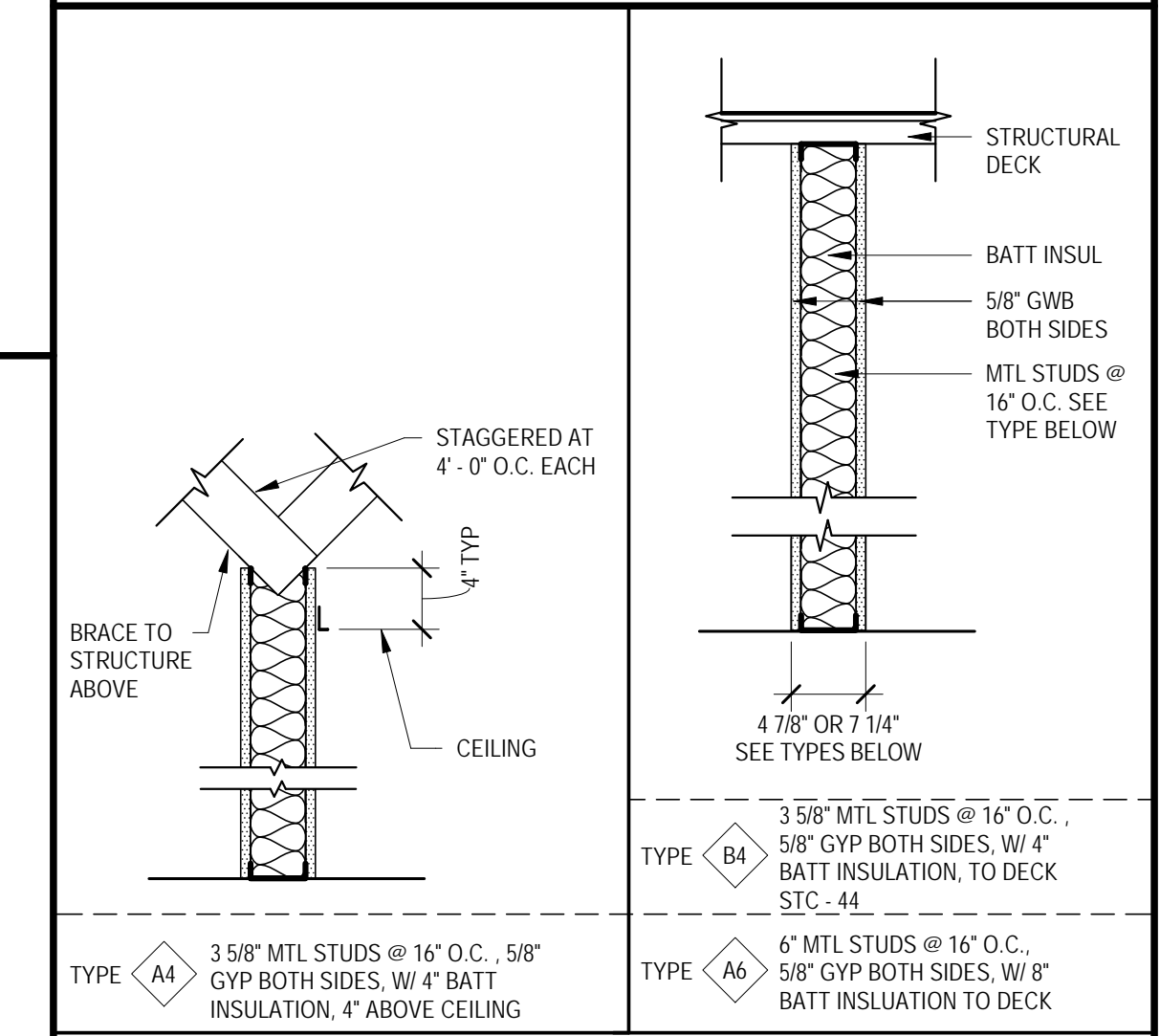
TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

ABBREVIATIONS, SYMBOL LEGEND, & MATERIALS LEGEND

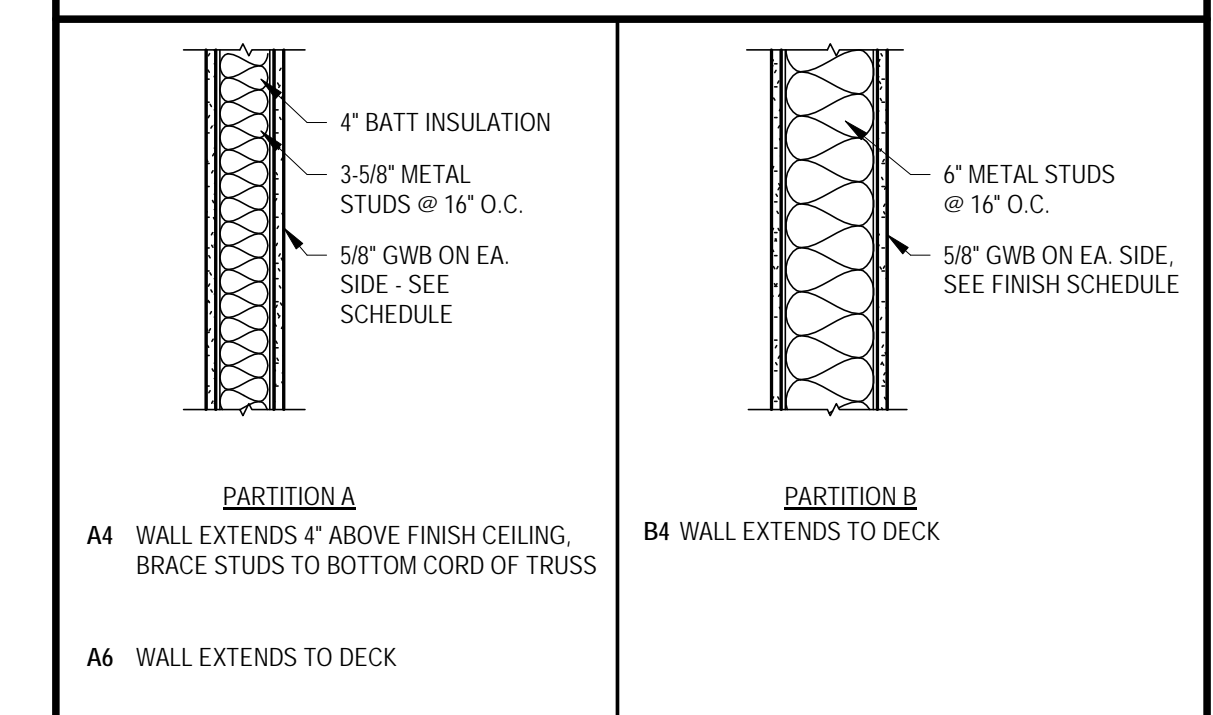
G0.2

NOTES:

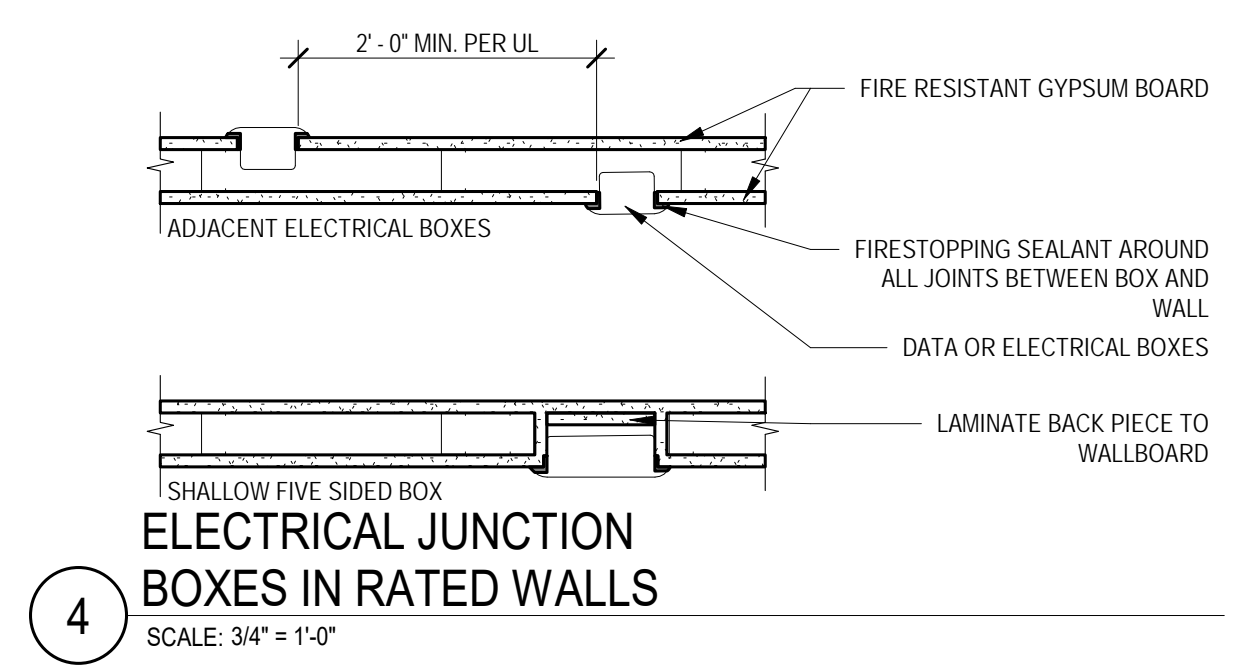
1. HORIZONTAL JOINTS BETWEEN VERTICALLY ORIENTED GWB SHALL BE BACKED W/ HORIZONTAL STUDS SPANNING BETWEEN VERTICAL STUDS. MATCH VERTICAL WALL STUDS IN GAGE, SIZE, AND FASTENING.
2. NONMETALLIC ELECTRICAL OUTLET BOXES SHALL NOT BE INSTALLED ON OPPOSITE SIDES OF RATED WALLS UNLESS CLASSIFIED FOR FIRE RESISTANCE AS DEFINED BY UL SECTION "OUTLET BOXES AND FITTINGS CLASSIFIED FOR FIRE RESISTANCE."
3. METALLIC ELECTRICAL OUTLET BOXES SHALL NOT EXCEED 16 SQUARE INCHES WITHIN THE WALL FACE. NOR EXCEED 100 SQUARE INCHES AGGREGATE SURFACE AREA PER 100 SQUARE FEET OF WALL SURFACE. MAINTAIN MAXIMUM OF 1/8" CLEARANCE BETWEEN BOX AND GYPSUM BOARD. METALLIC BOXES ON OPPOSITE SIDES OF A WALL SHALL BE SEPARATED BY A MINIMUM OF 24" HORIZONTALLY. UNLESS WALL OPENING PROTECTIVE MATERIALS ARE INSTALLED PER REQUIREMENTS OF THEIR CLASSIFICATION, AS DEFINED BY UL SECTION "WALL OPENING PROTECTIVE MATERIALS." ELECTRICAL BOXES EXCEEDING 16 SQUARE INCHES IN FIRE RATED STUD WALLS SHALL BE FRAMED BY STUDS AND INSTALLED WITH A PUTTY PAD APPROVED FOR NECESSARY SIZE. INSTALLED PER MANUF INSTRUCTIONS.
4. ALL PENETRATIONS SHALL BE SEALED PER APPROPRIATED UL TESTED METHODS, AS DEFINED BY UL SECTION "THROUGH-PENETRATION FIRESTOP SYSTEMS." PENETRATIONS THROUGH CMU RATED WALLS SHALL BE COMPLETELY SURROUNDED BY NON-SHRINK GROUT, WITH NON-COMBUSTIBLE CMU CELL CLOSURE.
5. ALL NAILS SHALL MEET REQUIREMENTS OF ASTM F547 OR ASTM C514.
6. ALL SCREWS SHALL MEET REQUIREMENTS OF ASTM C1002 OR ASTM C 954.
7. ALL EXPOSED FINISHES SHALL MEET A FLAME SPREAD INDEX OF LESS THAN 200 AND SMOKE DEVELOPMENT INDEX OF LESS THAN 450, BASED ON TEST METHOD ANSI/UL 723.
8. GAGES, SIZES, FASTENERS, AND OTHER QUANTITATIVE NOTES ARE MINIMUMS FOR FIRE RATING REQUIREMENT. IF CONFLICTING WITH OTHER SPECS AND/OR DRAWINGS, THE MORE STRINGENT NOTE/SPEC TAKES PRECEDENCE.
9. FIRE RATED WALLS MUST BE CONSTRUCTED TO ENSURE CONTINUITY OF REQUIRED FIRE RATING. MORE STRINGENT FIRE RATINGS REQUIRE CONTINUITY OVER LESS STRINGENT FIRE RATINGS. FOR EXAMPLE, ENVELOPE OF A FIRE RATED WALL MUST BE COMPLETE PRIOR TO ATTACHMENT OF INTERSECTING NON-RATED WALLS.
10. ALL PENETRATIONS IN RATED WALLS ARE TO BE COMPLETELY SEALED TO MAINTAIN A RATED BARRIER FROM FLOOR TO DECK ABOVE.
11. FOR CLARITY, ALL WALLBOARD IN THIS SCHEDULE IS REFERRED TO AS GYPSUM WALLBOARD. HOWEVER, THE CONTRACTOR SHOULD REFER TO THE SPECS TO DETERMINE IF THE FINISH MATERIAL SHALL BE ABUSE RESISTANT GYPSUM WALLBOARD, MOISTURE RESISTANT GYPSUM WALLBOARD, FIRE RATED GYPSUM WALL BOARD OR GYPSUM WALLBOARD, ACCORDING TO LOCATION AND FINISH REQ'D.
12. AT GWB PARTITIONS WITH AN INDICATED STC RATING, SET PERIMETER TRACKS IN 2 CONTINUOUS BEADS OF SEALANT AND SEAL ALL PENETRATIONS
13. PARTITION TYPE INDICATES GENERAL CONSTRUCTION. SEE ROOM FINISH SCHEDULE FOR INTERIOR FINISH OF WALLS.
14. COPE ALL PARTITIONS EXTENDING TO STRUCTURAL DECK NEATLY AROUND ALL PENETRATIONS, DUCTS, PIPES, BEAMS, JOISTS, ETC, AND SEAL TIGHT.
15. ALL FIRE RATED WALLS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE UL DESIGN NUMBER INDICATED.
16. OFFSET STUD ALIGNMENT IN PLAN LAYOUT AS REQUIRED FOR ALL OUTER-MOST LAYERS OF GWB TO ALIGN ON CORRIDOR SIDE OF WALLS, TYP.
17. WHERE WALL TYPE ABUTS ANOTHER WALL AS A CHASE, PROVIDE GWB ONLY ON THE VISIBLE FINISH SIDE UNLESS THIS CONFLICTS WITH THE FIRE RATED UL DESIGN TYPE.
18. SEE DETAIL SHEETS FOR UL DESIGNATED PENETRATION REQUIREMENTS



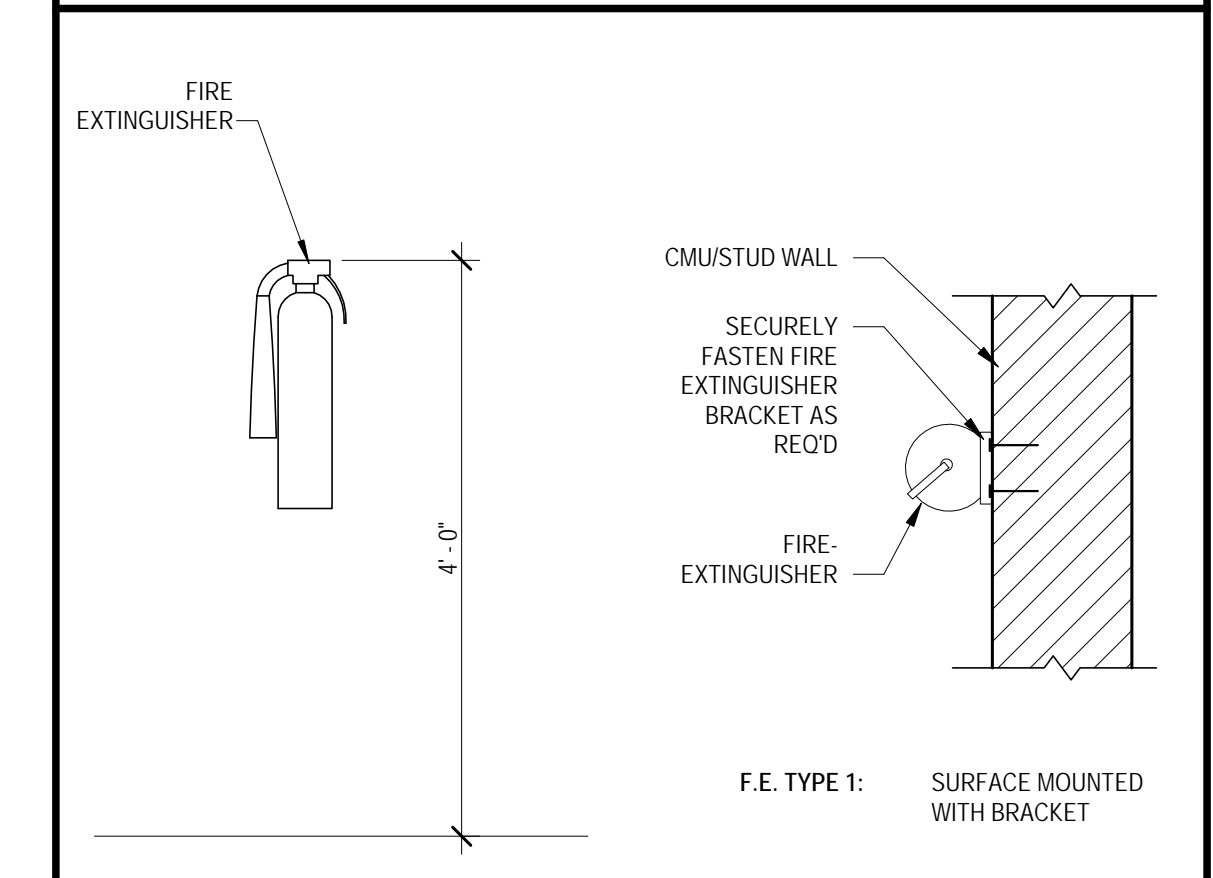
3 TOP OF WALL TYPES TO DECK DETAIL
SCALE: 1" = 1'-0"



2 PARTITION TYPES
SCALE: 1" = 1'-0"



4 ELECTRICAL JUNCTION BOXES IN RATED WALLS
SCALE: 3/4" = 1'-0"



1 FIRE EXTINGUISHER DETAILS
SCALE: 3/4" = 1'-0"

LONG & ASSOCIATES
architects | engineers, inc.

4625 South Manhattan Avenue, Tampa, FL 33611-2905
1813.889.0504 | F813.839.4414 | AAC001424.1828.CC01511025
www.longandassociates.com

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**CITY OF TARPON SPRINGS
CLERK'S OFFICE**

410 NORTH RING AVENUE TARPON SPRINGS, FL 34689

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CONSTRUCTION

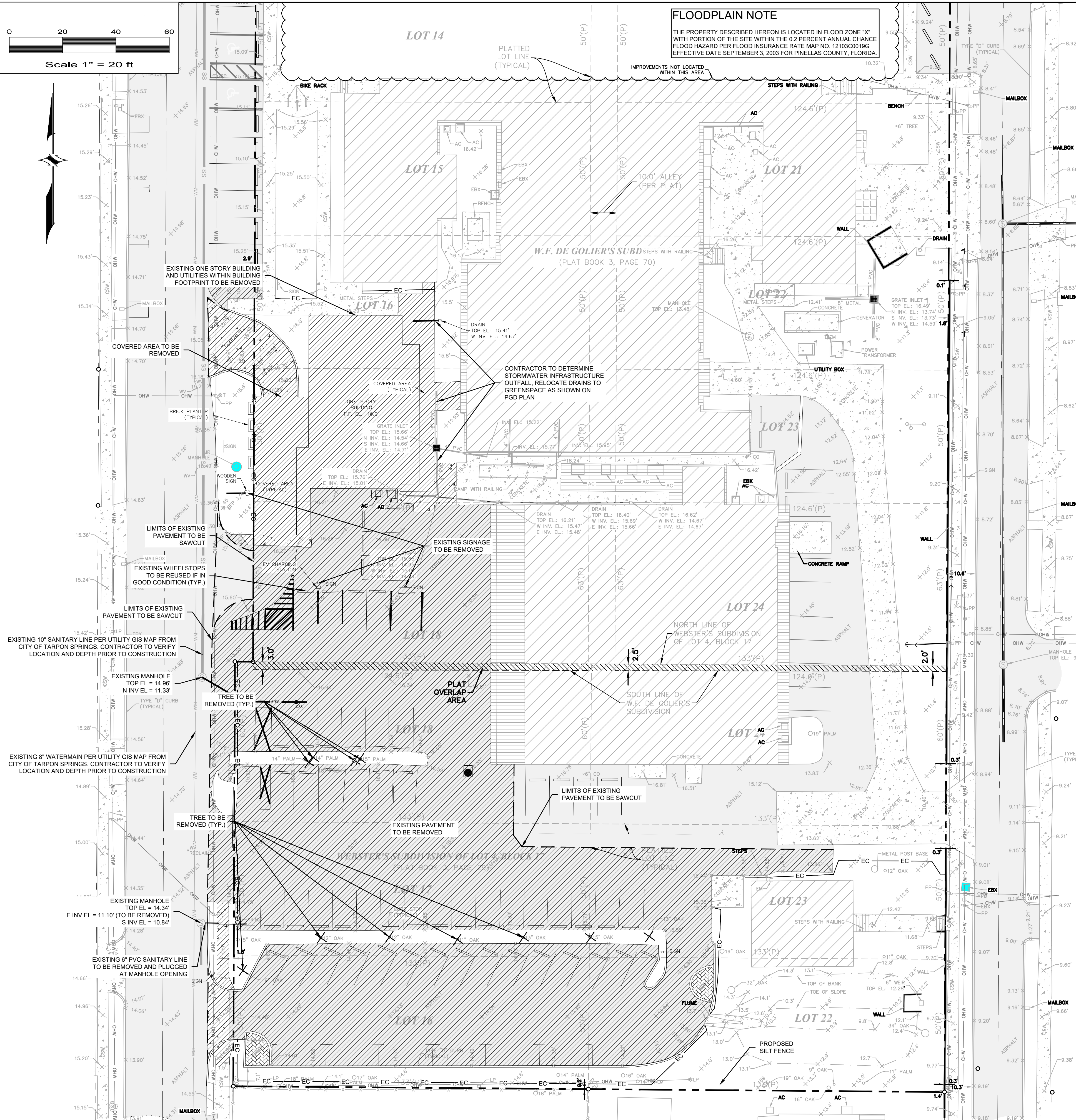
No.	Date	Issues & Revisions
3	03/05/2021	60% CONSTRUCTION DOCS

TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

Phase: 60% CONSTRUCTION DOCUMENTS
Drawn By: LJM
Checked By: CKR
Job No: 19035
Date: MARCH 5, 2021
3/5/2021 4:35:45 PM

PARTITION TYPES &
FIRE EXTINGUISHER
DETAILS

G0.3



FLOODPLAIN NOTE
 THE PROPERTY DESCRIBED HEREON IS LOCATED IN FLOOD ZONE "X" WITH PORTION OF THE SITE WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOOD HAZARD PER FLOOD INSURANCE RATE MAP NO. 13103009193 EFFECTIVE DATE SEPTEMBER 3, 2003 FOR PINELLAS COUNTY, FLORIDA.

LEGEND

	EXISTING CANOPY		EXISTING CONCRETE		PROPERTY LINE
	EXISTING BUILDING		EXISTING ASPHALT PAVEMENT		TREE BARRICADE
					SILT FENCE

- GENERAL NOTES**
- SITE ACCESS HAS BEEN DESIGNED FOR EMERGENCY AND PARATRANSIT VEHICLES.
 - ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY.
 - GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
 - CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
 - CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
 - ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SOODING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SOODING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1 VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
 - ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM ADA STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM BOARDS PRIOR TO CONSTRUCTING WALKWAYS.
 - MAXIMUM GRADING SLOPES SHALL BE CONSTRUCTED AT 4:1 MAXIMUM SLOPE.

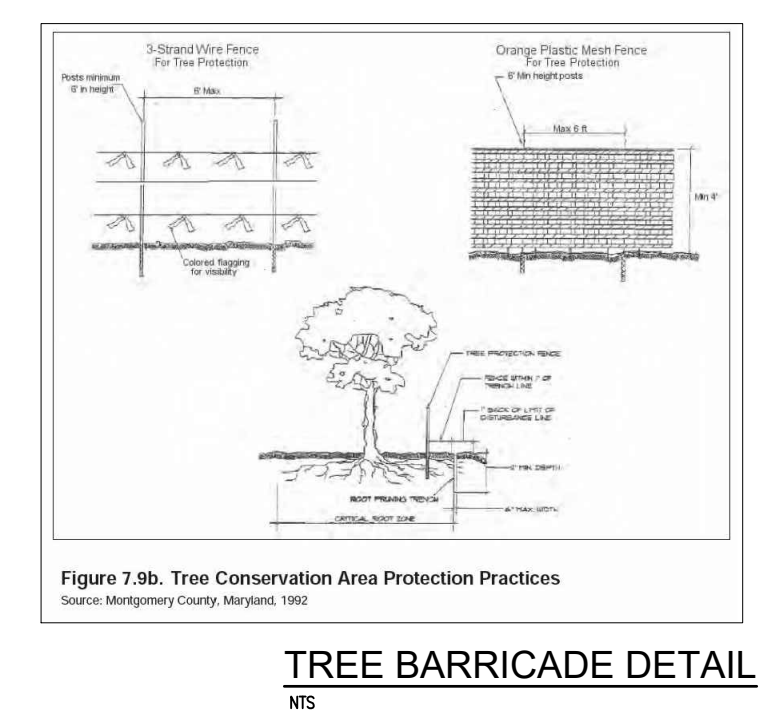
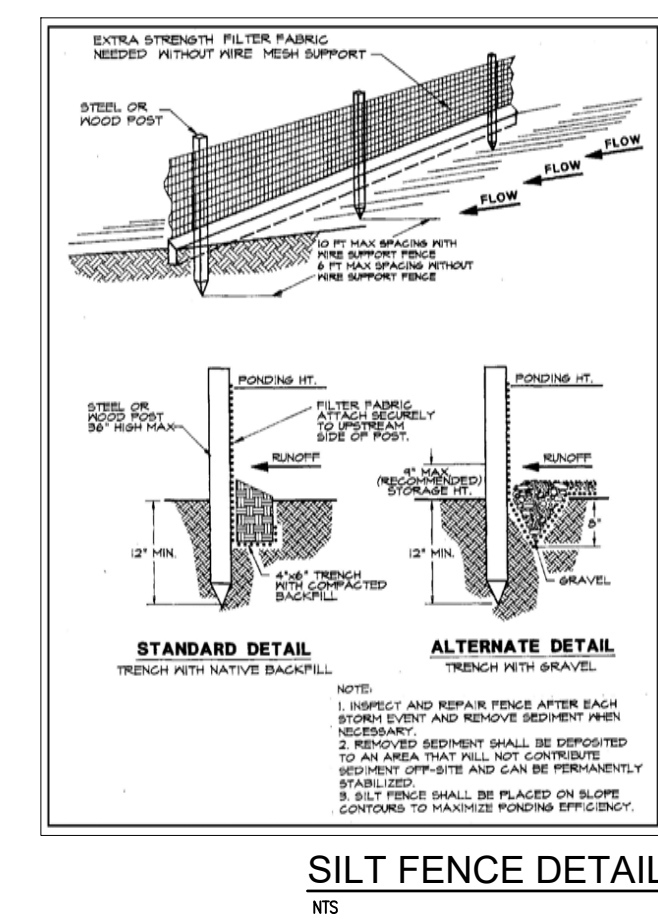
DATUM NOTE
 CONTROL BENCHMARK: STATION IS A STAINLESS STEEL ROD "102200" LOCATED 155.2' EAST OF THE EAST CURB FACE OF U.S. ALTERNATE HIGHWAY 19 (PINELLAS AVENUE), 85.9' SOUTH OF THE APPROXIMATE CENTERLINE OF STATE ROAD 582 (TARPON AVENUE), 8.1' WEST OF THE WEST WALL OF A BUILDING AT 100 EAST TARPON AVENUE, EL. 22.91' (NAVD88)

TBM #1: STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 15.3' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PARCEL. EL. 9.31' (NAVD88)

TBM #2: STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 226.6' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PARCEL. EL. 8.83' (NAVD88)

- PROTECTIVE BARRIER REQUIREMENTS AND SPECIFICATIONS FOR EXISTING TREES TO REMAIN**
- PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.
- PROTECTIVE BARRIERS MUST BE ERRECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SOODING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA. THE FOLLOWING REPRESENTS THE COUNTY'S MINIMUM PROTECTIVE BARRIER SPECIFICATIONS.
- TREES - TO RESTRICT ACCESS INTO THE AREA WITHIN THE CANOPY DRIPLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT, COMPRISED OF WOOD OR OTHER SUITABLE MATERIAL, IS PLACED AROUND THE TREE AT THE CANOPY DRIPLINE, EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE CANOPY DRIPLINE.
 - THE CANOPY DRIPLINE OF A TREE IS THE IMAGINARY, VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND. (FIG. A)
 - NATURAL AREAS - TO RESTRICT ACCESS INTO AREAS WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE NOT AUTHORIZED A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT IS PLACED ALONG THE PERIMETER OF SUCH AREAS.
- BARRIER SPECIFICATIONS FOR NATURAL AREAS:**
- UPRIGHT STAKES OF NO LESS THAN 1" X 1" LUMBER SPACED NO MORE THAN 25' APART AND CONNECTED BY TWINE FLAGGED WITH PLASTIC SURVEYING TAPE AT REGULAR INTERVALS OF 5-10'. FIG. C. OTHER METHODS OF DEMARCATION WILL BE CONSIDERED DEPENDING UPON THE CHARACTERISTICS OF THE SITE.
- WHY A BARRIER**
- TO PROTECT ALL ABOVE GROUND PORTIONS OF TREES AND OTHER SIGNIFICANT VEGETATION FROM MECHANICAL DAMAGE.
 - TO PROTECT ROOT SYSTEMS FROM COMPACTION
 - TO PROVIDE AWARENESS OF PROTECTED AREAS TO EQUIPMENT OPERATORS.

- SURVEY REPORT**
- UNLESS DIGITALLY SIGNED AND SEALED, THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THIS OFFICE HAS NOT ABSTRACTED THE SUBJECT PARCEL FOR ANY RECORDED CLAIMS OF TITLE EASEMENTS OR RESTRICTIONS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREOF.
 - NO UNDERGROUND IMPROVEMENTS OR UTILITIES WERE LOCATED EXCEPT THOSE SHOWN HEREON.
 - UNLESS NOTED OTHERWISE, NO UNDERGROUND FOUNDATIONS WERE LOCATED.
 - THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 120259, PANEL NUMBER 0019, SUFFIX G, EFFECTIVE 9/3/2003, FOR TARPON SPRINGS, FLORIDA.
 - BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983, ADJUSTMENT OF 2011, FLORIDA WEST ZONE, RESULTING IN A BEARING OF S89°51'23"E ALONG THE SOUTH RIGHT-OF-WAY LINE OF E. PINE STREET.



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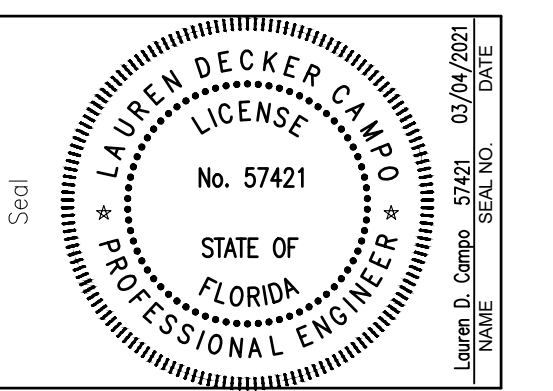
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CITY OF TARPON SPRINGS
 CLERK OF COURTS REDEVELOPMENT

FOR

CITY OF TARPON SPRINGS
 410N. RING AVE.
 TARPON SPRINGS, FL



Date	Issues & Revisions

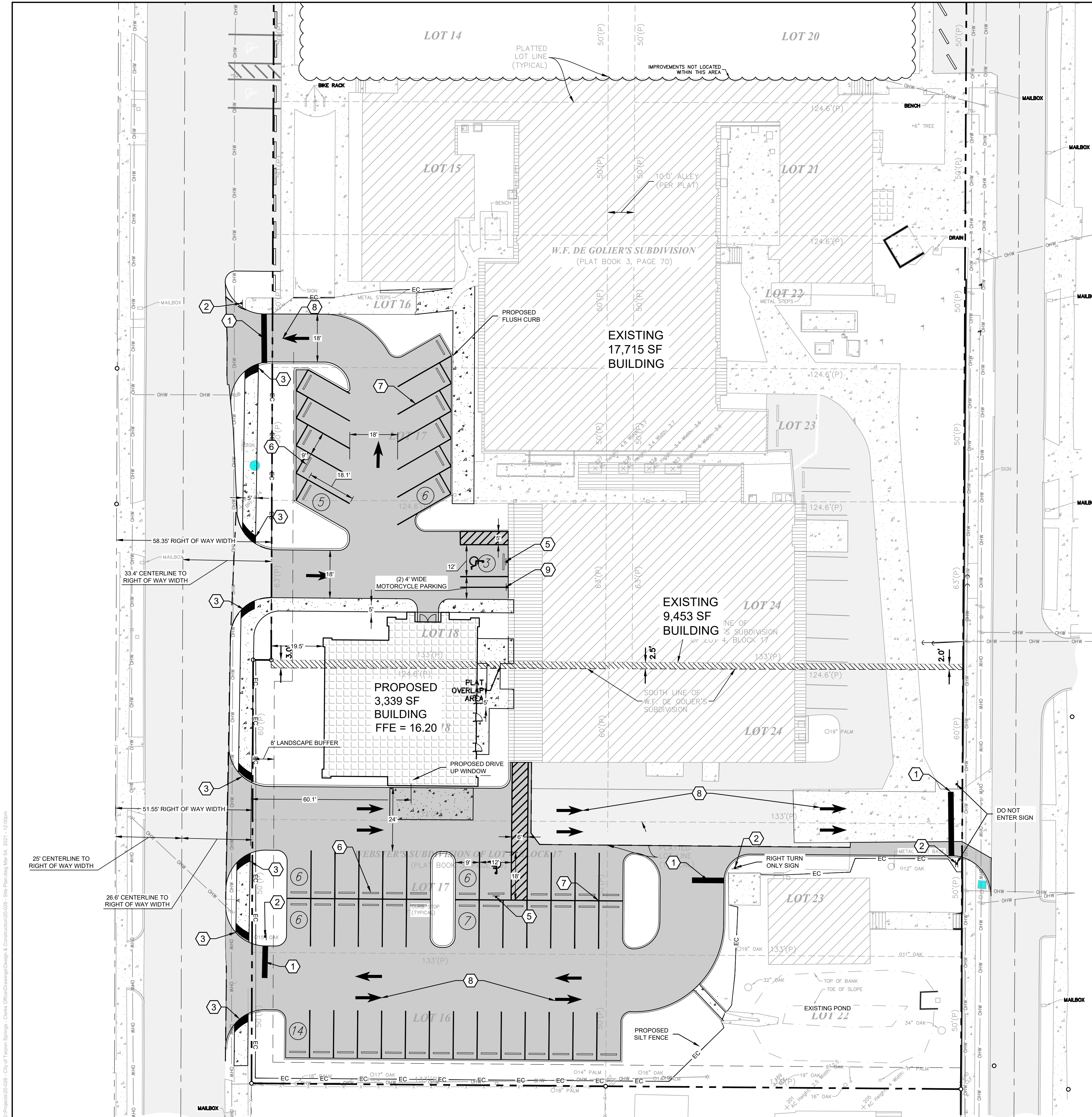
TO THE BEST OF THE ARCHITECTS AND/OR ENGINEERS' KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

Phase: 60% BID DOCUMENTS
 Drawn By: PGC
 Checked By: LDC
 Job No: 18060
 Date: JULY 1, 2020

EXISTING CONDITIONS, DEMOLITION, & EROSION CONTROL PLAN

Mar 04, 2021 - 11:42am

C-3



LEGEND

	EXISTING CANOPY		PROPERTY LINE
	EXISTING BUILDING		TREE BARRICADE
	EXISTING CONCRETE		SECURITY FENCE
	PROPOSED CONCRETE		PARKING SPACE COUNT
	EXISTING ASPHALT PAVEMENT		PROPOSED ASPHALT PAVEMENT
			PROPOSED BUILDING

SITE DATA TABLE

TOTAL PROPERTY AREA:	±3.33 AC (±122,850 SF)
PROJECT AREA:	±0.867 AC (±37,774 SF)
PARCEL ID #:	12-27-15-20700-000-0130 ; 12-27-15-95490-000-0160
SECTION, TOWNSHIP, RANGE:	15 - 12 S - 27 E
ADDRESS:	410 N. RING AVE. TARPON SPRINGS, FL 34689
EXIST. ZONING:	PISP (PUBLIC/SEMI-PUBLIC)
FUTURE LAND USE:	INSTITUTIONAL
BUILDING HEIGHT (70' MAX):	21'-8" FRONT 25'-0" REAR
PROPOSED SETBACKS:	FRONT (E): 10' REAR (W): 20' SIDE (N): 10' SIDE (S): 10'
PROPOSED PARKING:	REGULAR = 51 SPACES MOTORCYCLE = 2 SPACES HANDICAP = 2 SPACES TOTAL PROPOSED = 55 SPACES

PROJECT AREAS

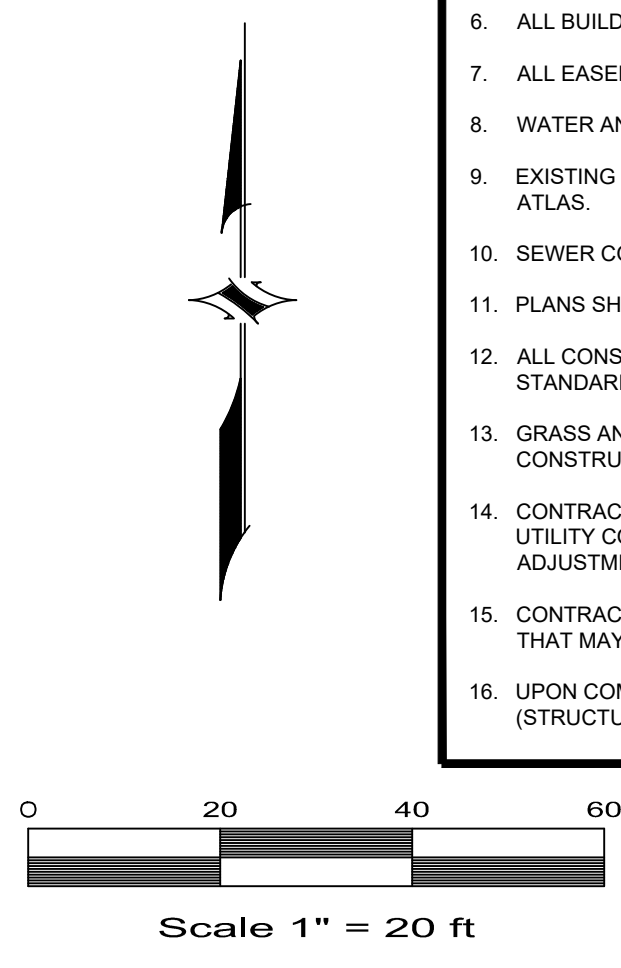
EXISTING ASPHALT:	2,110 SF	5.99%	0.048 AC
EXISTING CONCRETE:	1,586 SF	4.20%	0.036 AC
PROPOSED ASPHALT:	20,834 SF	55.15%	0.478 AC
PROPOSED CONCRETE:	1,884 SF	4.99%	0.043 AC
PROPOSED BUILDING:	3,339 SF	8.84%	0.077 AC
PROPOSED OPEN SPACE:	6,397 SF	22.23%	0.143 AC
TOTAL PROJECT AREA:	37,774 SF	100.00%	0.867 AC

PROPOSED IMPERVIOUS AREA: 28,377 SF (0.674 AC) *4.716 SF / 0.108 AC REDUCTION*
 EXISTING IMPERVIOUS AREA: 34,095 SF (0.783 AC)

THE PROPERTY DESCRIBED HEREON IS LOCATED IN FLOOD ZONE "X" WITH PORTION OF THE SITE WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOOD HAZARD PER FLOOD INSURANCE RATE MAP NO. 12103C0019G EFFECTIVE DATE SEPTEMBER 3, 2003 FOR PINELLAS COUNTY, FLORIDA.

- ### KEY NOTES
- 1 24" WHITE THERMOPLASTIC STOP BAR
 - 2 30"x30" HIGH INTENSITY R-1-1 STOP SIGN
 - 3 DETECTABLE WARNING SURFACE PER FDOT INDEX 522-002, TRUNCATED DOMES SHALL BE CAST IN PLACE & PROVIDED BY ARMOR-TILE OR APPROVED EQUAL (NO ADHESION OR SCREW PAD ALLOWED). INSTALL PER MANUFACTURERS DETAILS.
 - 4 NOT USED
 - 5 HANDICAP SIGNING AND MARKINGS
 - 6 CONCRETE WHEELSTOP
 - 7 4" WHITE PAINT PARKING STRIPES
 - 8 DIRECTIONAL ARROWS PER FDOT INDEX 711-001
 - 9 MOTORCYCLE PARKING ONLY SIGN

- ### GENERAL NOTES
1. THE PROPOSED ACTIVITIES SHALL COMPLY WITH CITY OF TARPON SPRINGS DEVELOPMENT REGULATIONS (LATEST EDITION).
 2. SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH THE CITY OF TARPON SPRINGS LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS (LATEST EDITION).
 3. BUFFERING AND SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF TARPON SPRINGS LAND DEVELOPMENT CODE.
 4. SITE ACCESS HAS BEEN DESIGNED FOR EMERGENCY AND PARATRANSIT VEHICLES.
 5. SOLID WASTE COLLECTION SHALL BE BY EXISTING DUMPSTER.
 6. ALL BUILDING CONSTRUCTION SHALL CONFORM TO THE 2010 FLORIDA BUILDING CODE.
 7. ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY.
 8. WATER AND WASTEWATER IS PROVIDED BY CITY OF TARPON SPRINGS.
 9. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE BASED ON CITY OF TARPON SPRINGS UTILITY ATLAS.
 10. SEWER COLLECTION SYSTEM ON SITE WILL BE OWNED AND OPERATED BY THE PROPERTY OWNER.
 11. PLANS SHALL BE IN ACCORDANCE WITH NFPA 1 AND NFPA 101, 2009 EDITION (FFPC 2010 EDITION).
 12. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH CITY STANDARDS, LATEST EDITIONS.
 13. GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
 14. CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
 15. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
 16. UPON COMPLETION OF CONSTRUCTION, BUILDING NUMBERS ARE TO BE AFFIXED TO BUILDING (STRUCTURE) FRONT FACING THE ROADWAY AND ARE ALSO TO BE POSTED AT THE ENTRANCE DRIVE.



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CITY OF TARPON SPRINGS
CLERK OF COURTS REDEVELOPMENT

FOR
CITY OF TARPON SPRINGS
410N. RING AVE.
TARPON SPRINGS, FL

Seal of **LAUREN DECKER C.A.P.C.**
LICENSE No. 57421
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Lauren D. Decker, 57421, 03/04/2021
NAME, LICENSE NO., DATE

Date	Issues & Revisions

TO THE BEST OF THE ARCHITECTS AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

Phase: 60% BID DOCUMENTS
 Drawn By: PGS
 Checked By: LDC
 Job No: 18060
 Date: JULY 1, 2020
 Mod 04, 2021 - 12/09/21

SITE PLAN

C-4

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LEGEND

	EXISTING CANOPY		TREE BARRICADE
	EXISTING BUILDING		SILT FENCE
	EXISTING CONCRETE		SECURITY FENCE
	PROPOSED CONCRETE		PARKING SPACE COUNT
	EXISTING ASPHALT PAVEMENT		PROPOSED ASPHALT PAVEMENT
	PROPOSED BUILDING		PROP. SWALE
			FLOW ARROW
			PAVEMENT SLOPE
			PROPOSED SPOT GRADE
			GRADING SLOPE
			PROPOSED HIGH POINT

- ### GENERAL NOTES
- SITE ACCESS HAS BEEN DESIGNED FOR EMERGENCY AND PARATRANSIT VEHICLES.
 - ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY.
 - GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
 - CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
 - CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
 - ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE, SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1 VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
 - ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM ADA STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM BOARDS PRIOR TO CONSTRUCTING WALKWAYS.
 - MAXIMUM GRADING SLOPES SHALL BE CONSTRUCTED AT 4:1 MAXIMUM SLOPE.

FLOODPLAIN NOTE

THE PROPERTY DESCRIBED HEREON IS LOCATED IN FLOOD ZONE "X" WITH PORTION OF THE SITE WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOOD HAZARD PER FLOOD INSURANCE RATE MAP NO. 12103C0019G EFFECTIVE DATE SEPTEMBER 3, 2003 FOR PINELLAS COUNTY, FLORIDA.

DATUM NOTE

CONTROL BENCHMARK: STATION IS A STAINLESS STEEL ROD "DI2206" LOCATED 155.2' EAST OF THE EAST CURB FACE OF U.S. ALTERNATE HIGHWAY 19 (PINELLAS AVENUE), 85.9' SOUTH OF THE APPROXIMATE CENTERLINE OF STATE ROAD 582 (TARPON AVENUE), 8.1' WEST OF THE WEST WALL OF A BUILDING AT 100 EAST TARPON AVENUE, EL.: 22.91' (NAVD88)

TBM #1: STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 15.3' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PARCEL, EL.: 9.31' (NAVD88)

TBM #2: STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 226.6' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PARCEL, EL.: 8.83' (NAVD88)

PIPE DATA TABLE

P-1	51 LF 12" PVC RD @ 0.20%
P-2	17 LF 12" PVC RD @ 0.20%
P-3	78 LF 15" RCP @ 0.20%
P-4	32 LF 12" PVC RD @ 0.20%
P-5	62 LF 15" RCP @ 0.20%

STRUCTURE TABLE

S-1	18" DRAIN BASIN w/ GRATE TOP GRATE EL. = 16.00 INV EL. = (S)	S-5	18" DRAIN BASIN w/ GRATE TOP GRATE EL. = 16.00 INV EL. = (NE,E)
S-2	18" DRAIN BASIN w/ GRATE TOP GRATE EL. = 16.00 INV EL. = (S)	S-6	18" DRAIN BASIN w/ GRATE TOP GRATE EL. = 15.60 INV EL. = (SW)
S-3	STORM MANHOLE TYPE "J" PER INDEX 425-014 & 425-010 RIM EL. = 15.60 INV EL. = (N,W)	S-7	TYPE "C" BUBBLER INLET PER FDOT INDEX 425-052 RIM EL. = 15.60 INV EL. = (NE)
S-4	TYPE "C" BUBBLER INLET PER FDOT INDEX 425-052 RIM EL. = 15.00 INV EL. = (N,W)	S-8	RELOCATED DRAIN BASIN w/ GRATE TOP GRATE EL. = 15.50 INV EL. = (SW)

Date	Issues & Revisions

TO THE BEST OF THE ARCHITECTS AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

Phase: 60% BID DOCUMENTS
 Drawn By: PGS
 Checked By: LDC
 Job No: 18060
 Date: JULY 1, 2020

Mar 04, 2021 - 11:43am

PAVING, GRADING, & DRAINAGE PLAN

Scale 1" = 20 ft

C-5

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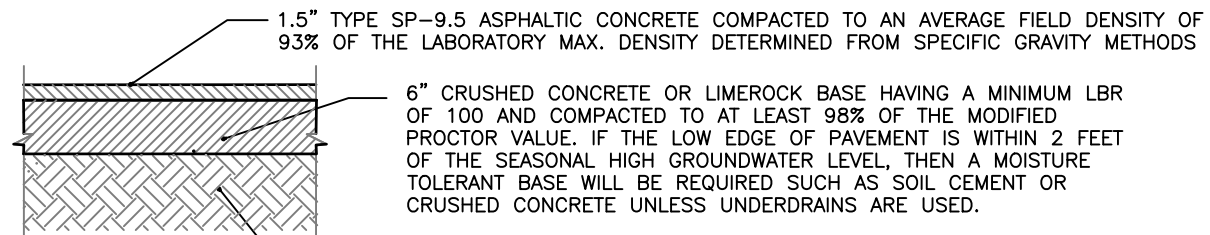
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Seal of LAUREN DECKER, C.E.P., P.E.
 LICENSE No. 57421
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

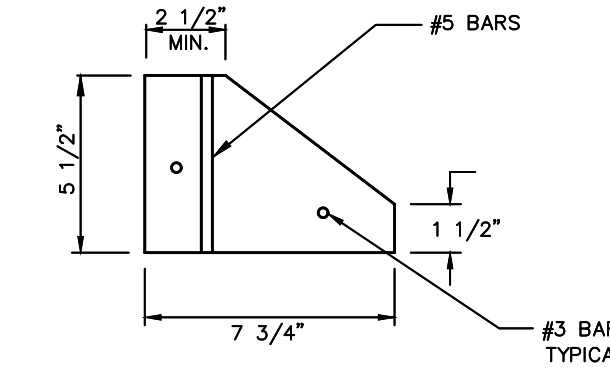
Lauren D. Decker, P.E.
 License No. 57421
 Date: 03/04/2021

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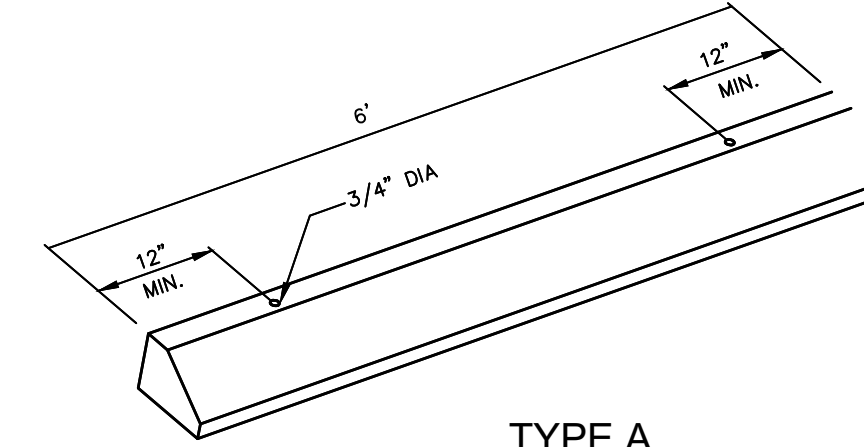
ON-SITE ASPHALT PAVEMENT SECTION

NTS



NOTES:

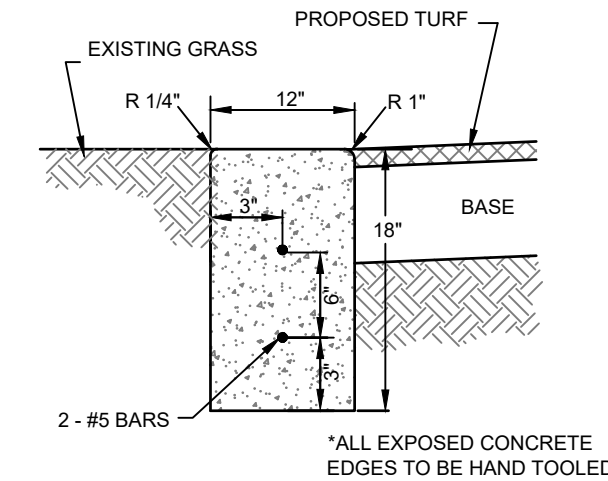
1. CONCRETE TO BE 4,000 P.S.I.
2. WHEEL STOPS TO BE SECURED TO PAVEMENT WITH TWO 16\"/>



TYPE A

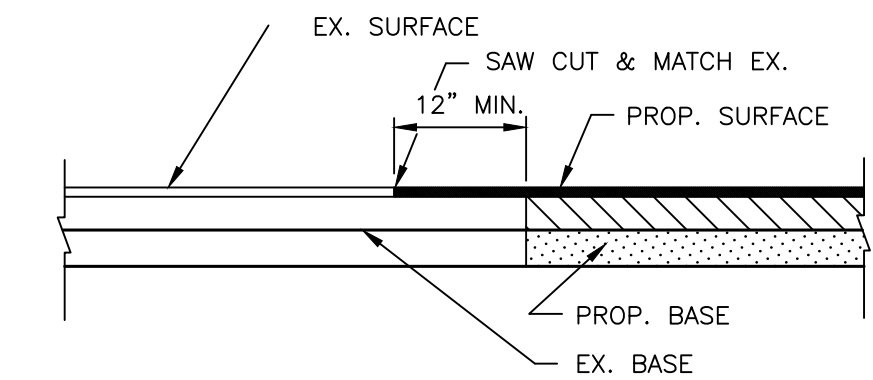
WHEEL STOP DETAIL

NTS



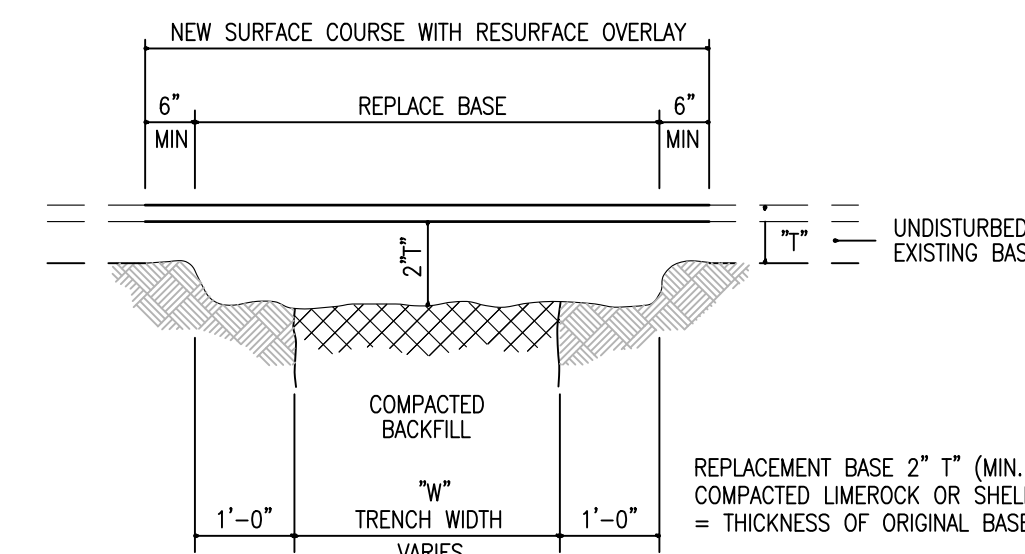
RIBBON CURB DETAIL

NTS



TIE-IN OF PROPOSED PAVEMENT TO EXISTING

NTS

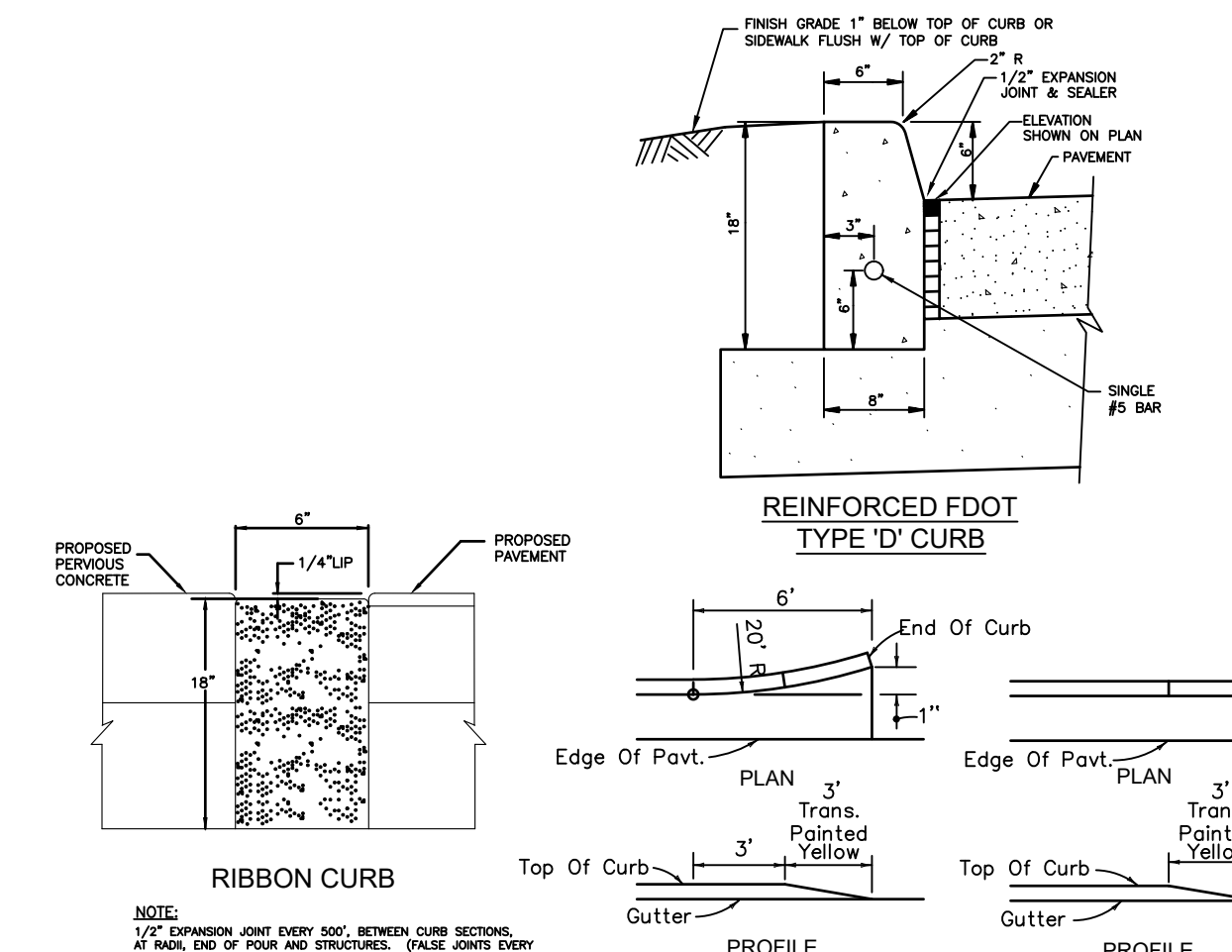


NOTES:

1. CONTRACTOR TO RESURFACE TO ALL VALVES WITHIN EXISTING ROADWAY AND NOT COVER.
2. ALL GRASSED AREAS DISTURBED WITHIN THE RIGHT-OF-WAY SHALL BE SOODED TO ORIGINAL OR BETTER CONDITION.
3. ALL GEOTECHNICAL TESTING OF WORK WITHIN THE RIGHT-OF-WAY SHALL BE PER CITY SPECIFICATIONS.

PAVEMENT REPLACEMENT DETAIL

NTS



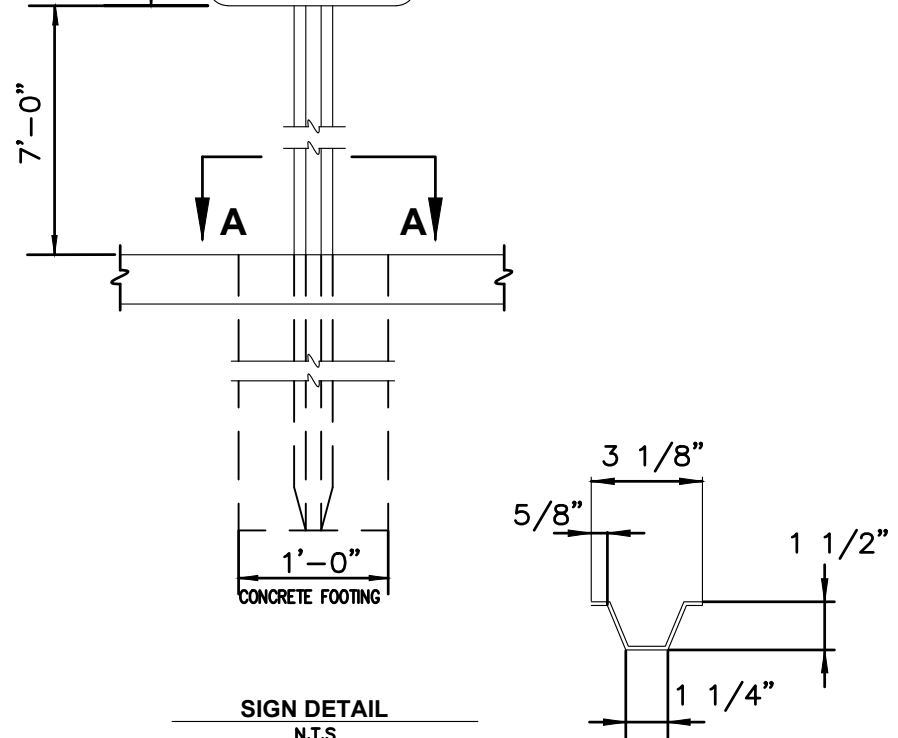
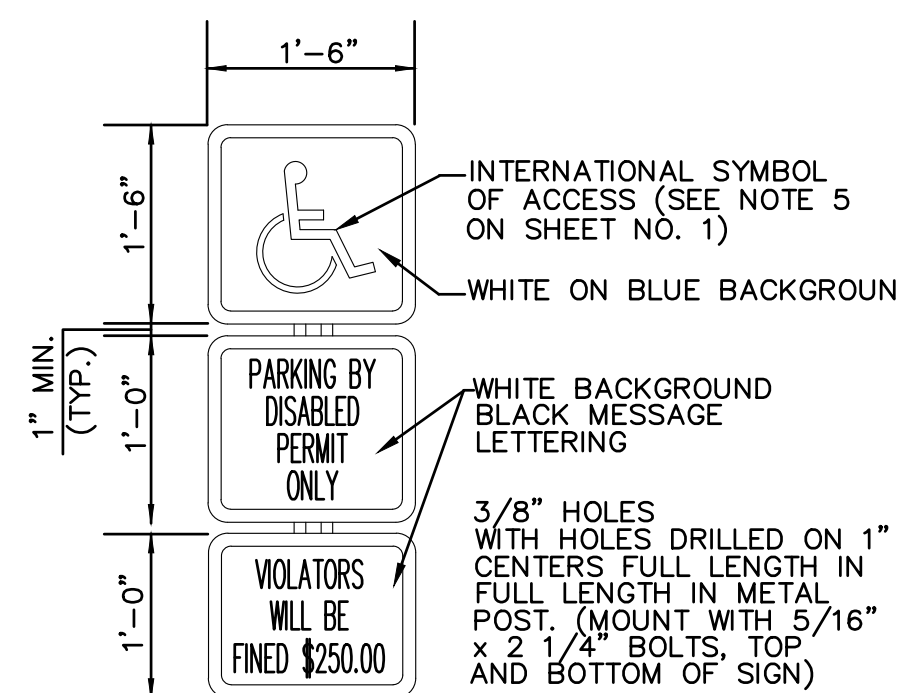
NOTE:

- 1/2\"/>

NOTE: ALL CONCRETE SHALL BE 4,000 PSI CONCRETE.

CURB & CURB AND GUTTER DETAILS (FDOT INDEX 520-001)

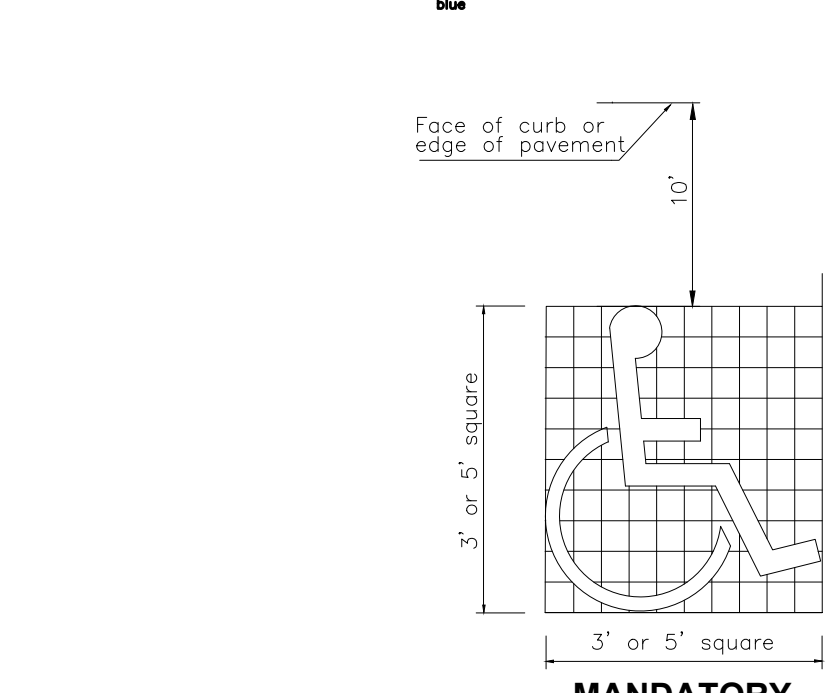
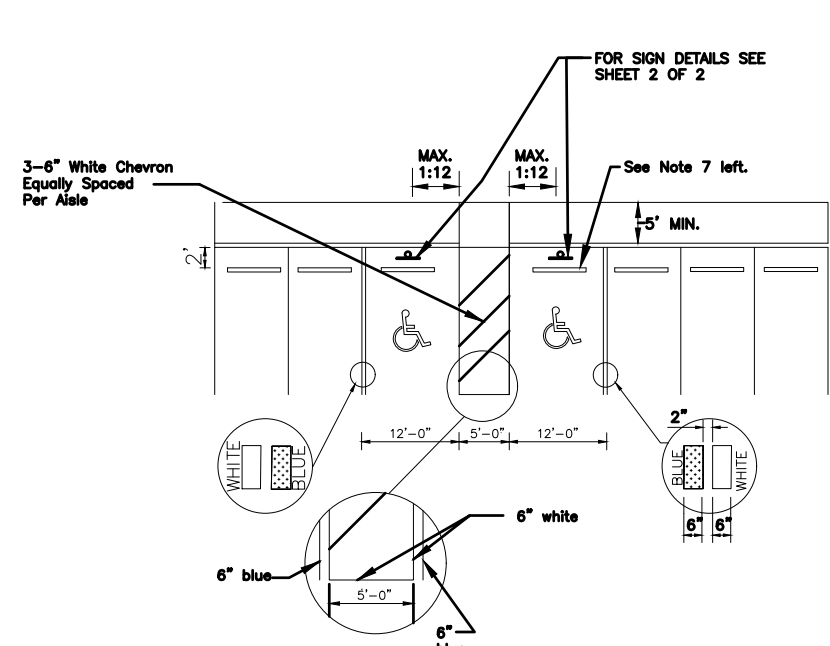
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SIGN DETAIL

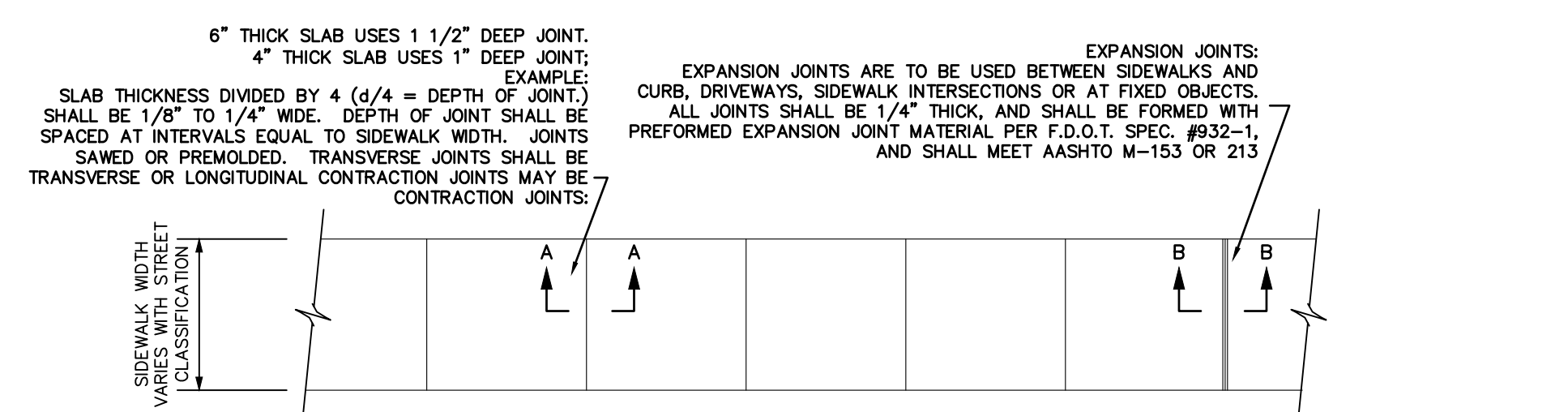
NTS

NOTES:
 METAL POST TO BE GALVANIZED. ALL BOLTS, NUTS, WASHERS AND SCREWS MUST BE RESISTIVE.
 CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I.
 SIGNS WILL BE FABRICATED BY USING REFLECTING COATING IN THE SYMBOL MESSAGE AND BORDER APPLIED TO A SHEET ALUMINUM BACKING (ABS) IN THICKNESS.
 MESSAGE LETTERING SHALL BE UPPER CASE (BLACK/SERIES C) 1.5\"/>



MANDATORY

White on Blue Background

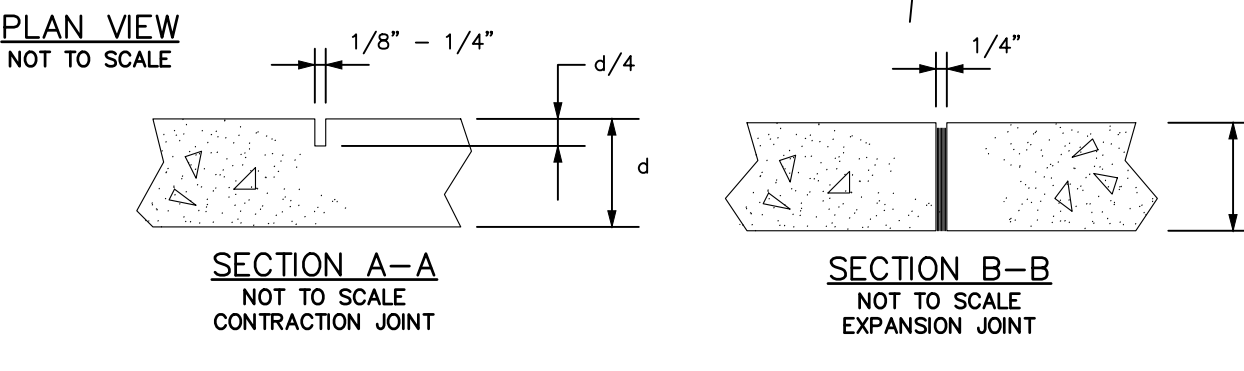


SIDEWALK NOTES:

- ALL PLACES WHERE SIDEWALK CROSSES A DRIVEWAY SHALL BE 6\"/>

TYPICAL CONCRETE SIDEWALK DETAILS

NTS



SECTION A-A

SECTION B-B

NOT TO SCALE

CONTRACTION JOINT

EXPANSION JOINT

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Lauren D. Decker, 57421, 03/04/2021
 NAME, SEAL NO., DATE

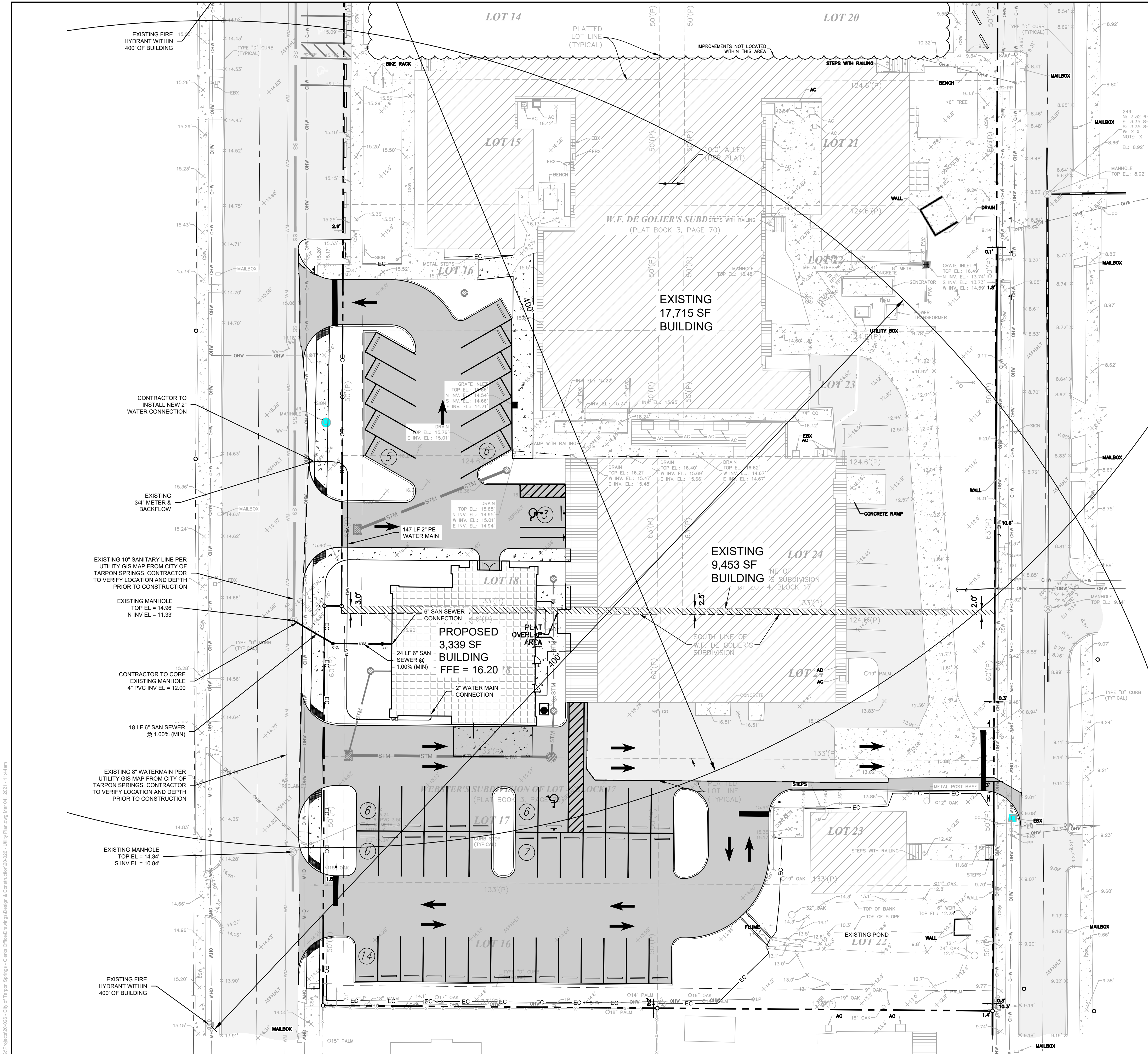
Date	Issues & Revisions

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Phase: 60% BID DOCUMENTS
 Drawn By: PGS
 Checked By: LDC
 Job No: 18060
 Date: JULY 1, 2020

PAVING, GRADING, & DRAINAGE DETAILS

C-6



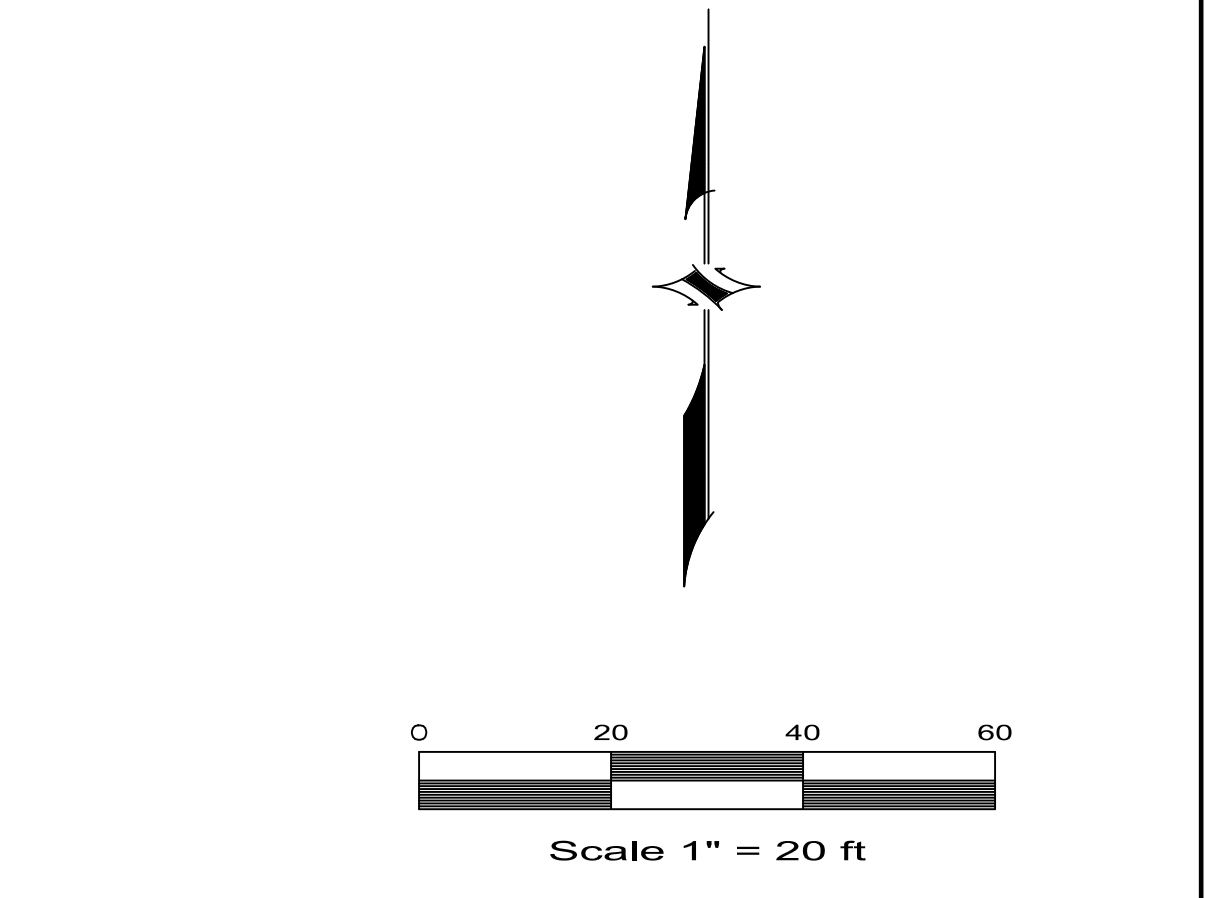
LEGEND

	EXISTING CANOPY		PROPERTY LINE
	EXISTING BUILDING		TREE BARRICADE
	EXISTING CONCRETE		SECURITY FENCE
	PROPOSED CONCRETE		PROPOSED ROOF DRAIN
	EXISTING ASPHALT PAVEMENT		PROPOSED WATER LINE
	PROPOSED BUILDING		PROPOSED GRAVITY SEWER LINE
	PROPOSED ASPHALT PAVING		PROPOSED FORCE MAIN
			PROPOSED STORM PIPE
			PROPOSED HIGH POINT

- ### GENERAL NOTES
- SITE ACCESS HAS BEEN DESIGNED FOR EMERGENCY AND PARATRANSIT VEHICLES.
 - ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY.
 - GRASS AND MULCH, OR SOLID SOG, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
 - CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
 - CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
 - ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE, SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1 VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
 - ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM ADA STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM BOARDS PRIOR TO CONSTRUCTING WALKWAYS.
 - MAXIMUM GRADING SLOPES SHALL BE CONSTRUCTED AT 4:1 MAXIMUM SLOPE.

FLOODPLAIN NOTE

THE PROPERTY DESCRIBED HEREON IS LOCATED IN FLOOD ZONE "X" WITH PORTION OF THE SITE WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOOD HAZARD PER FLOOD INSURANCE RATE MAP NO. 1210300019G EFFECTIVE DATE SEPTEMBER 3, 2003 FOR PINELLAS COUNTY, FLORIDA.



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CITY OF TARPON SPRINGS
CLERK OF COURTS REDEVELOPMENT

FOR
CITY OF TARPON SPRINGS
410N. RING AVE.
TARPON SPRINGS, FL

Seal of **LAUREN DECKER, C.E.P.C.**
LICENSE
No. 57421
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Lauren D. Decker, 57421, 03/04/2021
NAME, License No., Expiration Date

Date	Issues & Revisions

TO THE BEST OF THE ARCHITECTS AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

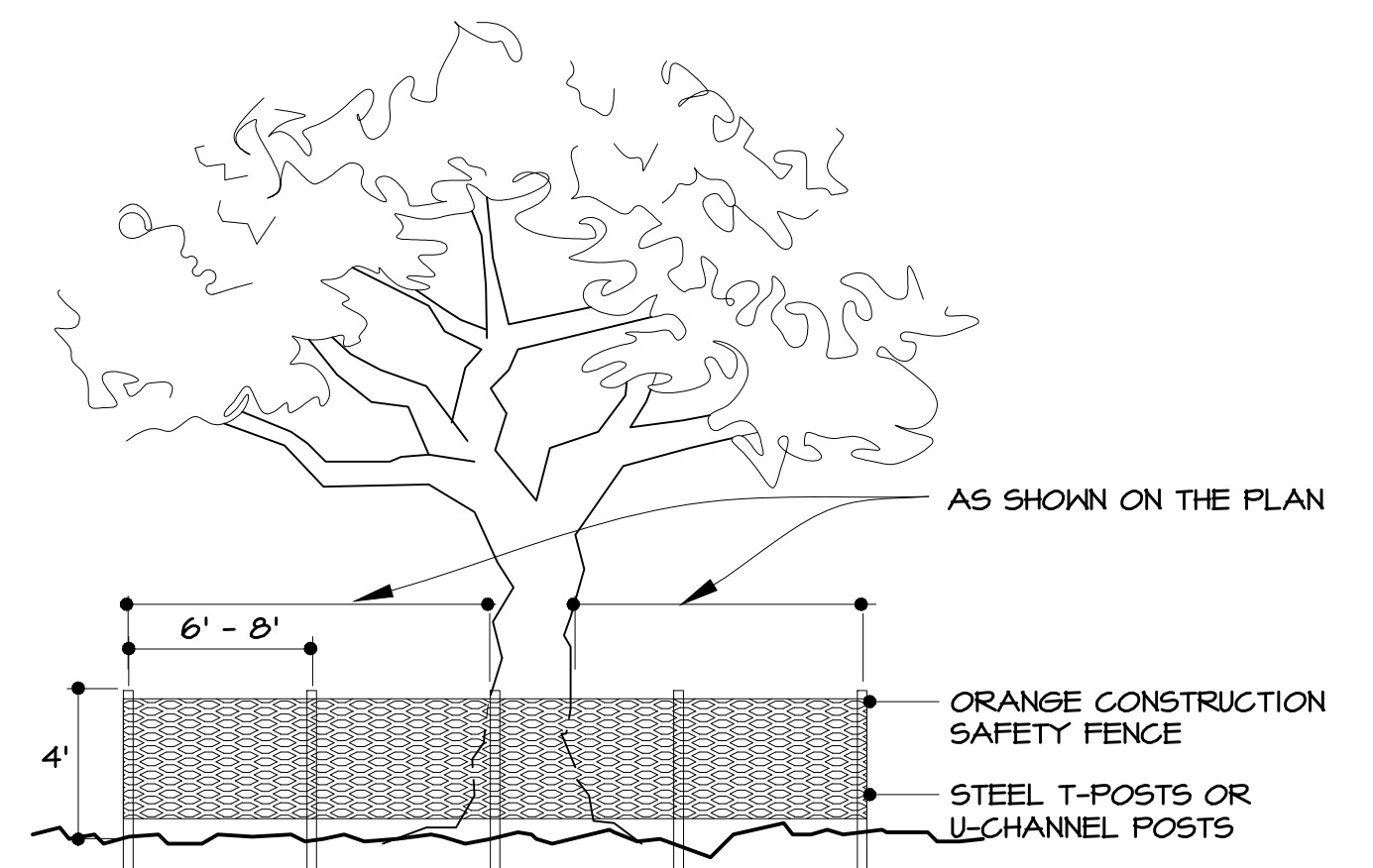
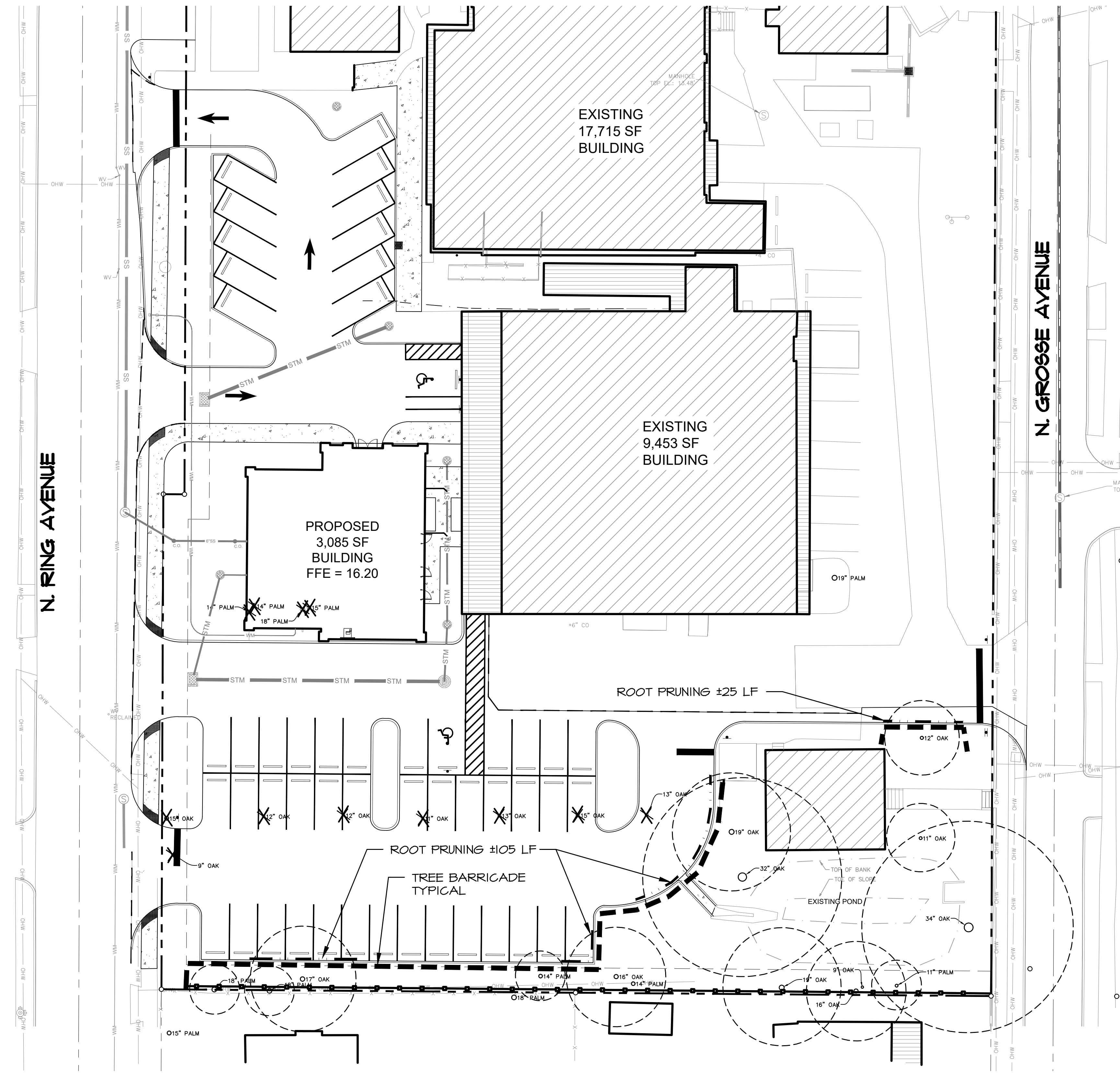
Phase: 60% BID DOCUMENTS
 Drawn By: PGS
 Checked By: LDC
 Job No: 18060
 Date: JULY 1, 2020

Rev 04, 2021 - 11:44am

UTILITY PLAN

C-7

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TREE PROTECTION DETAIL
 ALL EXISTING TREES TO REMAIN WITHIN THE PROTECTION AREA SHALL BE BARRICADED AS PER THE DETAIL. BARRICADES SHALL BE ERECTED BEFORE SITE WORK BEGINS AND SHALL REMAIN FOR THE ENTIRE DURATION OF THE WORK.

TREES REMOVED/PRESERVED

TREES REMOVED:
 14" PALM, 14" PALM, 18" PALM, 15" PALM, 12" OAK, 12" OAK
 11" OAK, 13" OAK, 15" OAK, 13" OAK, 9" OAK, 15" OAK = 161"

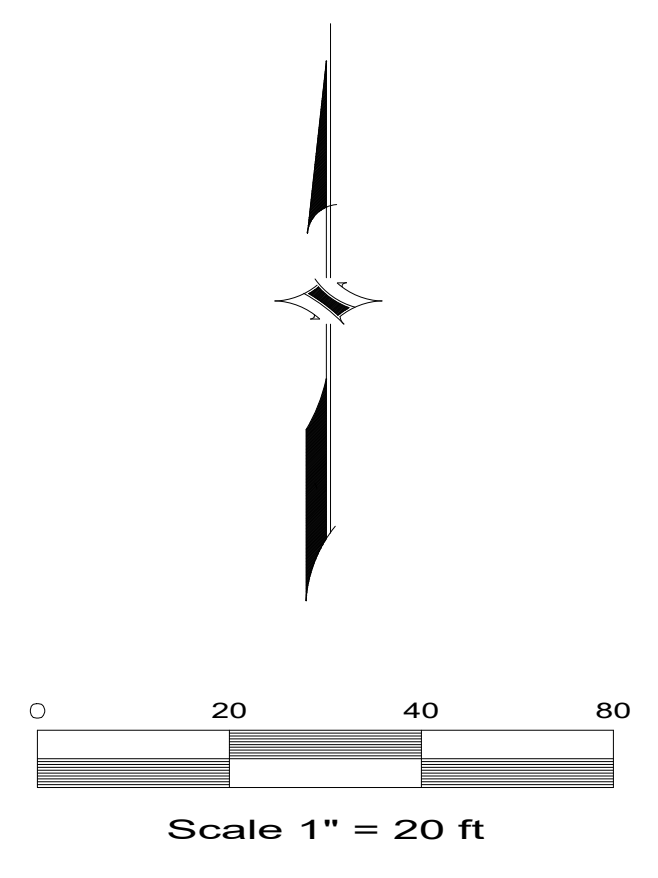
TREES PRESERVED:
 18" PALM, 18" PALM, 17" OAK, 14" PALM, 16" OAK, 14" PALM
 19" OAK, 32" OAK, 19" OAK, 16" OAK, 9" OAK, 11" PALM, 34" OAK
 11" OAK, 12" OAK = 260"

TREES PROPOSED: 23 TREES @ 2" CALIPER = 46"

306" PRESERVED & PROPOSED - 160" REMOVED = 146" CREDIT
 NO REPLACEMENT INCHES REQUIRED

SYMBOL LEGEND

- 12" OAK EXISTING TREE TO REMAIN
- 12" OAK EXISTING TREE TO BE REMOVED
- TREE BARRICADE
- ROOT PRUNING LIMITS



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Seal
NOT FOR CONSTRUCTION
 L. ALYSON UTTER
 FLORIDA LANDSCAPE ARCHITECT No. LA000163

No	Date	Issues & Revisions
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TO THE BEST OF THE ARCHITECTS AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS

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 Checked By: LAU
 Job No: 19035
 Date: FEBRUARY 5, 2021
 Feb 23, 2021 - 8:02am

TREE PRESERVATION/REMOVAL PLAN

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PLANT MATERIAL LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING
UA	8	ULMUS ALATA	WINGED ELM	8' HT X 4" SPD, 2" CALIPER	AS SHOWN
JS	5	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	8' HT X 3" SPD, 2" CALIPER	AS SHOWN
IC	10	ILEX "NELLIE R. STEVENS"	NELLIE STEVENS HOLLY	8' HT X 3" SPD, 2" CALIPER	AS SHOWN
PR	2	PHOENIX ROEBELLENII	PYGMY DATE PALM	6' OVERALL HEIGHT, TRIPLE STEM	AS SHOWN
CA	3	CRINUM AUGUSTUM	QUEEN EMMA	48" HT X 48" SPD, 10 GALLON	AS SHOWN
VS	50	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	18" HT X 18" SPD, 3 GALLON	30" OC
RE	112	RUSSELLIA EQUISETIFORMIS	FIRECRACKER PLANT	24" HT X 24" SPD, 3 GALLON	30" OC
MF	51	MYRTICANTHES FRAGRANS	SIMPSON'S STOPPER	24" HT X 24" SPD, 7 GALLON	AS SHOWN
SB	84	SPARTINABAKERI	SAND CORDGRASS	24" HT X 24" SPD, 3 GALLON	AS SHOWN
TA	170	TRACHELOSPERMUM ASIATICUM	MINIMA JASMINE	12" SPD, MIN 8 PFP, 1 GALLON	18" OC
II		LIMESTONE BOULDER		2.5' x 4.0'	AS SHOWN
	1,750 SF	BROWN RIVER ROCK, 3" DEEP		3/4" - 1" PIECES	AS SHOWN

CODE REQUIREMENTS

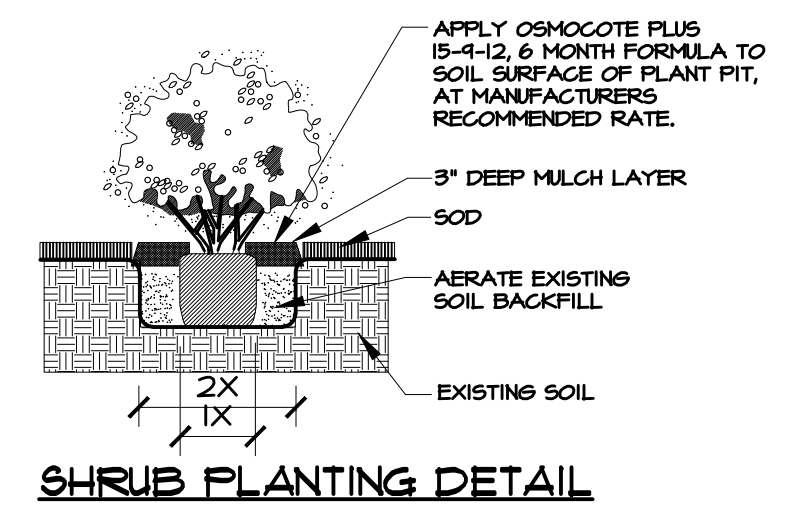
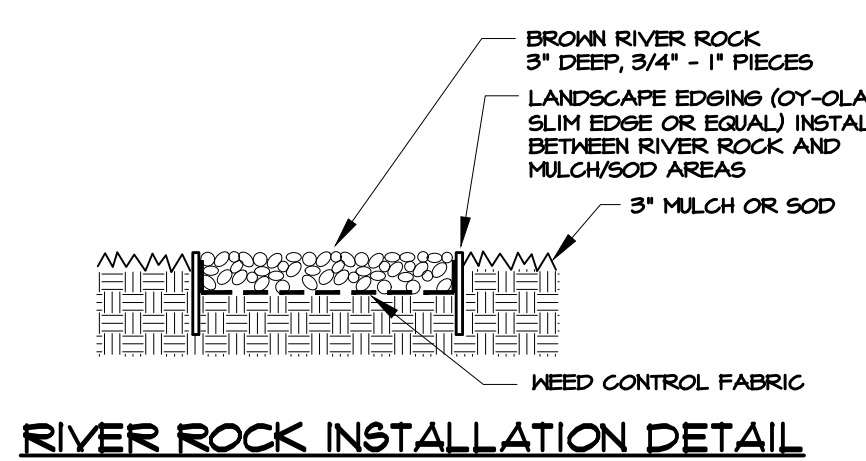
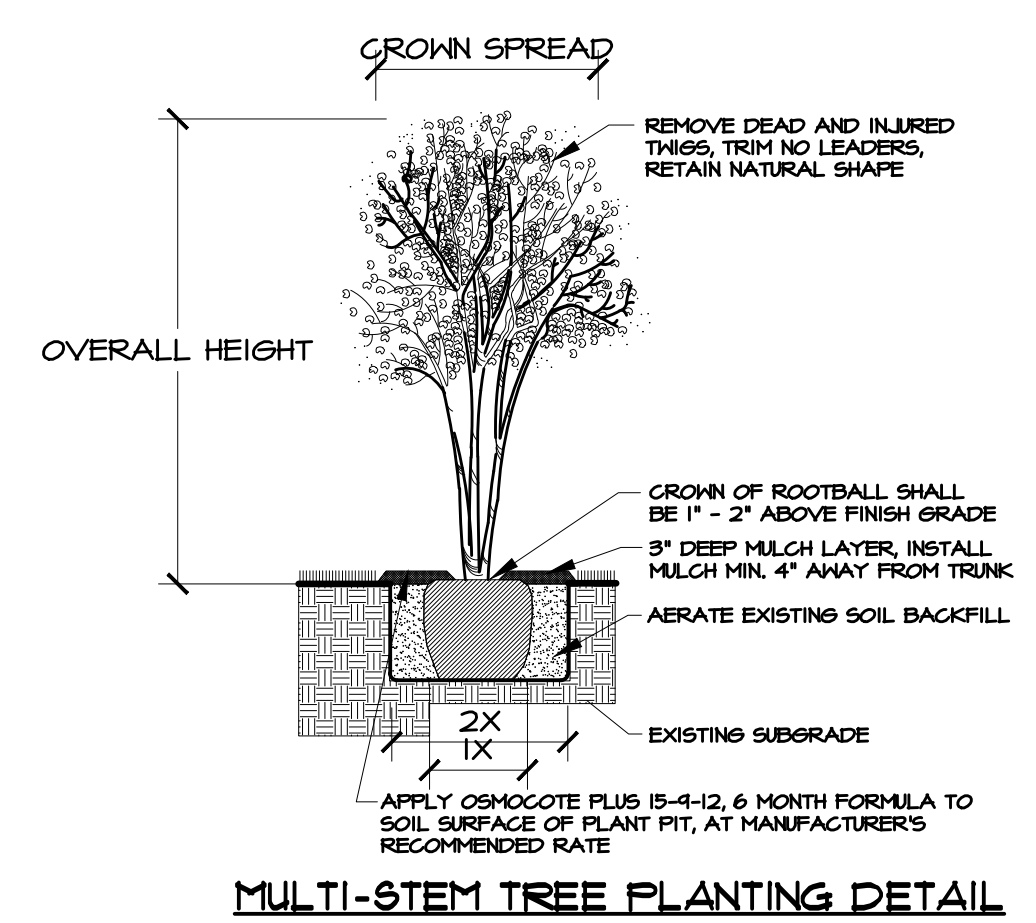
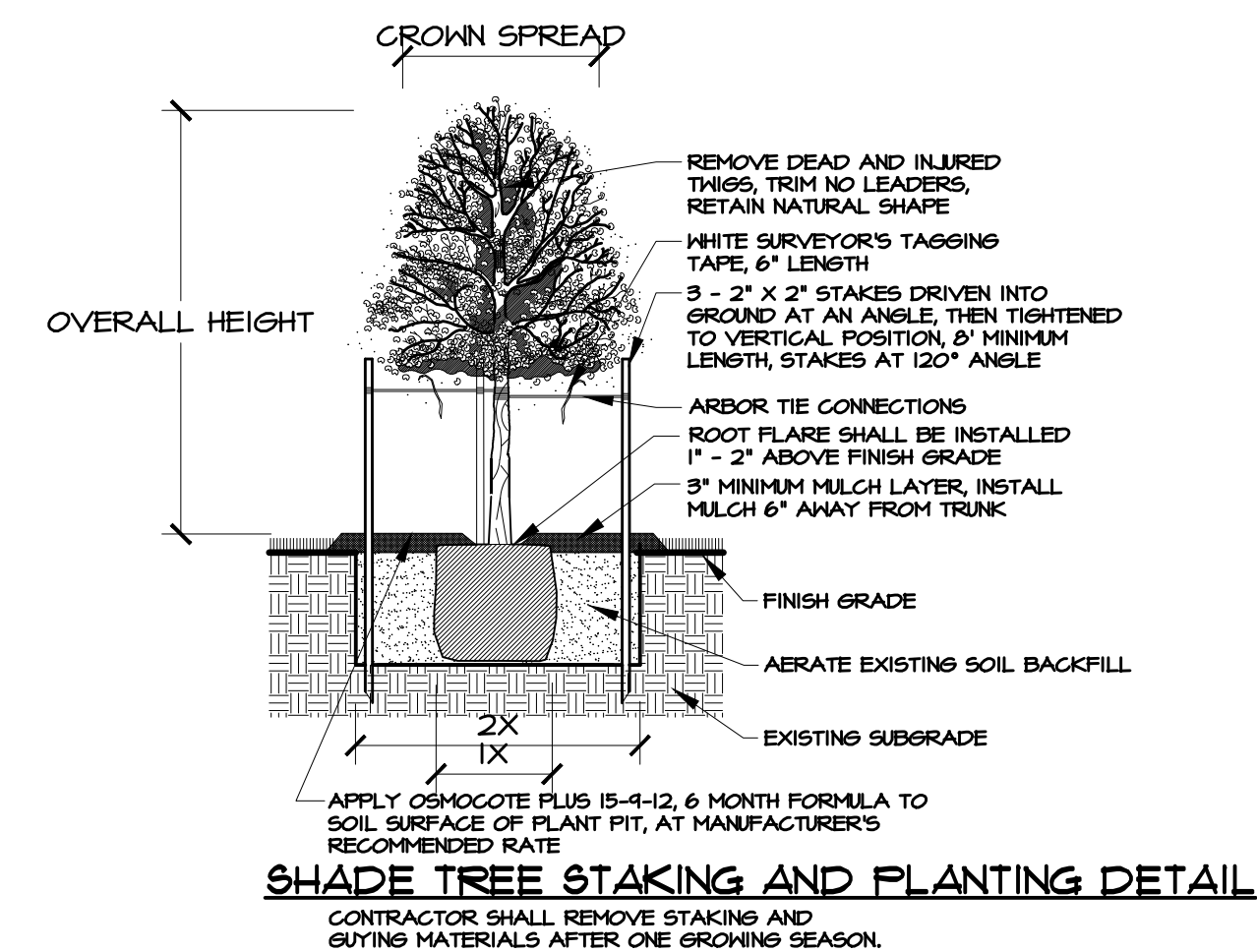
INTERIOR REQUIREMENTS
 ONE TREE PER ISLAND
 12 ISLANDS 12 TREES REQUIRED

PERIMETER REQUIREMENTS
 WEST - 190 LF / 30 = 6 TREES
 SOUTH - 266 LF / 25 = 11 TREES
 - 6 EXISTING = 5 TREES
 11 TREES TOTAL PERIMETER

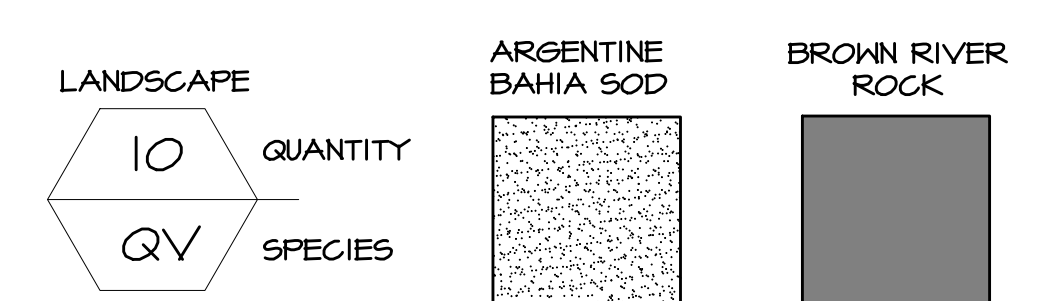
TOTAL TREES REQUIRED
 12 + 11 = 23 TREES
 23 TREES PROVIDED

LANDSCAPE INSTALLATION NOTES

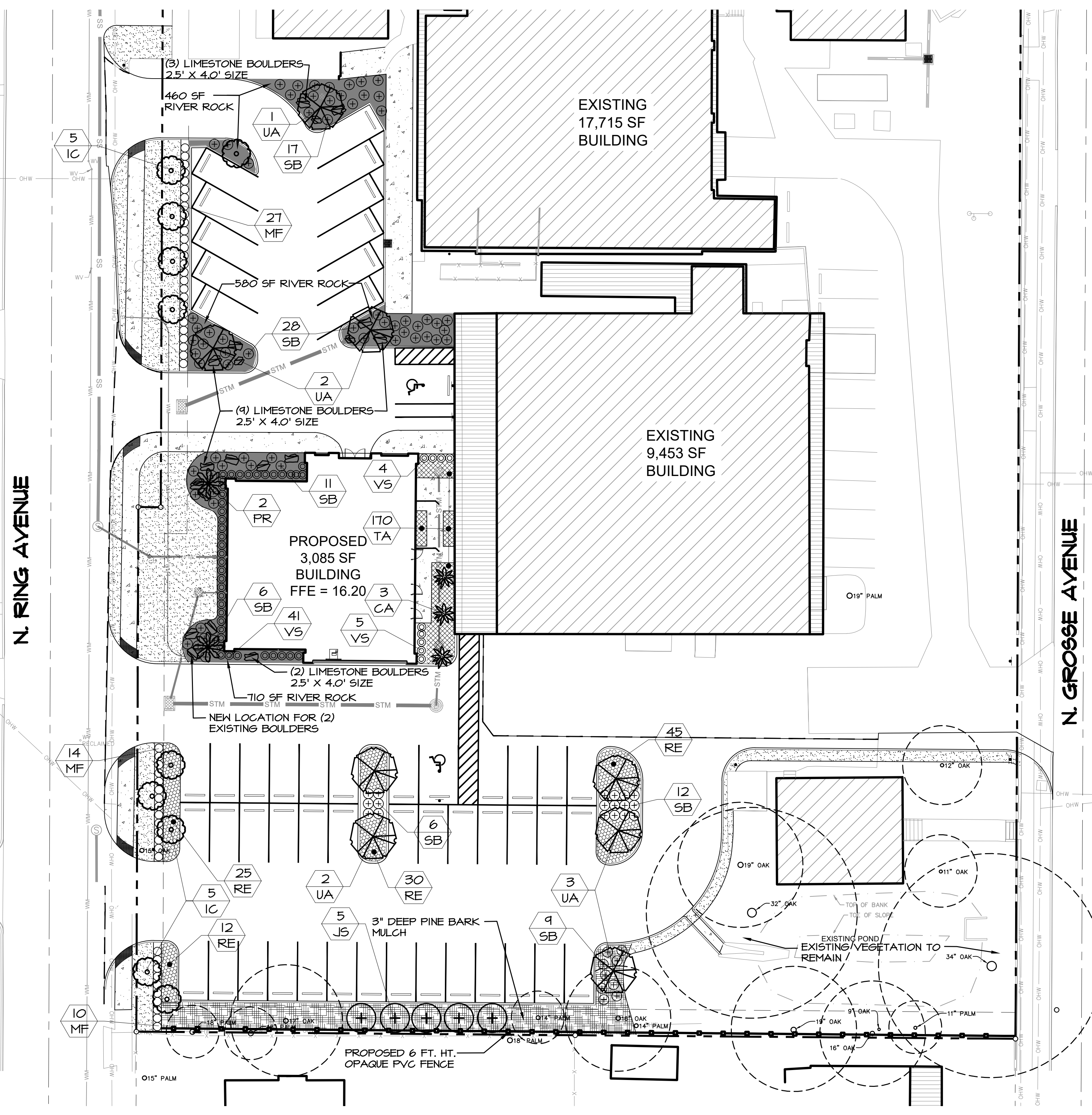
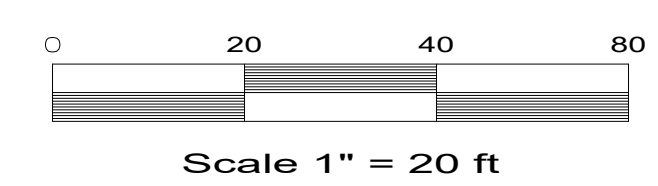
- 1) ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- 2) LOCATION OF PLANTS ON THE PLAN ARE DIAGRAMMATIC- SEE THE LANDSCAPE ARCHITECT FOR QUESTIONS ON EXACT LOCATIONS. THE PLANT MATERIALS LIST IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN, THE PLAN SHALL PREVAIL.
- 3) IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.
- 4) THE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.
- 5) ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 3" DEEP PINE BARK NUGGET MULCH. ALL NEW TREES SHALL BE STAKED.
- 6) NEW SOD SHALL BE ARGENTINE BAHIA SOD ± 3500 S.F. IN THE LOCATIONS SHOWN ON THE PLAN. CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- 7) TREES SHRUBS, AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE: PLANT PITS SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL BEFORE BACKFILLING PIT.
- 8) TREE INSTALLATION: ALL REQUIRED TREES SHALL BE INSTALLED 1" - 2" ABOVE FINISH GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE BASKETS ON ALL B & B STOCK.



SYMBOL LEGEND



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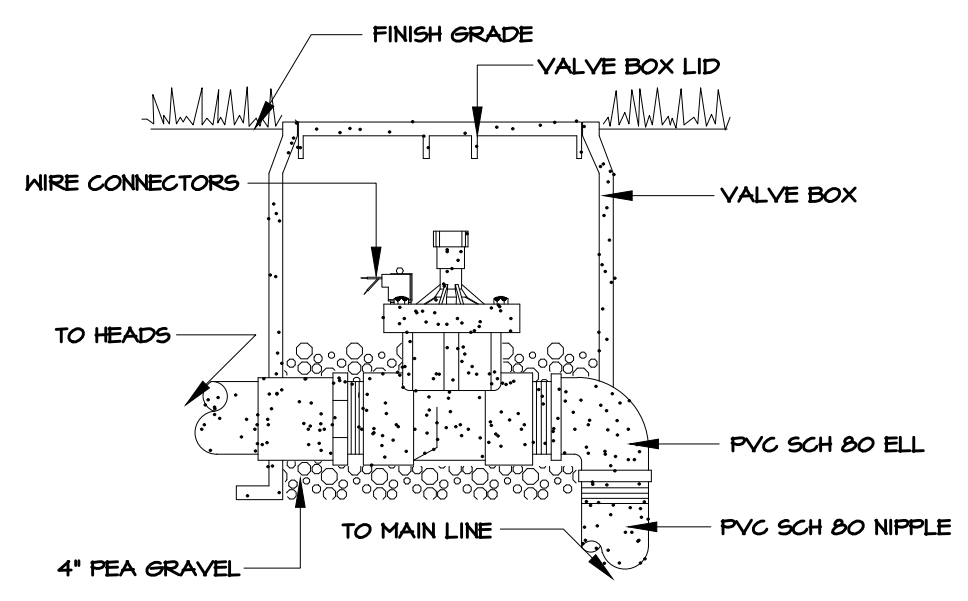
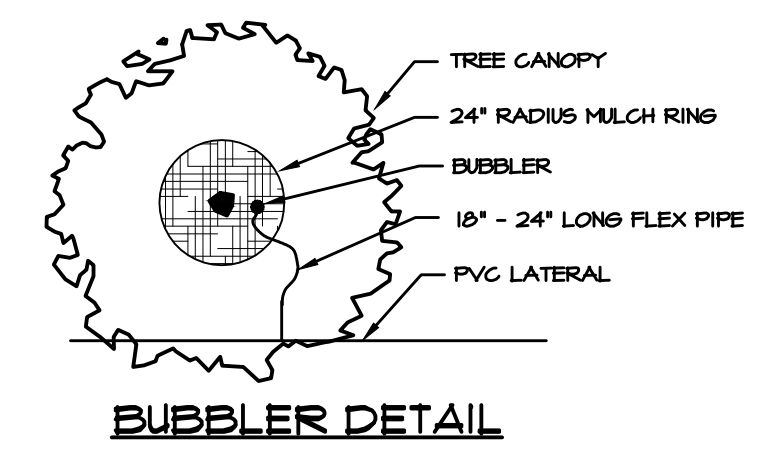
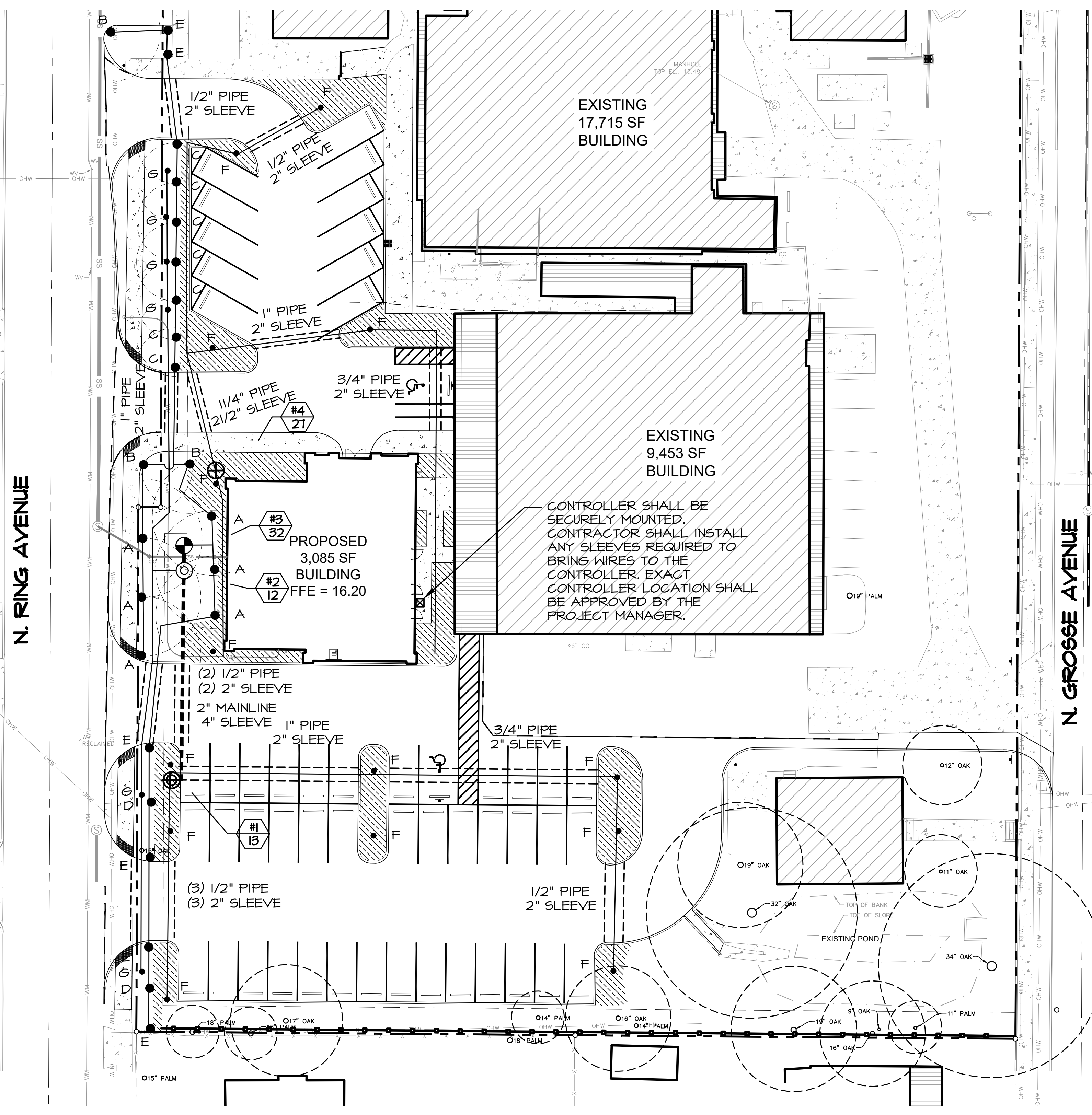
L. ALYSON UTTER
 FLORIDA LANDSCAPE ARCHITECT No. LA000163

No	Date	Issues & Revisions

TO THE BEST OF THE ARCHITECTS AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS

Phase: 60% CONSTRUCTION DOCUMENTS
 Drawn By: BG
 Checked By: LAU
 Job No: 19035
 Date: FEBRUARY 5, 2021
 Feb 23, 2021 - 8:02am

LANDSCAPE PLAN



IRRIGATION MATERIAL LIST

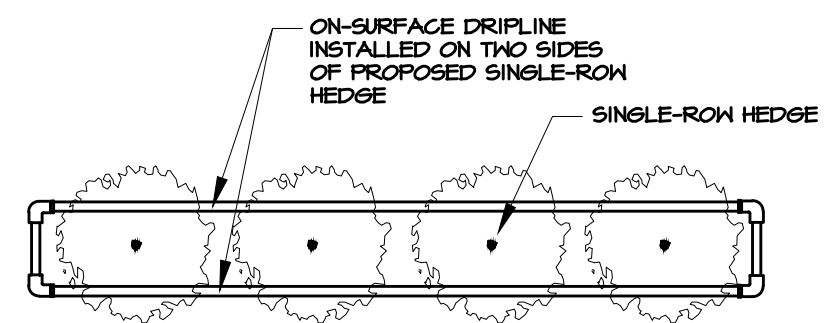
SYMBOL	QUANTITY	MODEL NUMBER
A ●	6	1806-17A, 6" POP-UP SPRAY
B ●	3	1806-15A, 6" POP-UP SPRAY
C ●	7	1806-12A, 6" POP-UP SPRAY
D ●	2	1806-1555T-4X30, SIDE STRIP, 6" POP-UP SPRAY
E ●	6	1806-1555T-4X15, END STRIP, 6" POP-UP SPRAY
F ●	14	1401-0.25 GPM PRESSURE COMPENSATING BUBBLER
G ●	6	1408-2.0 GPM PRESSURE COMPENSATING BUBBLER
⊕	1	150-FEB-PRS-D, 1.5" ELECTRICAL VALVE
⊕	1	100-FEB-PRS-D, 1.0" ELECTRICAL VALVE
⊕	1	XCZ-PRB-150-COM, CONTROL ZONE KIT
⊕	1	XCZ-PRB-100-COM, CONTROL ZONE KIT
± 1900 LF		XFD-09-12-250, LANDSCAPE DRIPLINE
± 75 LF		2" PVC, SCHEDULE 40 MAIN LINE
⊗	1	ESP-LX, 12 STATION CONTROLLER
⊗	1	RAIN CHECK, AUTOMATIC RAIN SHUTOFF

IRRIGATION INSTALLATION NOTES

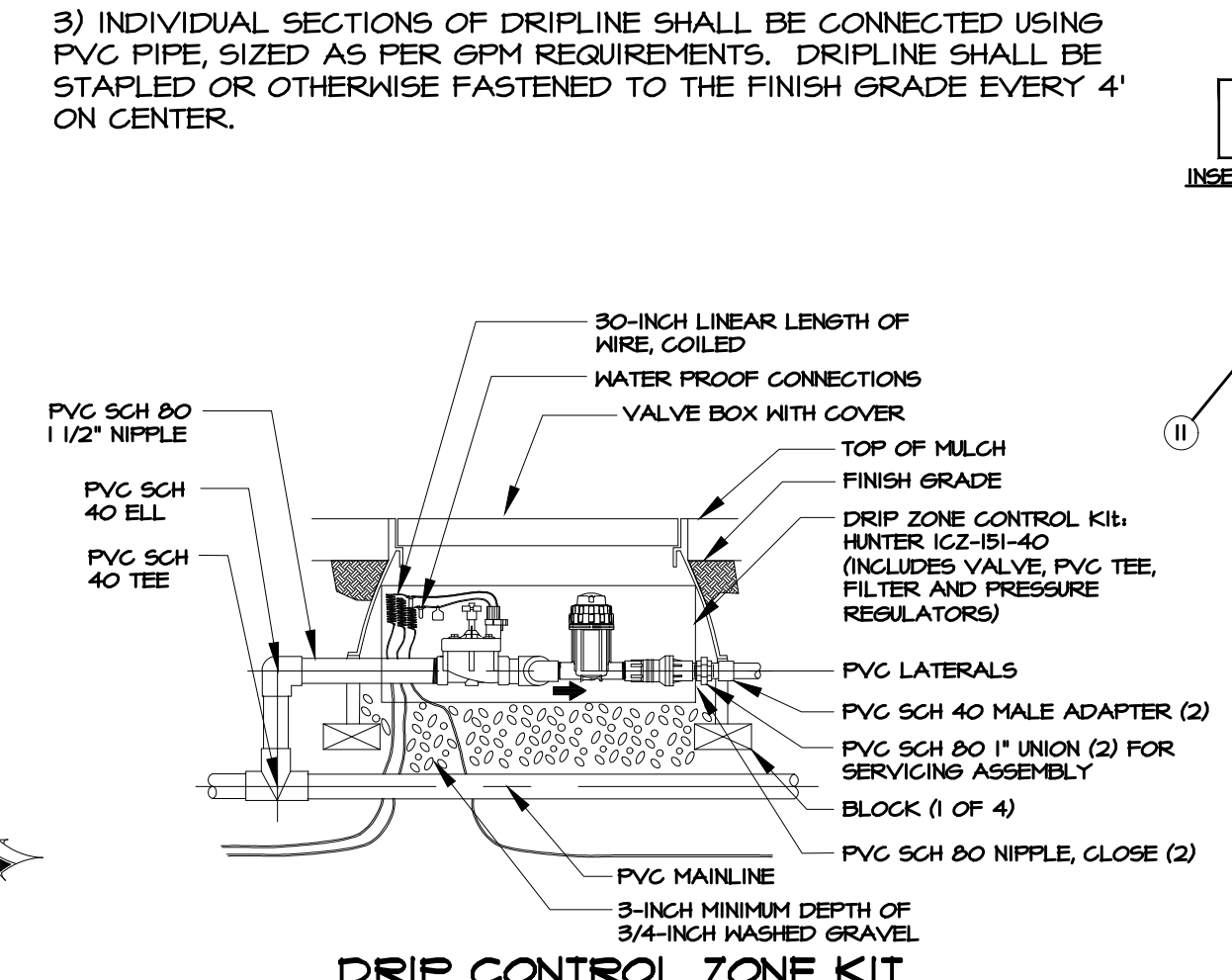
- 1) ALL QUANTITIES SHOWN ON THE DRAWINGS ARE NOT GUARANTEED AS TO ACCURACY AND ARE SHOWN FOR THE PURPOSES OF INDICATING VOLUME OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO SATISFY HIMSELF AS TO THE ACCURACY OF THE QUANTITIES.
- 2) PIPING OR VALVES MAY SOMETIMES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS, I.E., IN BUILDINGS, UNDER PAVEMENT, OR OUTSIDE OF THE PROPERTY LINES. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER POSSIBLE, PIPING IS TO BE INSTALLED IN SOIL AREAS.
- 3) INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES.
- 4) PIPE SIZES ARE LABELED AT LOCATIONS WHERE AN INCREASE IN SIZE OCCURS. CONTINUE PIPE SIZE UNTIL SIZE INCREASE IS INDICATED. PIPES SHALL BE INSTALLED ALONG WALKS, CURBS OR WALLS, THEY SHALL NOT BE INSTALLED IN THE MIDDLE OF PLANTERS. CONTRACTOR SHALL REVIEW LANDSCAPE PLANS TO DETERMINE TREE AND PALM LOCATIONS. MAIN LINE AND LATERALS SHALL BE SCH 40 PVC.
- 5) ALL POP-UP SPRAY AND ROTOR HEADS SHALL BE INSTALLED ON 18" LONG FLEX PIPE CONNECTIONS. ALL IRRIGATION EQUIPMENT SHALL BE BY RAINBIRD, UNLESS OTHERWISE STATED ON THE PLAN.
- 6) WATER SOURCE IS A NEW 1" IRRIGATION WATER METER. IRRIGATION SYSTEM REQUIRES 32 GPM AT 40 PSI. WIRING USED FOR CONNECTING THE VALVES TO THE EXISTING CONTROLLER SHALL BE TYPE UF, 16 AWG WIRE, WITH PVC INSULATION. ZONE WIRES SHALL BE COLOR CODED, AND COMMON WIRE SHALL BE WHITE. VALVE BOXES SHALL BE 22" X 17" X 12" RECTANGLE WITH GREEN LIDS. PLACE 3" GRAVEL INSIDE VALVE BOXES.
- 7) CONNECT NEW IRRIGATION ZONES TO A NEW CONTROLLER. AFTER 30 DAY PLANT MATERIAL ESTABLISHMENT PERIOD, CONTROLLER SHALL BE SET AS PER LOCAL WATER RESTRICTIONS. AFTER IRRIGATION SYSTEM INSTALLATION IS COMPLETE, CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING SHOWING LOCATION OF IRRIGATION HEADS, VALVES AND PIPE.
- 8) PIPING ON THE PLAN IS DIAGRAMMATICALLY ROUTED FOR CLARITY. DESIGN MODIFICATIONS SHALL BE MADE TO MEET FIELD CONDITIONS. THE PIPING SCHEMATIC IS DESIGNED TO MINIMIZE TRENCHING. WHENEVER POSSIBLE RUN MULTIPLE LINES AND WIRE IN THE SAME TRENCH.
- 9) WHERE EXISTING OR PROPOSED PAVED SURFACES CROSS IRRIGATION LINES, ALL PIPING UNDER SAID SURFACES SHALL BE IN SLEEVES. SLEEVES SHALL BE SCH 40 PVC, MINIMUM 2" DIAMETER OR AS SPECIFIED ON PLAN. WHERE EXISTING PAVEMENTS MUST BE CUT TO INSTALL IRRIGATION PIPE, SAW CUT SIX INCHES WIDER THAN THE NEEDED TRENCH. REPAIR CUTS WITH AN EQUIVALENT MATERIAL TO MATCH EXISTING.
- 10) MINIMUM COVER: PROVIDE 18" MINIMUM COVER OVER SLEEVES, 18" MINIMUM COVER OVER TOP OF MAIN LINE AND CONTROL WIRING, AND 12" MINIMUM COVER OVER ANY OTHER INSTALLED IRRIGATION PIPING.

DRIP INSTALLATION NOTES

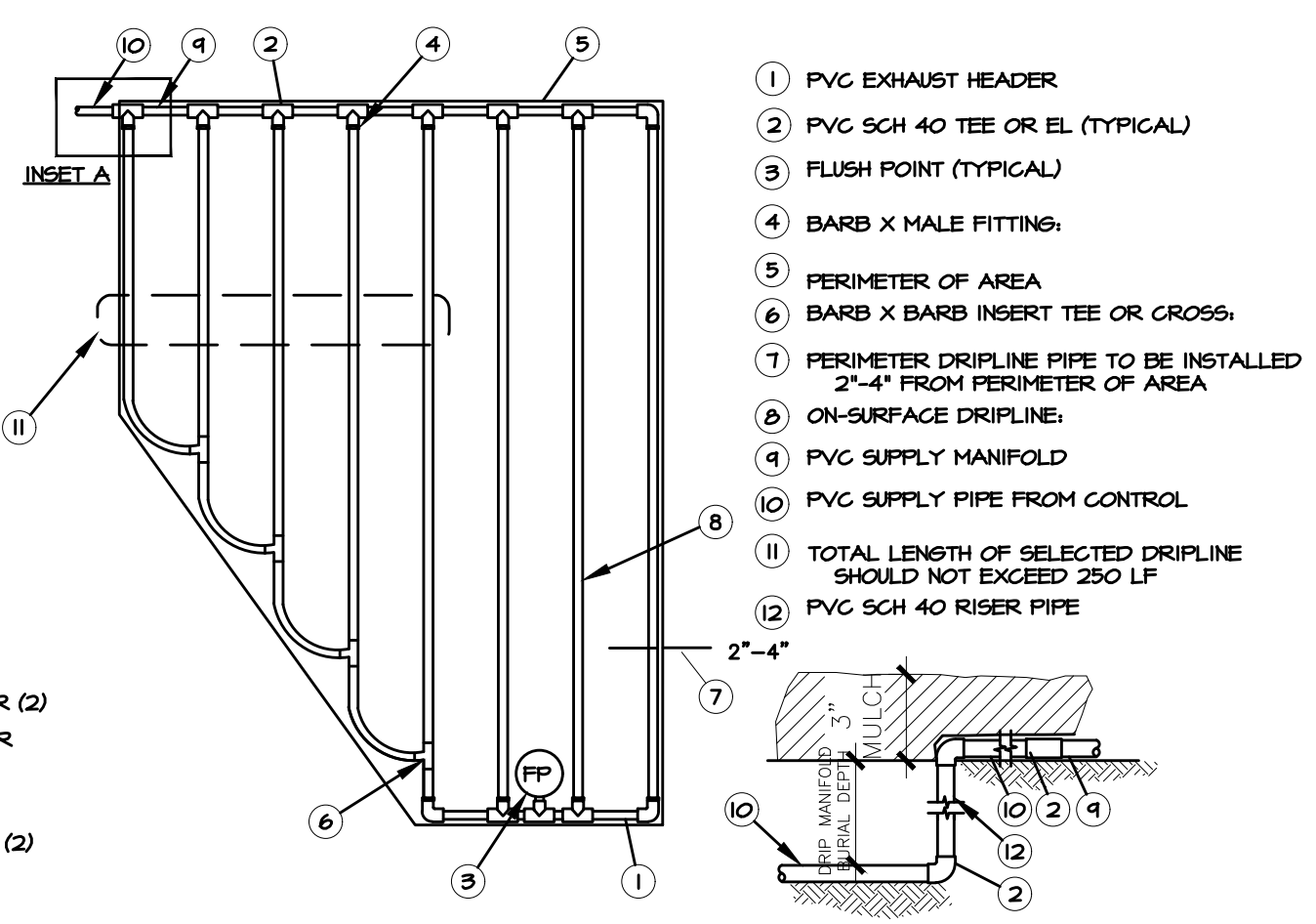
- 1) DRIPLINE SHALL BE LAID DIRECTLY UNDER THE 3" MULCH BED. MULCHING OF PLANT BEDS SHALL OCCUR AFTER DRIPLINE INSTALLATION.
- 2) DRIPLINE SHALL COVER THE FULL EXTENT OF ALL PLANTING BEDS WHERE IT IS INDICATED ON THE DRAWINGS, AT A SPACING OF 18" ON CENTER. ON THE DRIPLINE ZONES, THE ELECTRICAL VALVE, DISC FILTER, AND PRESSURE REGULATOR SHALL BE PLACED UNDERGROUND IN A PLASTIC VALVE BOX WITH COVER. ADJUST PRESSURE REGULATOR TO ACCOMMODATE EACH ZONE.
- 3) INDIVIDUAL SECTIONS OF DRIPLINE SHALL BE CONNECTED USING PVC PIPE, SIZED AS PER GPM REQUIREMENTS. DRIPLINE SHALL BE STAPLED OR OTHERWISE FASTENED TO THE FINISH GRADE EVERY 4' ON CENTER.



ON-SURFACE DRIPLINE INSTALLATION
NOTE: TOTAL LENGTH OF DRIPLINE SHALL NOT EXCEED 250 LF

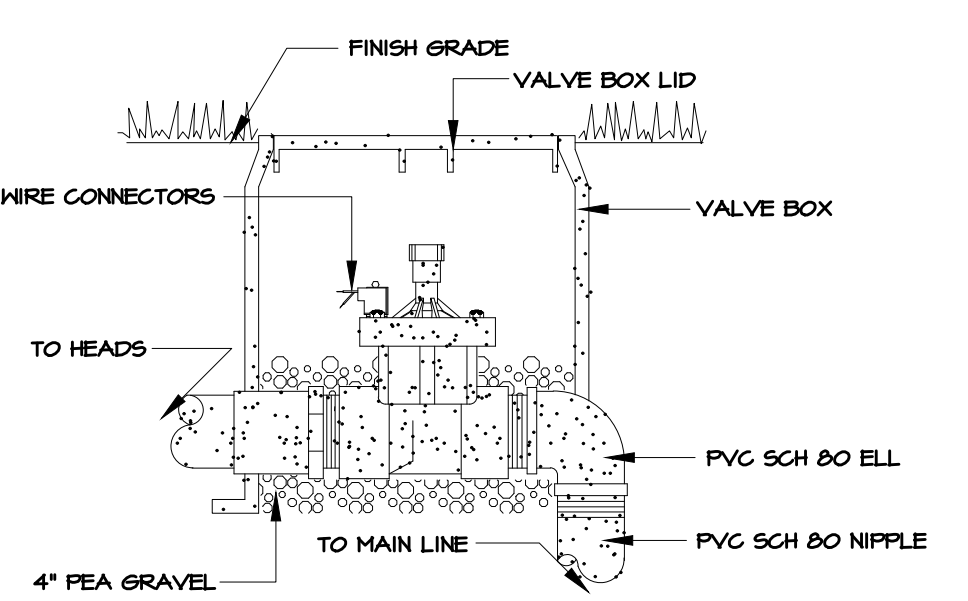
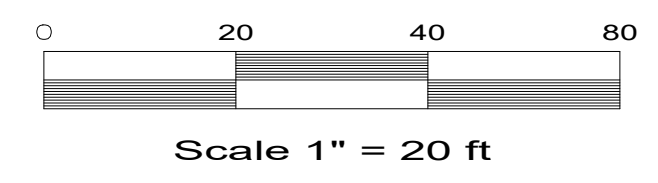
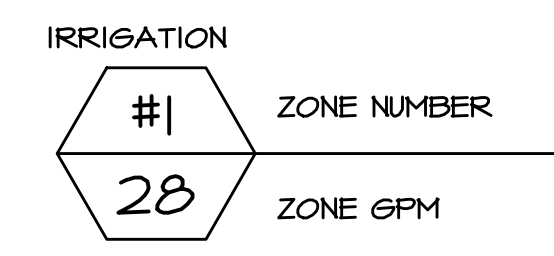


DRIP CONTROL ZONE KIT

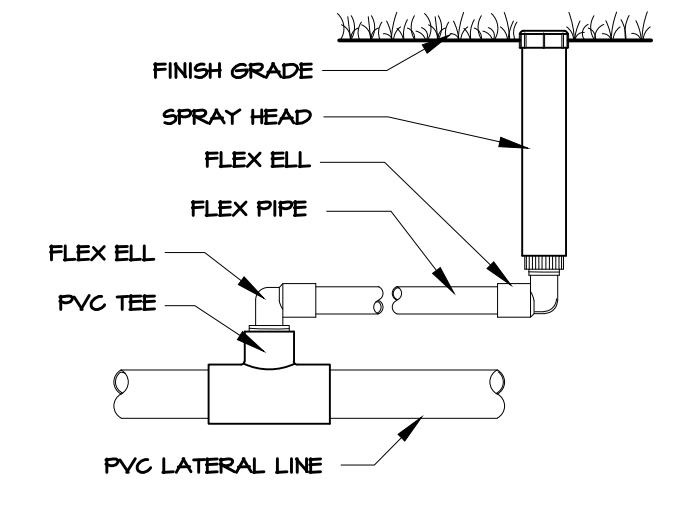


ON-SURFACE DRIPLINE INSTALLATION

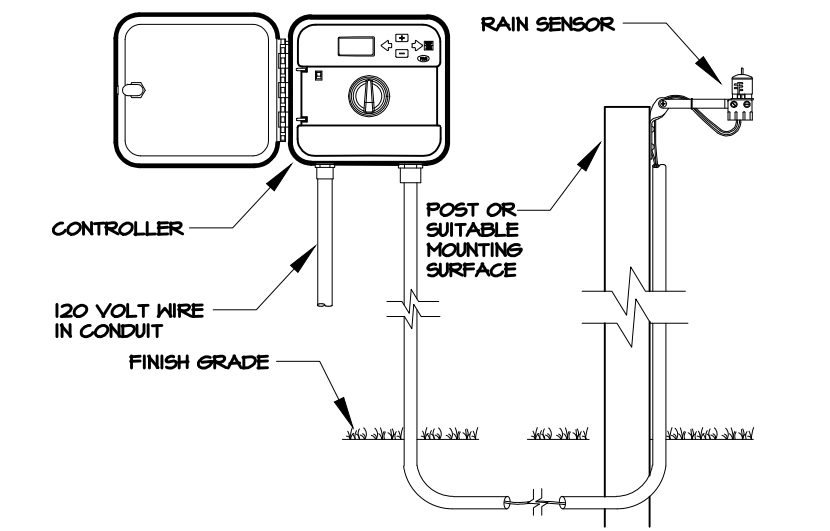
SYMBOL LEGEND



ELECTRIC VALVE DETAIL



6\"/>



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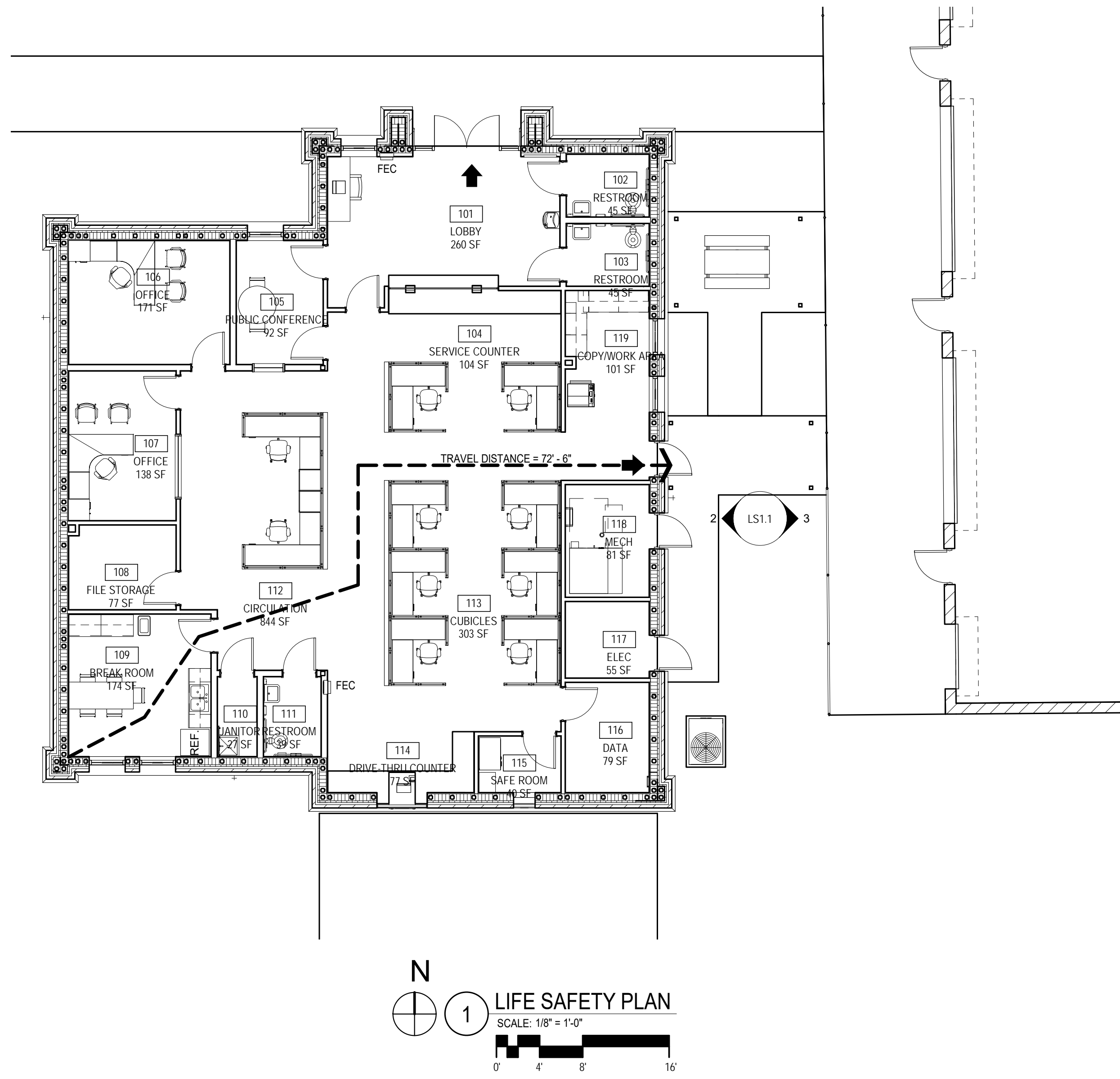
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Phase: 60% CONSTRUCTION DOCUMENTS
 Drawn By: BG
 Checked By: LAU
 Job No: 19035
 Date: FEBRUARY 5, 2021
 Feb 23, 2021 - 8:00am

IRRIGATION PLAN



1 LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

- BUILDING CODE ANALYSIS NOTES (FBC 2017 6TH EDITION)**
- 2020 FLORIDA BUILDING CODE, 7TH EDITION (FBC); THIS CODE INCLUDES THE 2020 FLORIDA BUILDING, MECHANICAL, PLUMBING AND FUEL GAS VOLUMES. FURTHER SEE THE 2020 FBC BUILDING CHAPTER 35, MECHANICAL CHAPTER 15, PLUMBING CHAPTER 13 AND FUEL GAS CHAPTER 8 FOR OTHER REFERENCED CODES AND STANDARDS.
- 2020 FLORIDA FIRE PREVENTION CODE (FFPC); THIS CODE ALSO INCLUDES THE FLORIDA VERSION OF NFPA 1 AND NFPA 101
- 2020 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
- CONSTRUCTION TYPE (FBC 602.2): TYPE II-B UNPROTECTED, UNSPRINKLED
 - BUILDING HEIGHT (FBC 504.2): ALLOWABLE 55' HEIGHT MAX
ACTUAL BUILDING HEIGHT: 14' - 0"
BUILDING AREA (FBC 506.2): 23,000 SF MAX
ACTUAL BUILDING AREA: 3,008 SF
 - FIRE RESISTANCE RATING (FBC TABLE 601): TYPE II-B, UNPROTECTED, UNSPRINKLED
PRIMARY STRUCTURAL FRAME = 0 HOURS
BEARING WALLS = 0 HOURS
NON-BEARING WALLS = 0 HOURS
FLOOR CONSTRUCTION = 0 HOURS
ROOF CONSTRUCTION = 0 HOURS
 - OCCUPANCY GROUP "B" BUSINESS (FBC 304.1)
OCCUPANT LOAD (TABLE 1004.1.2): 150 GROSS SF PER PERSON
3,008 / 100 = 21 PERSONS
 - TRAVEL DISTANCE (TABLE 1017.2): 200'-0" MAX TRAVEL
 - MINIMUM CORRIDOR WIDTH (TABLE 1020.2) = 44"
 - WALKING SURFACES ALONG ACCESSIBLE ROUTES:
36" MIN. CLEAR WIDTH (FAC 403.5.1)
WIDTH MAY BE REDUCED TO 32" FOR LENGTH UP TO 24" MAX.
 - SERVICE COUNTERS:
MUST BE MAX 36" HIGH FOR MIN. OF 36" LONG FOR PARALLEL APPROACH (FAC 904.4.1)
 - FOR ADDITIONAL LIFE SAFETY AND FIRE ALARM AND RELATED INFORMATION SEE ARCHITECTURAL FLOOR PLANS AND ELECTRICAL DRAWINGS

PORTABLE FIRE EXTINGUISHERS

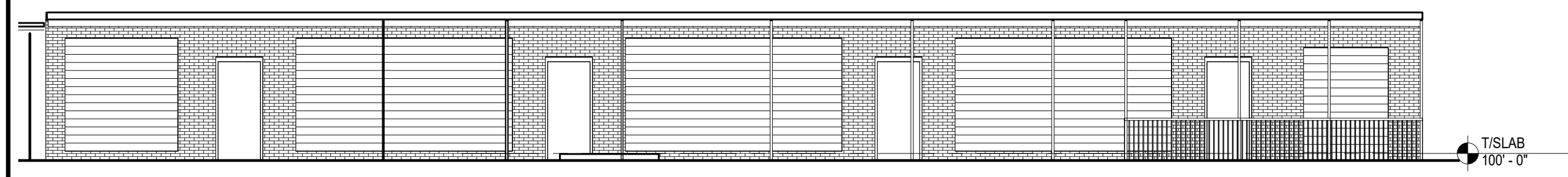
1. OCCUPANCY:	ORDINARY HAZARD CLASS A
2. EXTINGUISHER:	TYPE: 2-A/10-BC
3. PROJECT AREA:	3,008 SF
4. MAX SF PER EXTINGUISHER	1,500
5. TOTAL REQUIRED	2
6. TOTAL PROVIDED	2

PLUMBING FIXTURE CALCULATION

OCCUPANT LOAD = 21
21 / 2 = 11 MALE, 11 FEMALE
PER TABLE 403.1 FBC PLUMBING

WATER CLOSETS	REQUIRED	PROVIDED
MALE	1 PER 25 FOR FIRST 50 THEN 1 PER 50 AFTER	1 MALE
FEMALE		1 FEMALE
LAVATORIES		
MALE	1 PER 40 FOR FIRST 40 THEN 1 PER 80 AFTER	1 MALE
FEMALE		1 UNISEX
		1 MALE
		1 FEMALE
DRINKING FOUNTAINS	1 PER 100	1
SERVICE SINKS	1	1

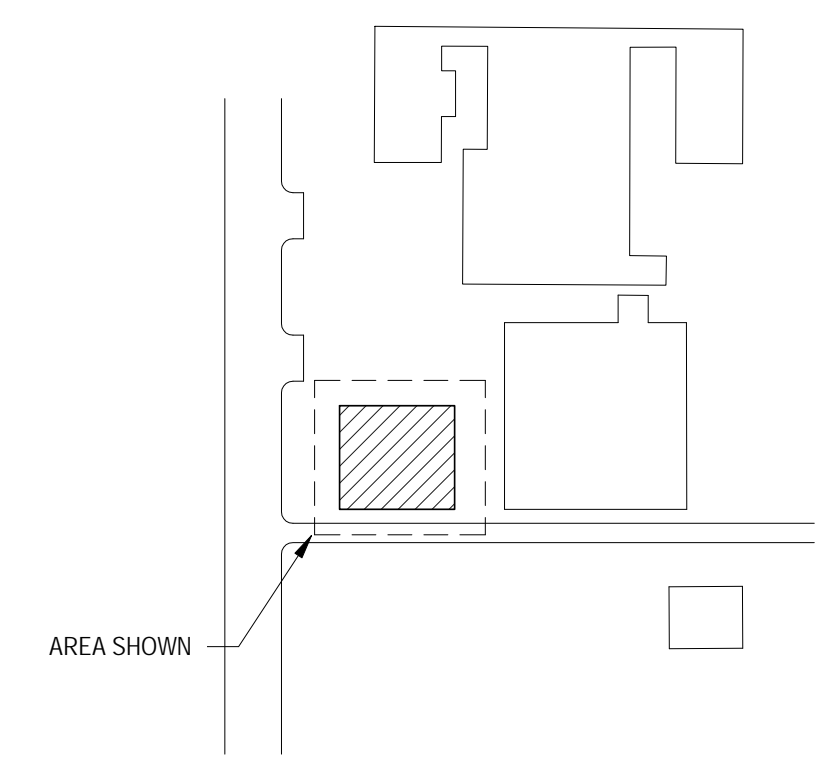
- LIFE SAFETY PLAN LEGEND**
- ➔ EXIT/ PRIMARY EGRESS
 - ➔ EGRESS TRAVEL PATH, MAX DISTANCE = 200' - 0" PER FBC 1017.2
 - FE FIRE EXTINGUISHER (TYPE 4-A60-BC), ON WALL BRACKET



3 EXISTING BUILDING ELEVATION
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'



2 NEW BUILDING ELEVATION
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'



A KEY PLAN
SCALE: NTS

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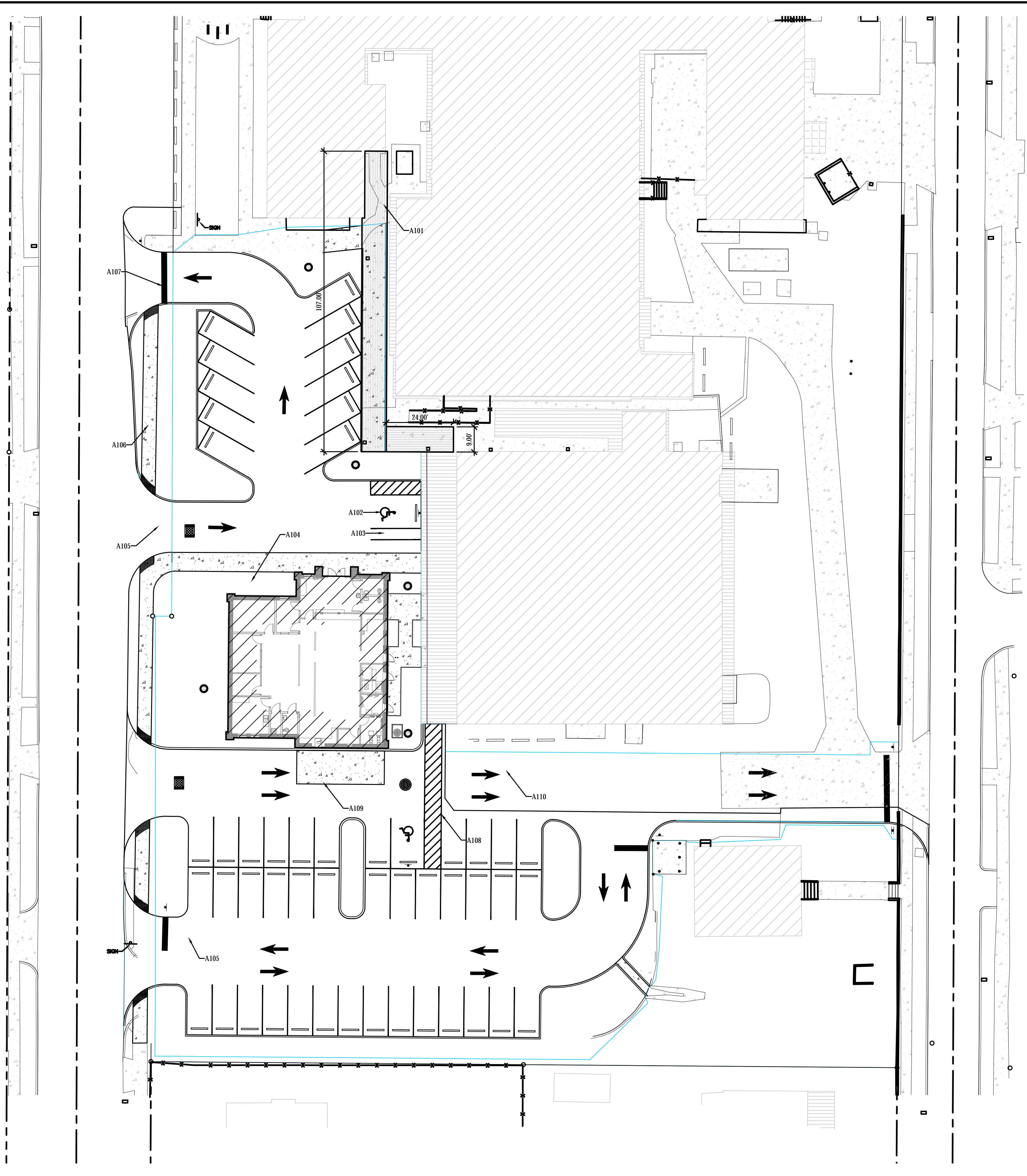
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LIFE SAFETY PLAN

LS1.1

T:\01 - New\04 - 03851\03851-03851-ARCH\01 - OVERALL ARCHITECTURAL SITE PLAN.dwg Mar 05, 2021 - 5:29pm



OVERALL ARCHITECTURAL SITE PLAN NOTES

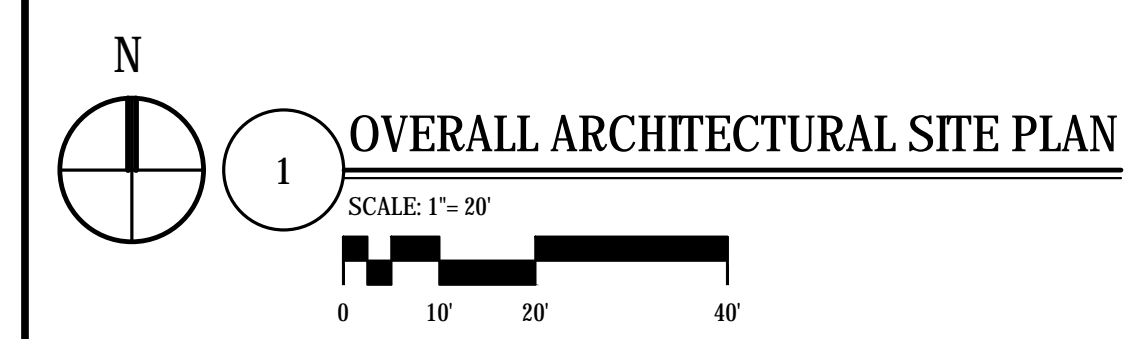
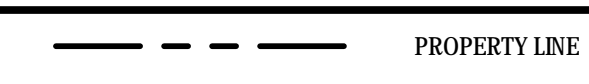
KEYNOTE LEGEND

NO.	DESCRIPTION
A101	NEW ALUMINUM CANOPY TO TIE INTO BUILDING AND EXISTING CANOPY ONSITE
A102	NEW HANDICAP PARKING SPACE. SEE CIVIL FOR DETAILS
A103	NEW MOTORCYCLE PARKING SPACES. SEE CIVIL FOR DETAILS
A104	SEE LANDSCAPE DRAWINGS FOR SOD, PLANTING AND IRRIGATION DETAILS
A105	NEW ASPHALT PARKING. SEE CIVIL FOR DETAILS
A106	NEW SIDEWALK WITH TACTILE SURFACE AT ENDS. SEE CIVIL FOR DETAILS
A107	NEW PARKING STRIPING. SEE CIVIL FOR DETAILS
A108	NEW HANDICAP ACCESS PATH STRIPING. SEE CIVIL FOR DETAILS
A109	NEW CONCRETE PAD. FLUSH WITH ASPHALT DRIVEWAY. SEE STRUCTURAL AND CIVIL FOR DETAILS
A110	EXISTING ASPHALT PARKING TO REMAIN

BUILDING STYLE KEY



DRAWING KEY



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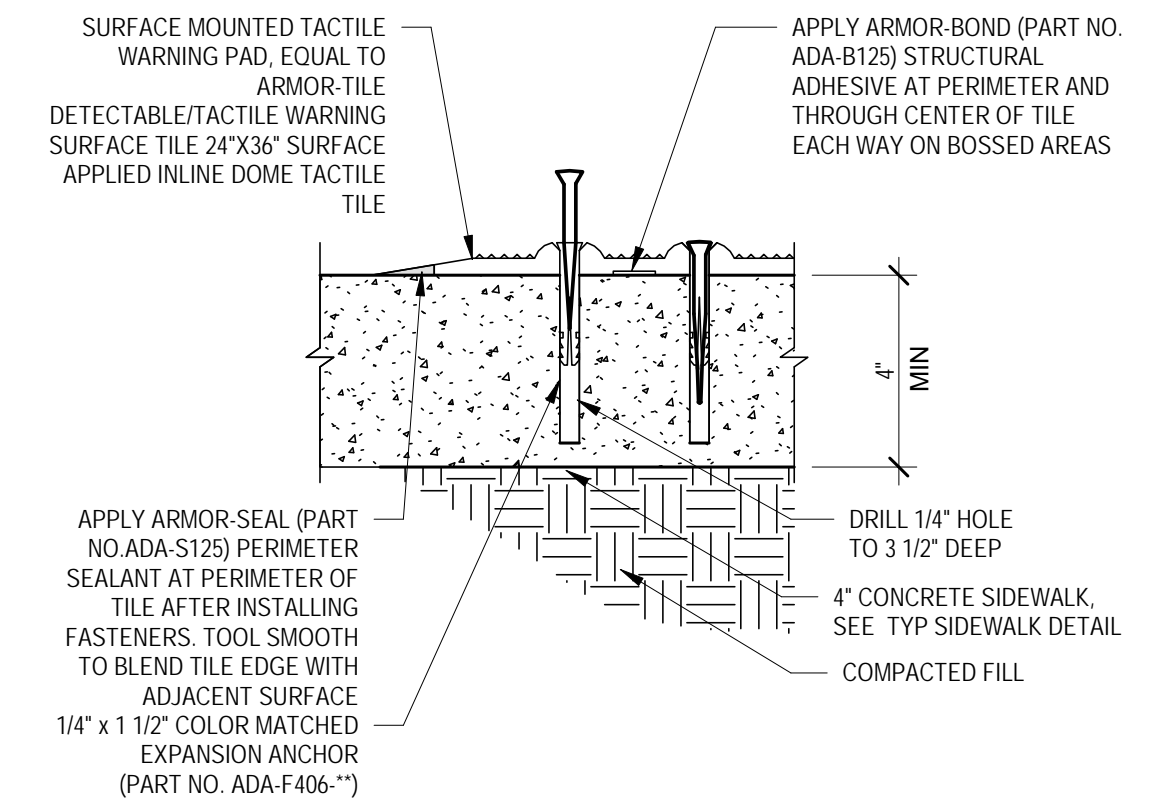
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△	03/05/21	60% CDS
△		
△		
△		

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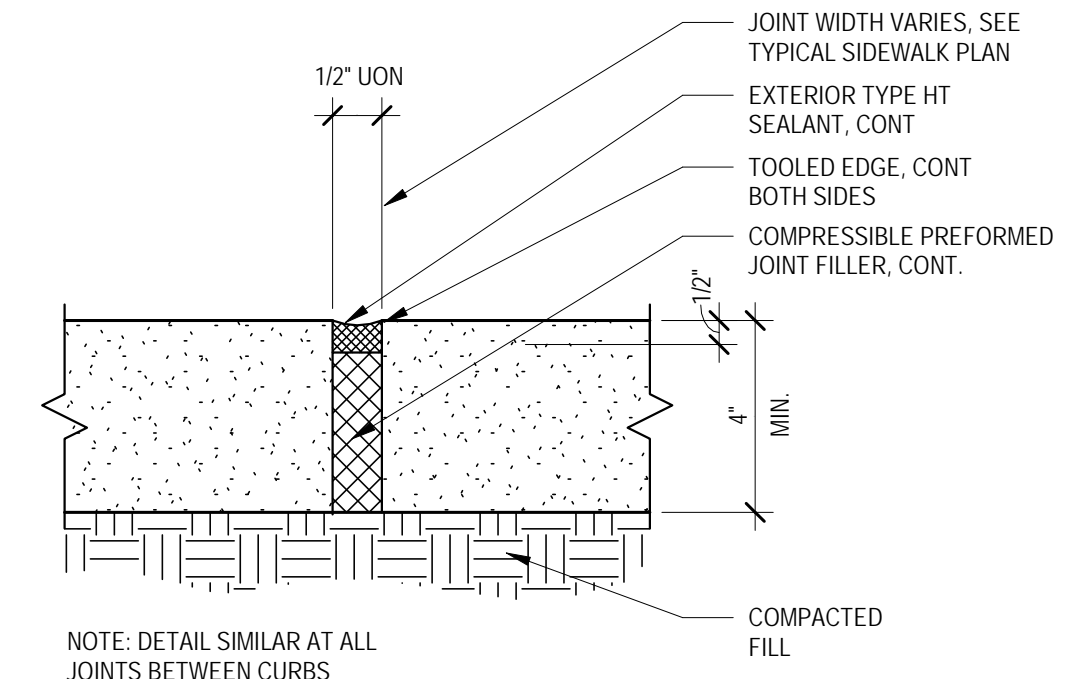
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Checked By: CKR
Job No: 19035
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Mar 05, 2021 - 5:29pm

OVERALL ARCHITECTURAL SITE PLAN

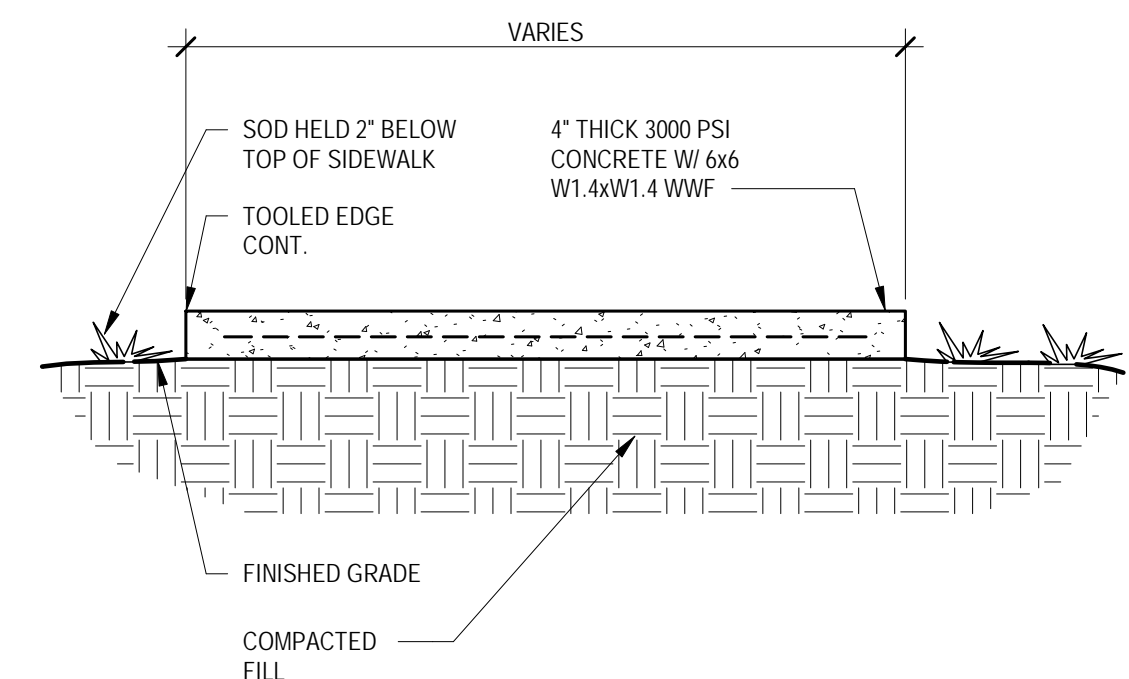
A0.1



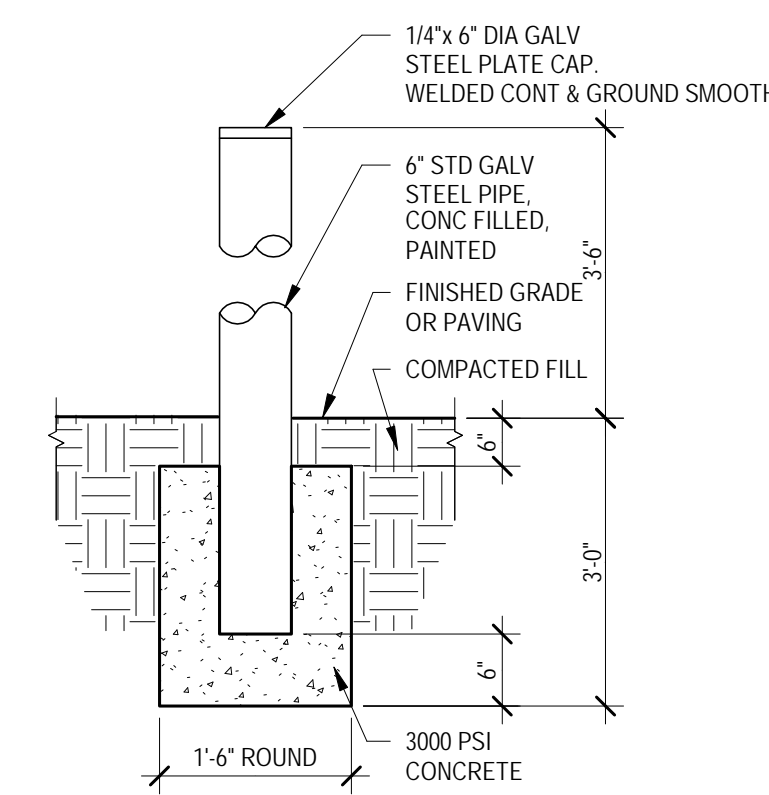
4 TACTILE WARNING PAD EDGE DETAIL
SCALE: 3" = 1'-0"



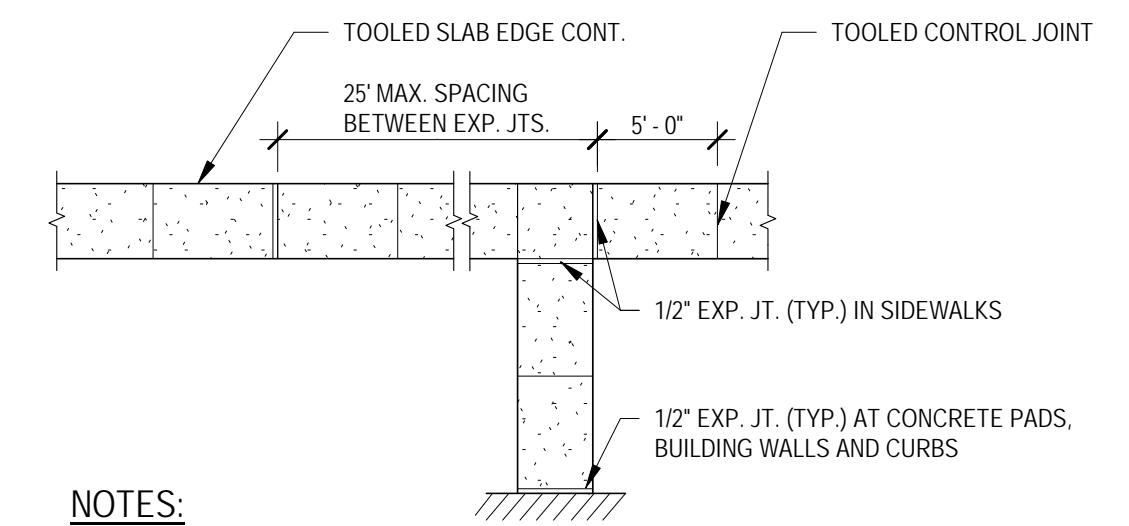
3 TYPICAL SIDEWALK EXPANSION JOINT DETAIL
SCALE: 3" = 1'-0"



2 SIDEWALK SECTION
SCALE: 3/4" = 1'-0"



5 TYP BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



- NOTES:**
1. ALL SIDEWALKS SHALL BE MIN. 4" THICK, 3000 PSI CONC. REINFORCED, VON. CONTRACTION CONTROL JOINTS SHALL BE SPACED @ 5'-0" O.C. MAX. & AS INDICATED ON SITE PLAN.
 2. CONTRACTION CONTROL JOINTS SHALL BE TOOLED 1" DEEP AND EDGED W/ 1/8" RADIUS.
 3. 1/2" EXPANSION JOINT MATERIAL REQUIRED WHERE CONCRETE SIDEWALK MEETS DISSIMILAR CONCRETE STRUCTURE.

1 TYPICAL SIDEWALK PLAN DETAIL
SCALE: 1/8" = 1'-0"

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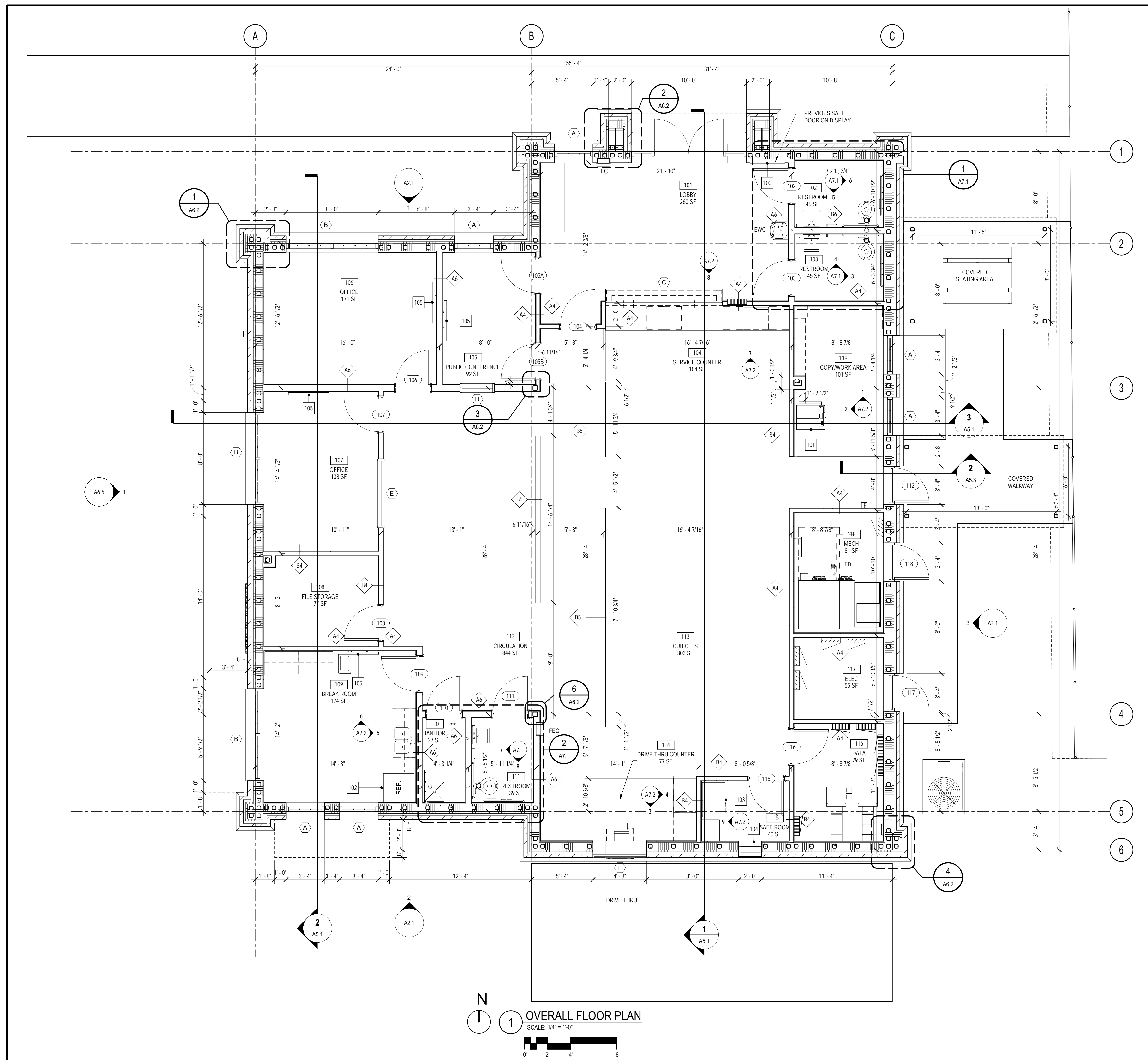
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SITE DETAILS

A0.2



KEYNOTE LEGEND

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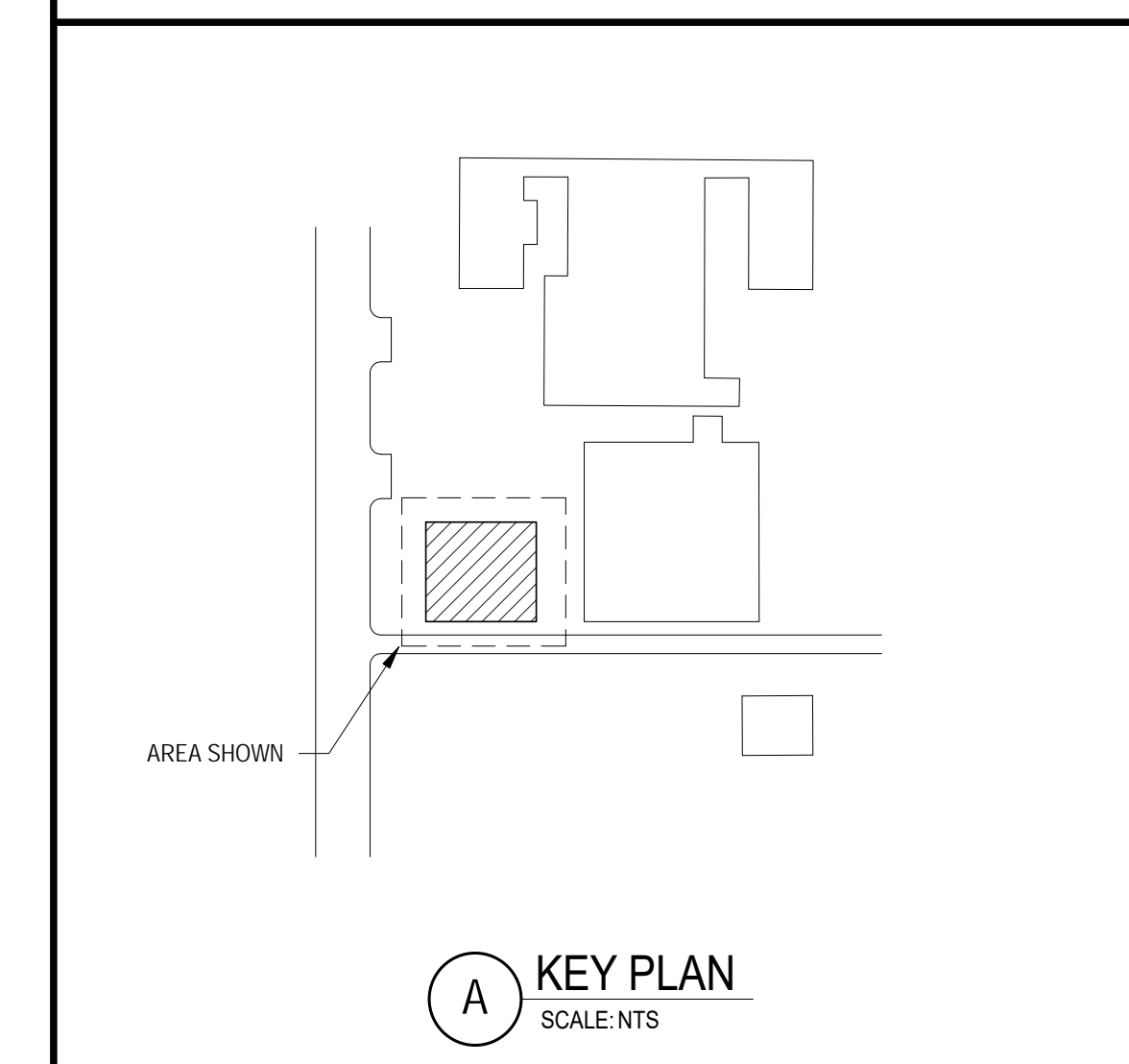
GENERAL EQUIPMENT LIST

ITEM STATUS LEGEND
 A -- PROVIDED BY CONTRACTOR, INSTALLED BY CONTRACTOR
 B -- PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
 C -- PROVIDED BY OWNER, INSTALLED BY OWNER

NO.	STATUS	DESCRIPTION	COMMENTS
100	B	SAFE DOOR	
101	C	COPIER	
102	A	REFRIGERATOR	
103	B	SAFE	
104	A	NIGHT DROP BOX	
105	A	WALL MOUNTED TV	

DRAWING KEY

	STUD WALL, THICKNESS VARIES, SEE WALL TYPES
	CMU WALL, THICKNESS VARIES, SEE WALL TYPES
	ONE HOUR FIRE-RATED PARTITION
	TWO HOUR FIRE-RATED PARTITION
	SMOKE-STOP PARTITION
	WALL TYPE
	DOOR, SEE SCHEDULE
	WINDOW, SEE SCHEDULE
	EQUIPMENT, SEE SCHEDULE
	INTERIOR ELEVATION
	BATTERY OPERATED CLOCK MTD 8'-0" AFF TO CENTERLINE



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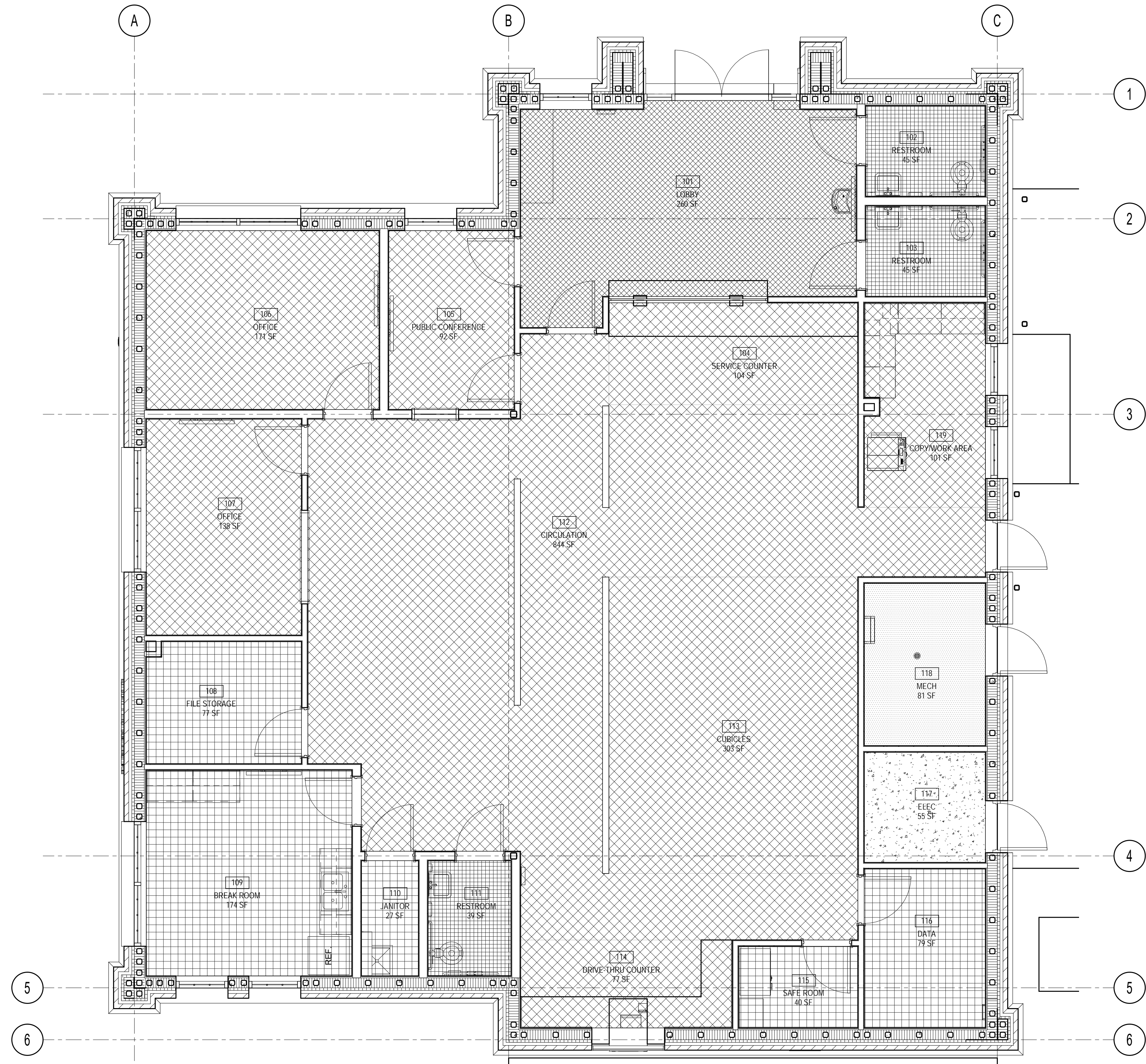
OVERALL FLOOR PLAN

A1.1

ROOM FINISH SCHEDULE											
NO.	NAME	FLOOR MAT / FIN		BASE MAT	NORTH WALL MAT	EAST WALL MAT	SOUTH WALL MAT	WEST WALL MAT	CEILING		REMARKS
		PT	CT						MAT	HEIGHT	
101	LOBBY	PT	PT		GYPP	GYPP	GYPP	GYPP	ACT	9'-8"	
102	RESTROOM	CT	CT		CT	CT	CT	CT	ACT	8'-6"	
103	RESTROOM	CT	CT		CT	CT	CT	CT	ACT	8'-6"	
104	SERVICE COUNTER	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-8"	
105	PUBLIC CONFERENCE	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-0"	
106	OFFICE	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-0"	
107	OFFICE	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-0"	
108	FILE STORAGE	VCT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-0"	
109	BREAK ROOM	VCT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-0"	
110	JANITOR	VCT	V		GYPP	GYPP	GYPP	GYPP	GYP	8'-6"	
111	RESTROOM	CT	CT		CT	CT	CT	CT	ACT	8'-6"	
112	CIRCULATION	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	VARIES	
113	CUBICLES	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-8"	
114	DRIVE-THRU COUNTER	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-8"	
115	SAFE ROOM	VCT	V		GYPP	GYPP	GYPP	GYPP	ACT	8'-6"	
116	DATA	VCT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-0"	
117	ELEC	SC	V		GYPP	GYPP	GYPP	GYPP	EXP		
118	MECH	EP	V		GYPP	GYPP	GYPP	GYPP	EXP		
119	COPYWORK AREA	CPT	V		GYPP	GYPP	GYPP	GYPP	ACT	9'-0"	

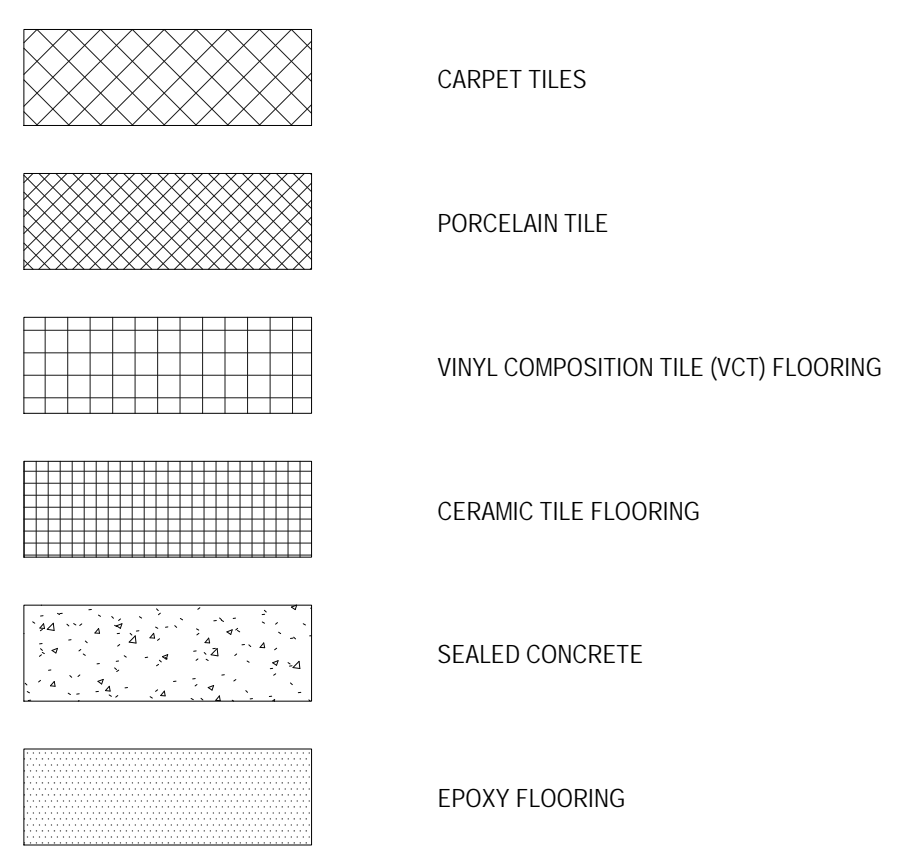
FINISH SCHEDULE LEGEND	
ACT	ACOUSTICAL CEILING TILE
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
EP	EPOXY PAINT
EXP	EXPOSED
SWB	GYPSPUM WALL BOARD
LVT	LUXURY VINYL TILE
MLP	METAL LINER PANEL
MRB	MOISTURE RESISTANT WALL BOARD
P	PAINT
PC	POLISHED CONCRETE
SC	SEALED CONCRETE
ST	STUCCO
STR	STRUCTURE
V	VINYL
VCT	VINYL COMPOSITION TILE
DC	DENSIFIED/SEALED CONCRETE

- FINISH SCHEDULE NOTES**
1. ALL TOILET ROOM WALLBOARD SURFACES TO BE EPOXY PAINT
 2. PAINT ALL EXPOSED STRUCTURE

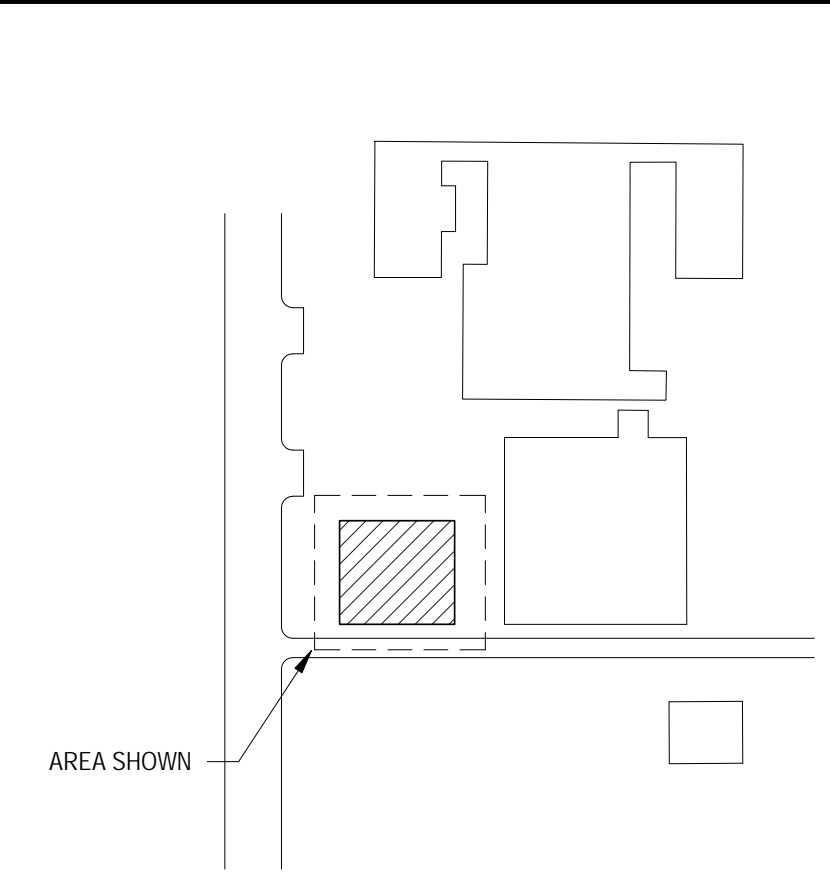
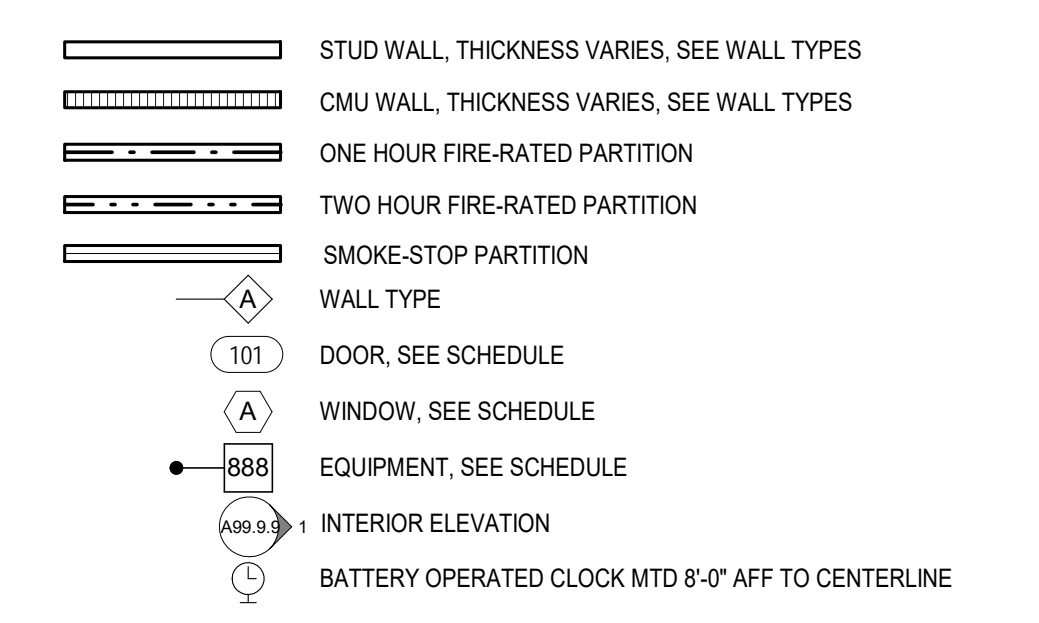


ROOM FINISH FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR FINISH PLAN KEY



DRAWING KEY



KEY PLAN
SCALE: NTS

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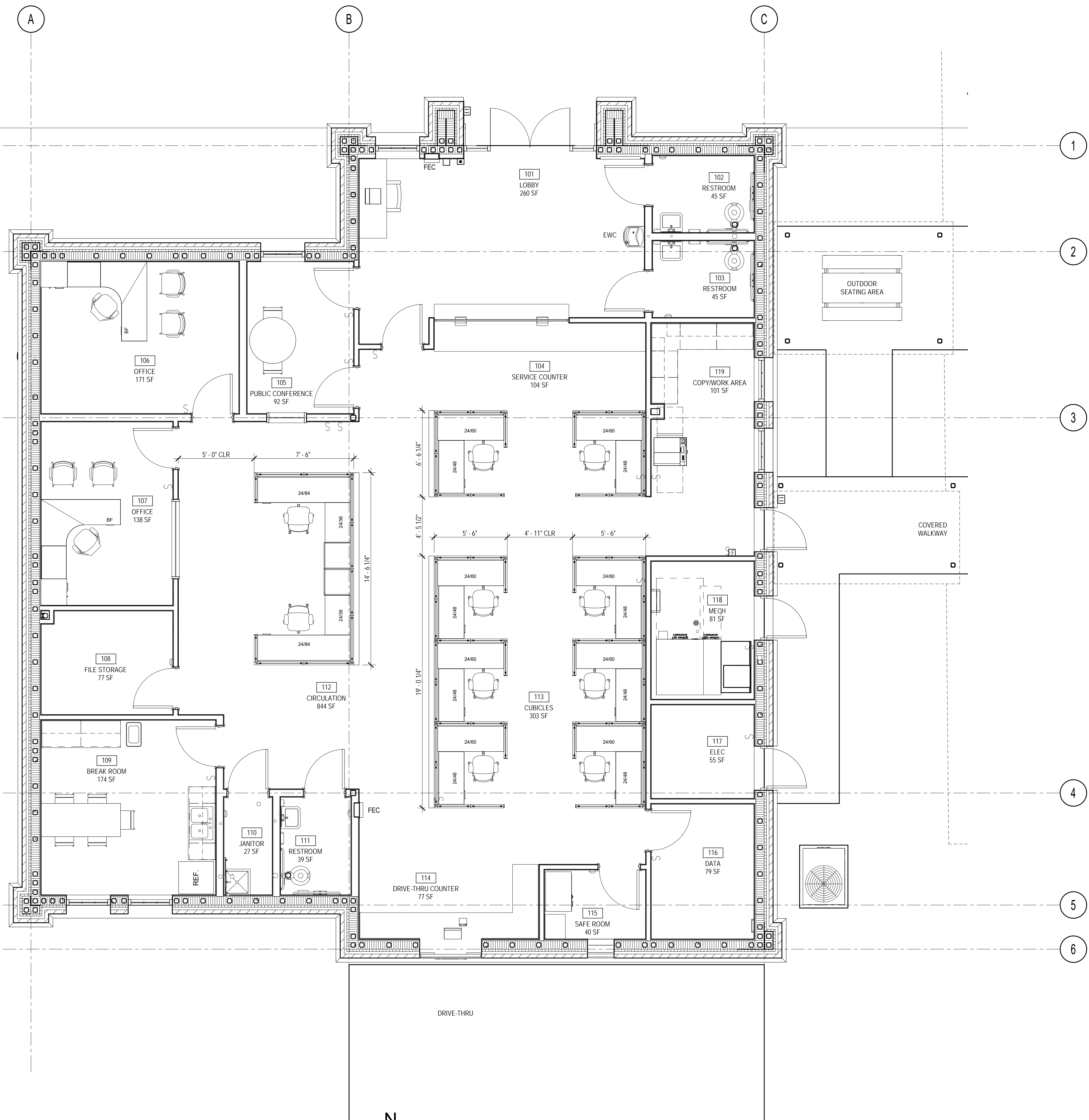
FINISH PLAN & ROOM FINISH SCHEDULE

A1.2

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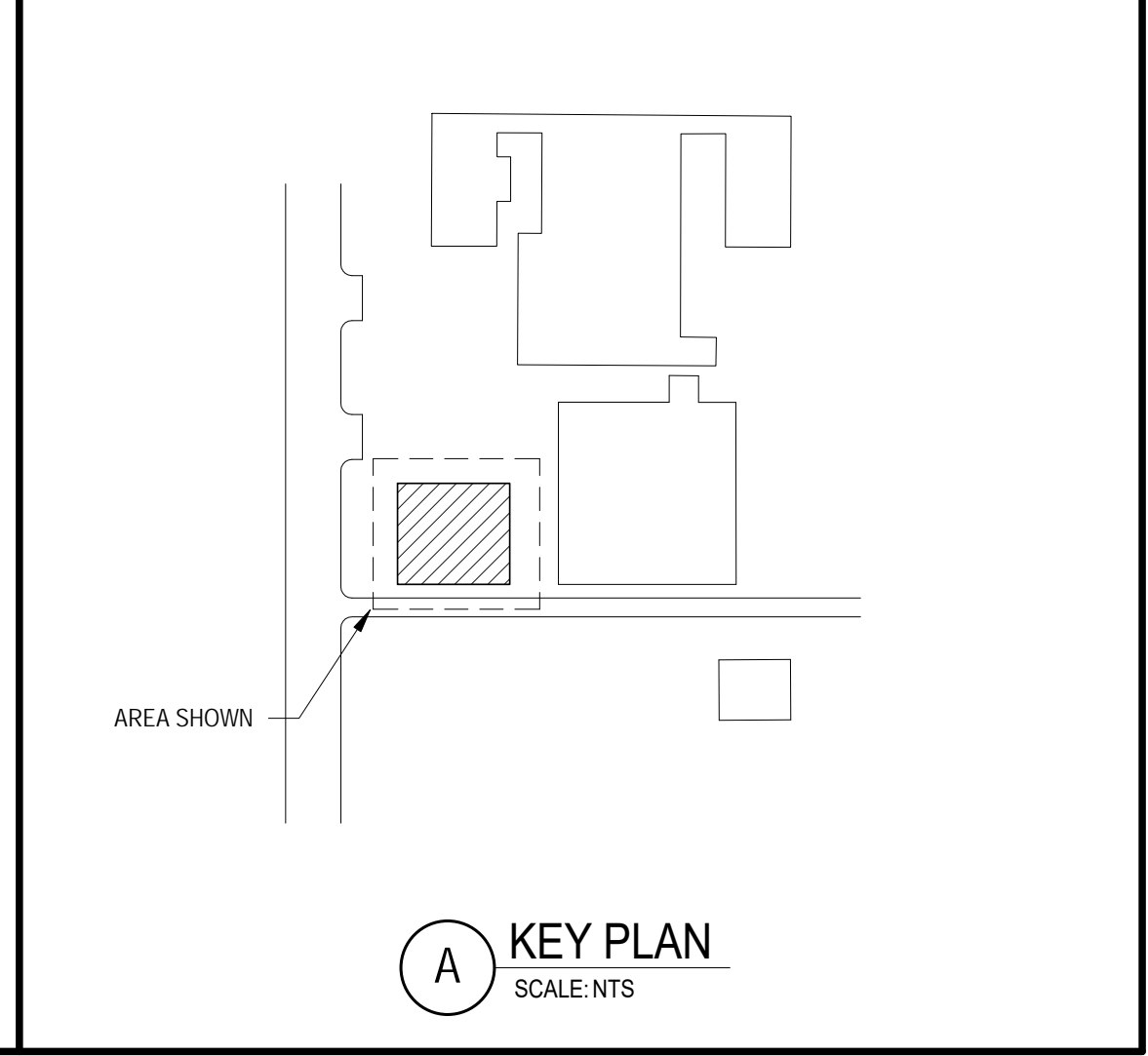
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1 OVERALL FURNITURE PLAN
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND	
NO.	DESCRIPTION
1	STUD WALL, THICKNESS VARIES, SEE WALL TYPES
2	CMU WALL, THICKNESS VARIES, SEE WALL TYPES
3	ONE HOUR FIRE-RATED PARTITION
4	TWO HOUR FIRE-RATED PARTITION
5	SMOKE-STOP PARTITION
6	WALL TYPE
A	DOOR, SEE SCHEDULE
101	WINDOW, SEE SCHEDULE
888	EQUIPMENT, SEE SCHEDULE
888.5	INTERIOR ELEVATION
L	BATTERY OPERATED CLOCK MTD 8'-0" AFF TO CENTERLINE

DRAWING KEY	
	STUD WALL, THICKNESS VARIES, SEE WALL TYPES
	CMU WALL, THICKNESS VARIES, SEE WALL TYPES
	ONE HOUR FIRE-RATED PARTITION
	TWO HOUR FIRE-RATED PARTITION
	SMOKE-STOP PARTITION
	WALL TYPE
	DOOR, SEE SCHEDULE
	WINDOW, SEE SCHEDULE
	EQUIPMENT, SEE SCHEDULE
	INTERIOR ELEVATION
	BATTERY OPERATED CLOCK MTD 8'-0" AFF TO CENTERLINE



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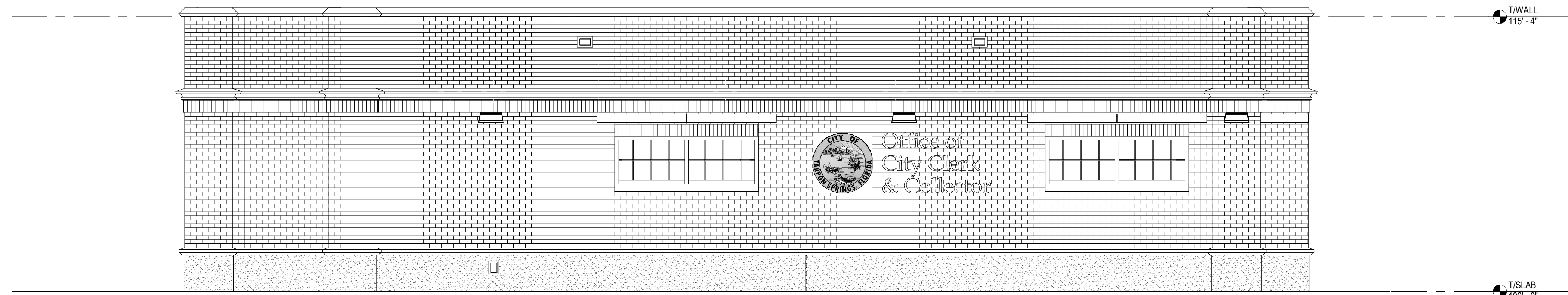
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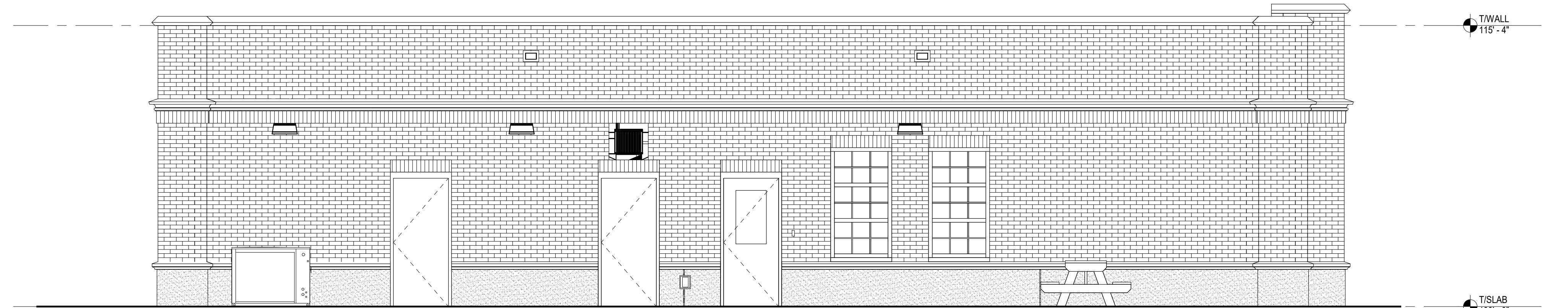
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OVERALL FURNITURE PLAN

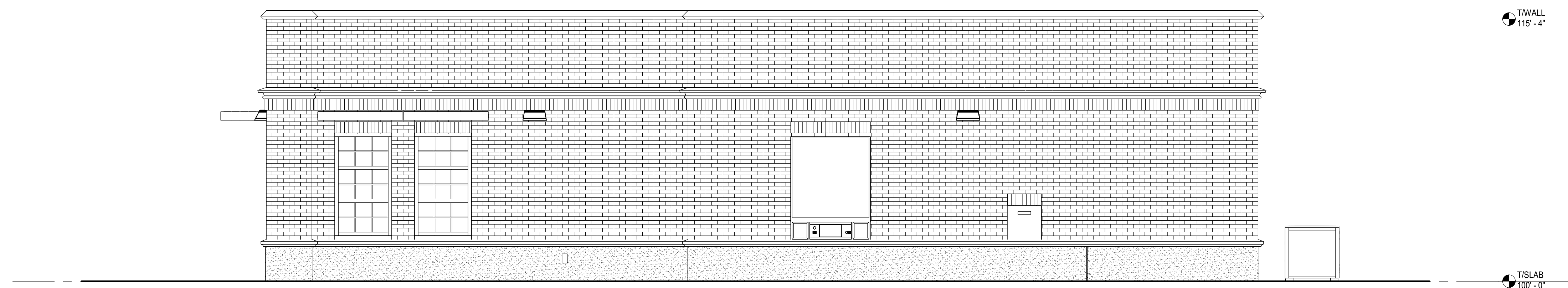
A1.3



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"
0' 4' 8' 16'



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"
0' 4' 8' 16'



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
0' 4' 8' 16'



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
0' 4' 8' 16'

KEYNOTE LEGEND

NO.	DESCRIPTION



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ELEVATIONS

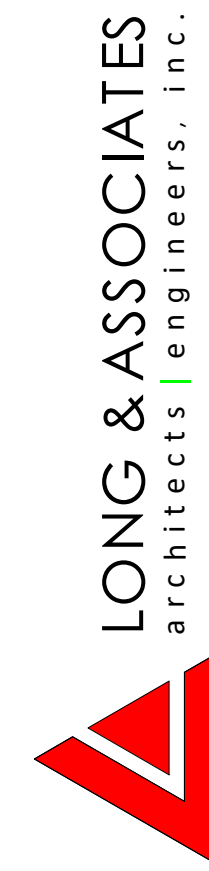
A2.1



2 SOUTHWEST PERSPECTIVE
SCALE: NTS



1 NORTHWEST PERSPECTIVE
SCALE: NTS



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PERSPECTIVES

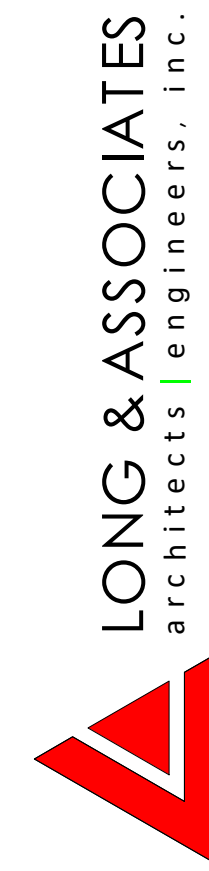
A2.2



2
NORTHEAST
PERSPECTIVE
SCALE: NTS



1
SOUTHEAST
PERSPECTIVE
SCALE: NTS



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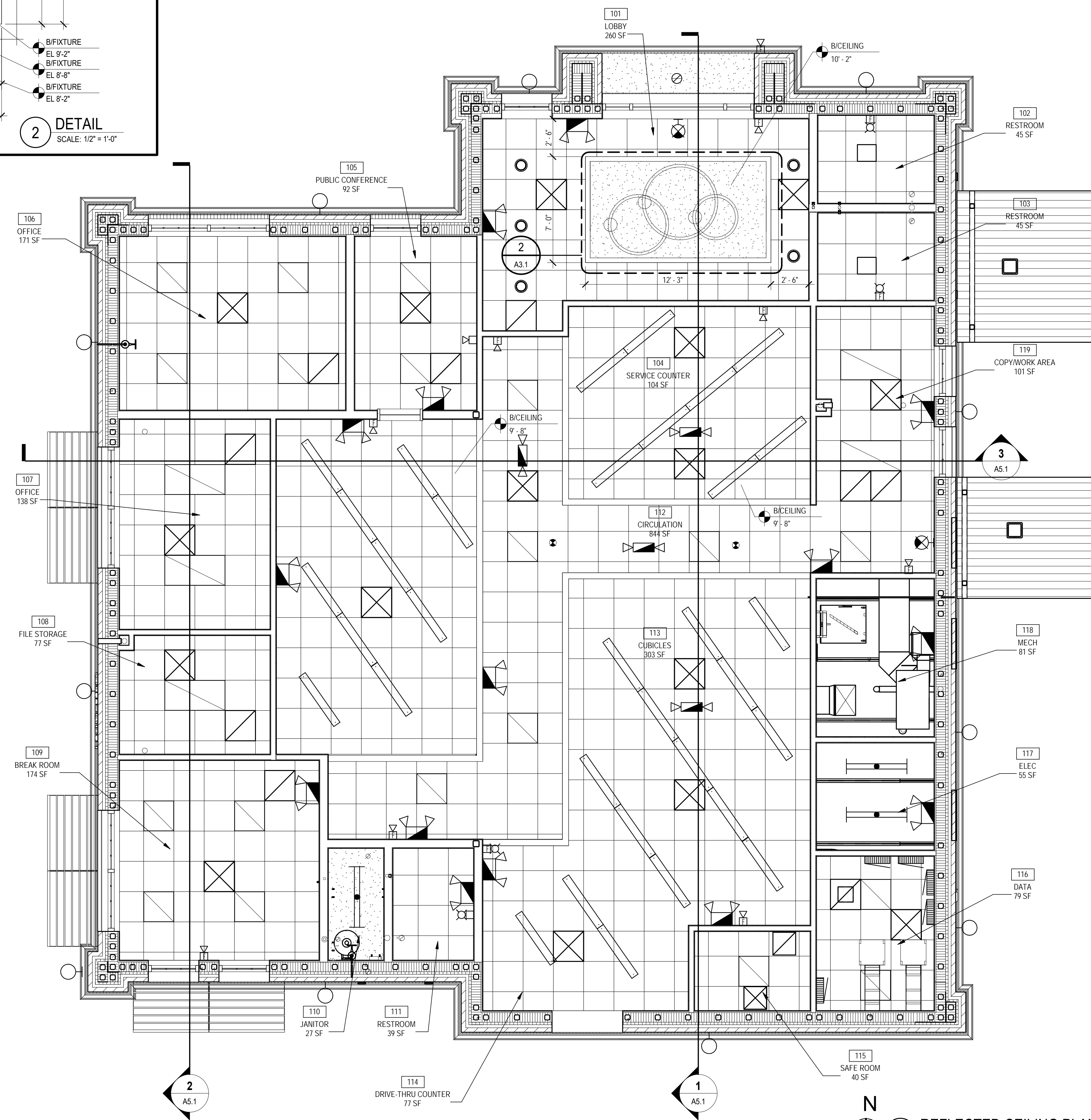
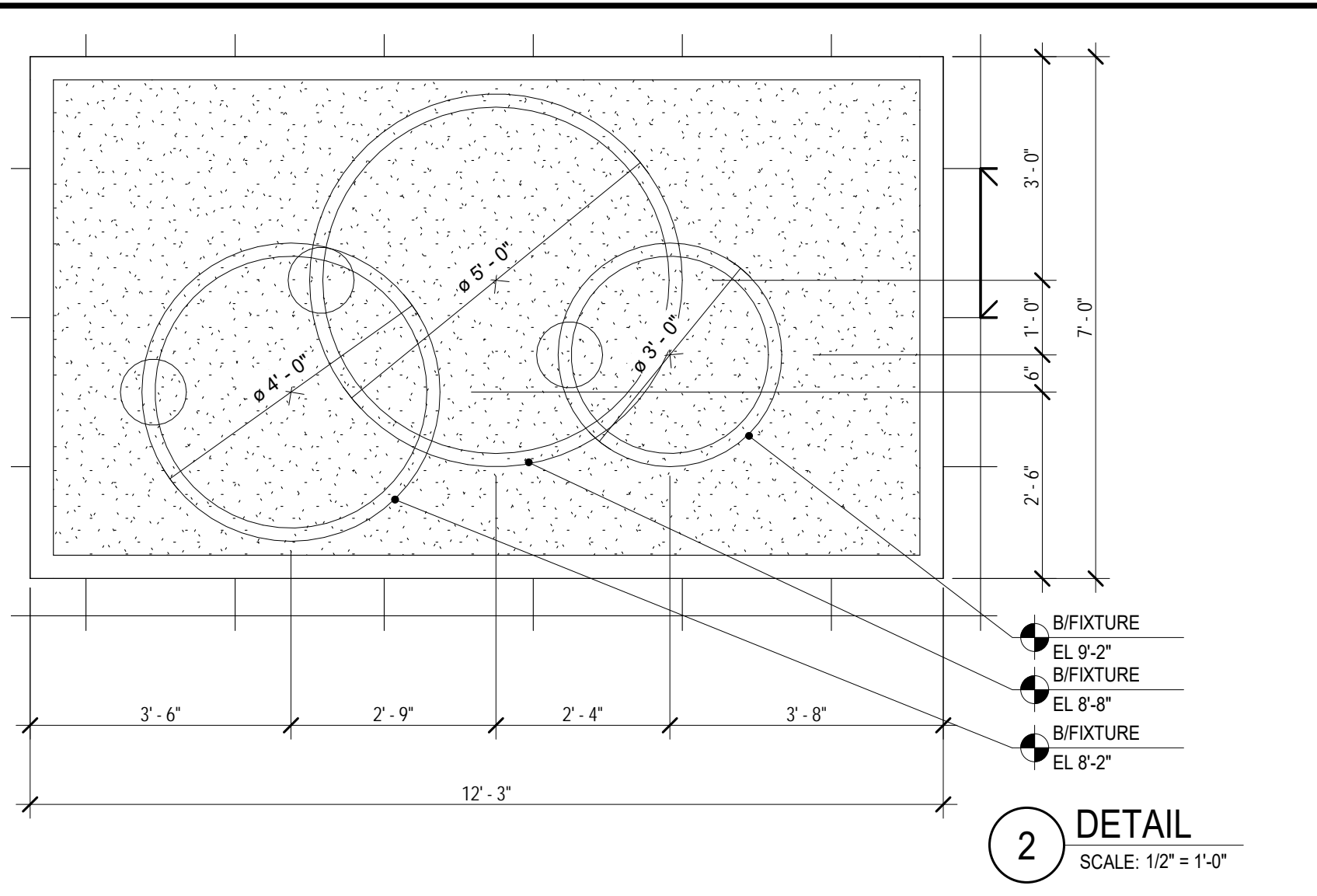
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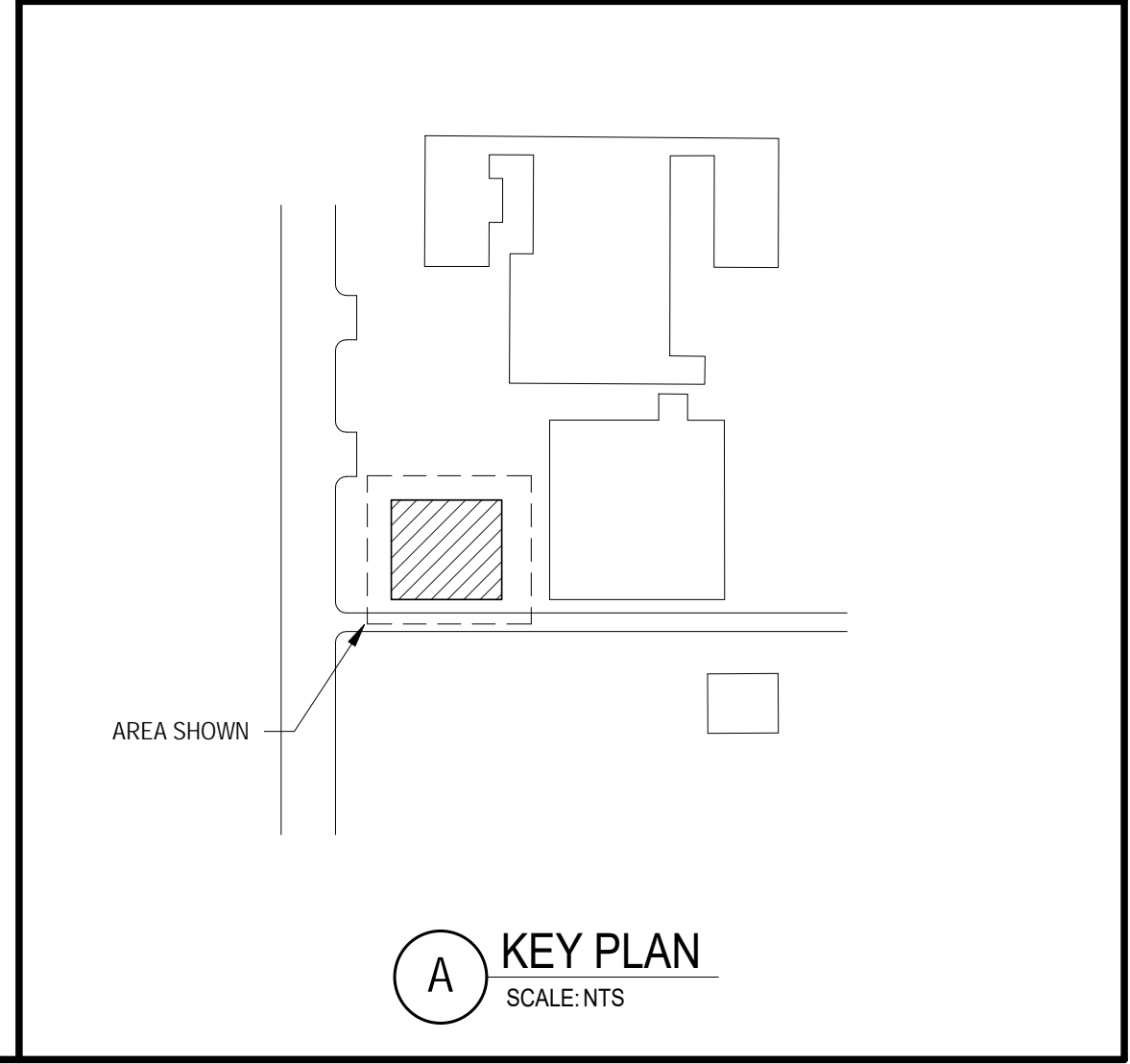
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PERSPECTIVES

A2.3



KEYNOTE LEGEND	
NO.	DESCRIPTION
⊙	SMOKE DETECTOR
⊠	RETURN EXHAUST GRILLE
⊞	EXHAUST FAN
⊞	SUPPLY AIR DIFFUSER
□	SURFACE FLUORESCENT 1'x4' LIGHT FIXTURE
□	RECESSED FLUORESCENT 2'x4' LIGHT FIXTURE
□	EMERGENCY RECESSED FLUORESCENT 2'x4' LIGHT FIXTURE
□	SURFACE FLUORESCENT 2'x4' LIGHT FIXTURE
□	EMERGENCY SURFACE FLUORESCENT 2'x4' LIGHT FIXTURE
□	OPEN-PAINTED FINISH
—	FLUORESCENT INDUSTRIAL OR STRIP LIGHT FIXTURE
—	EMERGENCY FLUORESCENT INDUSTRIAL OR STRIP LIGHT FIXTURE
—	PENDANT FIXTURES
—	EMERGENCY PENDANT FIXTURES
○	SURFACE OR RECESSED DOWN LIGHT FIXTURE
○	EMERGENCY SURFACE OR RECESSED DOWN LIGHT FIXTURE
⊗	EXIT SIGN
○	WALL MOUNTED LIGHT FIXTURE
□	2'x2' SUSPENDED CEILING GRID AND ACOUSTICAL PANEL
□	GYP BD CEILING OR SOFFIT DROP
□	CANOPY METAL INSULATED ROOF DECK SYSTEM
—	CURTAIN TRACK
⊙	CEILING MOUNTED FIRE ALARM SPEAKER
●	PENDENT SPRINKLER HEAD
○	PENDENT CONCEALED SPRINKLER HEAD
○	UPRIGHT SPRINKLER HEAD
⊞	POWER POLE
⊞	ACCESS PANEL



1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

0' 4' 8' 16'

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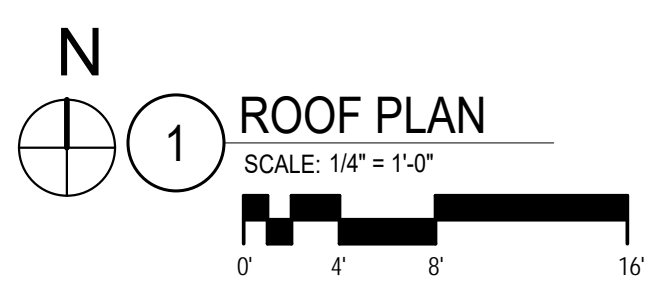
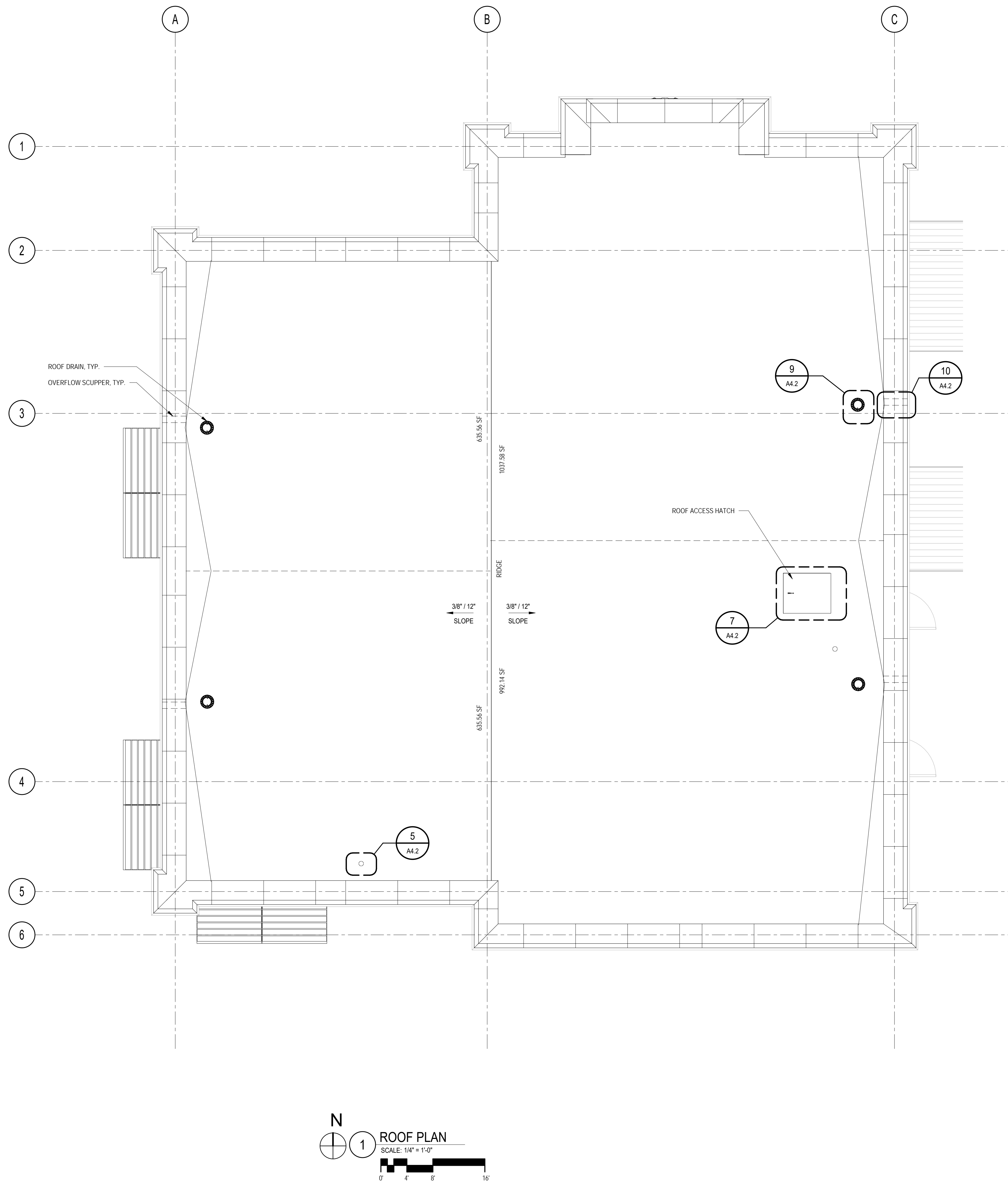
No.	Date	Issues & Revisions
1	10/23/2020	SCHEMATIC DRAWINGS
2	12/10/2020	DESIGN DEVELOPMENT
3	03/05/2021	60% CONSTRUCTION DOCS

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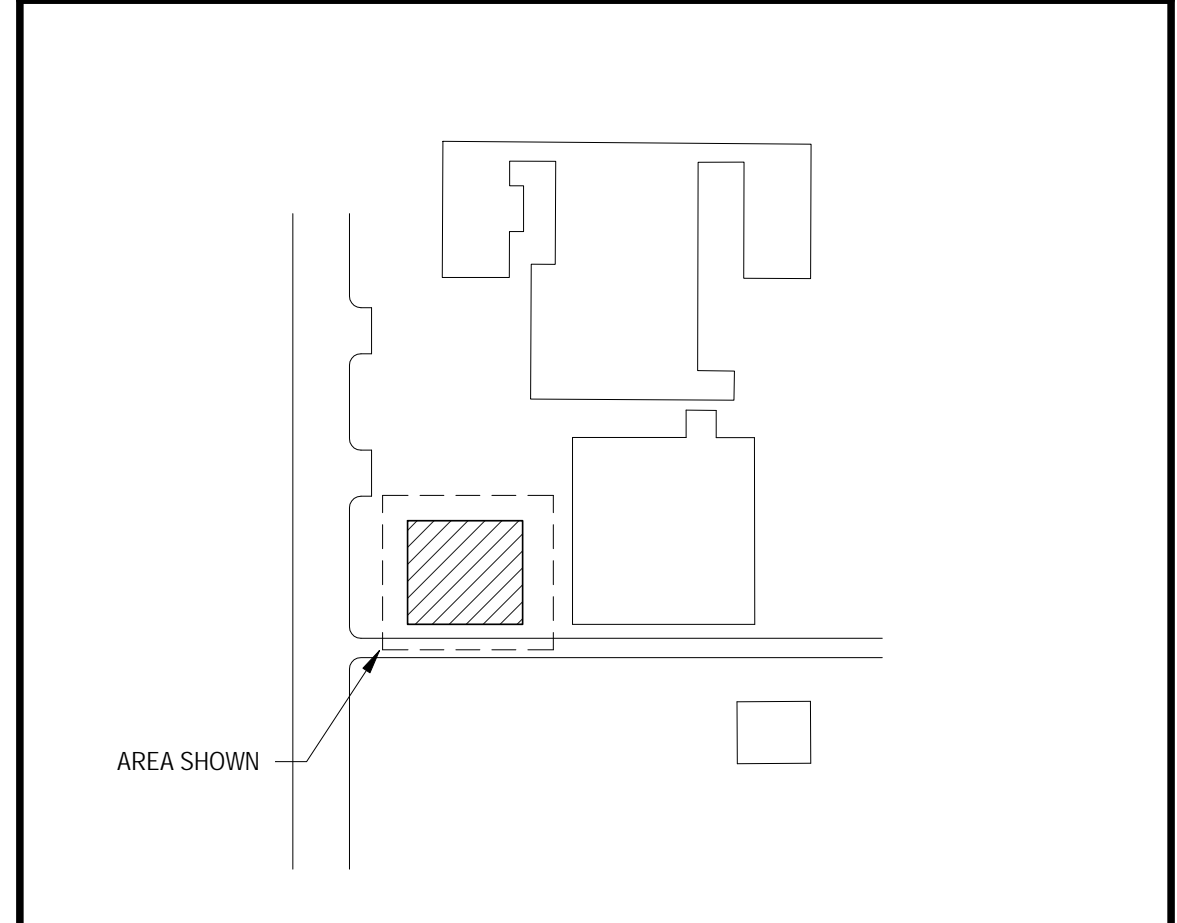
REFLECTED CEILING PLAN

A3.1



KEYNOTE LEGEND	
NO.	DESCRIPTION

ROOF AREA CALCULATIONS TABLE 1106.3 SIZE OF HORIZONTAL STORM DRAINAGE PIPING	
SIZE OF PIPING = ROOF AREA @ 4.5"/HOUR RAINFALL 4" DIA = 1.652 SQ. FT. LARGEST ROOF AREA = 1,037.58 SF	



A KEY PLAN
SCALE: NTS

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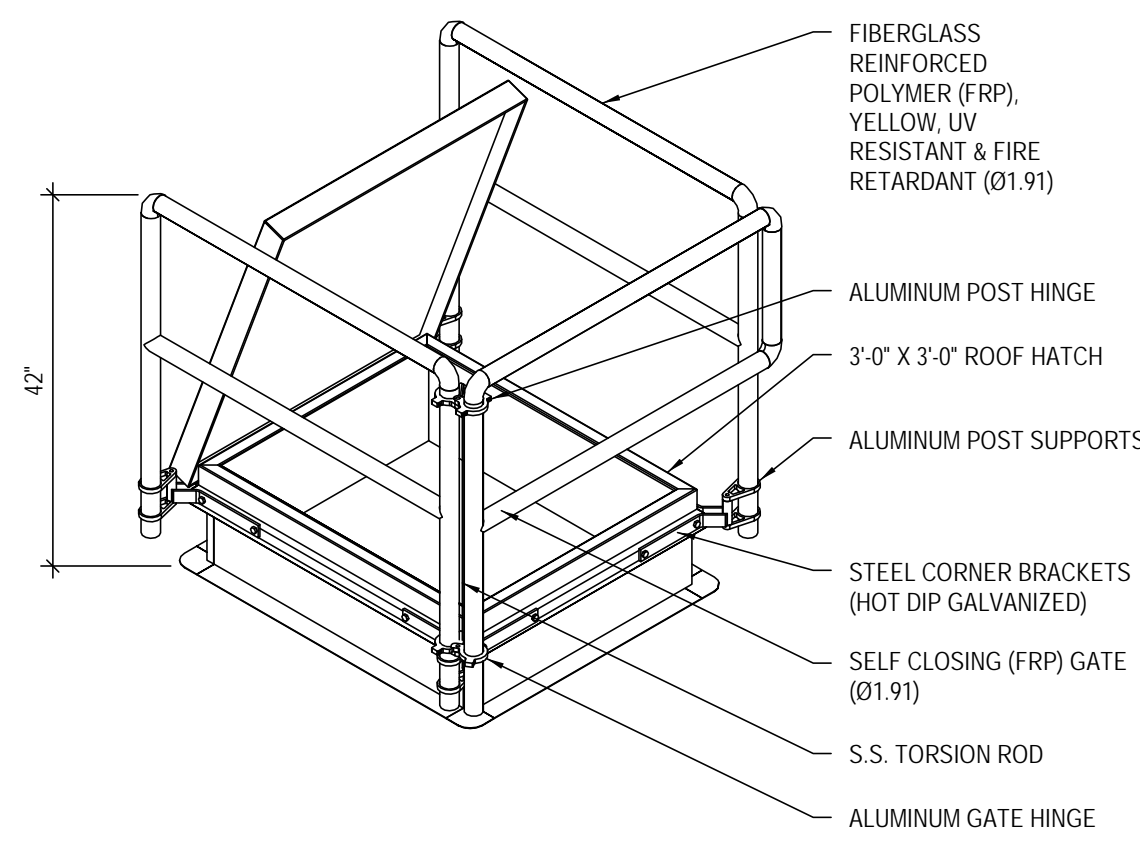
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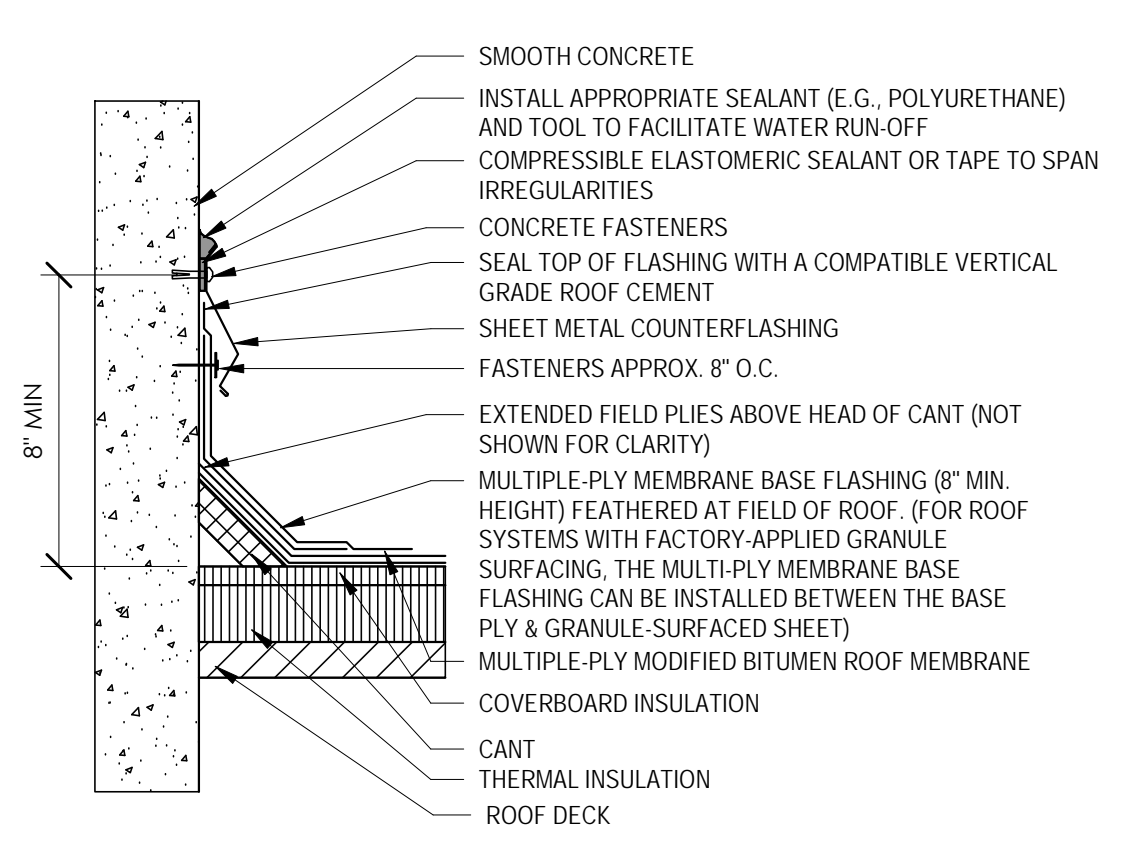
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ROOF PLAN

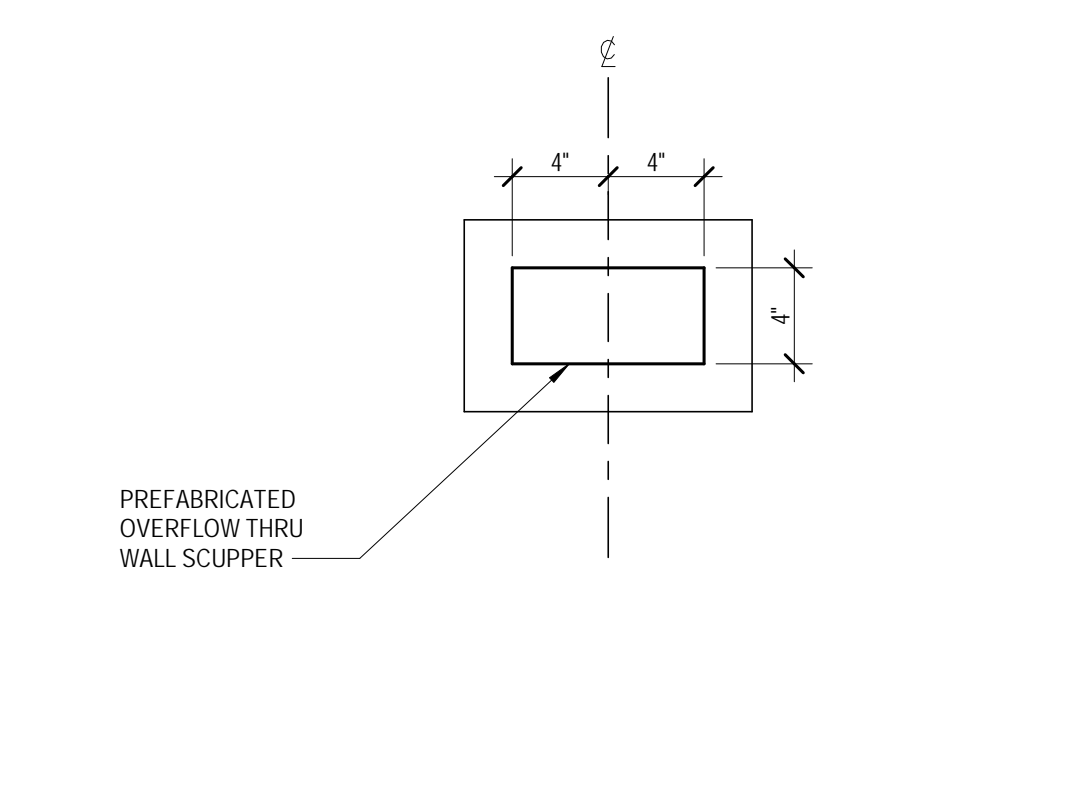
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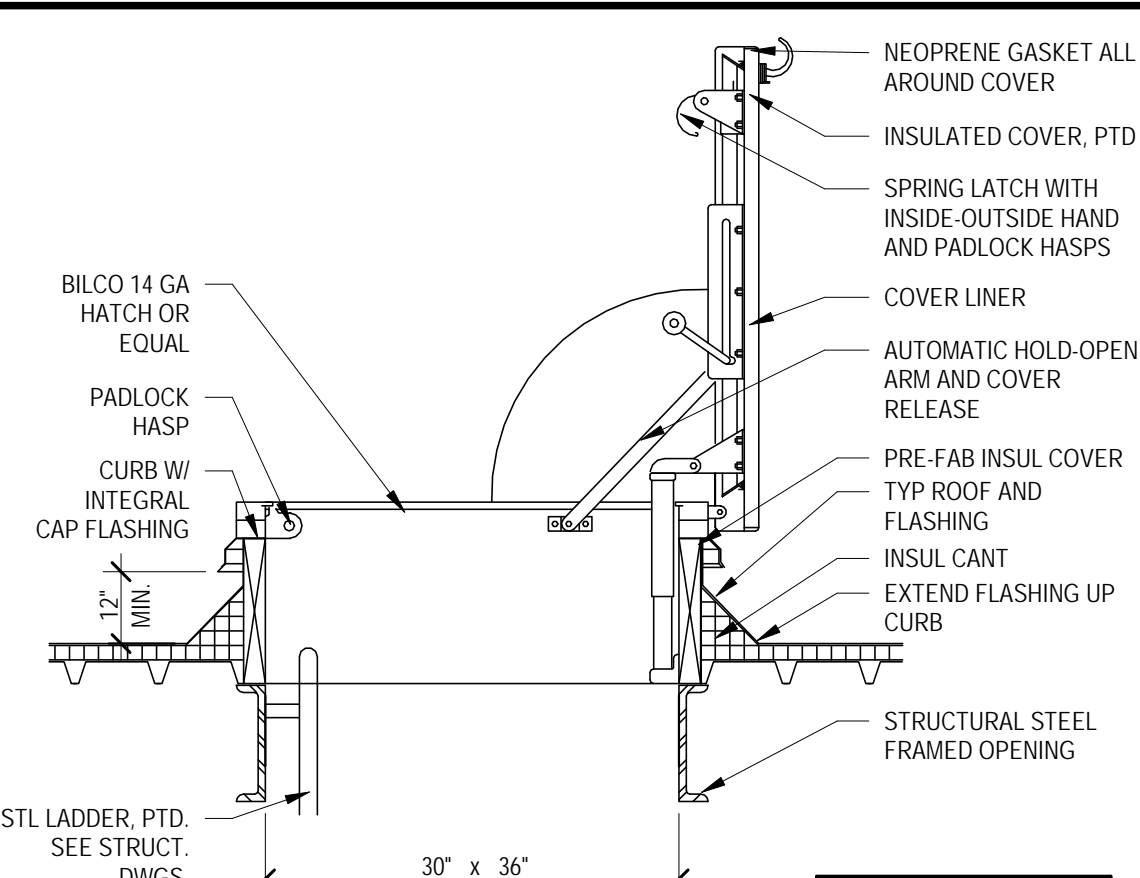
8 ROOF HATCH RAILING SYSTEM
SCALE: 1/2" = 1'-0"



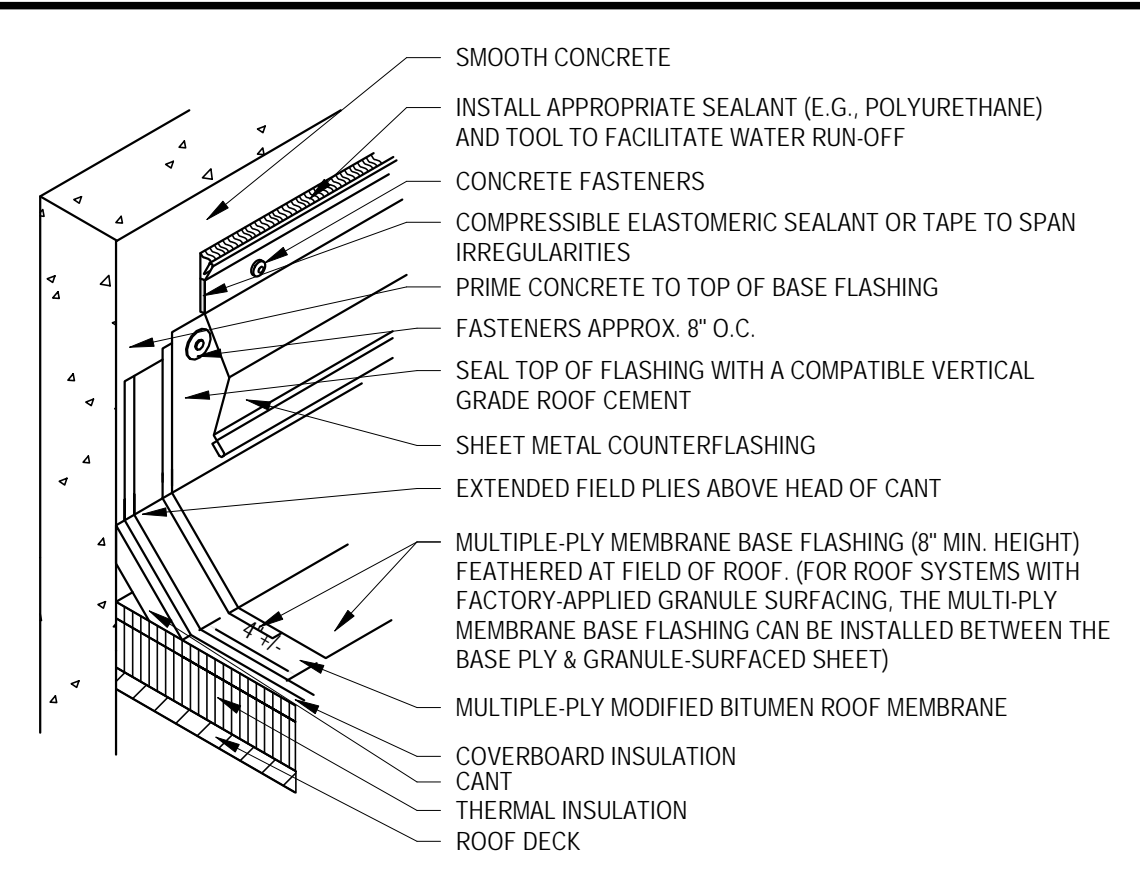
4 SURFACE-MOUNT COUNTERFLASHING FOR CONC WALL NRCA DETAIL MB-4S
SCALE: 1 1/2" = 1'-0"



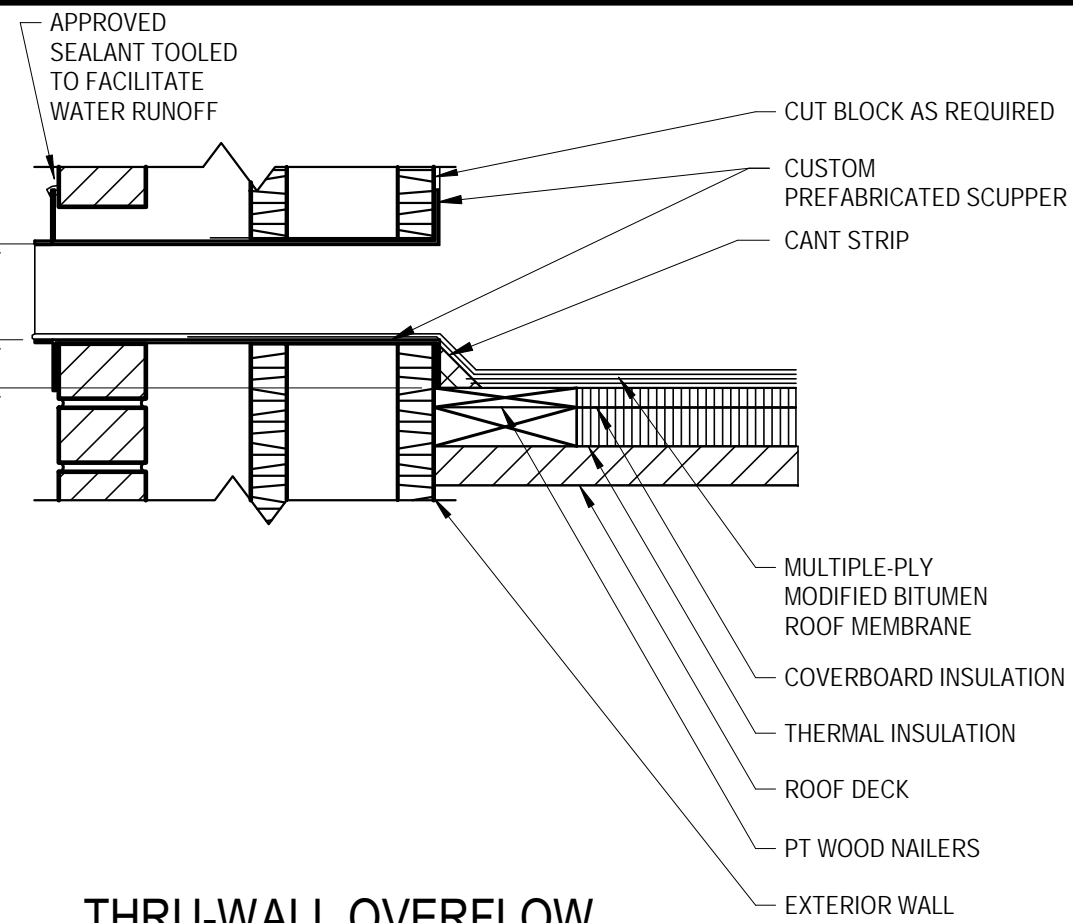
11 OVERFLOW SCUPPER DETAIL
SCALE: 1 1/2" = 1'-0"



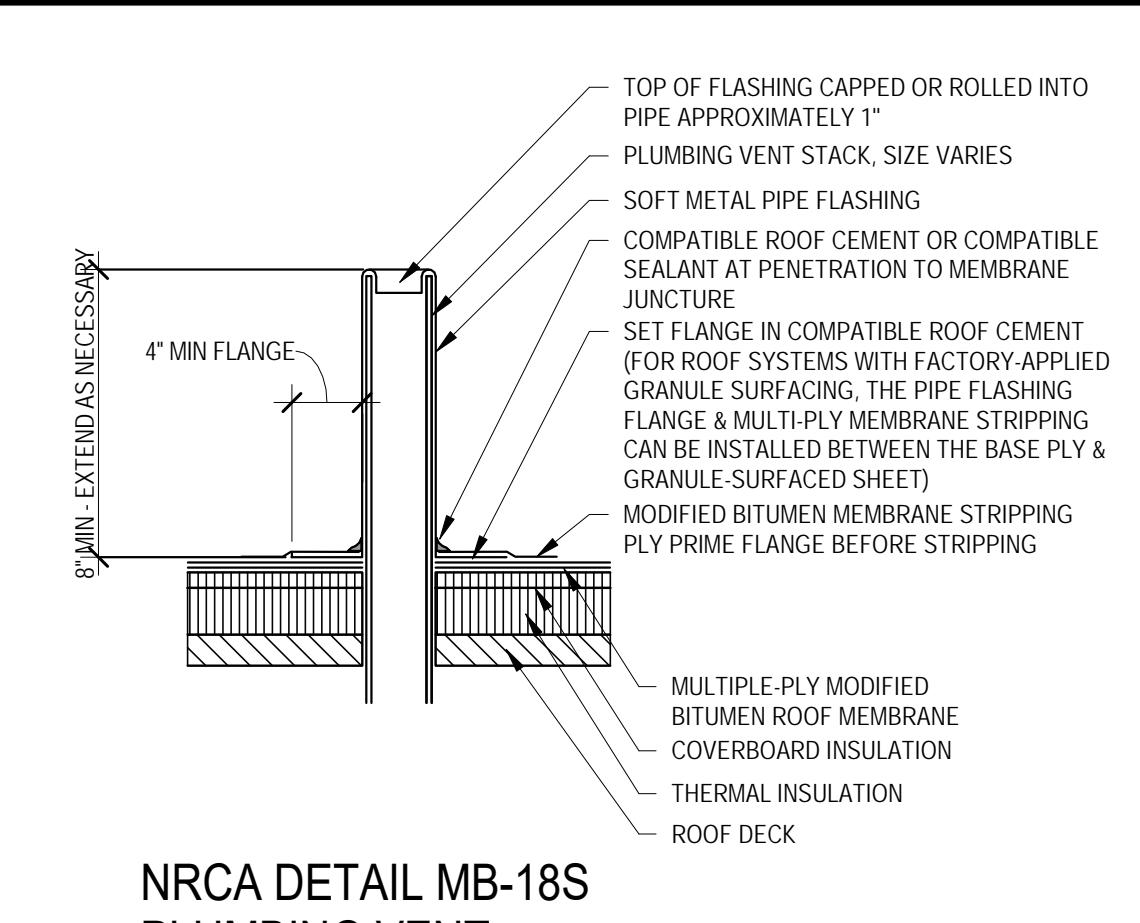
7 ROOF HATCH SECTION
SCALE: 1 1/2" = 1'-0"



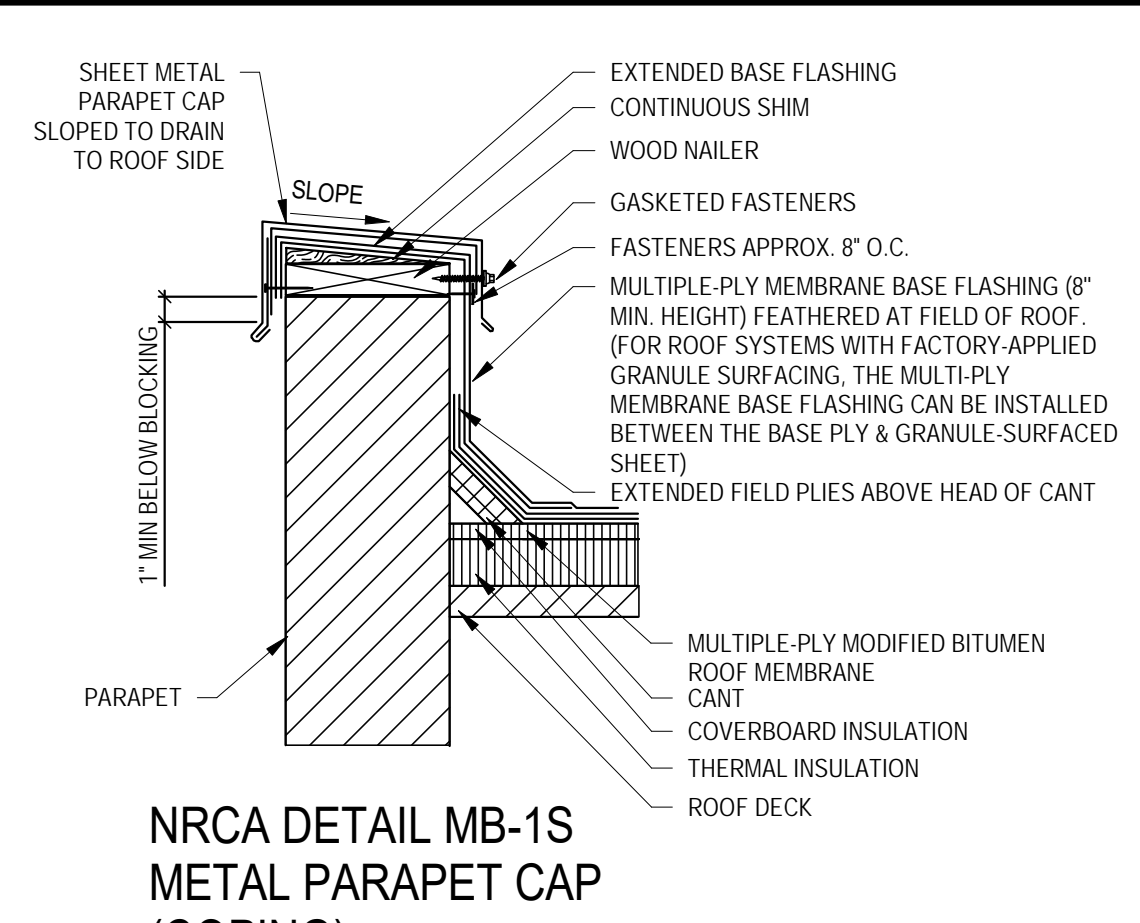
3 SURFACE-MOUNT COUNTERFLASHING FOR CONC WALL NRCA DETAIL MB-4
SCALE: 1 1/2" = 1'-0"



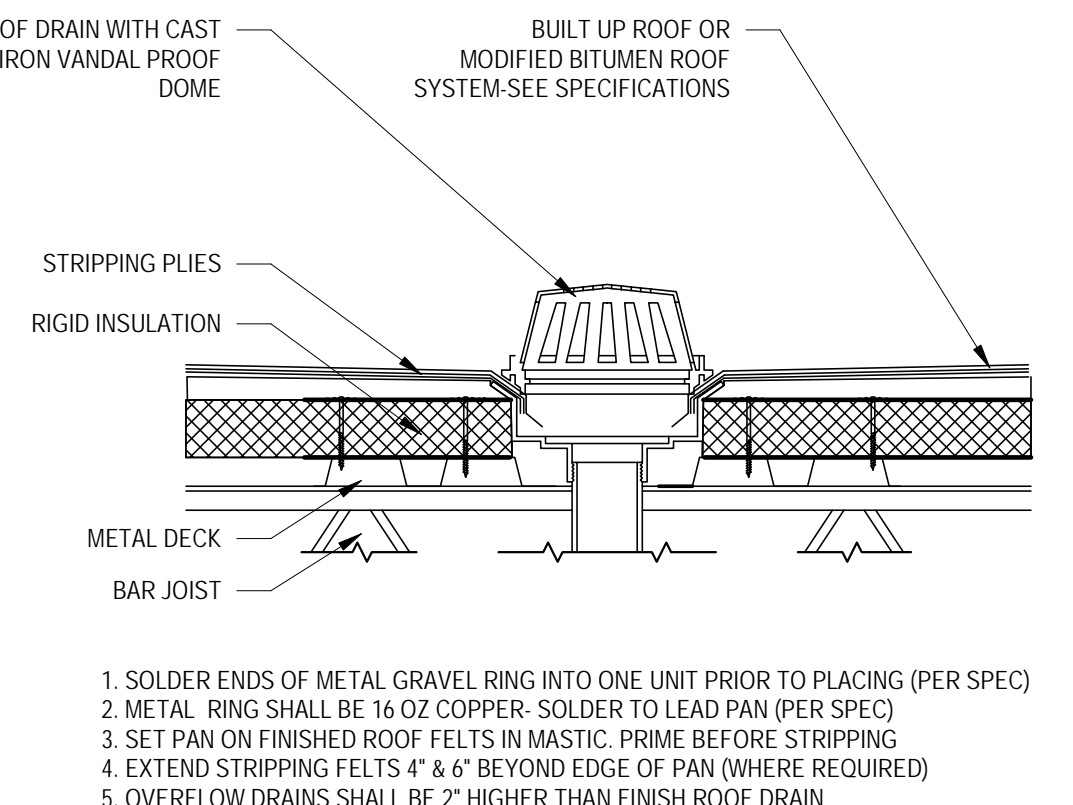
10 THRU-WALL OVERFLOW SCUPPER DETAIL
SCALE: 1 1/2" = 1'-0"



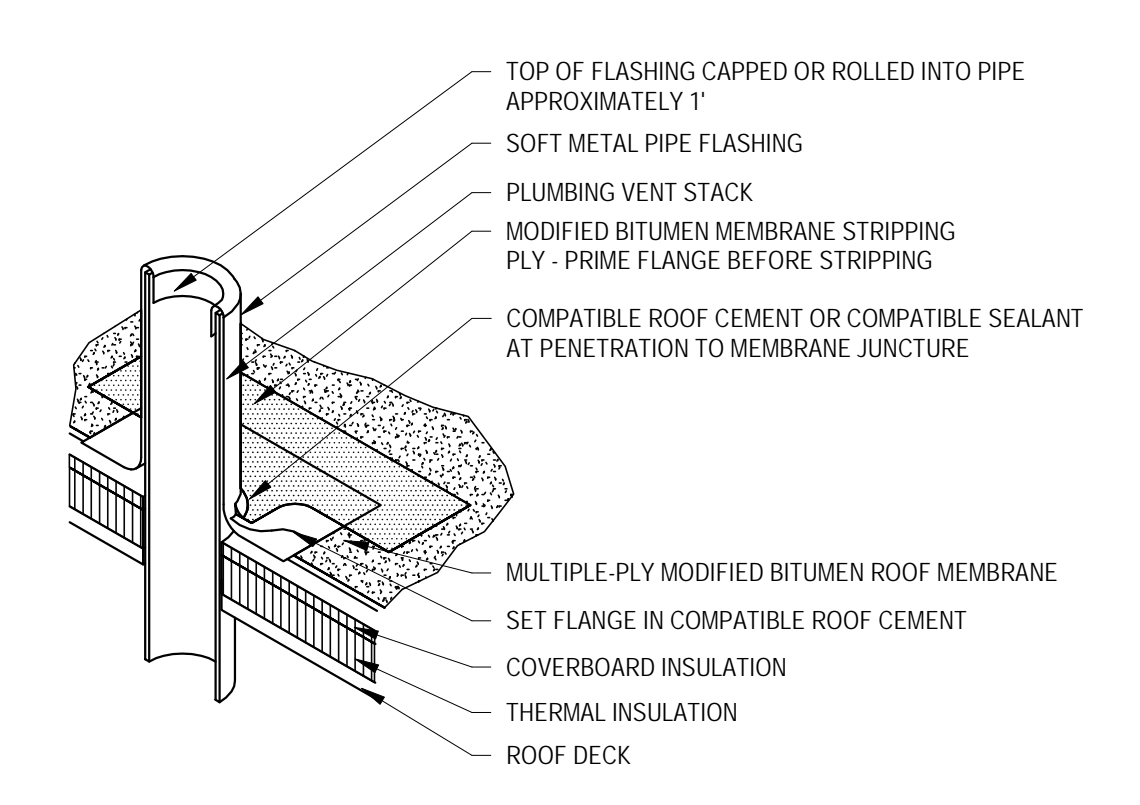
6 NRCA DETAIL MB-18S PLUMBING VENT FLASHING
SCALE: 1 1/2" = 1'-0"



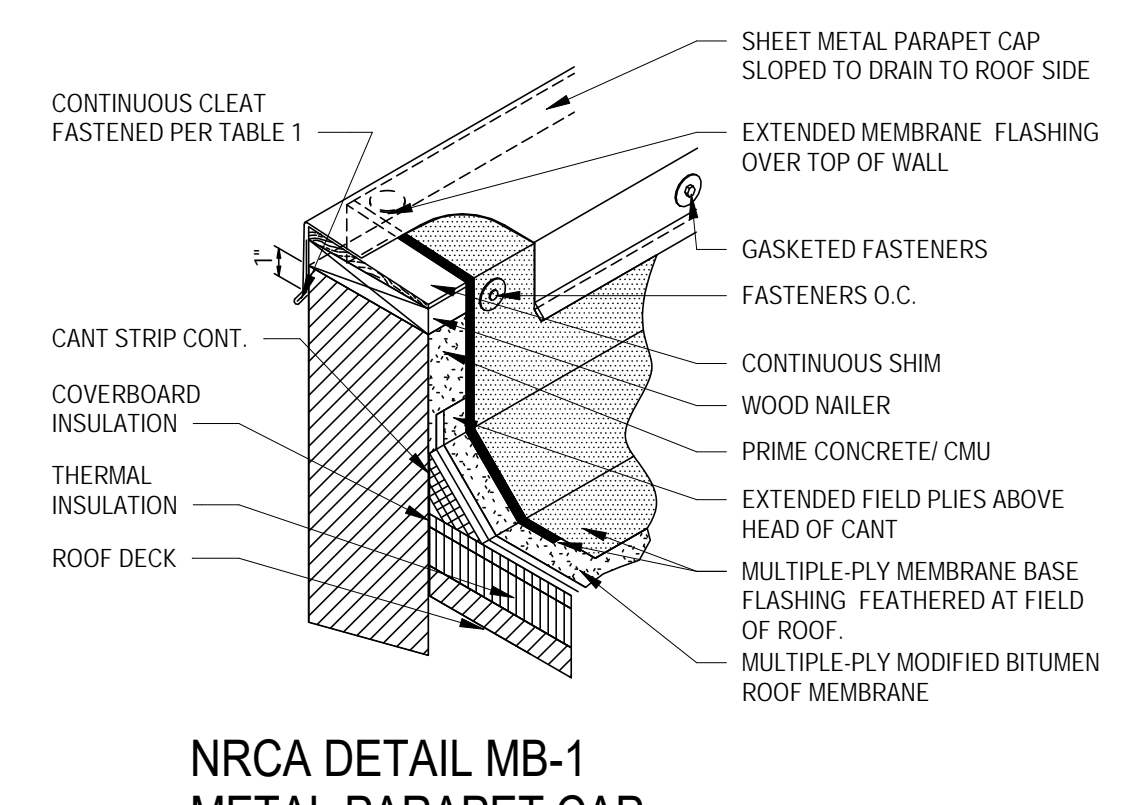
2 NRCA DETAIL MB-1S METAL PARAPET CAP (COPING) AND BASE FLASHING
SCALE: 1 1/2" = 1'-0"



9 METAL ROOF DRAIN SECTION
SCALE: 1 1/2" = 1'-0"



5 NRCA DETAIL MB-18 PLUMBING VENT FLASHING
SCALE: 1 1/2" = 1'-0"



1 NRCA DETAIL MB-1 METAL PARAPET CAP (COPING) AND BASE FLASHING
SCALE: 6" = 1'-0"

Seal
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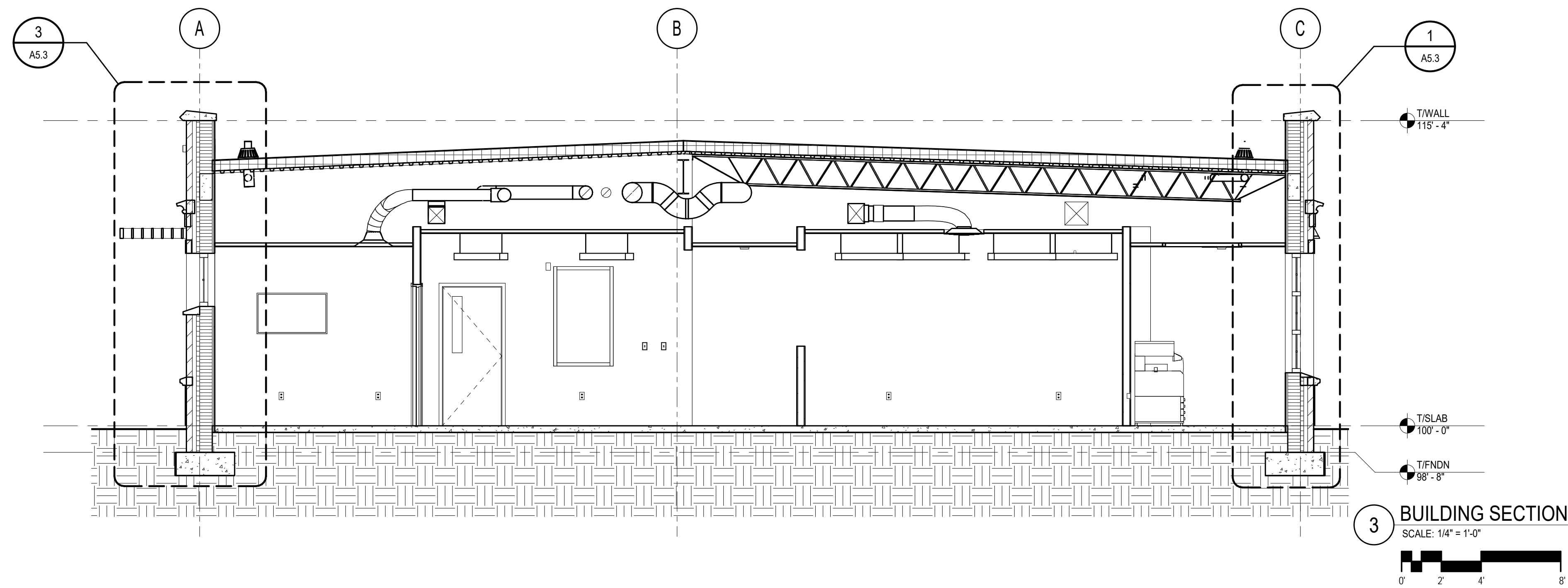
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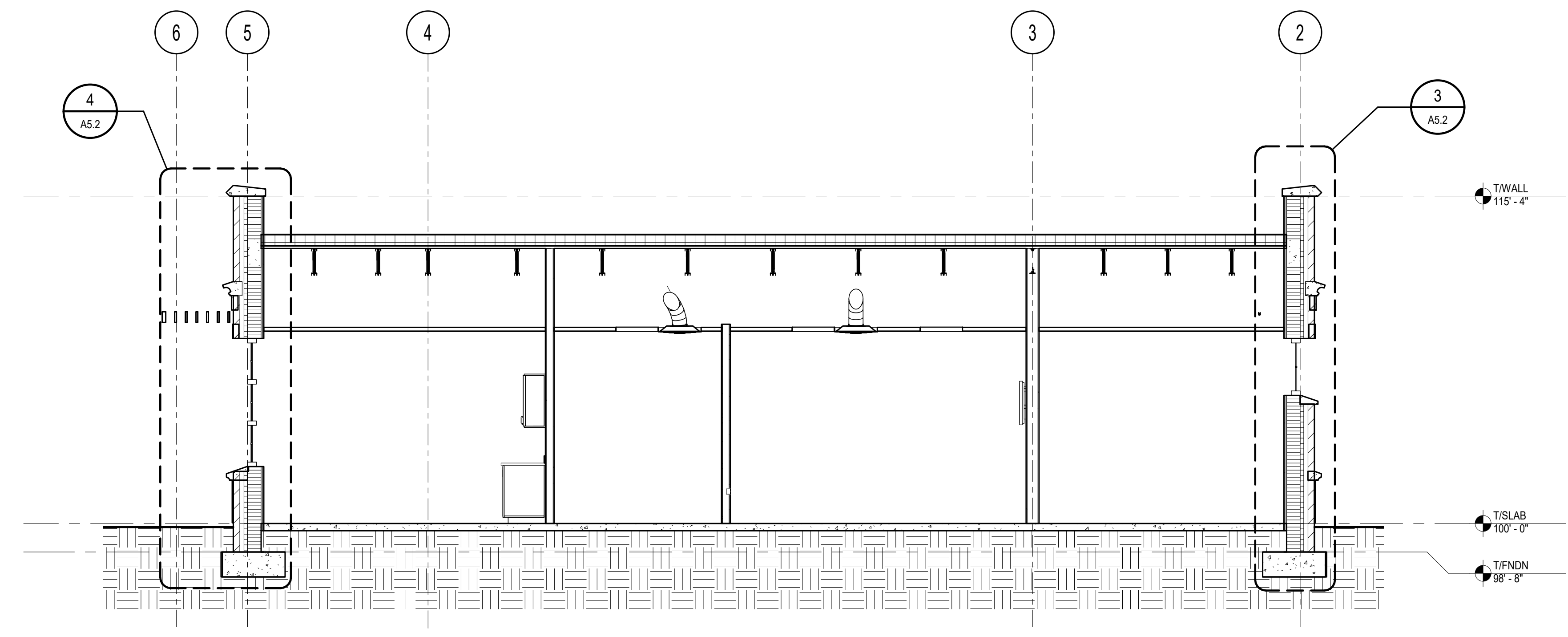
ROOF DETAILS

A4.2

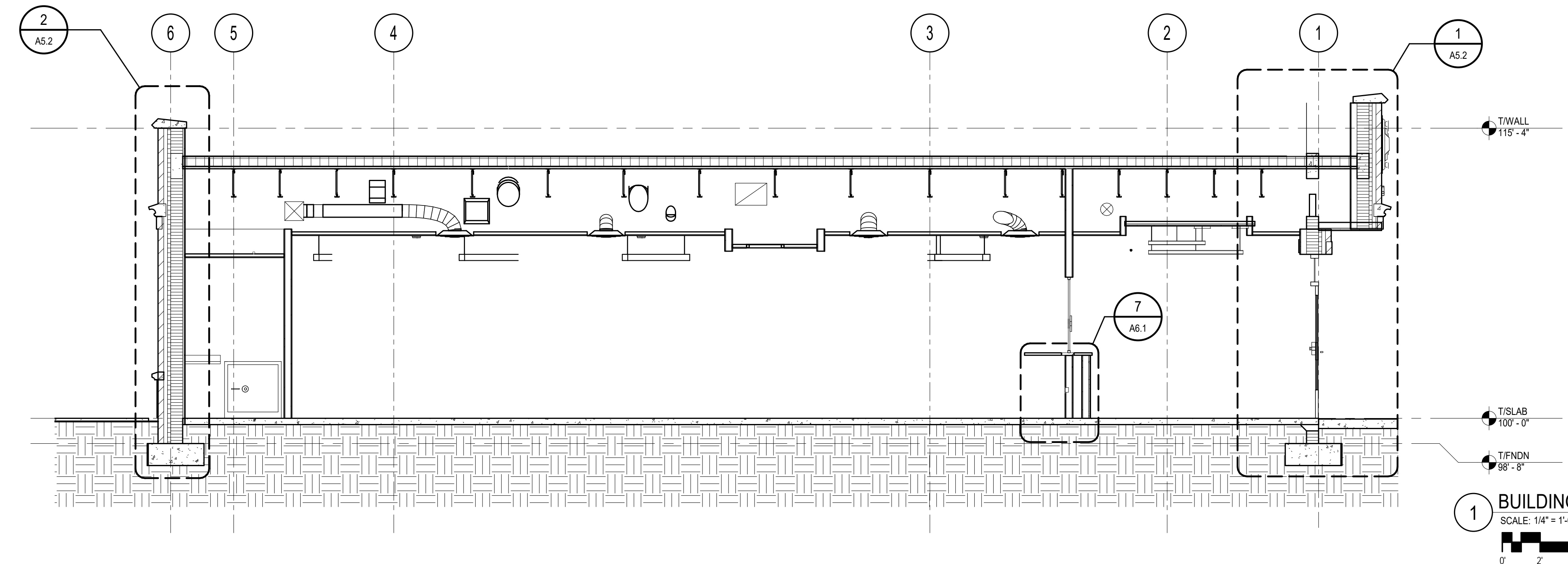


3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND	
NO.	DESCRIPTION



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

Seal
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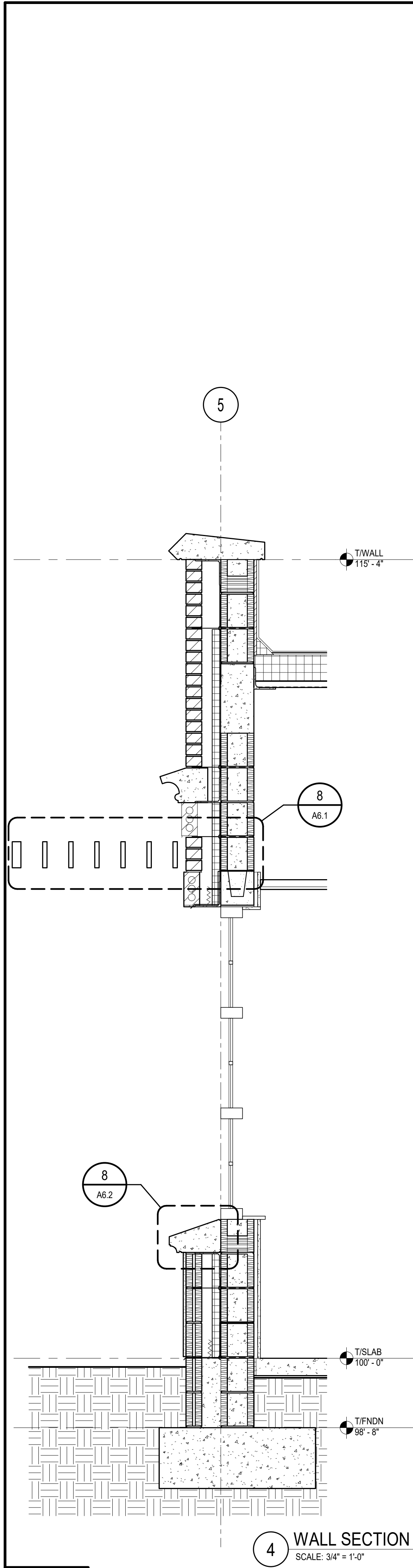
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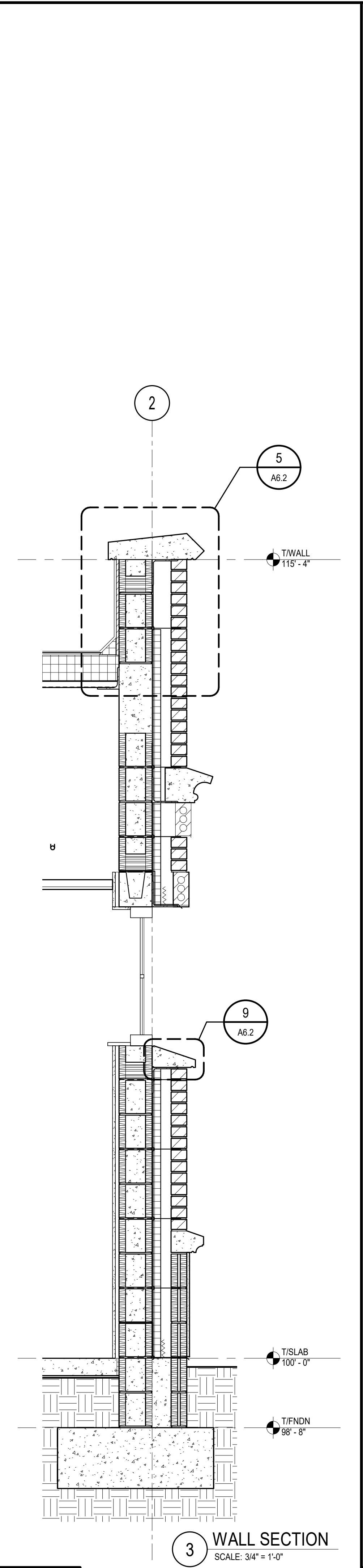
BUILDING SECTIONS

A5.1



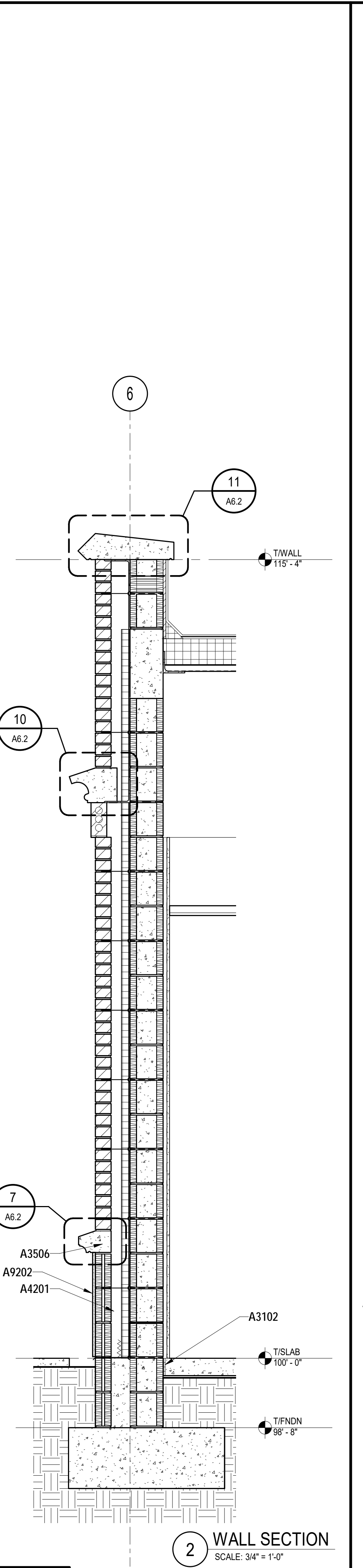
4 WALL SECTION
SCALE: 3/4" = 1'-0"

FOR BALANCE OF NOTES SEE 1/A5.2



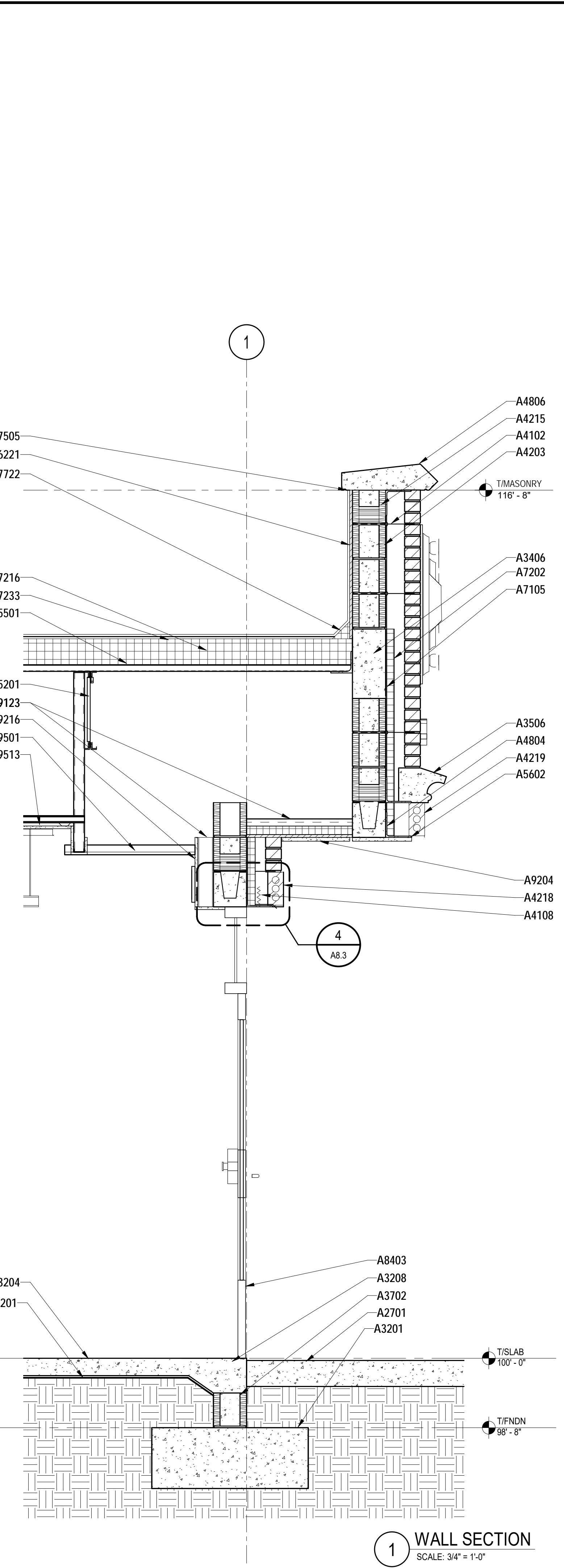
3 WALL SECTION
SCALE: 3/4" = 1'-0"

FOR BALANCE OF NOTES SEE 1/A5.2



2 WALL SECTION
SCALE: 3/4" = 1'-0"

FOR BALANCE OF NOTES SEE 1/A5.2



1 WALL SECTION
SCALE: 3/4" = 1'-0"

FOR BALANCE OF NOTES SEE 1/A5.2

KEYNOTE LEGEND	
NO.	DESCRIPTION
A2701	NEW 4" CONCRETE SIDEWALK. SEE CIVIL DWGS
A3102	1/2" PREFORMED JOINT FILLER CONT.
A3201	REINFORCED CONCRETE FOUNDATION. SEE STRUCTURAL DWGS
A3204	4" THICK REINFORCED CONCRETE SLAB ON GRADE. SEE STRUCTURAL DWGS
A3208	REINFORCED CONCRETE THICKENED EDGE FOUNDATION. SEE STRUCTURAL DWGS
A3406	CAST IN PLACE REINFORCED CONCRETE BEAM. SEE STRUCTURAL DWGS
A3506	PRECAST CONCRETE WALL COPING CONT
A3702	GROUT SOLID BELOW SLAB LEVEL
A4102	ADJUSTABLE MASONRY TIES @ 16" O.C. EACH WAY
A4108	MORTAR NET
A4201	4" CONCRETE MASONRY BLOCK
A4203	8" CONCRETE MASONRY WALL SYSTEM
A4215	8" CMU KNOCKOUT COURSE CONT.
A4218	VERTICAL SOLDIER COURSE HEADER
A4219	VERTICAL SOLDIER COURSE CONT
A4804	PRECAST CONCRETE LINTEL. SEE STRUCTURAL DWGS
A4806	PRECAST CONCRETE CAP
A5201	STEEL JOIST ROOF FRAMING SYSTEM. SEE STRUCTURAL DWGS
A5501	METAL ROOF DECK SYSTEM
A5602	STEEL ANGLE. SEE STRUCTURAL DWGS
A6221	5/8" EXT GRADE PLYWOOD SHEATHING
A7105	BENTONITE MEMBRANE WATERPROOFING
A7201	10 MIL MEMBRANE VAPOR RETARDER (STEGO)
A7202	2" RIGID INSULATION - R-30 MIN
A7216	6" RIGID INSULATION, R-30 MIN
A7233	1/2" RECOVERY BOARD
A7505	CONT ROOFING MEMBRANE UP & WRAP OVER PARAPET WALL, TYP
A7722	PREFABRICATED FIBER CANT STRIP
A8403	ALUMINUM STOREFRONT DOOR SYSTEM. SEE DOOR SCHEDULE
A9123	3-5/8" METAL STUDS @ 16" O.C.
A9202	5/8" STUCCO SYSTEM
A9204	7/8" THICK GALV METAL LATH & STUCCO SYSTEM ON 60 MIL PEEL & STICK MEMBRANE ON 5/8" EXTERIOR DENSGLASS WALL SHEATHING
A9216	5/8" GYPSUM WALL BOARD
A9501	SUSPENDED ACOUSTICAL CEILING SYSTEM
A9513	GYP SOFFIT SYSTEM

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WALL SECTIONS

A5.2

KEYNOTE LEGEND

NO.	DESCRIPTION
A3102	1/2" PREFORMED JOINT FILLER CONT.
A3204	4" THICK REINFORCED CONCRETE SLAB ON GRADE. SEE STRUCTURAL DWGS
A4101	HORIZONTAL JOINT REINFORCEMENT 16" O.C. VERT. MIN
A4102	ADJUSTABLE MASONRY TIES @ 16" O.C. EACH WAY
A4804	PRECAST CONCRETE LINTEL. SEE STRUCTURAL DWGS
A5501	METAL ROOF DECK SYSTEM
A9107	7/8" METAL FURRING HAT CHANNELS @ 16" O.C.
A9126	6" METAL STUDS @ 16" O.C.
A9501	SUSPENDED ACOUSTICAL CEILING SYSTEM



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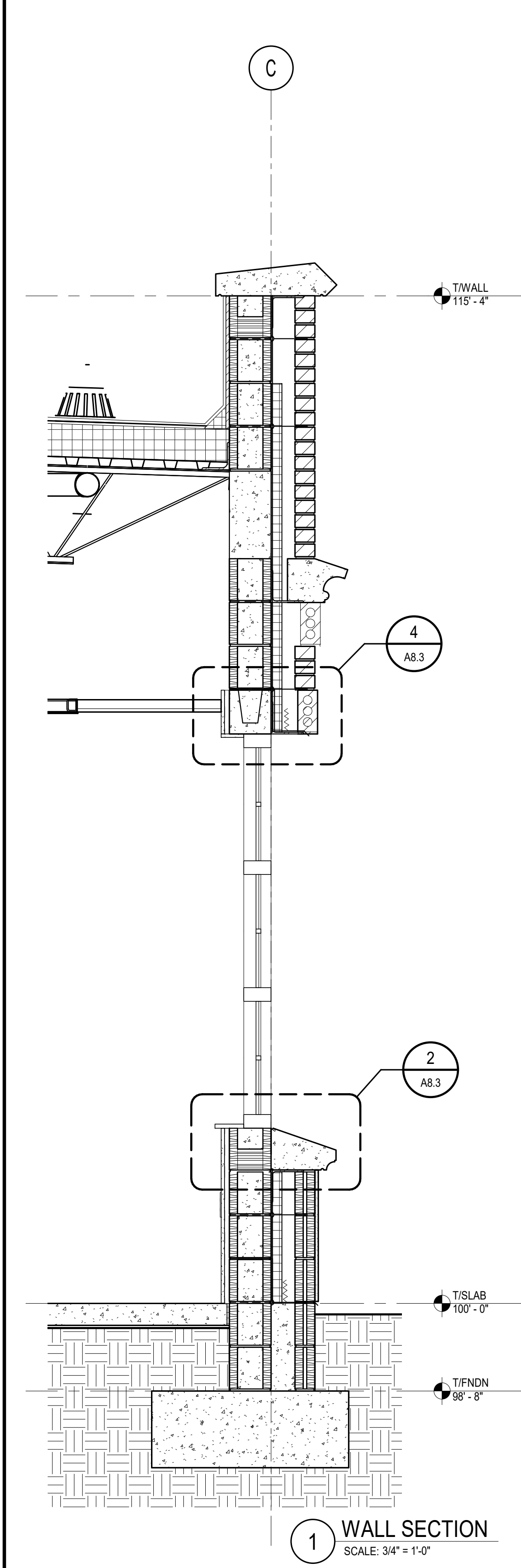
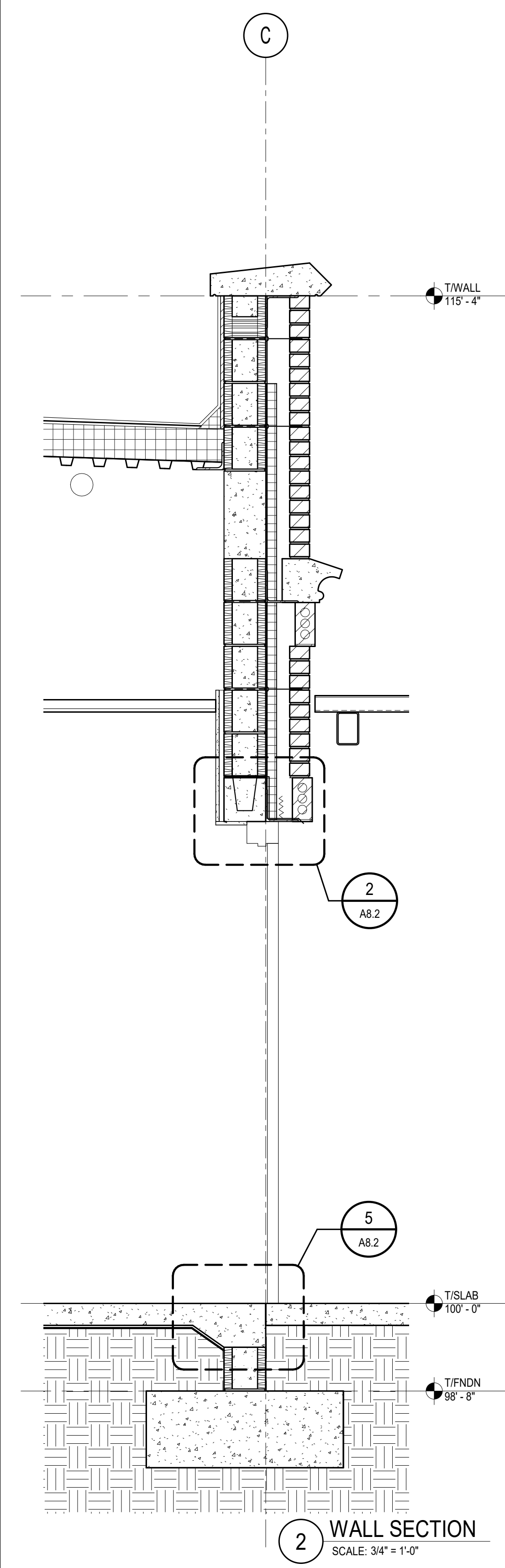
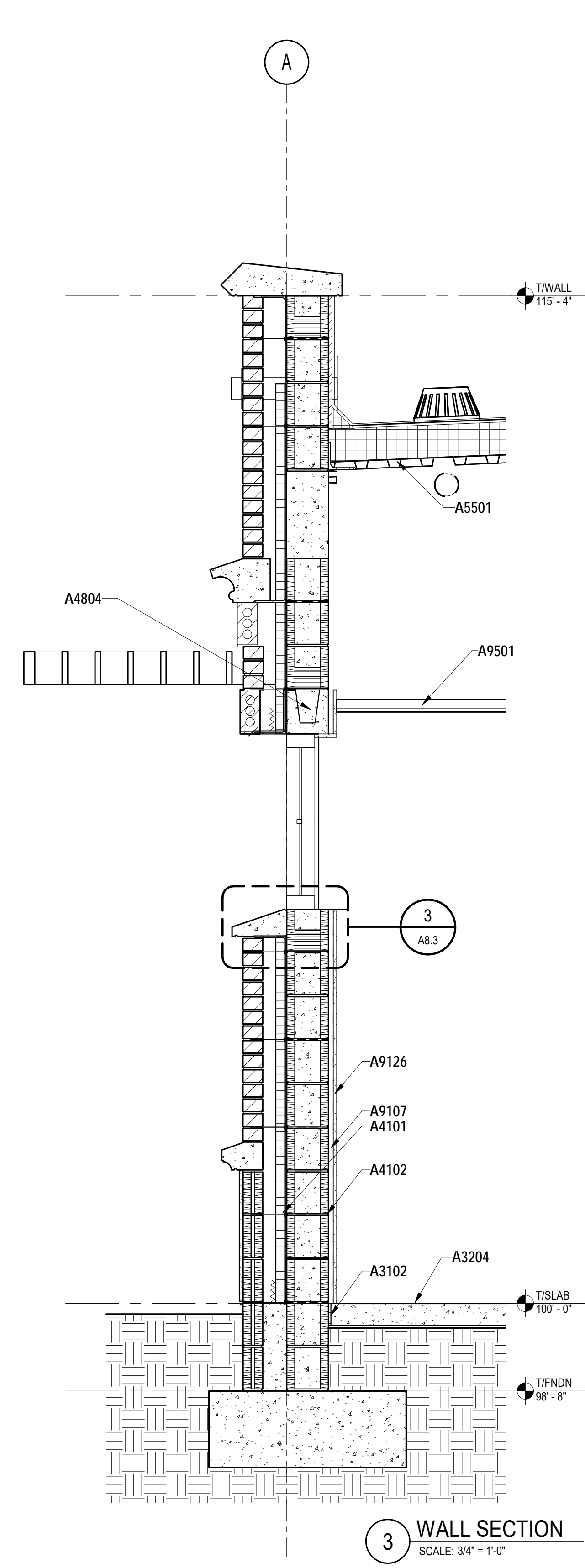
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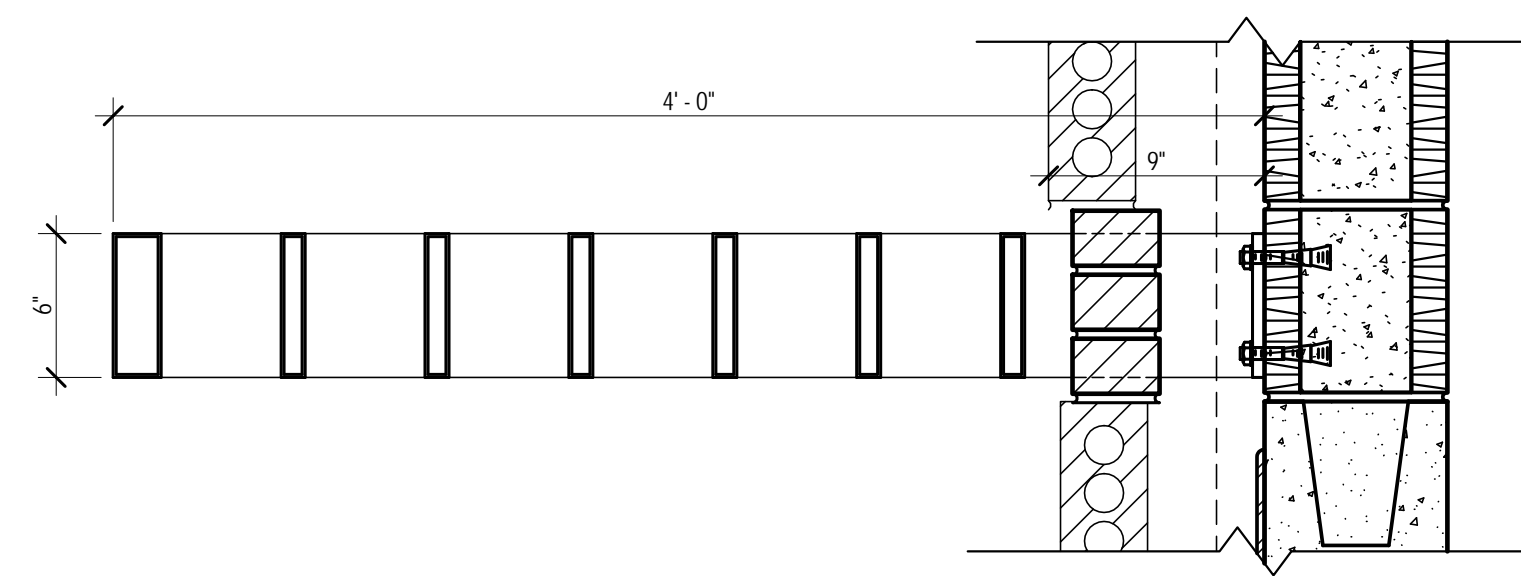
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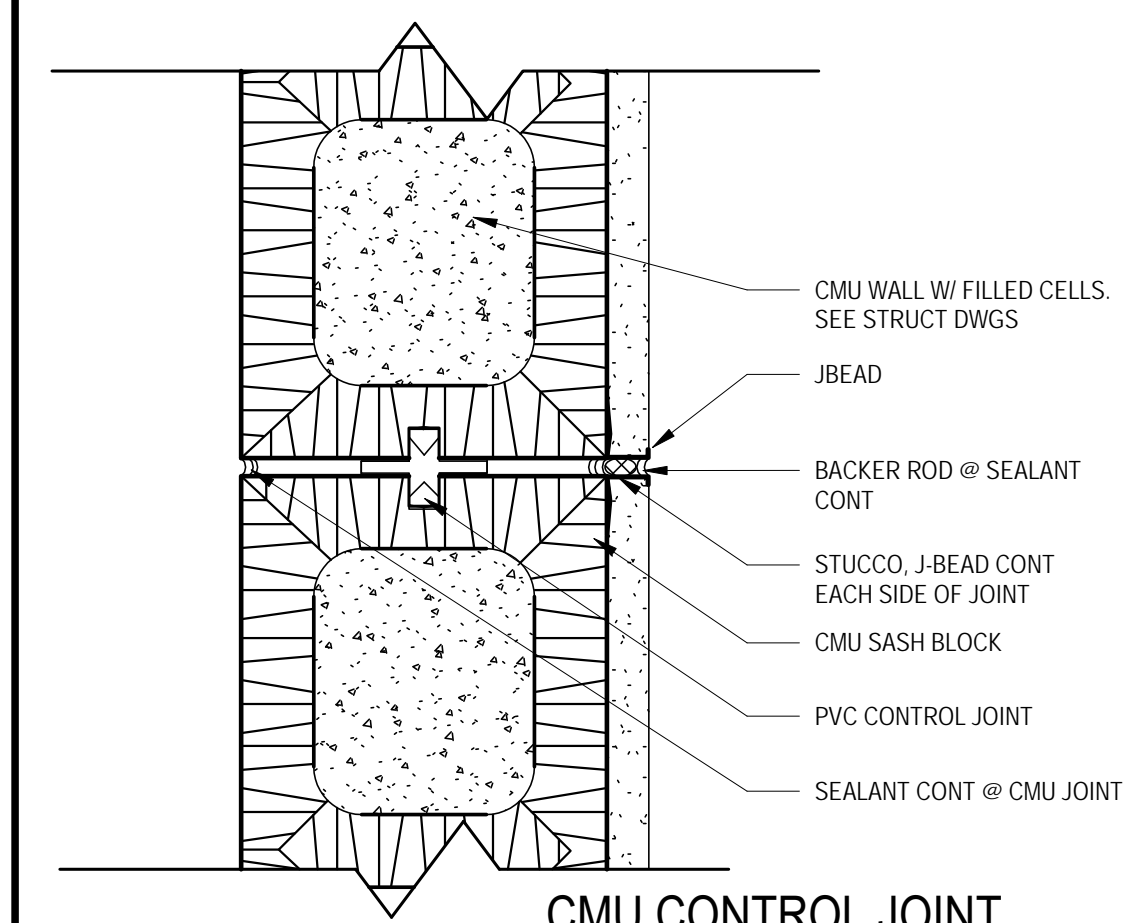
WALL SECTIONS

A5.3

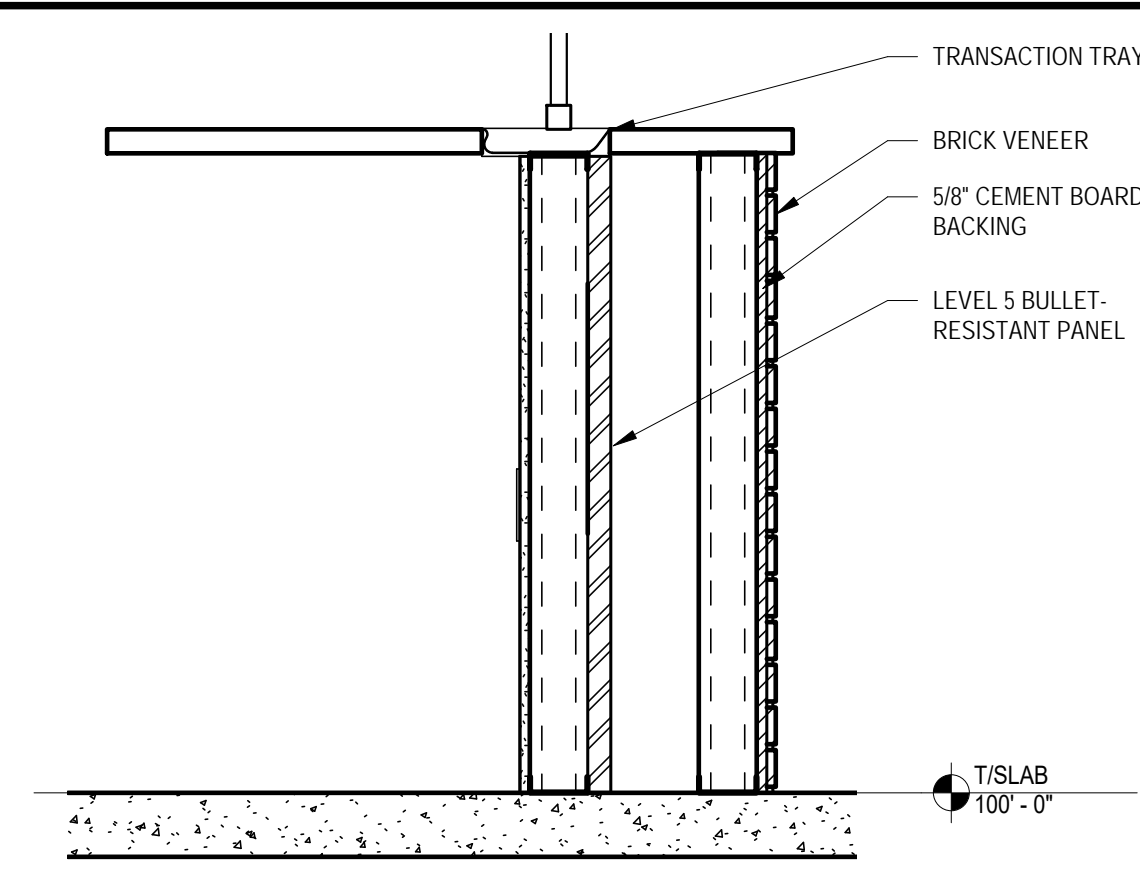




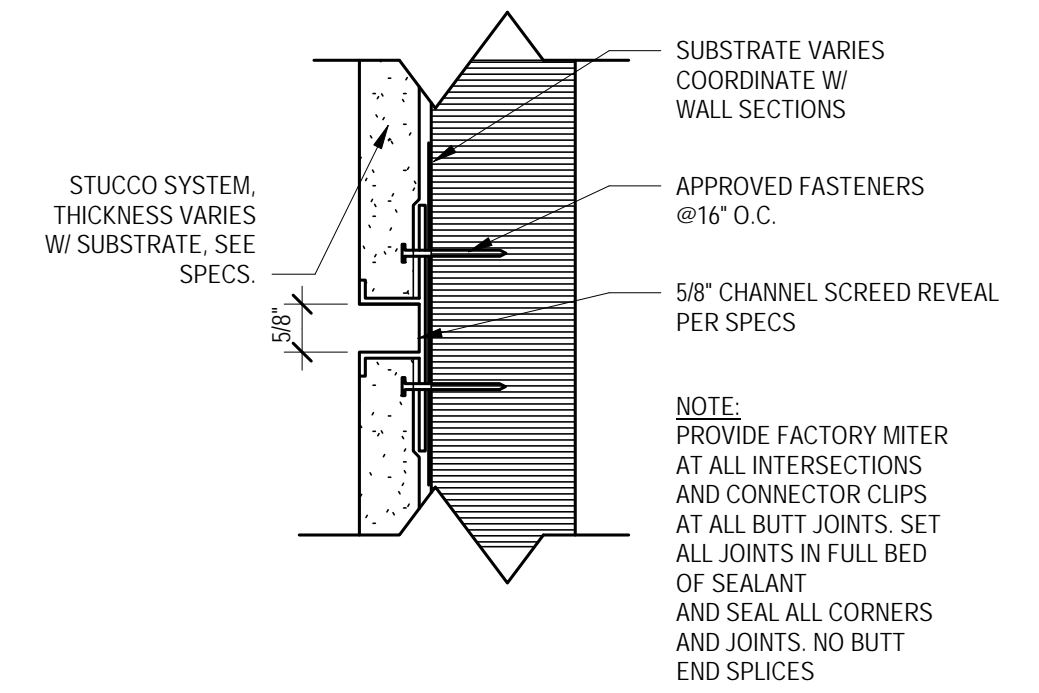
8 DETAIL
SCALE: 1 1/2" = 1'-0"



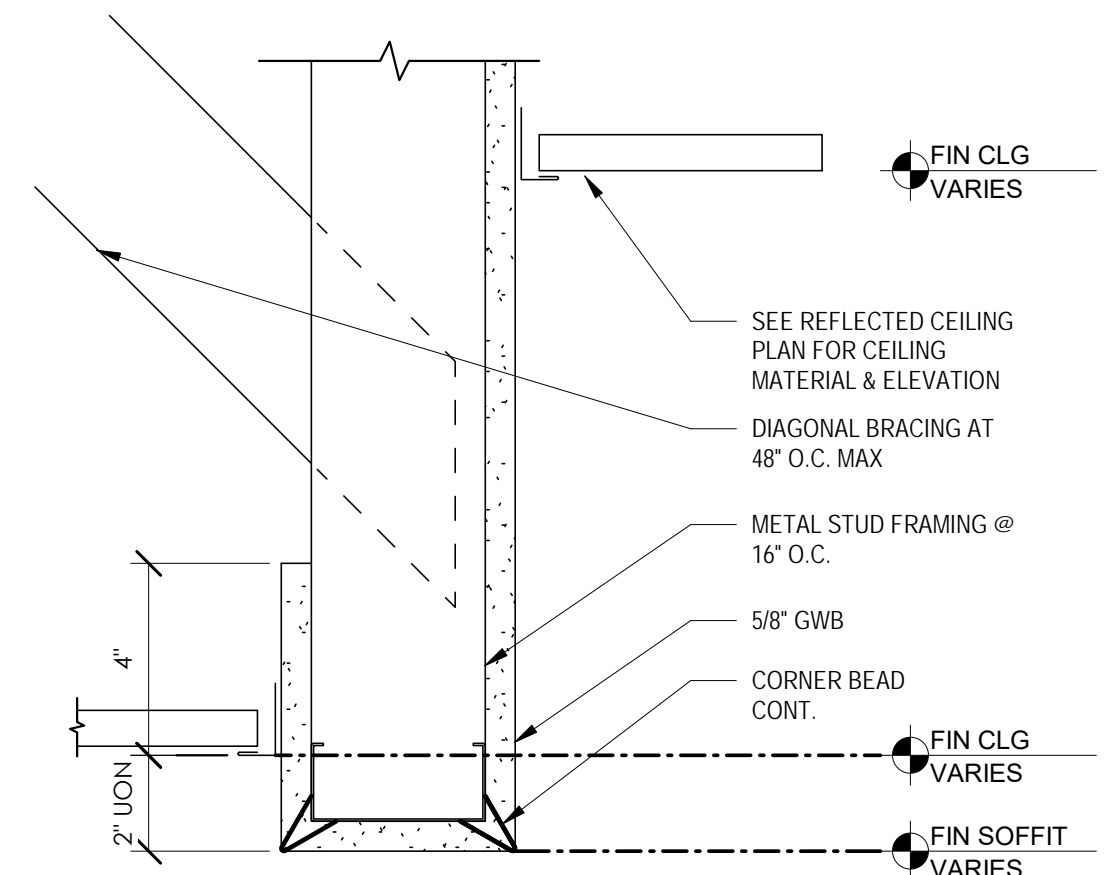
4 CMU CONTROL JOINT
DETAIL
SCALE: 3" = 1'-0"



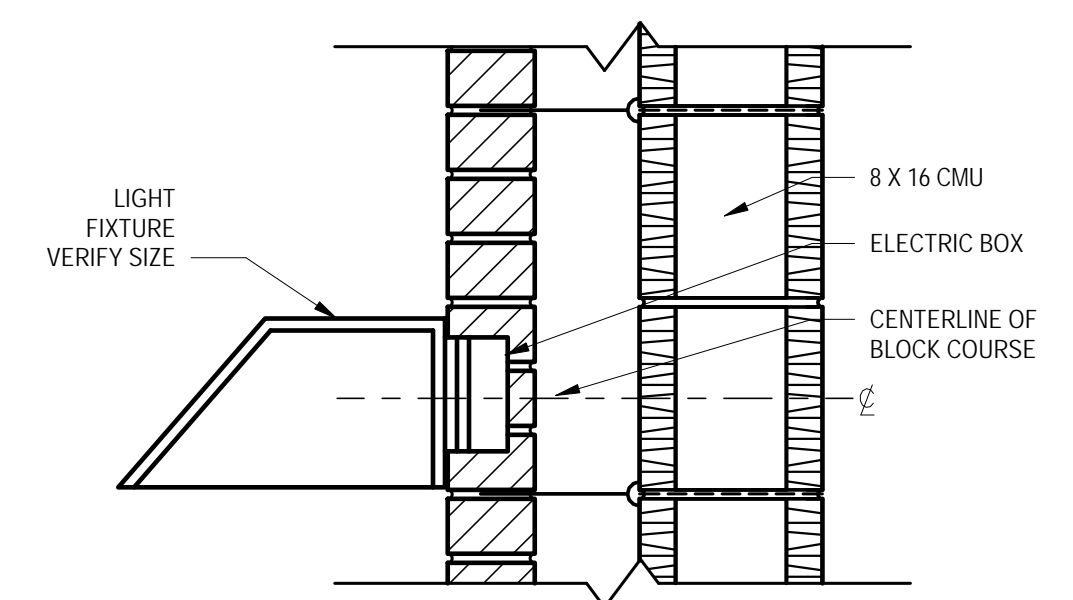
7 DETAIL
SCALE: 1" = 1'-0"



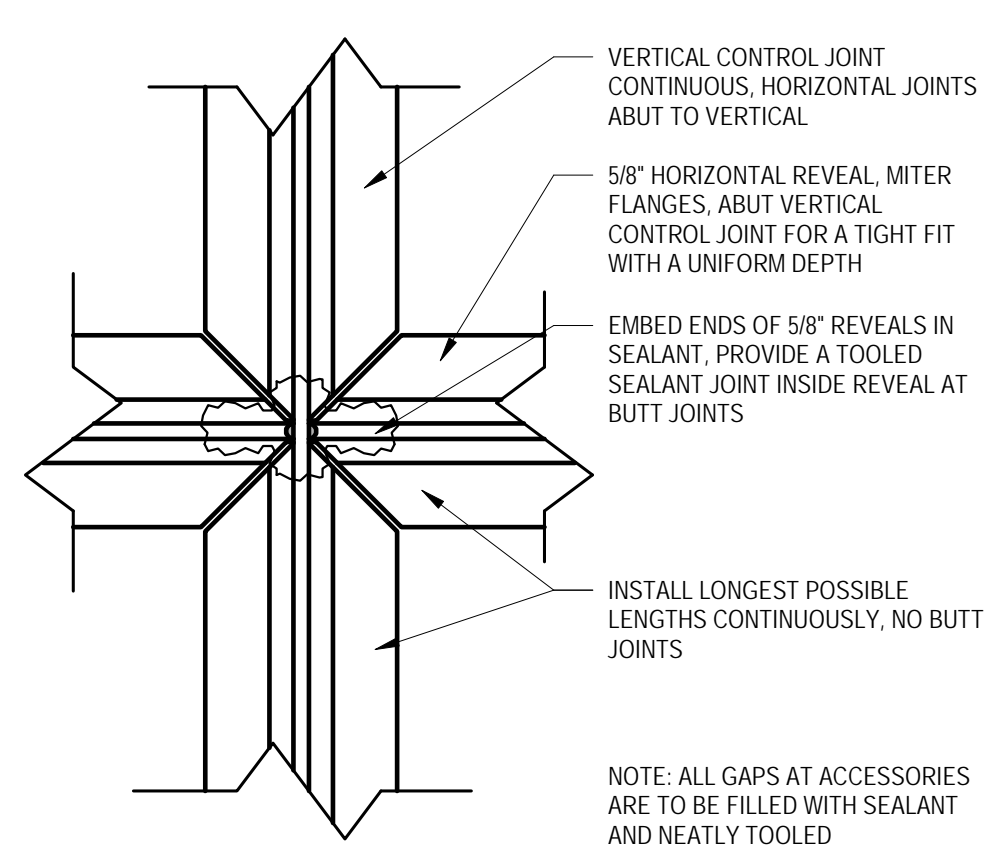
3 STUCCO JOINT
DETAIL
SCALE: 3" = 1'-0"



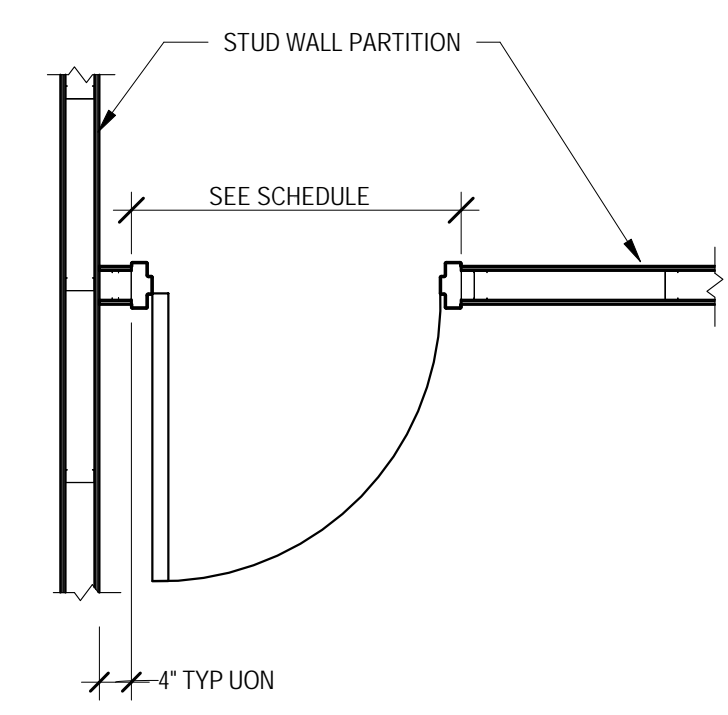
6 SOFFIT DETAIL
SCALE: 3" = 1'-0"



2 (CMU) LIGHT MOUNTING
DETAIL
SCALE: 1 1/2" = 1'-0"



5 STUCCO CONTROL
JOINT DETAIL
SCALE: 3" = 1'-0"



1 TYP GYP PARTITION
DOOR LOCATION
DIMENSION DETAIL
SCALE: 1/2" = 1'-0"

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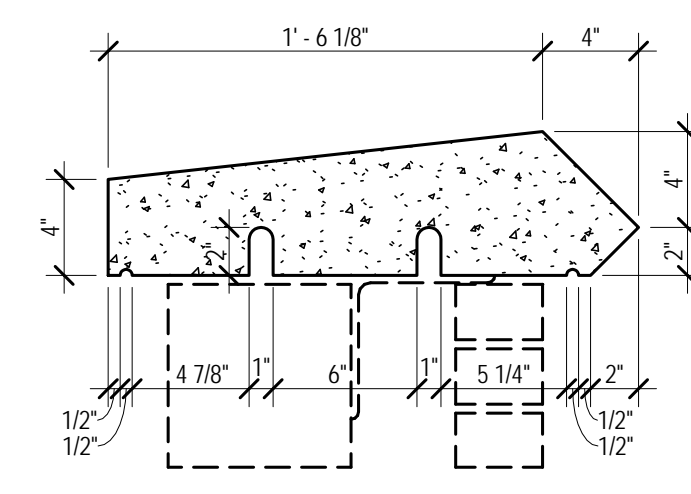
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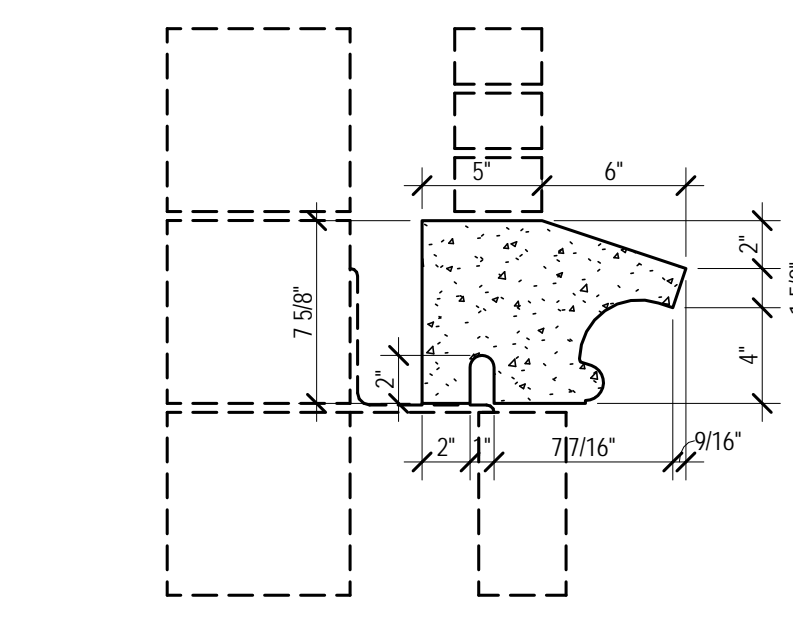
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DETAILS

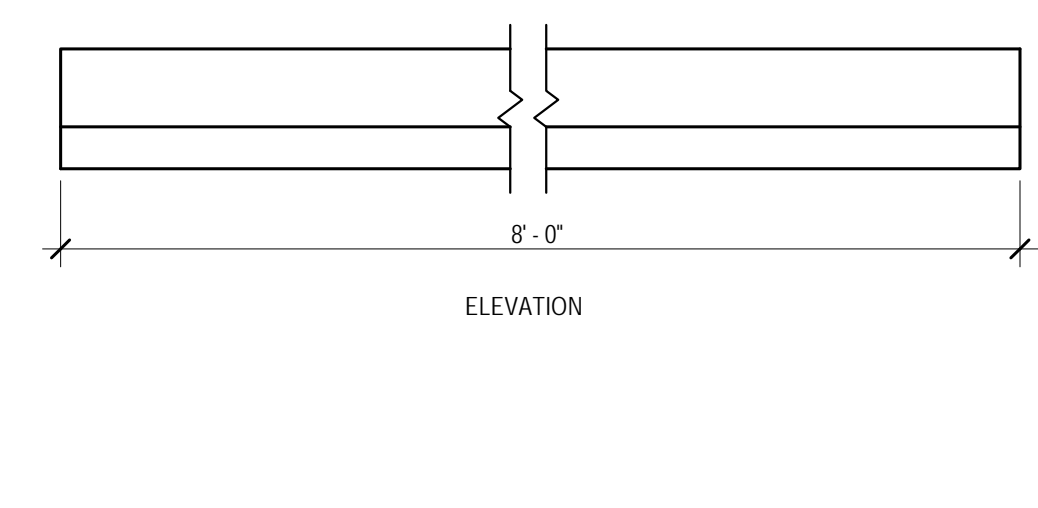
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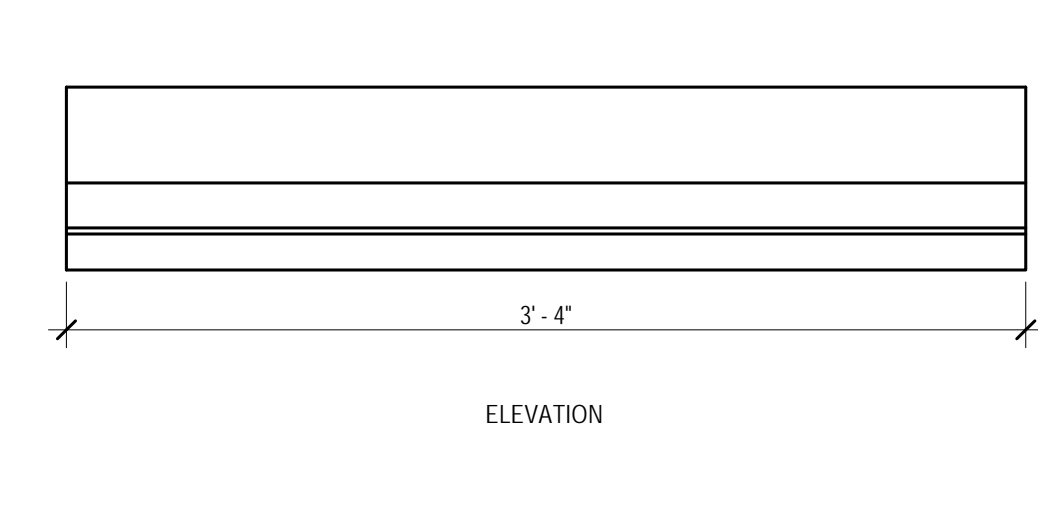
11 PRECAST BAND DETAIL
SCALE: 1 1/2" = 1'-0"



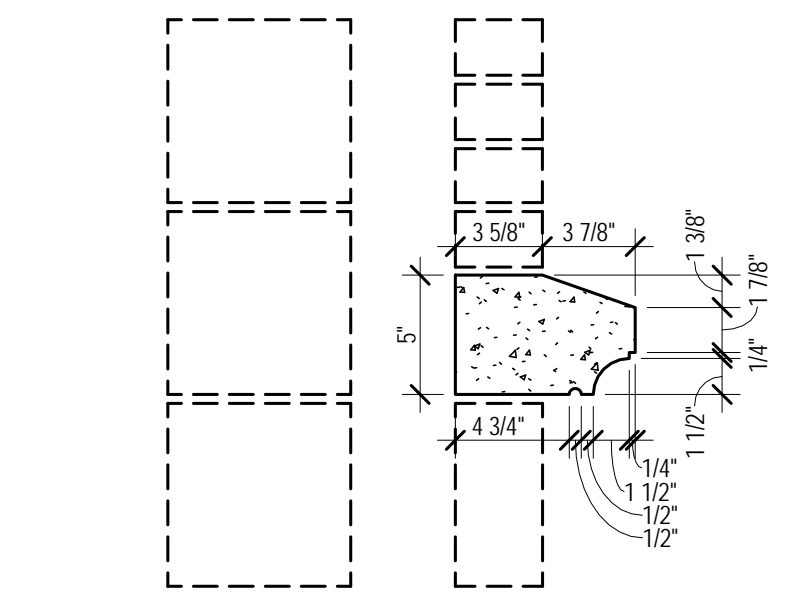
10 PRECAST BAND DETAIL
SCALE: 1 1/2" = 1'-0"



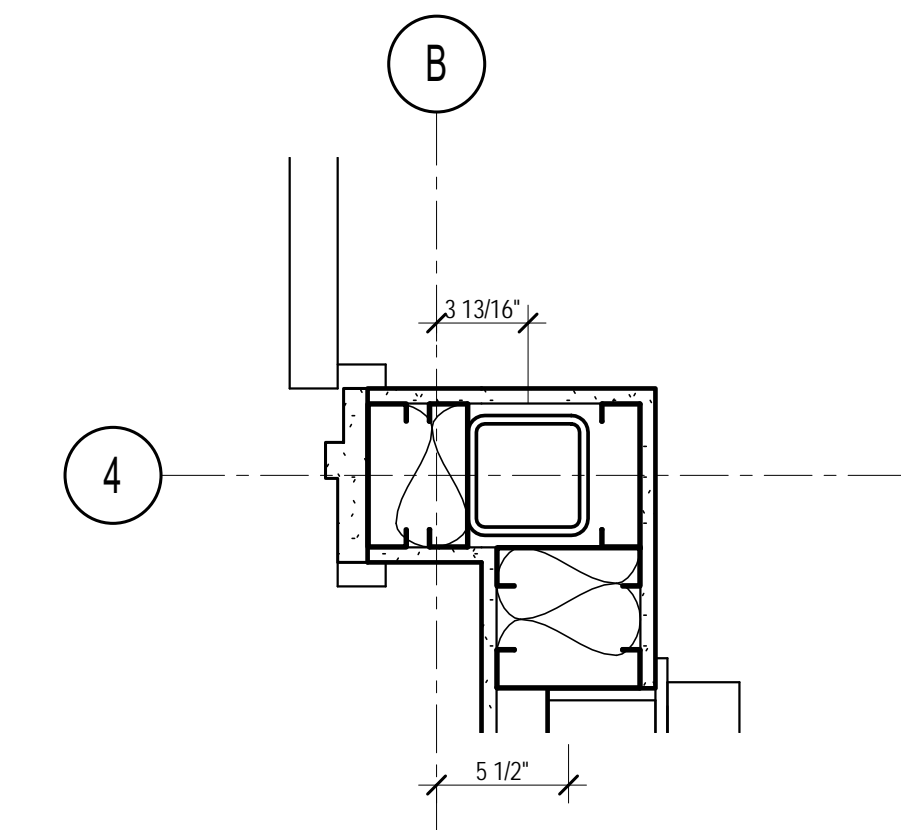
9 PRECAST SILL DETAIL
SCALE: 1 1/2" = 1'-0"



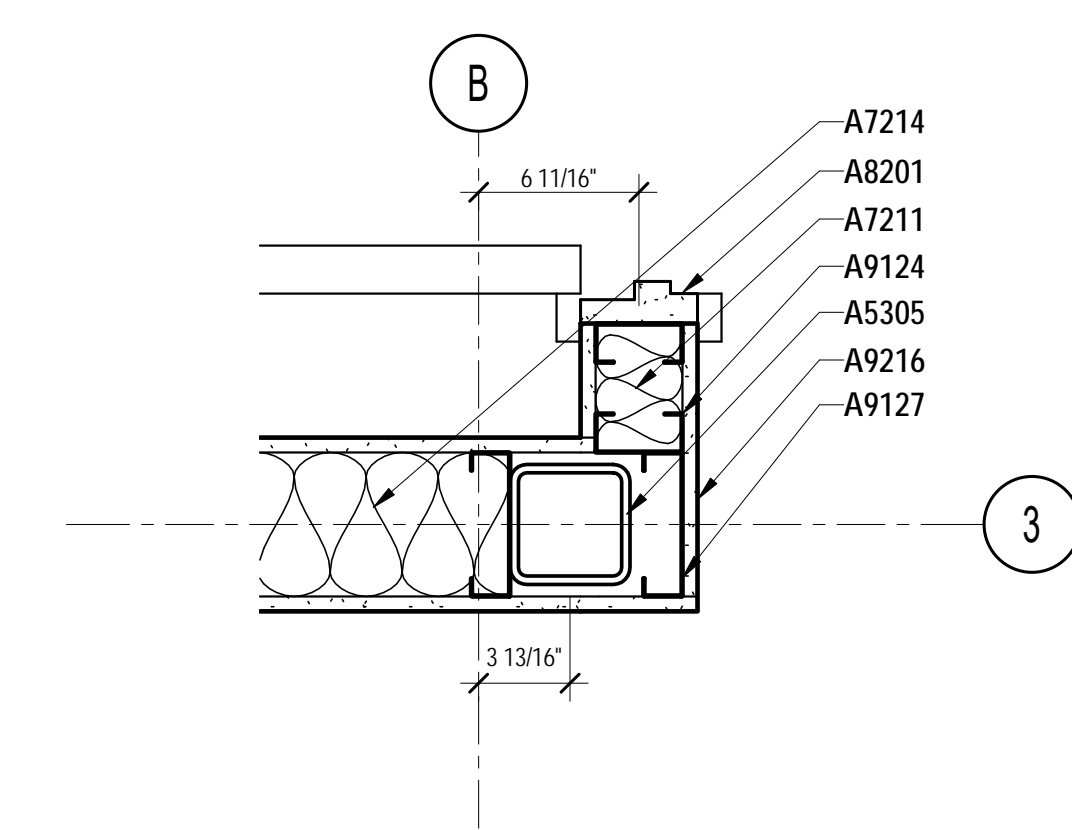
8 PRECAST SILL DETAIL
SCALE: 1 1/2" = 1'-0"



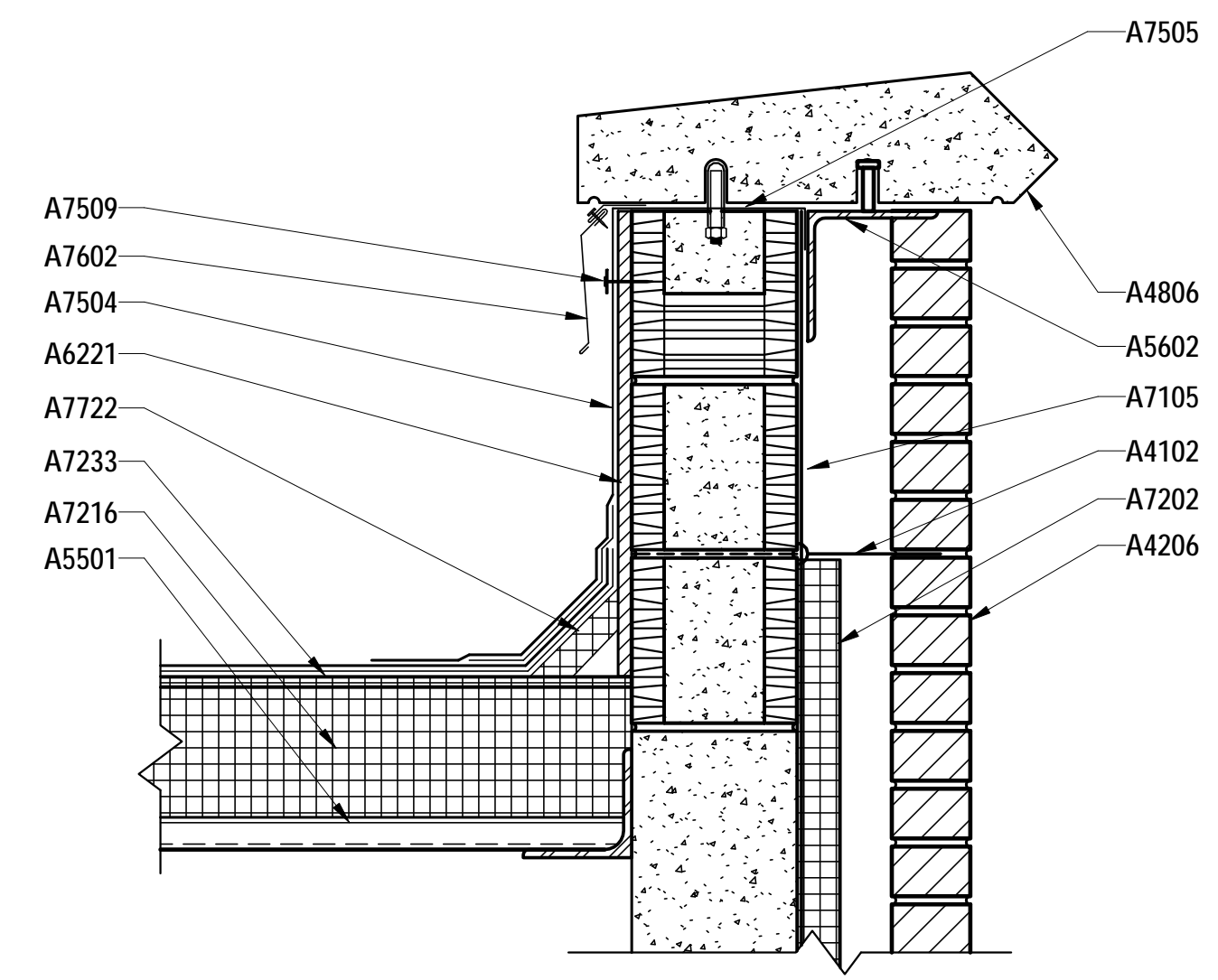
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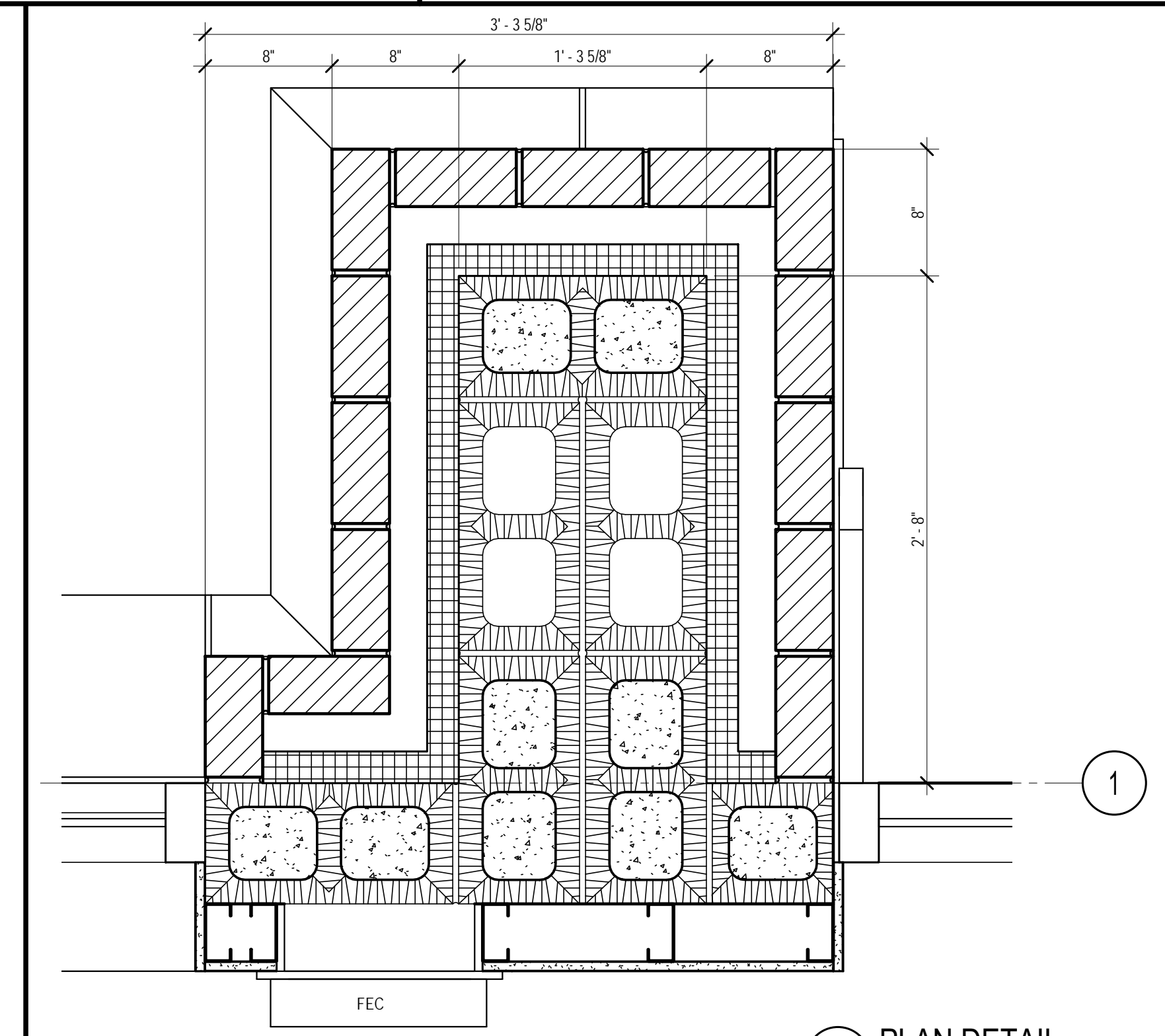
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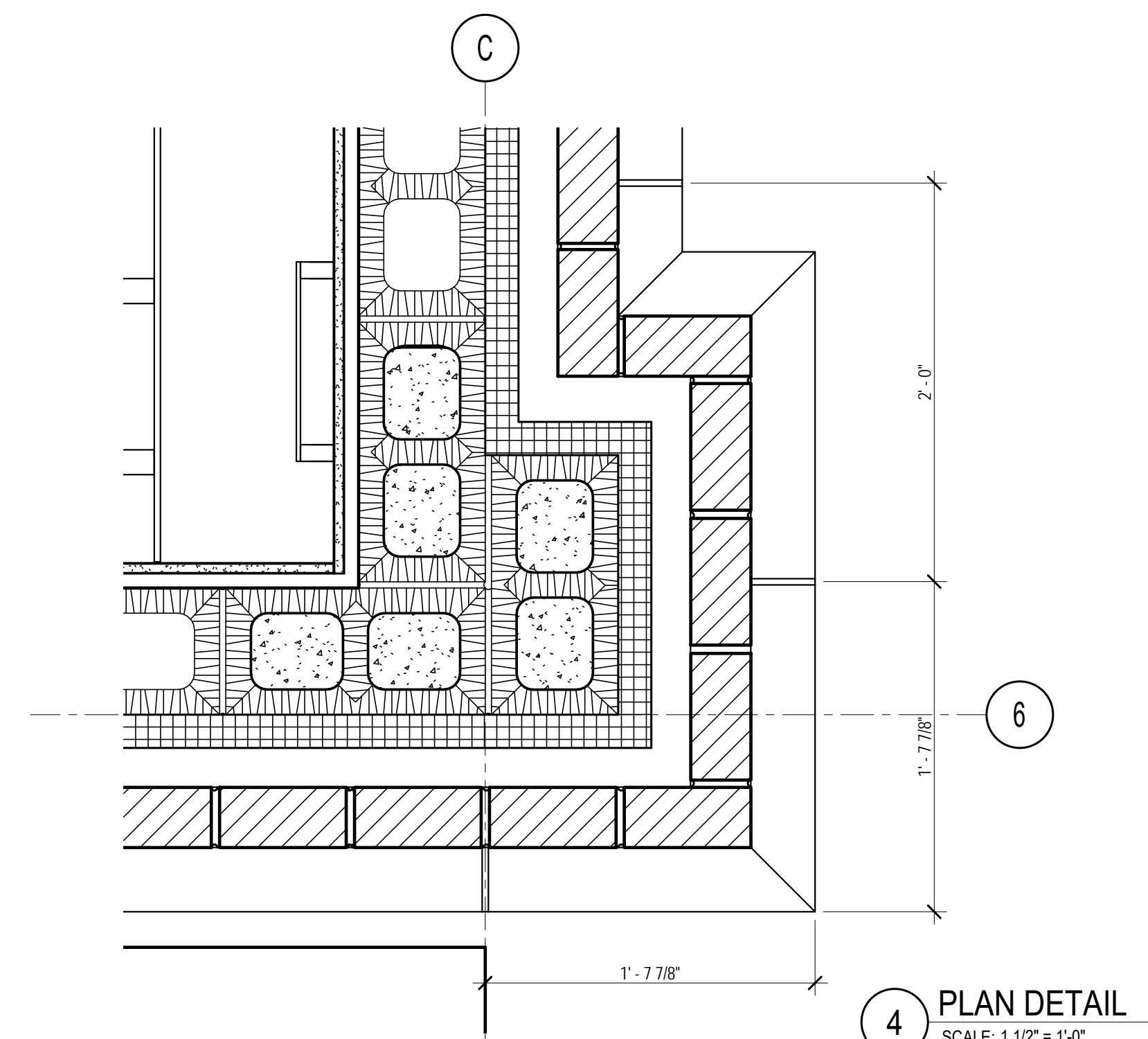
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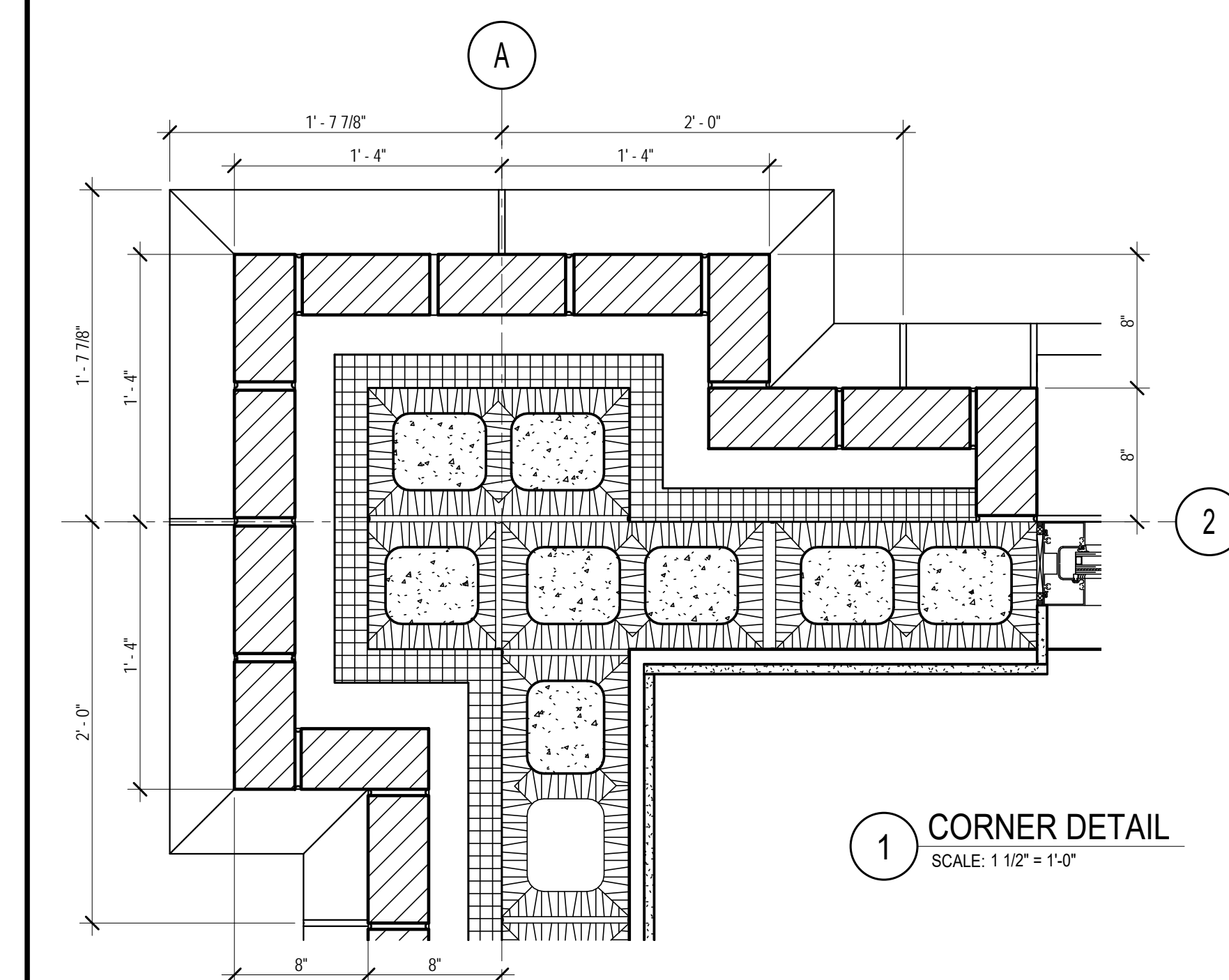
5 DETAIL
SCALE: 1 1/2" = 1'-0"



2 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



4 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"

KEYNOTE LEGEND	
NO.	DESCRIPTION
A4102	ADJUSTABLE MASONRY TIES @ 16" O.C. EACH WAY
A4206	4" BRICK VENEER SYSTEM
A4806	PRECAST CONCRETE CAP
A5305	STEEL TUBE COLUMN, SEE STRUCTURAL DWGS
A5501	METAL ROOF DECK SYSTEM
A5602	STEEL ANGLE, SEE STRUCTURAL DWGS
A6221	5/8" EXT GRADE PLYWOOD SHEATHING
A7105	BENTONITE MEMBRANE WATERPROOFING
A7202	2" RIGID INSULATION - R11 MIN
A7211	4" BATT INSULATION
A7214	6" BATT INSULATION
A7216	6" RIGID INSULATION, R 30 MIN
A7233	1/2" RECOVERY BOARD
A7504	ROOF MEMBRANE TO RUN UP ENTIRE WALL SURFACE
A7505	CONT ROOFING MEMBRANE UP & WRAP OVER PARAPET WALL, TYP
A7509	FASTENER
A7602	FABRICATED METAL COUNTER FLASHING SYSTEM
A7722	PREFABRICATED FIBER CANT STRIP
A8201	HOLLOW METAL DOOR & FRAME TYP, SEE DOOR SCHEDULE
A9124	3-5/8" METAL STUD
A9127	6" METAL STUD
A9216	5/8" GYPSUM WALL BOARD

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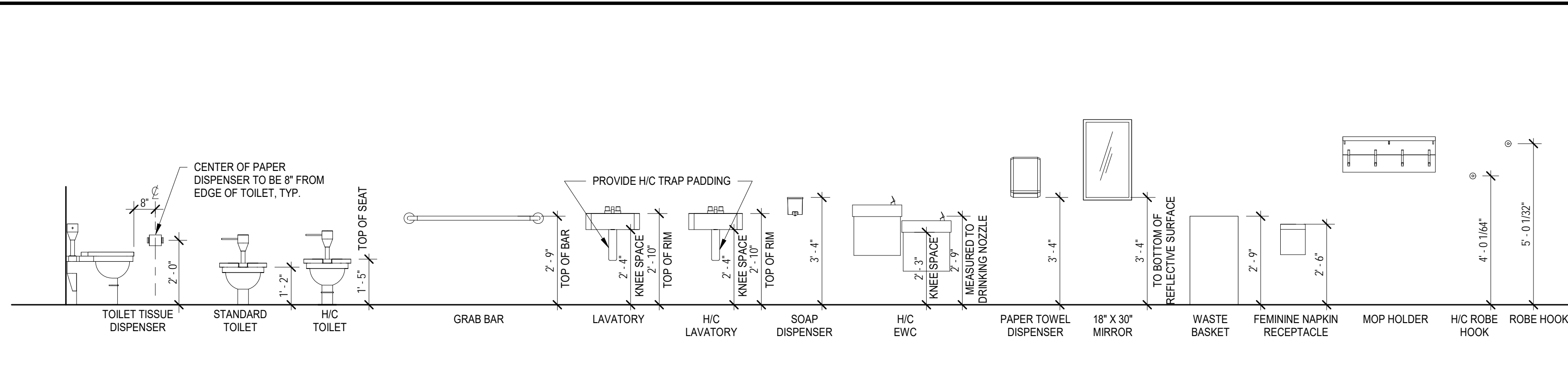
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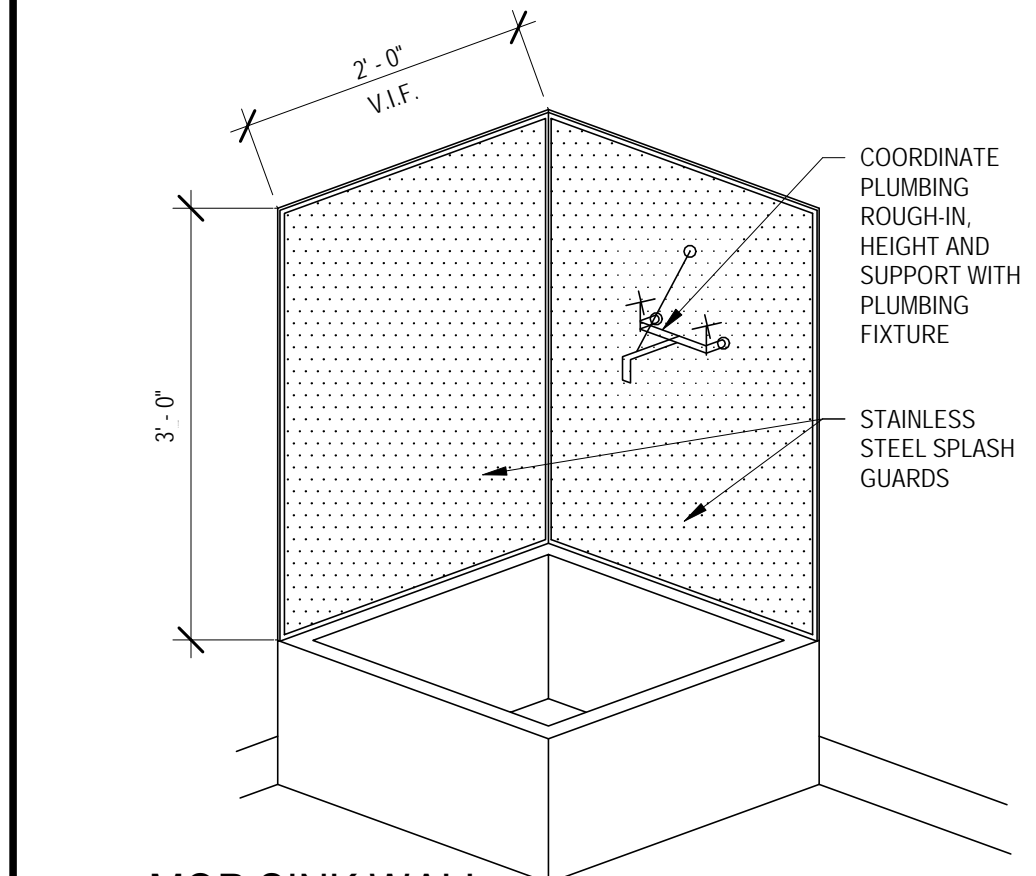
DETAILS

A6.2

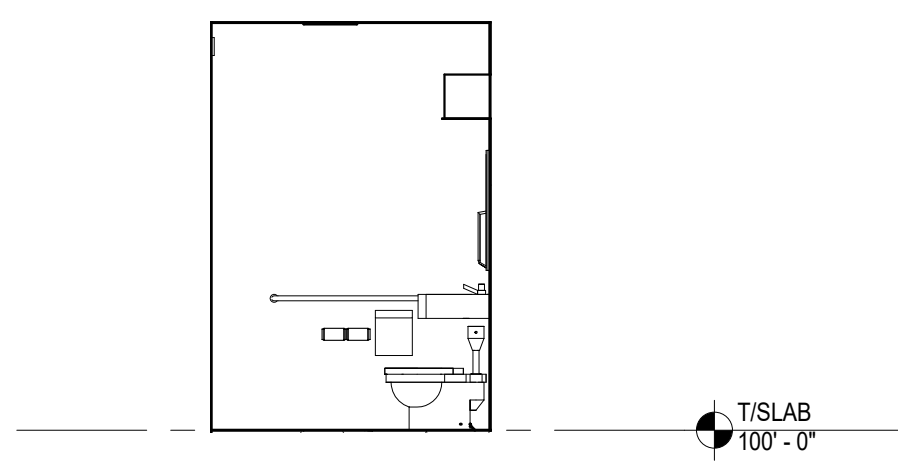


10 TYPICAL WALL MOUNTING HEIGHTS
SCALE: NTS

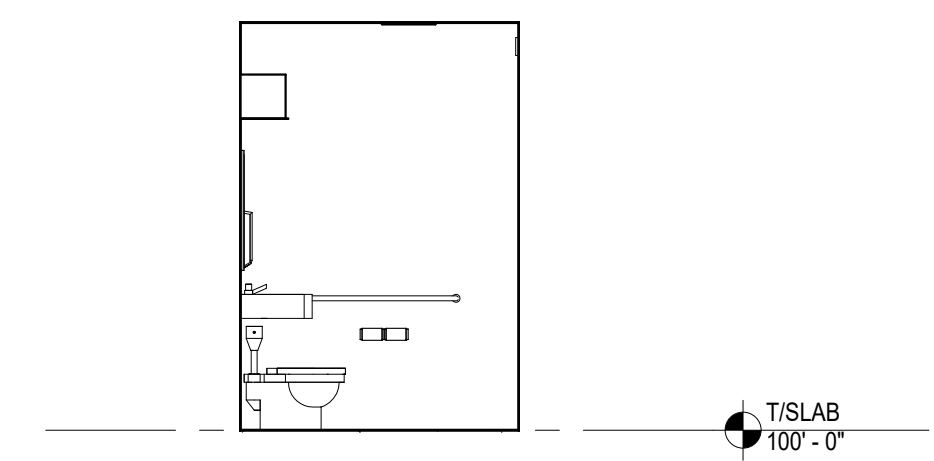
KEYNOTE LEGEND	
NO.	DESCRIPTION
A10213	ELECTRIC WATER COOLER, SEE PLUMBING & ELECTRICAL DWGS
A10801	5' ACCESSIBLE TURNING RADIUS
A10802	CLEAR FLOOR SPACE
A10804	GRAB BAR, 36"
A10805	GRAB BAR, 42"
A10808	18"W X 30"H MIRROR
A10816	SURFACE MOUNTED PAPER TOWEL DISPENSER & WASTE RECEPTACLE
A10817	DOUBLE TOILET PAPER HOLDER
A10819	FEMININE NAPKIN DISPOSAL SGL SIDED
A10825	WALL MOUNTED SOAP DISPENSER
A10840	TOILET, SEE PLUMBING DWGS
A10841	SINK, SEE PLUMBING DWGS



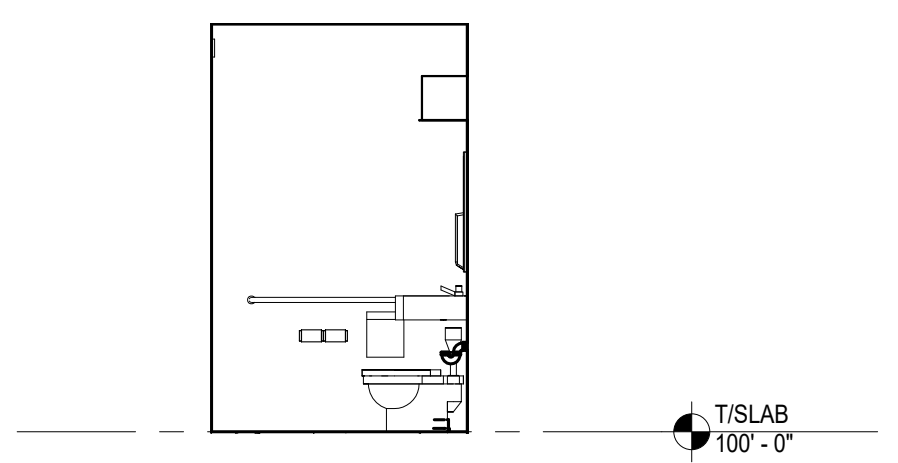
9 MOP SINK WALL PROTECTION
SCALE: 1/4" = 1'-0"



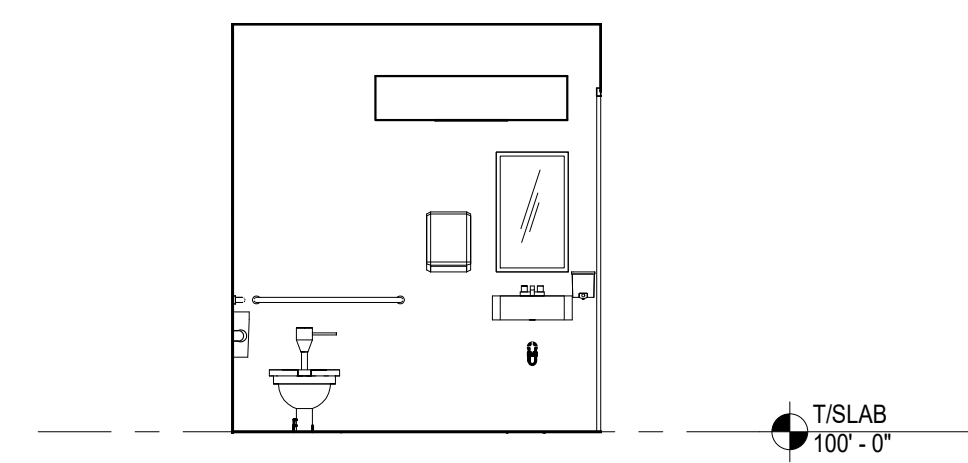
6 RESTROOM ELEVATION
SCALE: 1/4" = 1'-0"



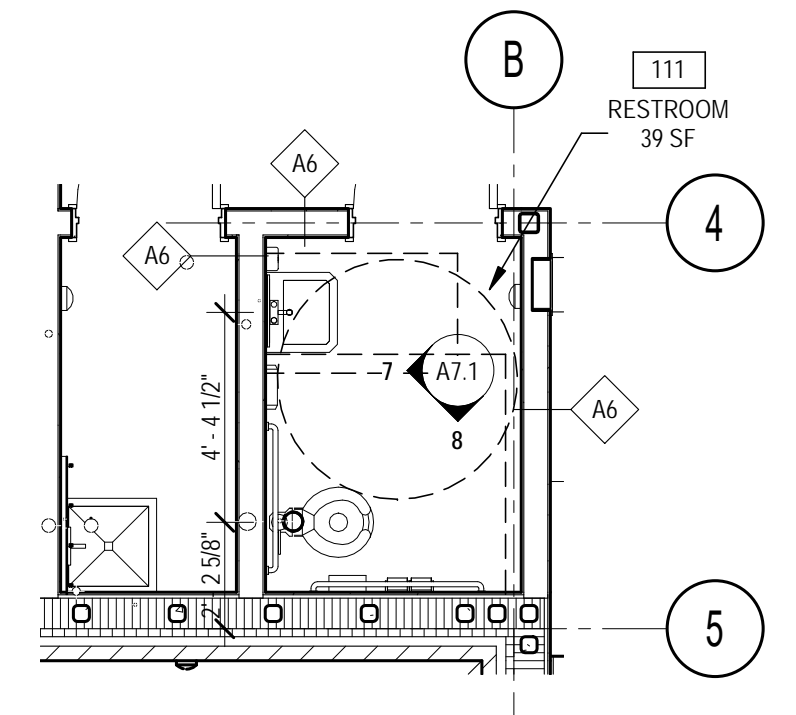
3 RESTROOM ELEVATION
SCALE: 1/4" = 1'-0"



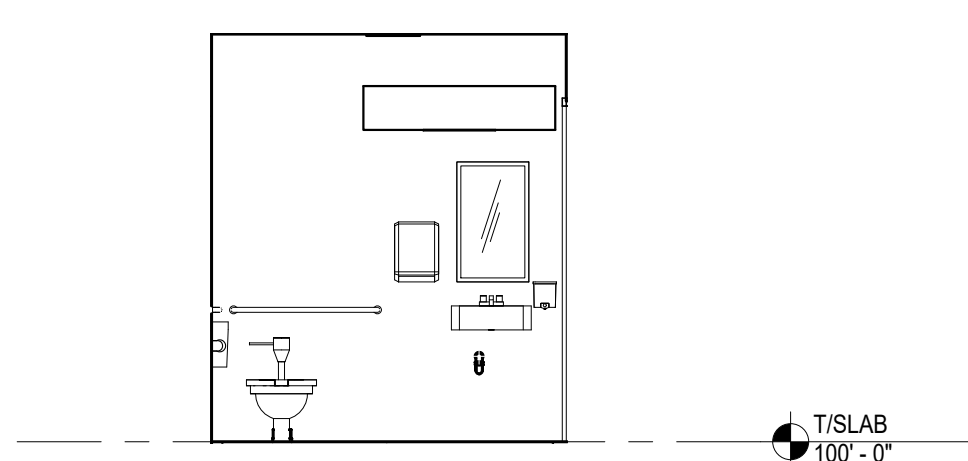
8 RESTROOM ELEVATION
SCALE: 1/4" = 1'-0"



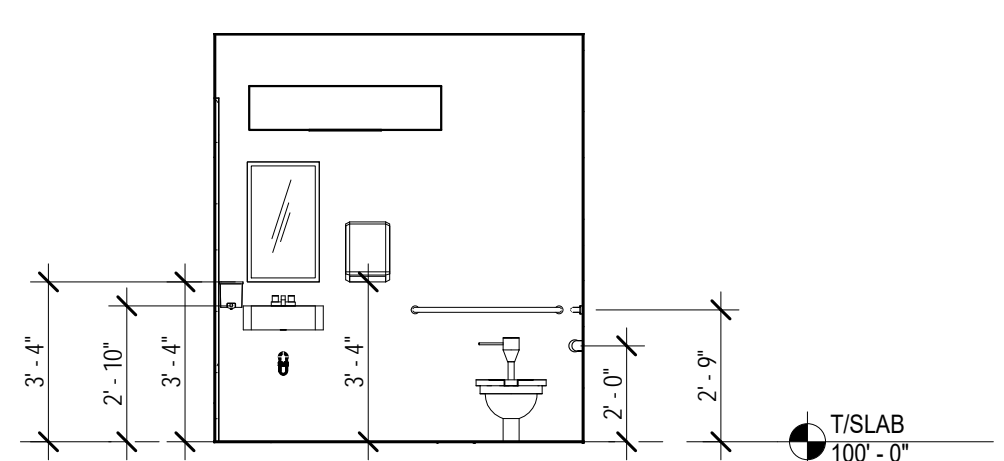
5 RESTROOM ELEVATION
SCALE: 1/4" = 1'-0"



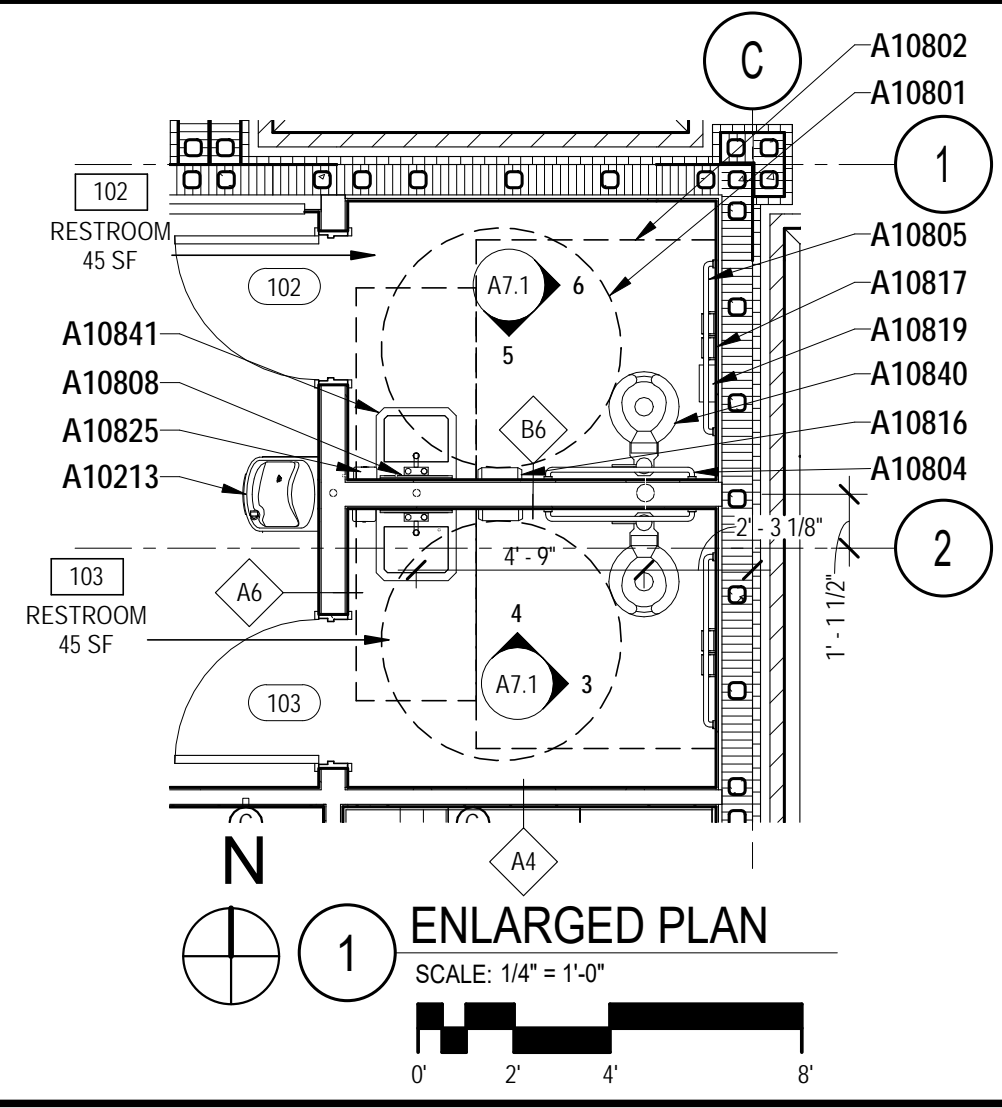
2 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



7 RESTROOM ELEVATION
SCALE: 1/4" = 1'-0"



4 RESTROOM ELEVATION
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN
SCALE: 1/4" = 1'-0"

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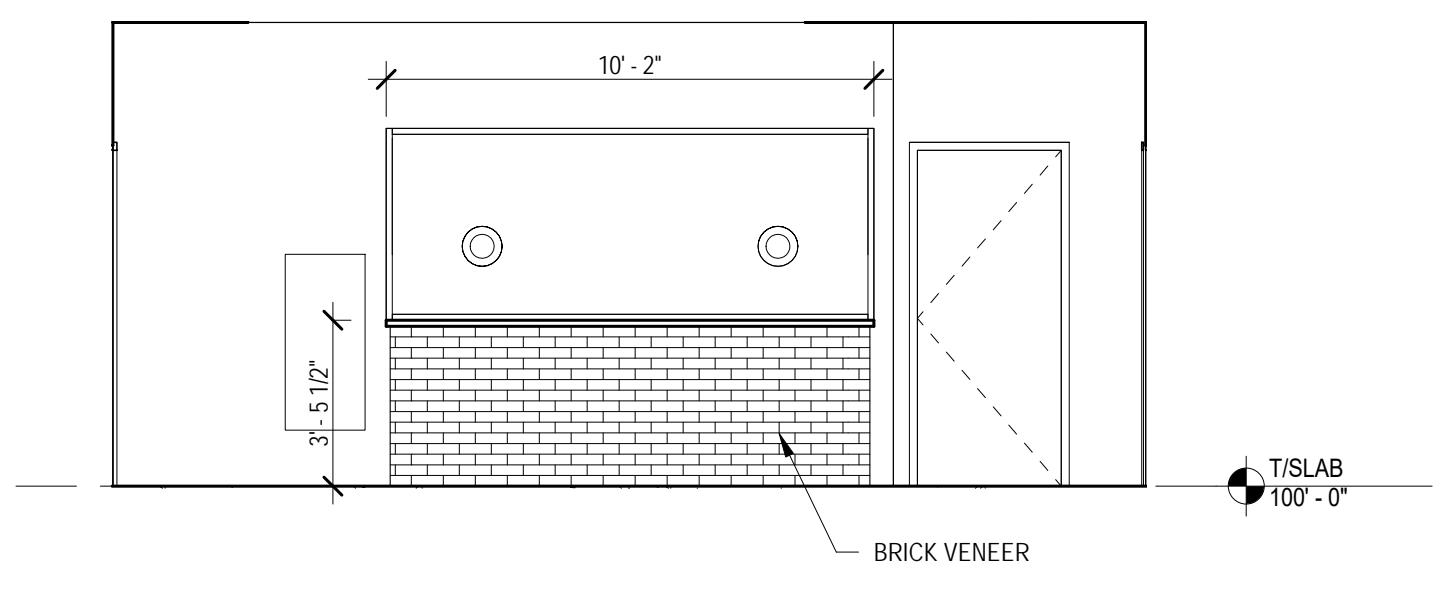
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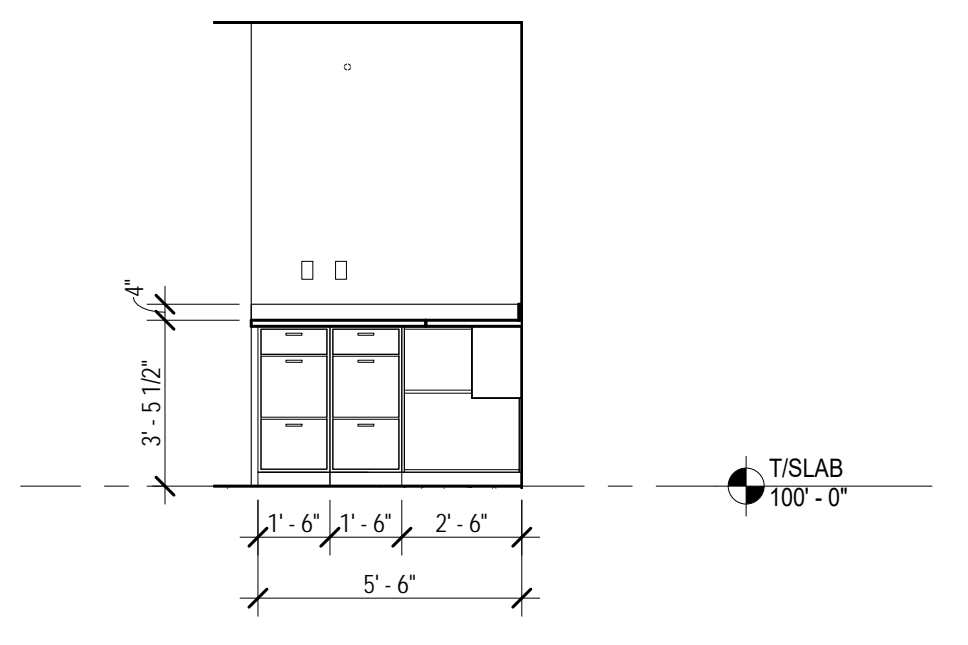
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ENLARGED PLANS & ELEVATIONS

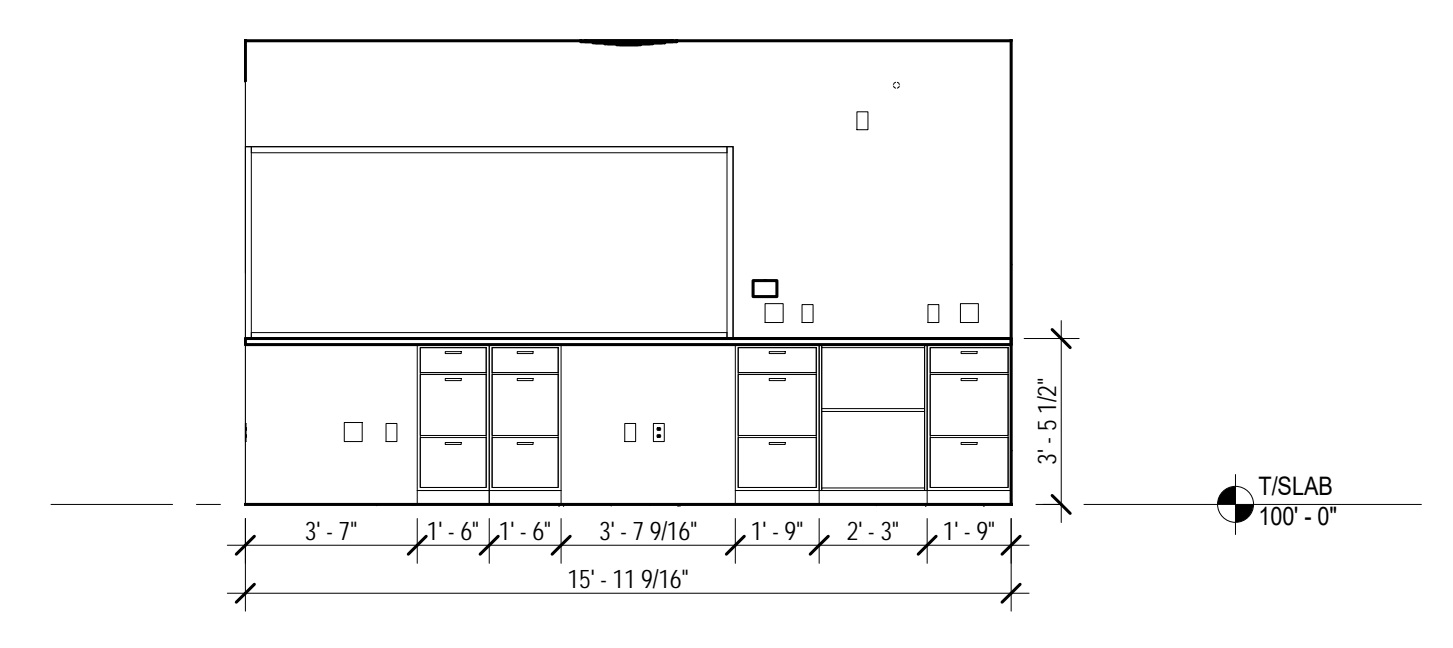
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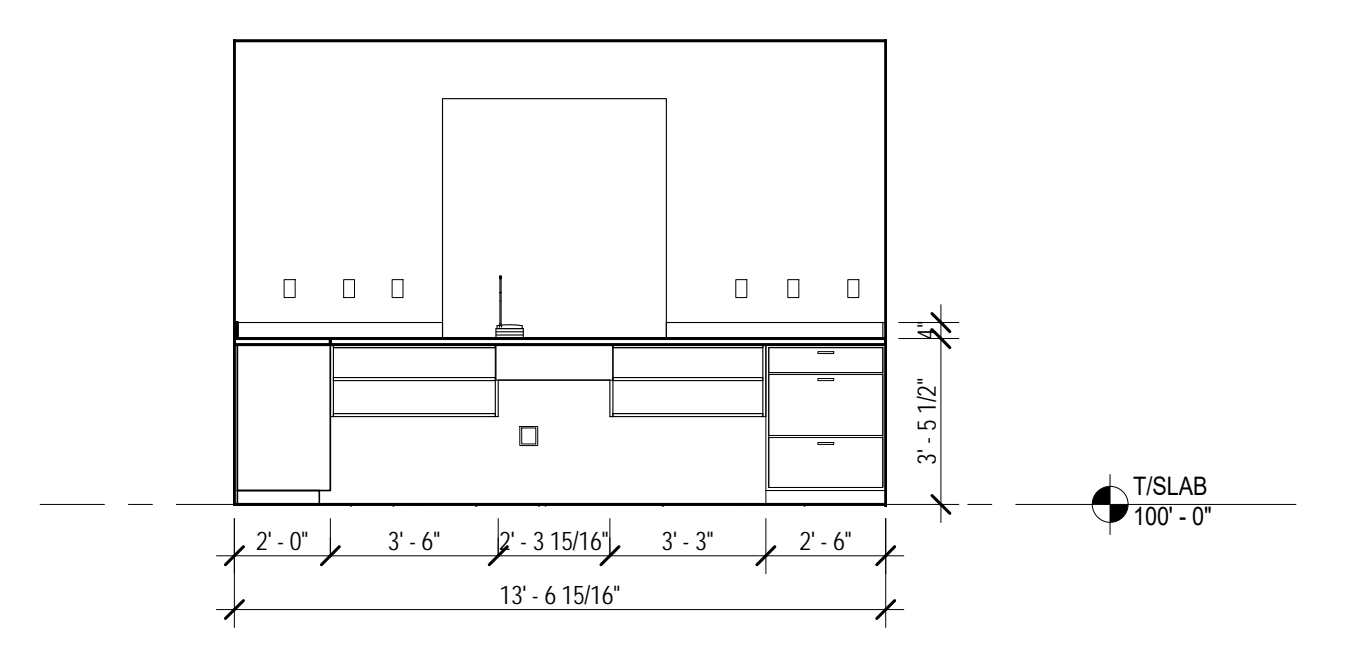
8 LOBBY ELEVATION
SCALE: 1/4" = 1'-0"



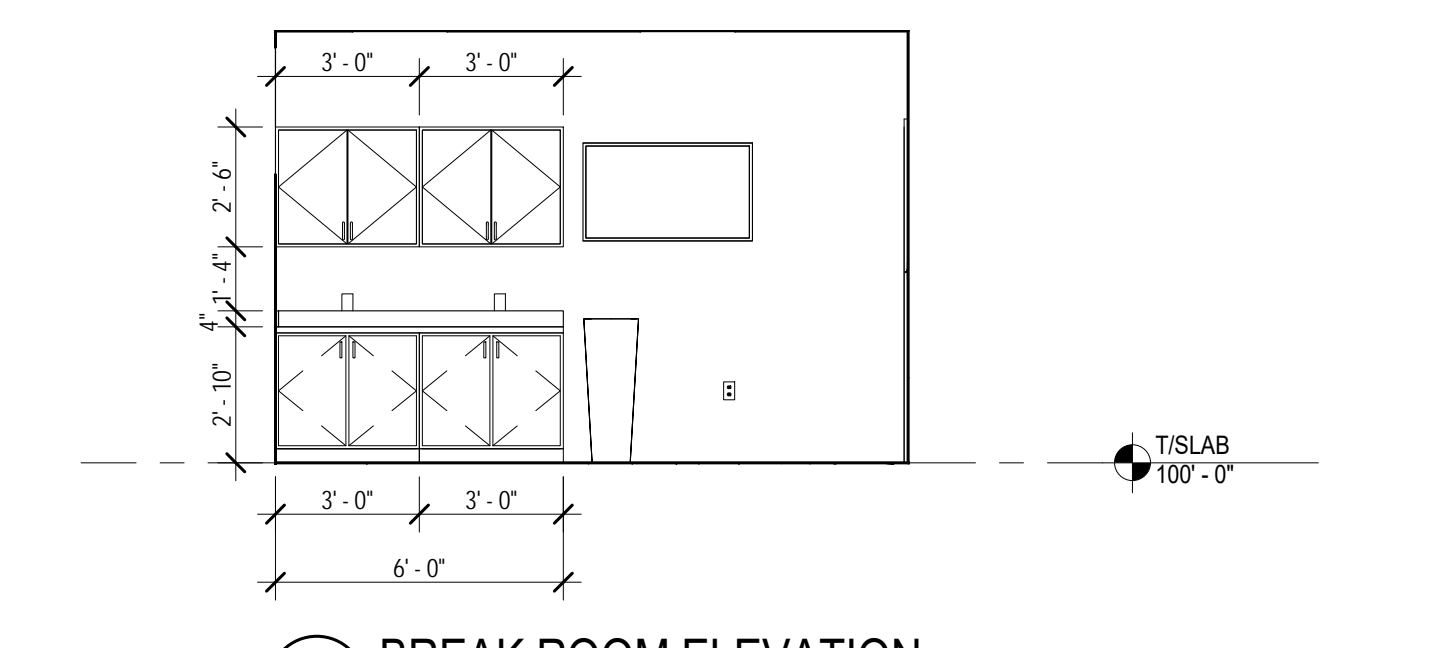
4 DRIVE-THRU COUNTER ELEVATION
SCALE: 1/4" = 1'-0"



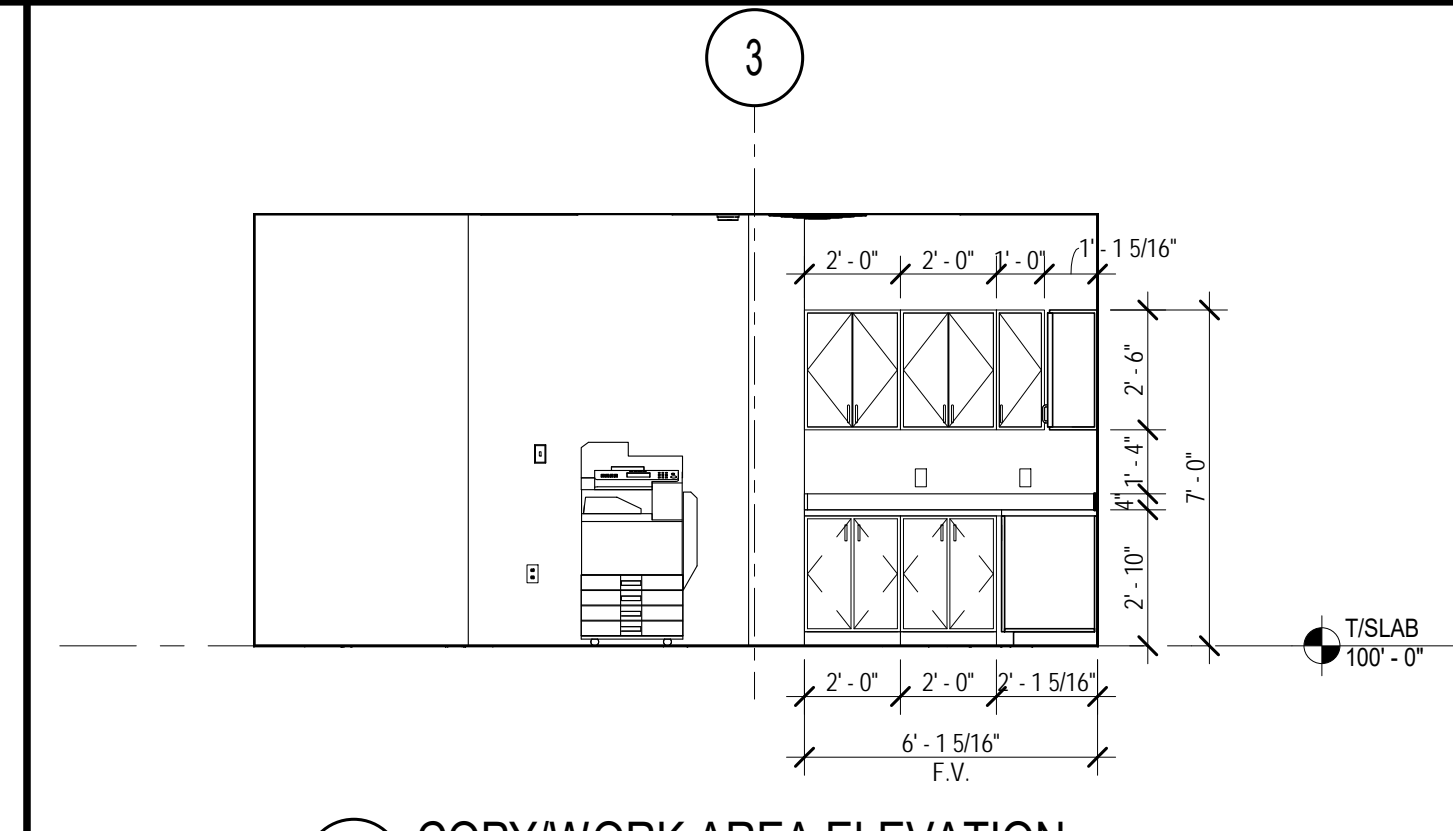
7 SERVICE COUNTER ELEVATION
SCALE: 1/4" = 1'-0"



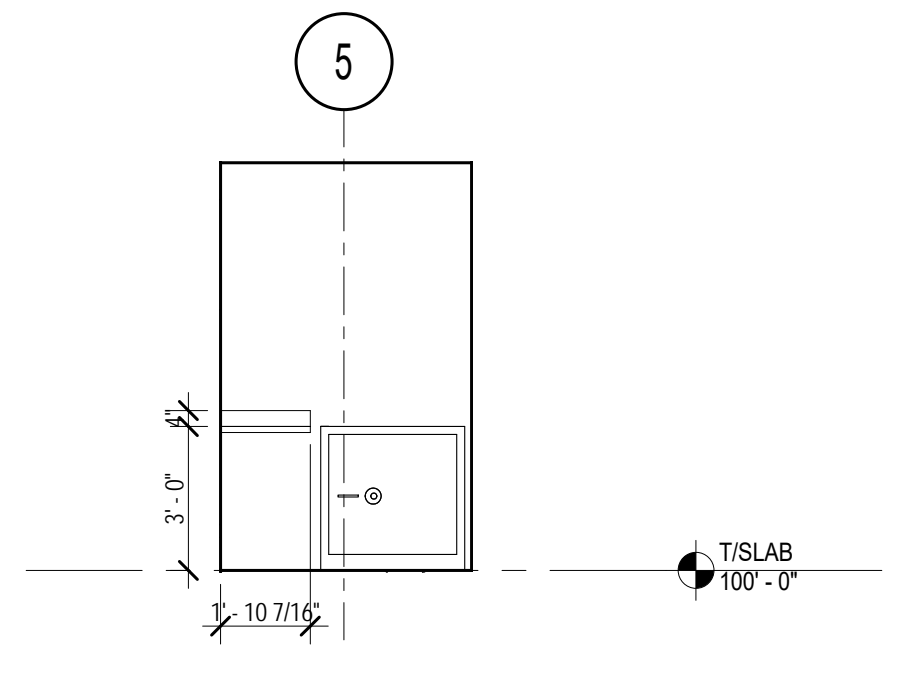
3 DRIVE-THRU COUNTER ELEVATION
SCALE: 1/4" = 1'-0"



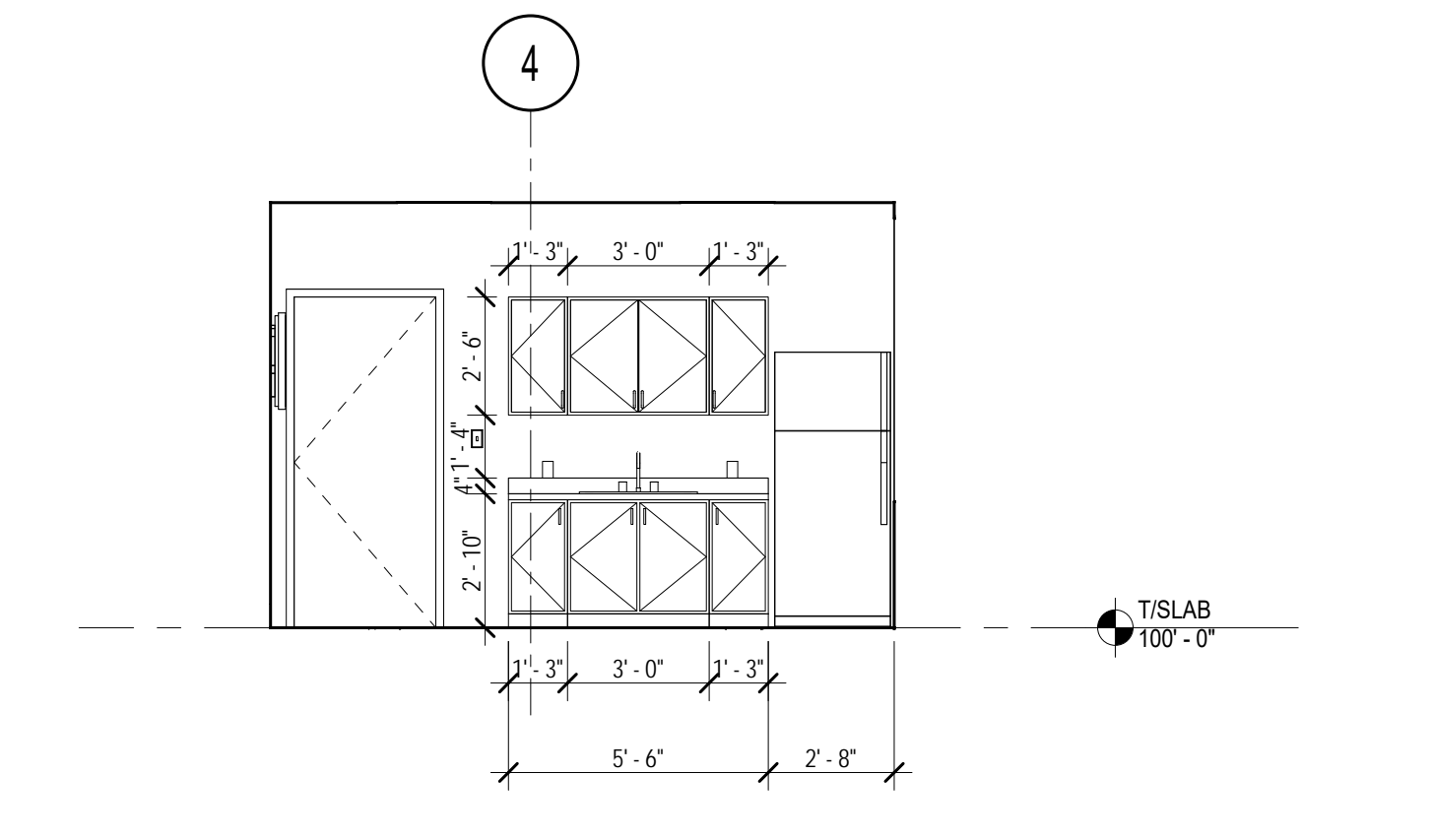
6 BREAK ROOM ELEVATION
SCALE: 1/4" = 1'-0"



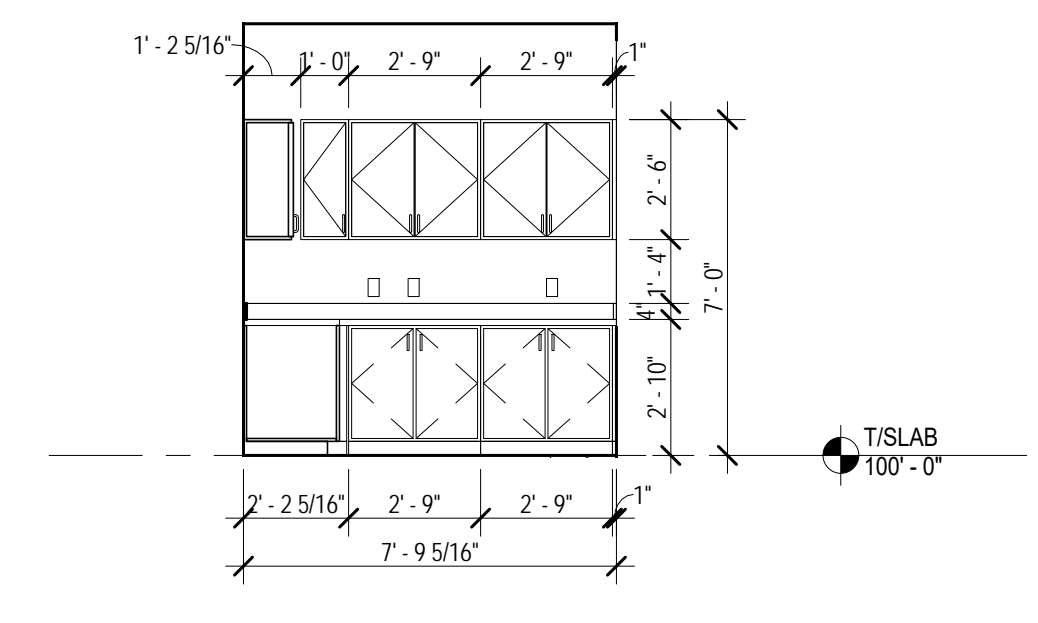
2 COPY/WORK AREA ELEVATION
SCALE: 1/4" = 1'-0"



9 SAFE ROOM ELEVATION
SCALE: 1/4" = 1'-0"



5 BREAK ROOM ELEVATION
SCALE: 1/4" = 1'-0"



1 COPY/WORK AREA ELEVATION
SCALE: 1/4" = 1'-0"

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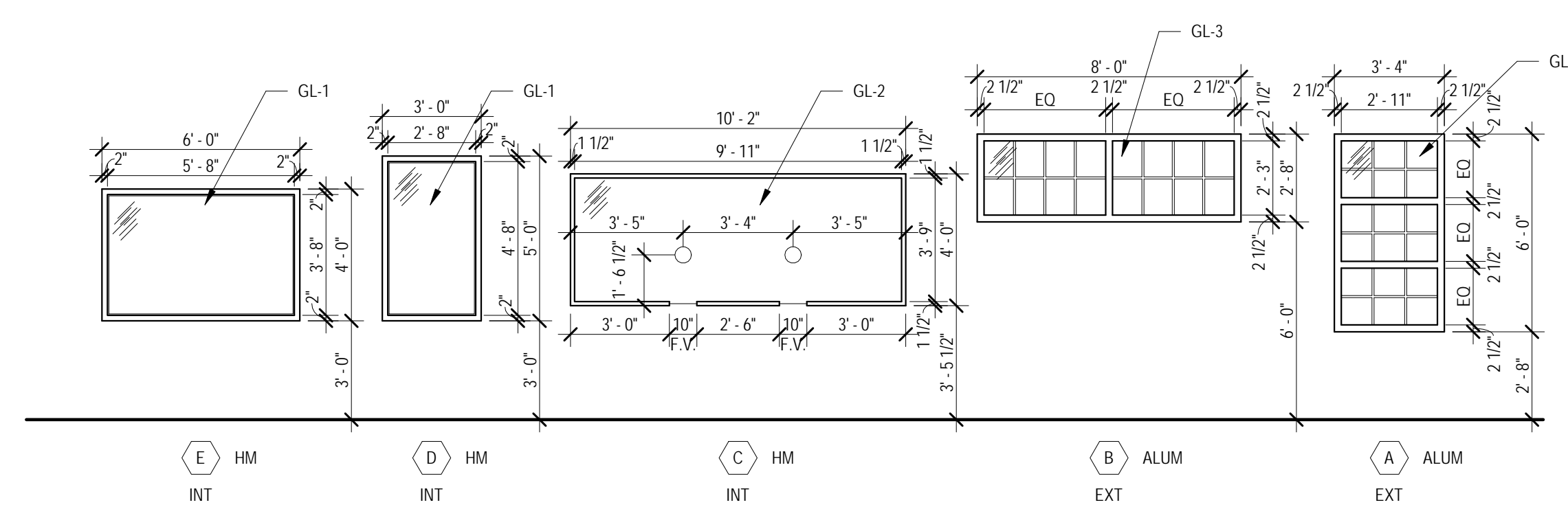
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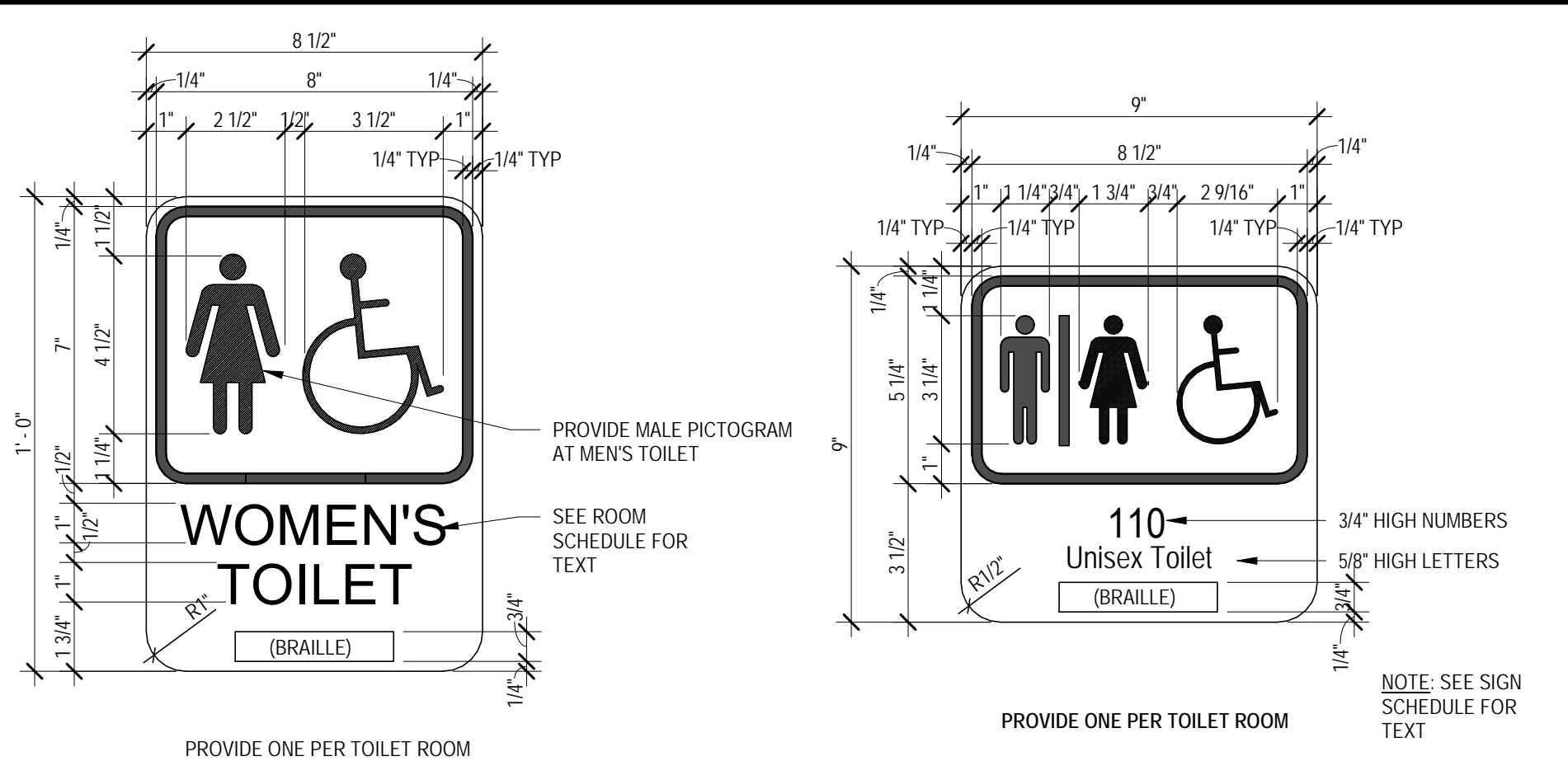
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CASEWORK ELEVATIONS

DOOR SCHEDULE														
NO.	TYPE	PAIR	DOOR				FRAME			DETAILS			REMARKS	
			WIDTH	HEIGHT	MAT	RATING	FINISH	HW	TYPE	MAT	HEAD	JAMB		SILL
101	D	PR	6'-0"	7'-0"					A	HM				
102	1		3'-0"	7'-0"	SCWD				A	HM				
103	1		3'-0"	7'-0"	SCWD				A	HM				
104	1		3'-0"	7'-0"	SCWD				A	HM				
105			6'-0"	8'-0"										ACCESS CONTROL
105A	1		3'-0"	7'-0"	SCWD				A	HM				NO EXTERIOR TRIM
105B	1		3'-0"	7'-0"	SCWD				A	HM				ACCESS CONTROL
106	2		3'-0"	7'-0"	SCWD				A	HM				
107	1		3'-0"	7'-0"	SCWD				A	HM				
108	1		3'-0"	7'-0"	SCWD				A	HM				
109	1		3'-0"	7'-0"	SCWD				A	HM				
110	1		3'-0"	7'-0"	SCWD				A	HM				
111	1		3'-0"	7'-0"	SCWD				A	HM				
112	4		3'-0"	7'-0"	HM				B	HM				ACCESS CONTROL
113			15'-4"	8'-0"										
114			15'-4"	8'-0"										
115	1		3'-0"	7'-0"	SCWD				A	HM				
116	1		3'-0"	7'-0"	SCWD				A	HM				
117	4		3'-0"	7'-0"	SCWD				B	HM				
118	4		3'-0"	7'-0"	SCWD				B	HM				
119			15'-4"	8'-0"										
120			8'-0"	8'-0"										
121	4		3'-0"	7'-0"					B	HM				
122	4		3'-0"	7'-0"					B	HM				
123	4		3'-0"	7'-0"					B	HM				
124	4		3'-0"	7'-0"					B	HM				
126	4		3'-0"	7'-0"					B	HM				

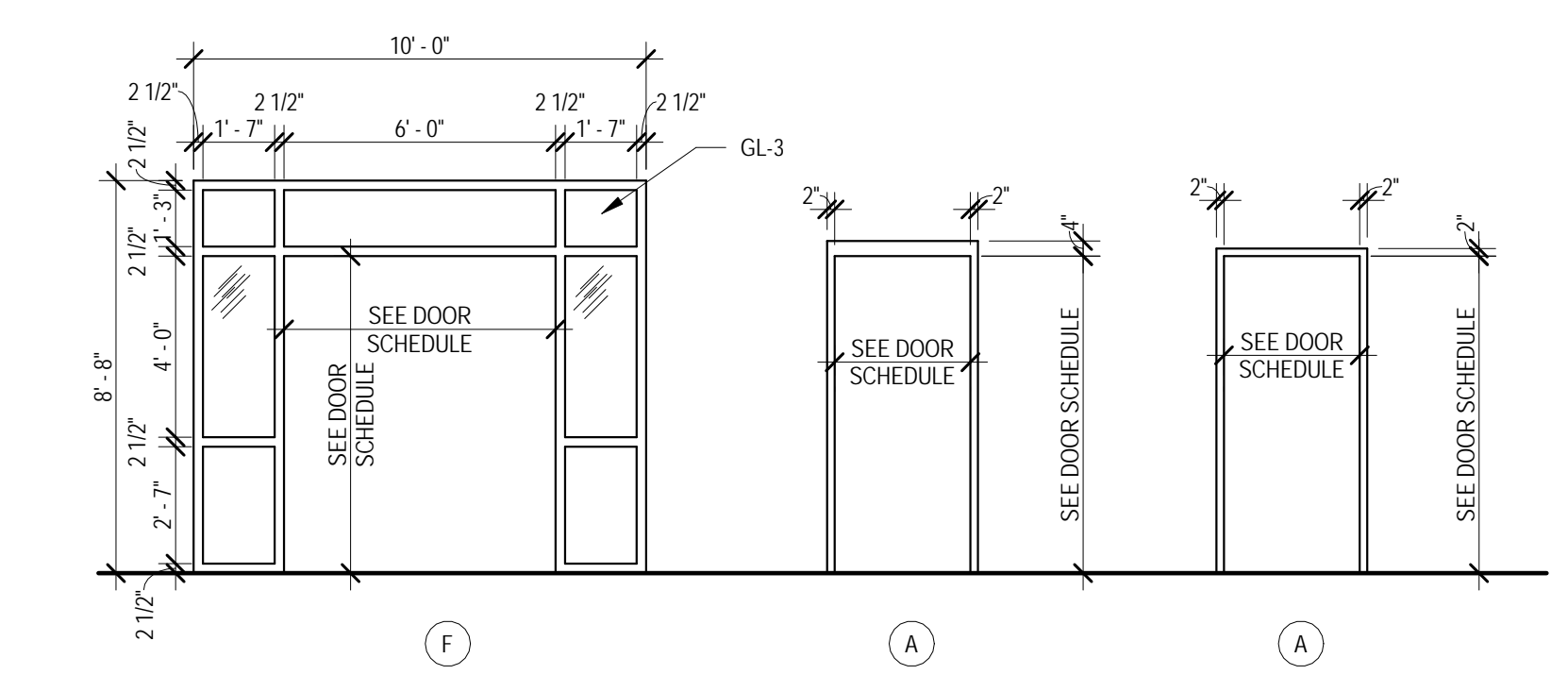


3 WINDOW TYPES ELEVATIONS
SCALE: 1/4" = 1'-0"

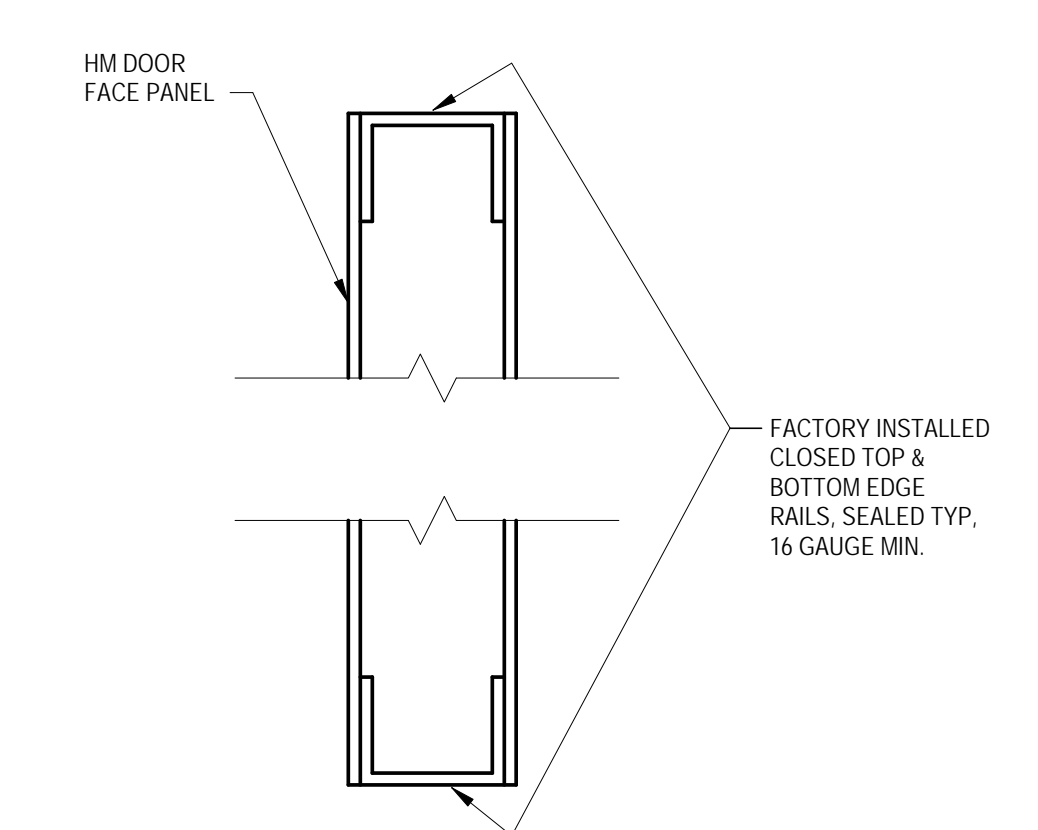


10 SIGNAGE DETAIL
SCALE: 3" = 1'-0"

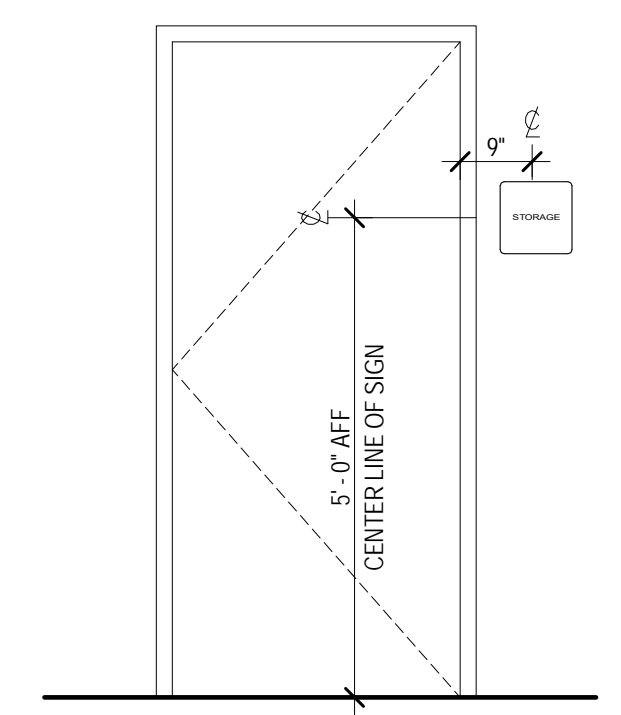
GLAZING TYPES:			
TYPE	THK	DESCRIPTION	LOCATION
GL-1	1/4"	CLEAR TEMPERED GLAZING	INT
GL-2	1 1/2"	LEVEL 3 BULLET RESISTANT - LOW SPALL	INT
GL-3	1 5/16"	LOW-E COATED, TINTED, INSULATED, LAMINATED GLAZING	EXT



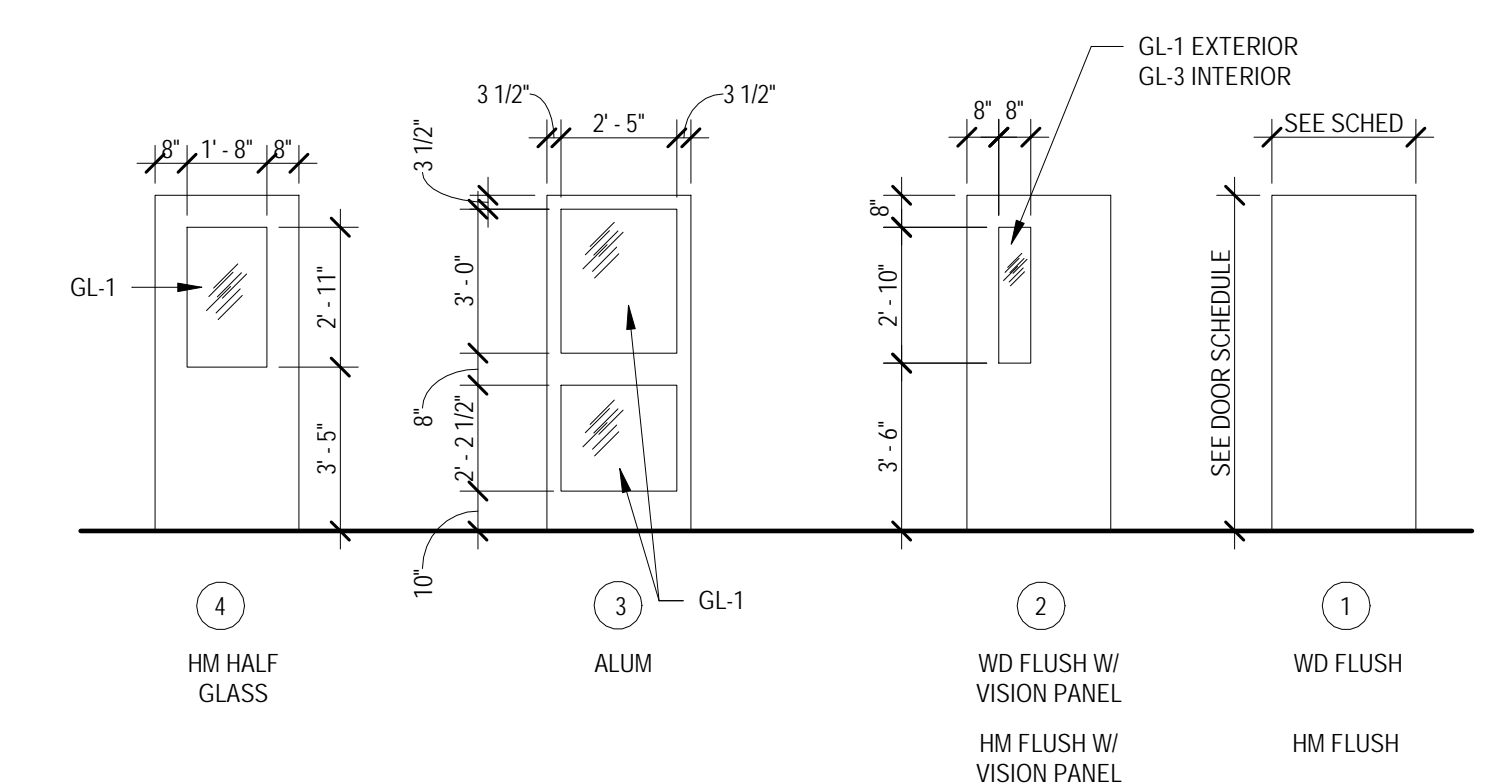
2 FRAME TYPES ELEVATIONS
SCALE: 1/4" = 1'-0"



5 TYP HM DOOR DETAIL
SCALE: 6" = 1'-0"



11 SIGN PLACEMENT DETAIL
SCALE: 1/2" = 1'-0"



1 DOOR TYPES ELEVATIONS
SCALE: 1/4" = 1'-0"

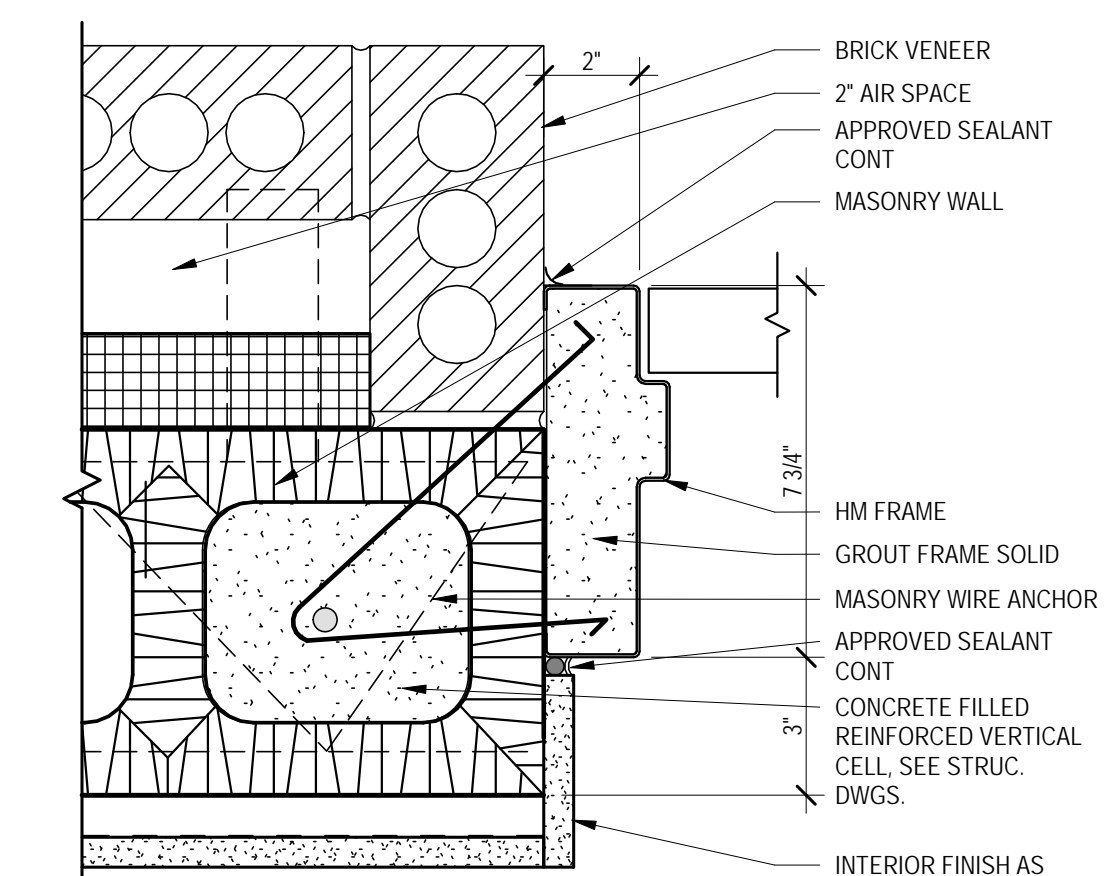
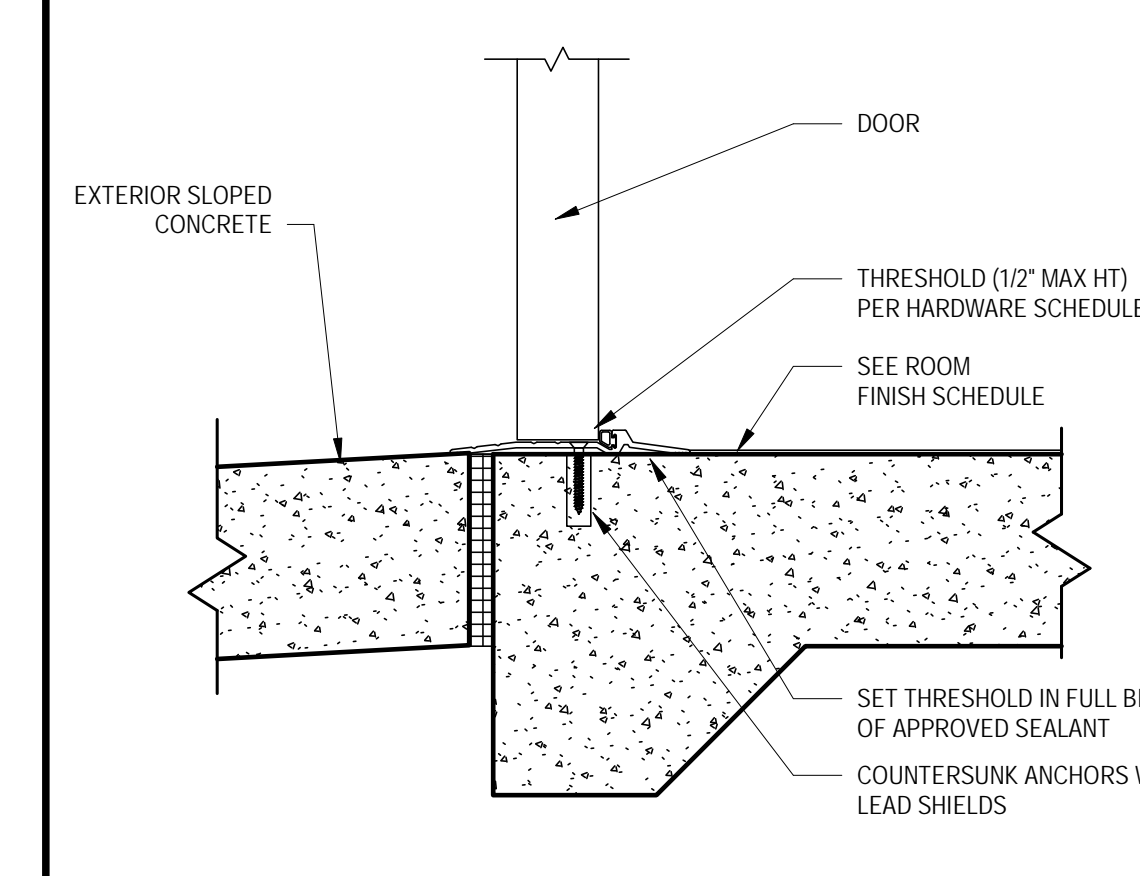
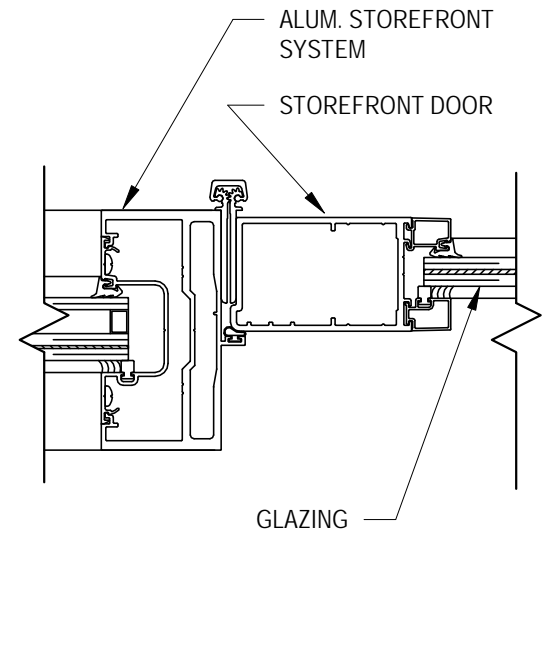
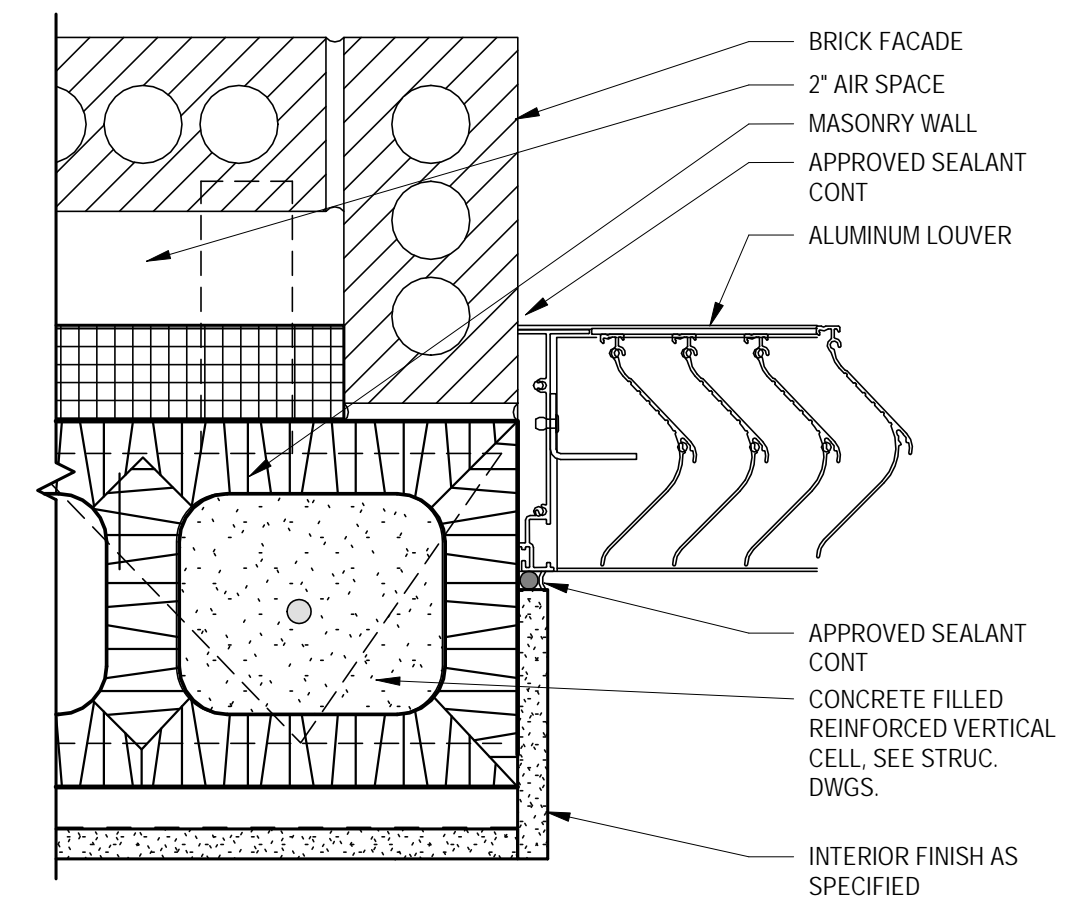
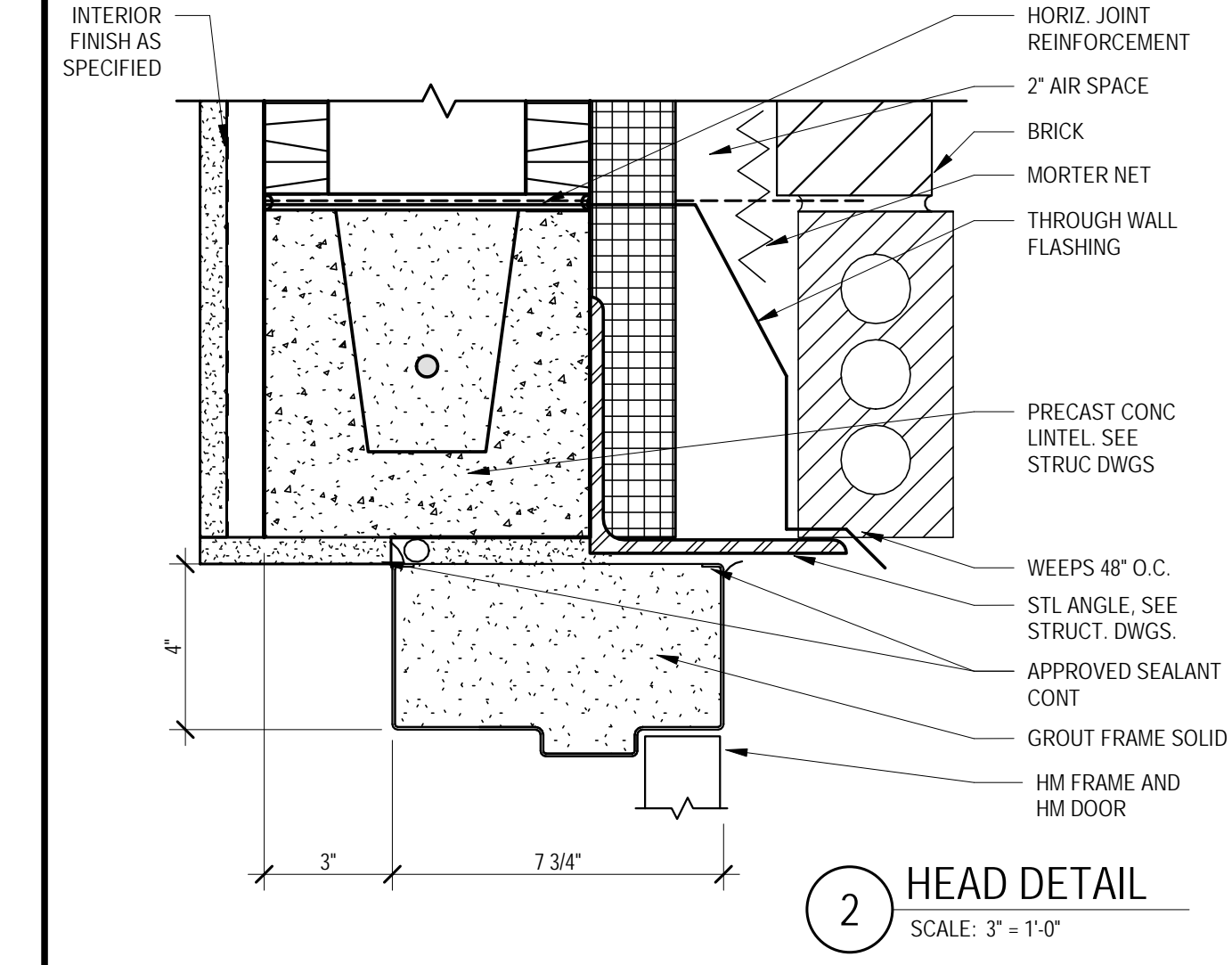
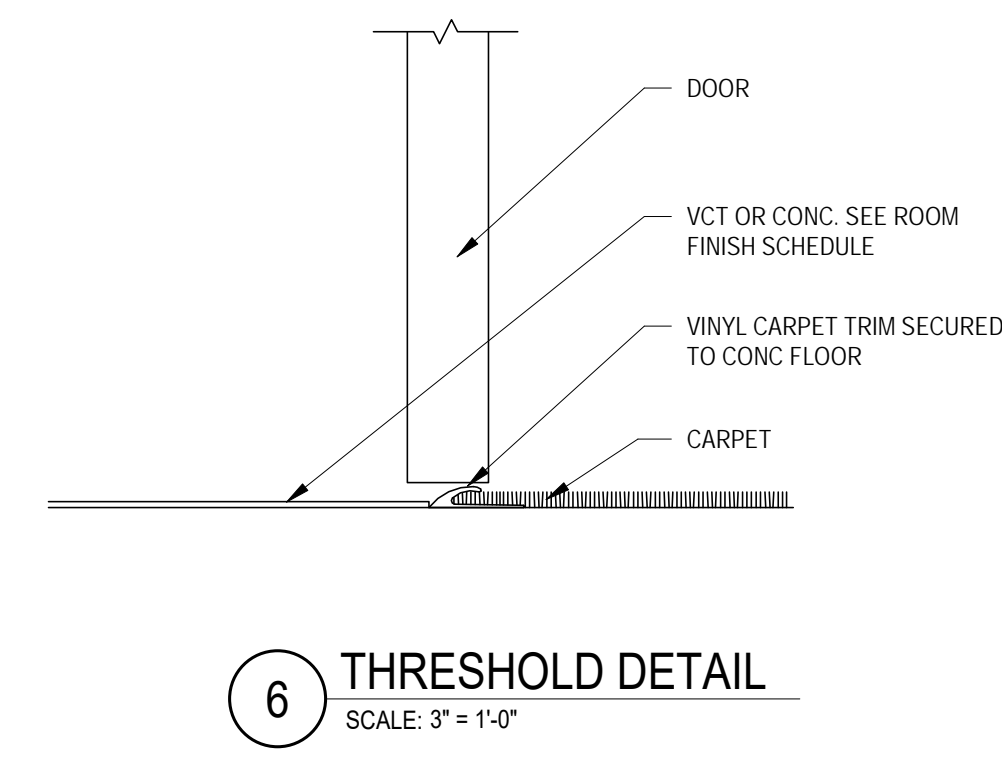
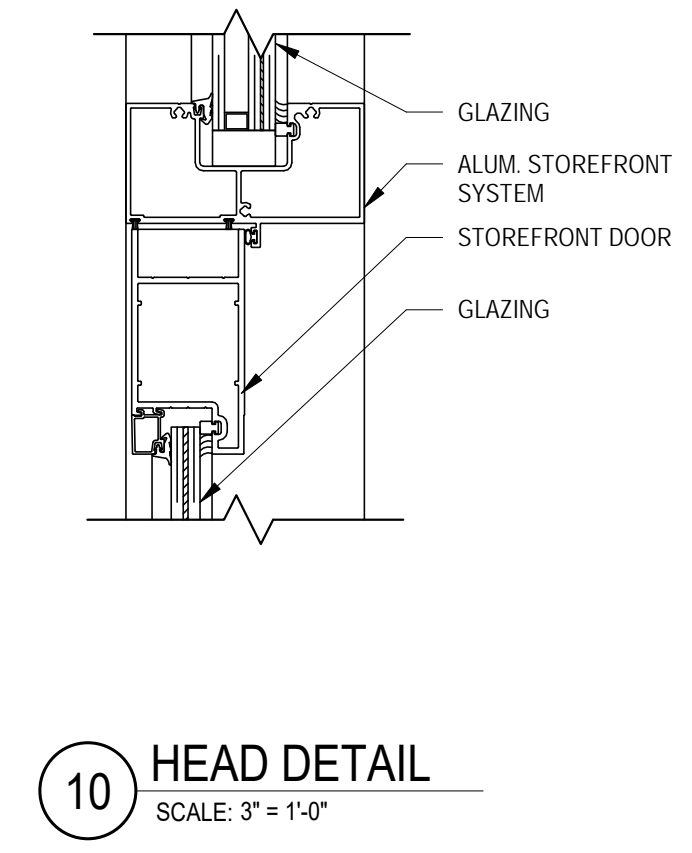
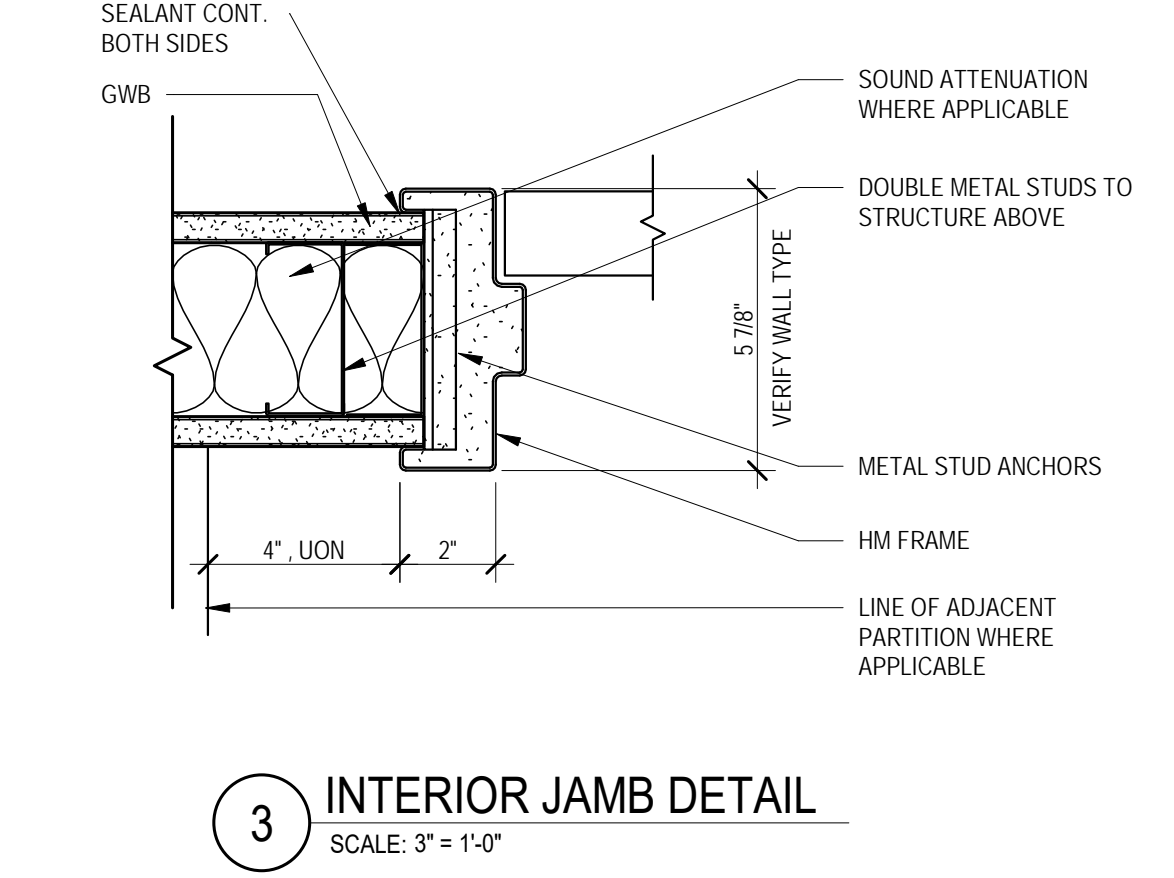
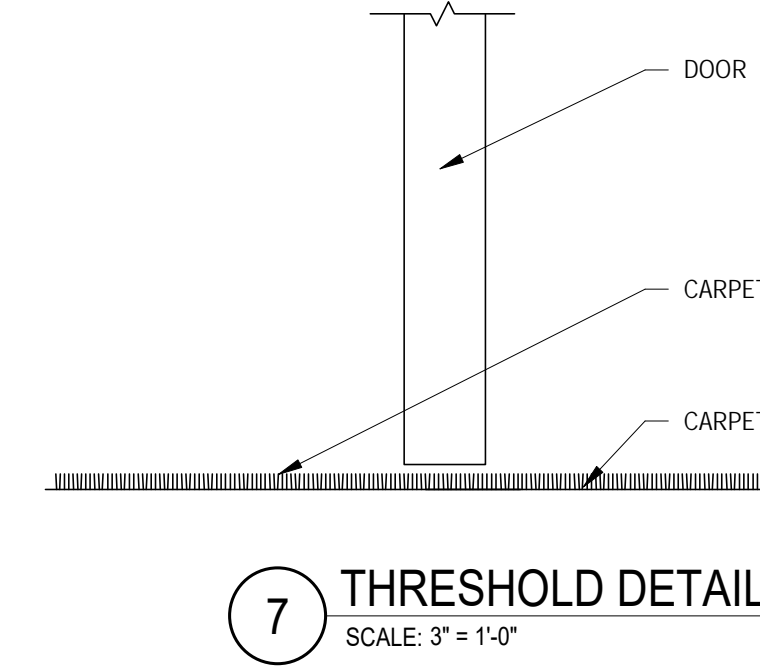
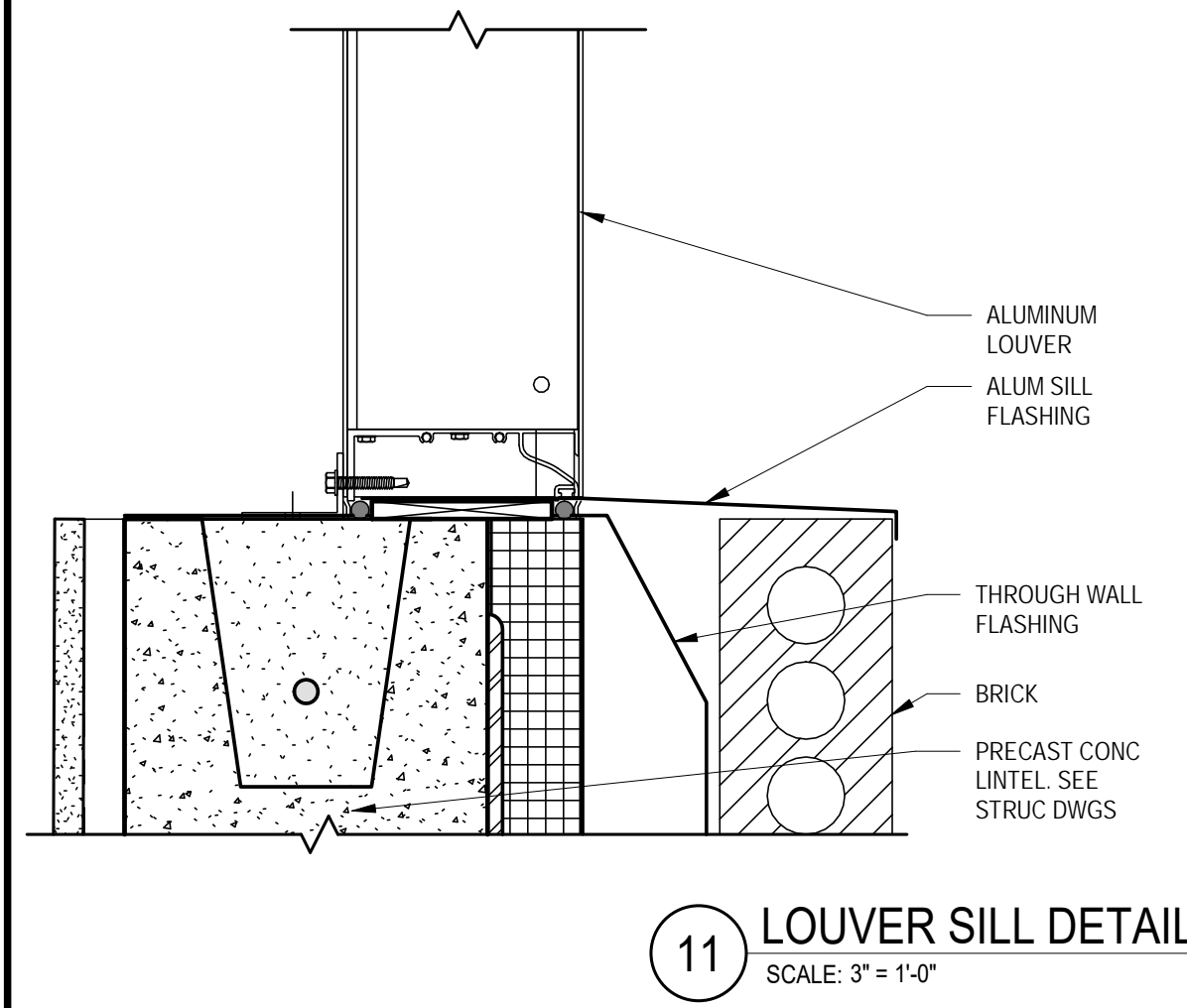
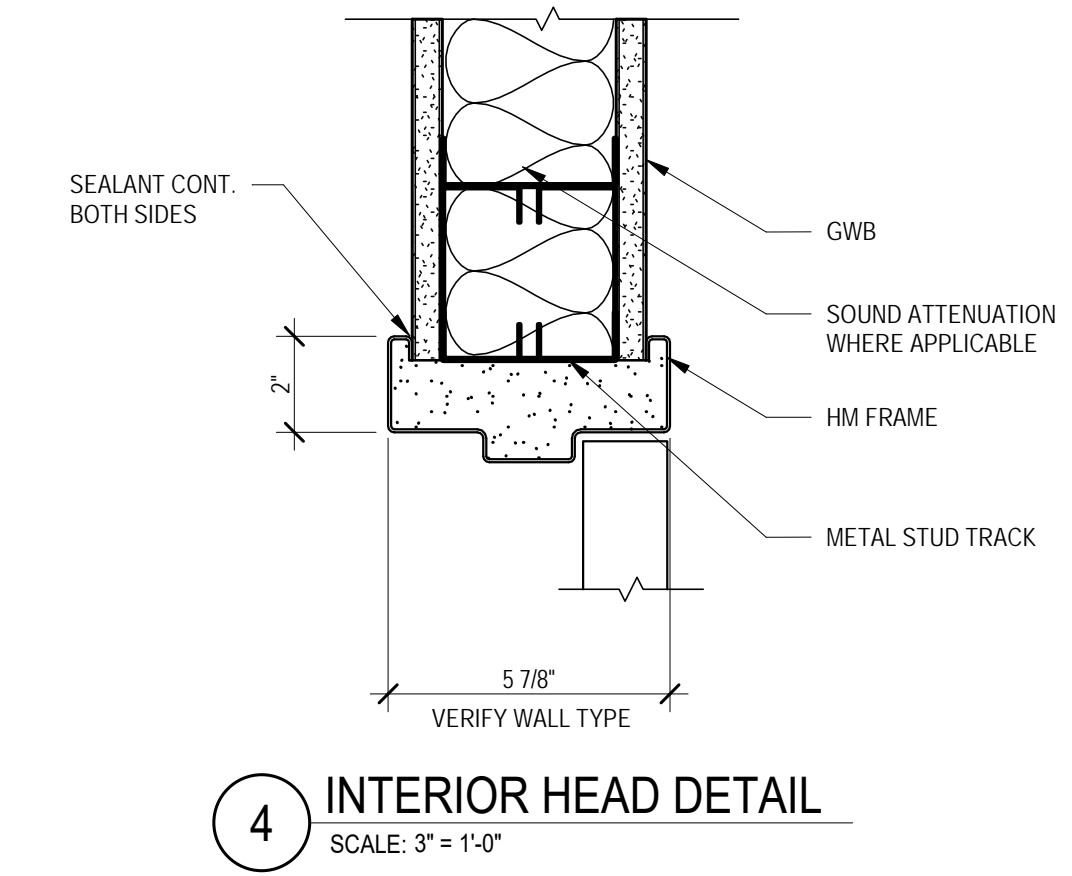
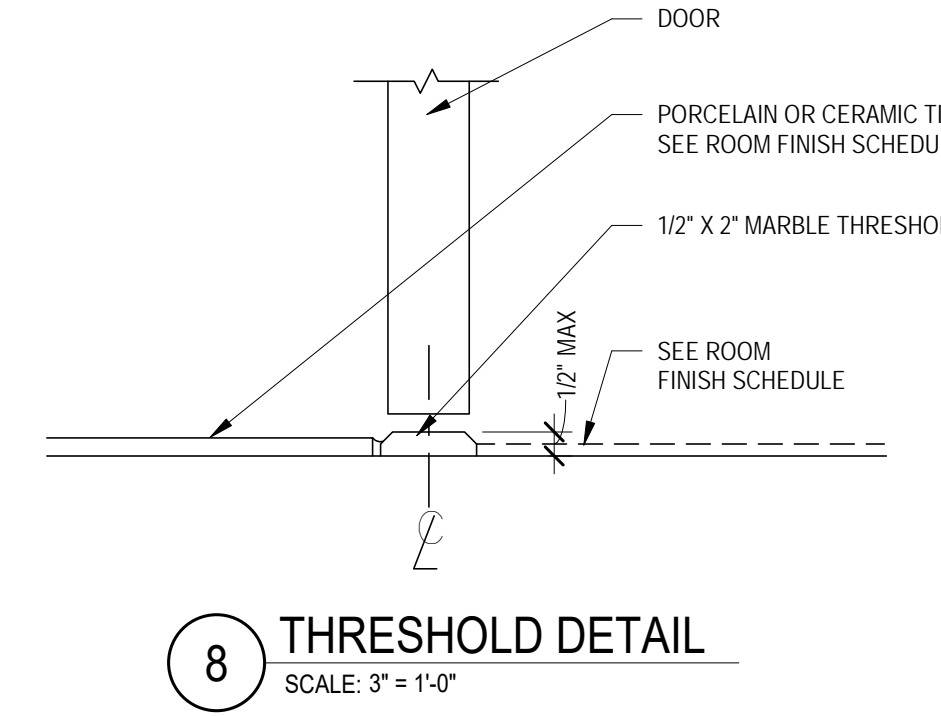
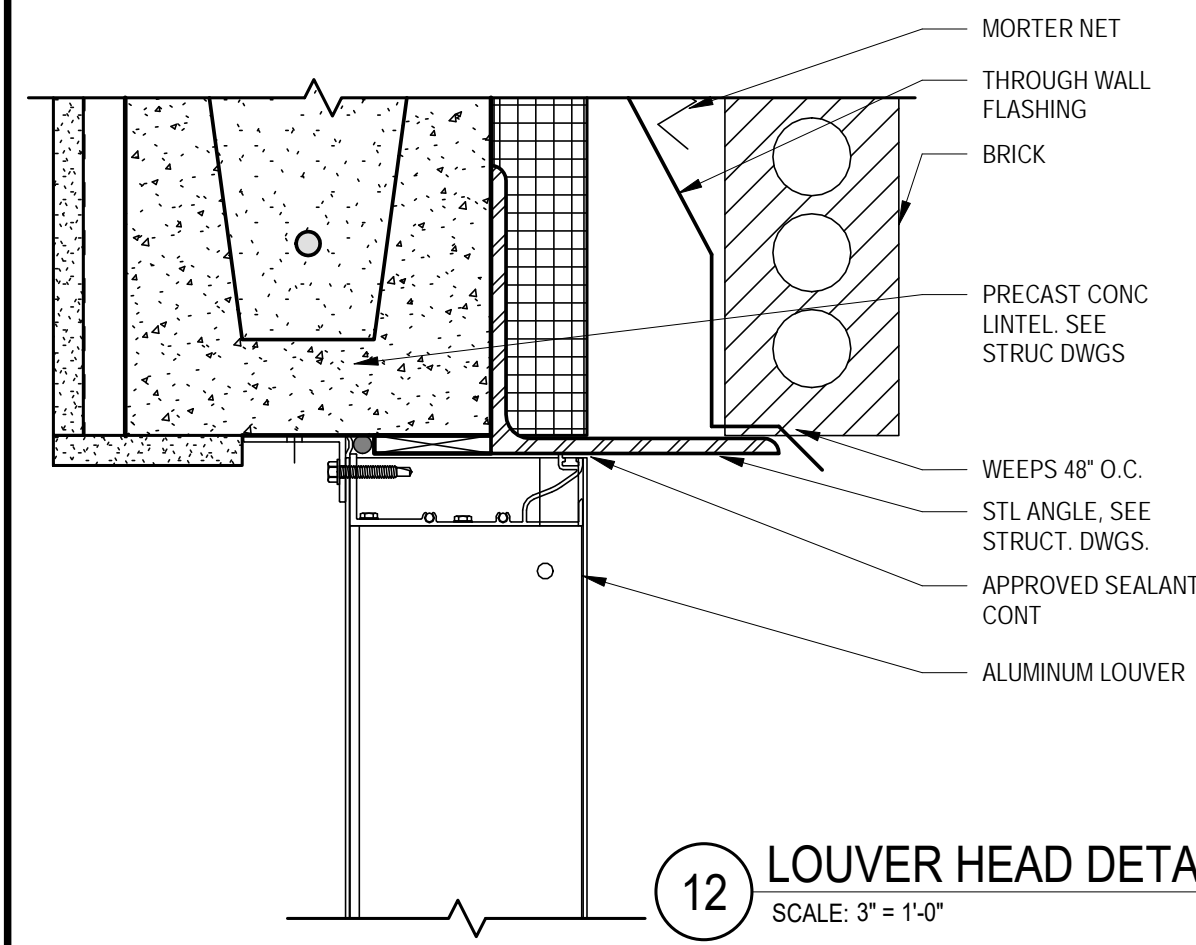
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DOOR & WINDOW ELEVATIONS, ROOM SIGNAGE

A8.1



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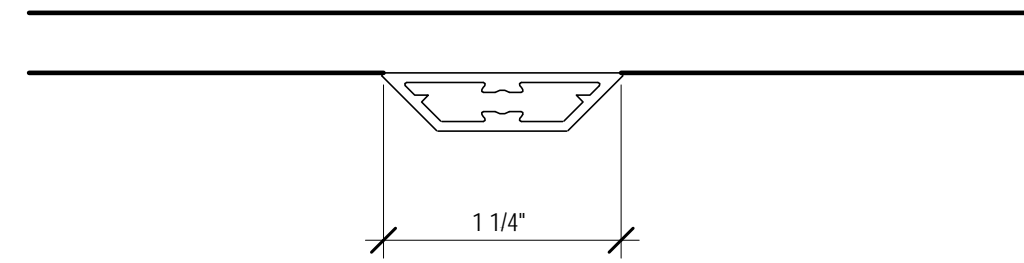
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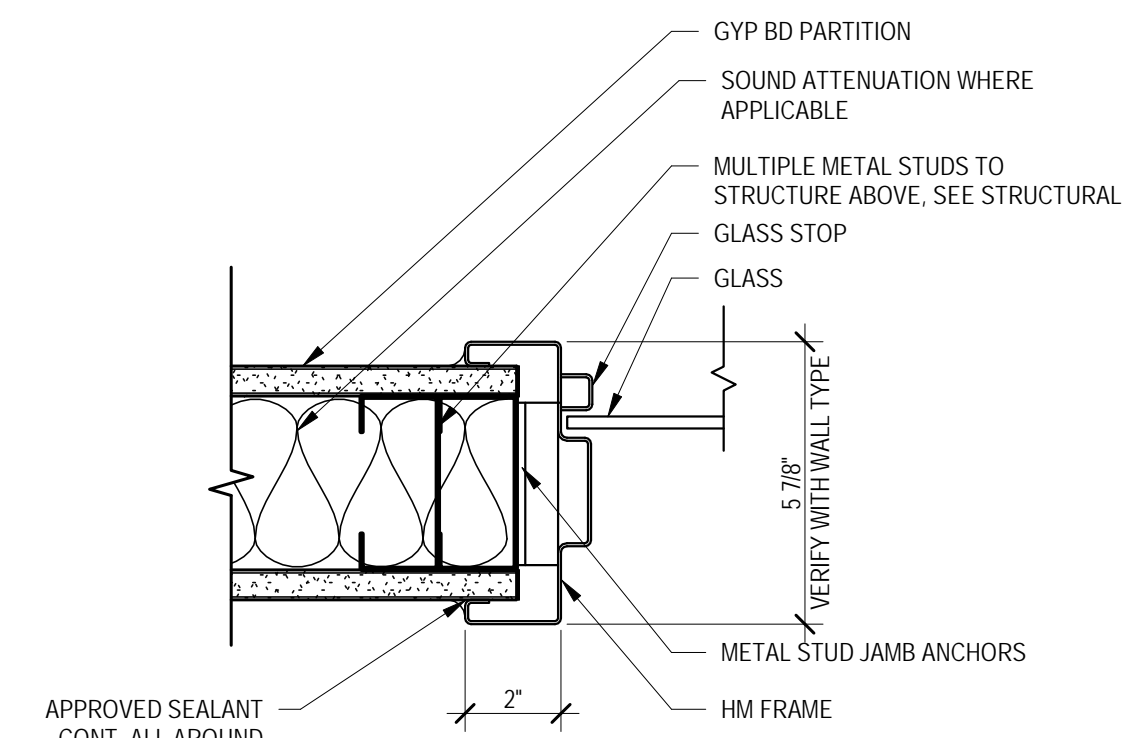
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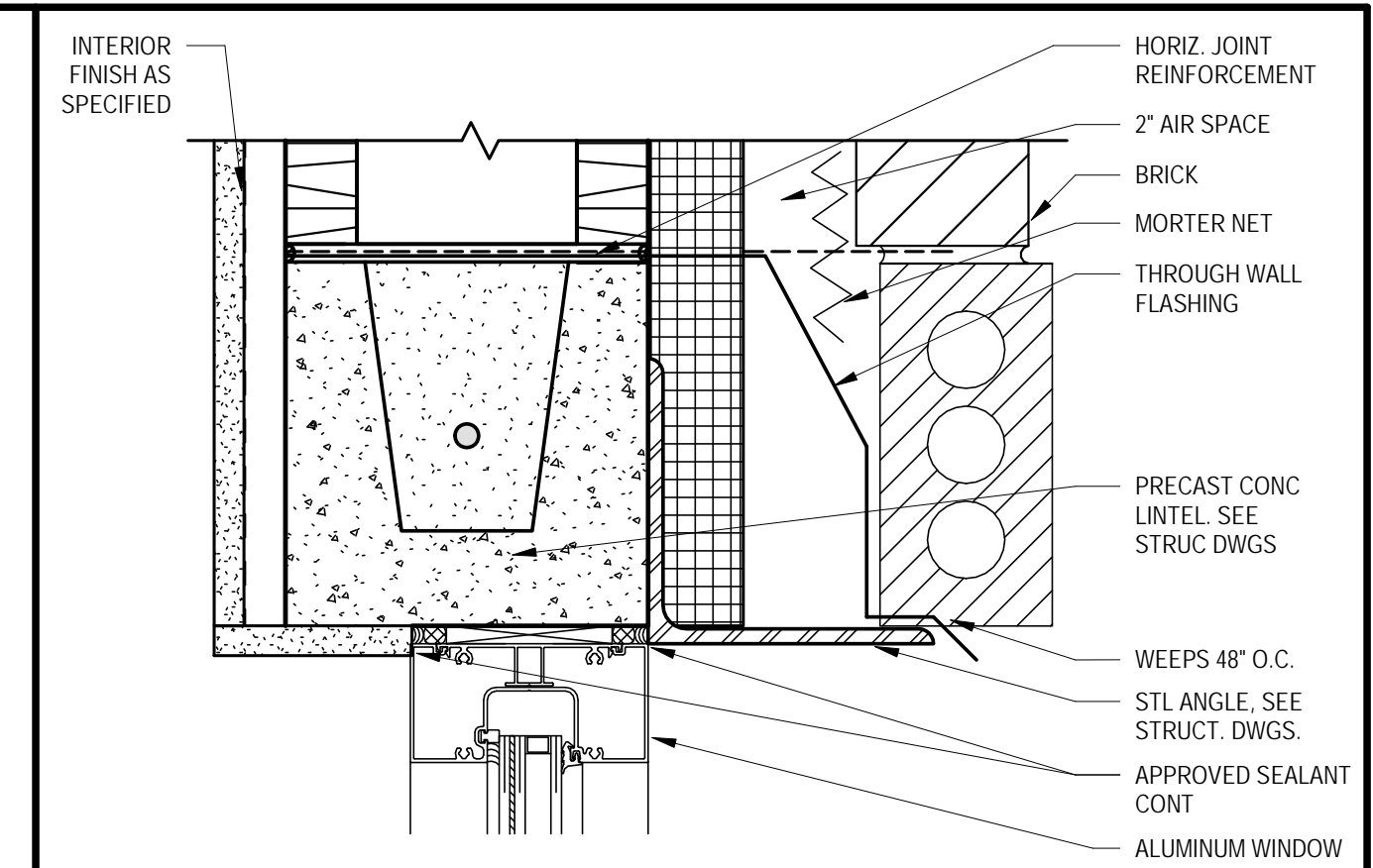
DOOR DETAILS



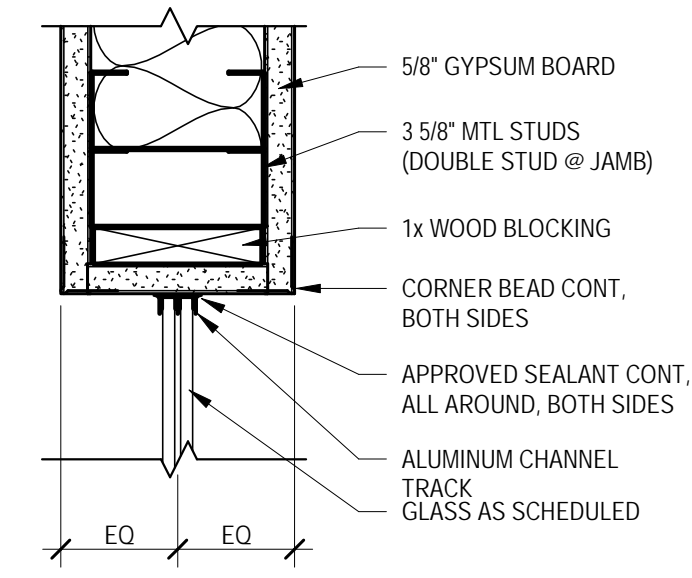
12 MUNTIN DETAIL
SCALE: 6" = 1'-0"



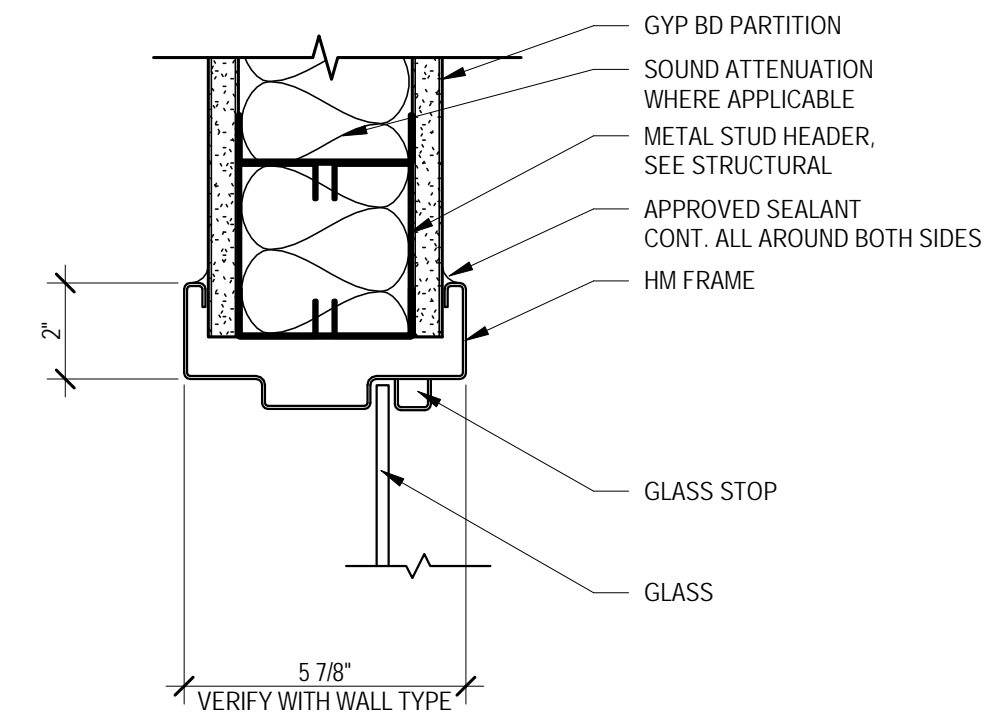
8 INTERIOR H.M. JAMB DETAIL
SCALE: 3" = 1'-0"



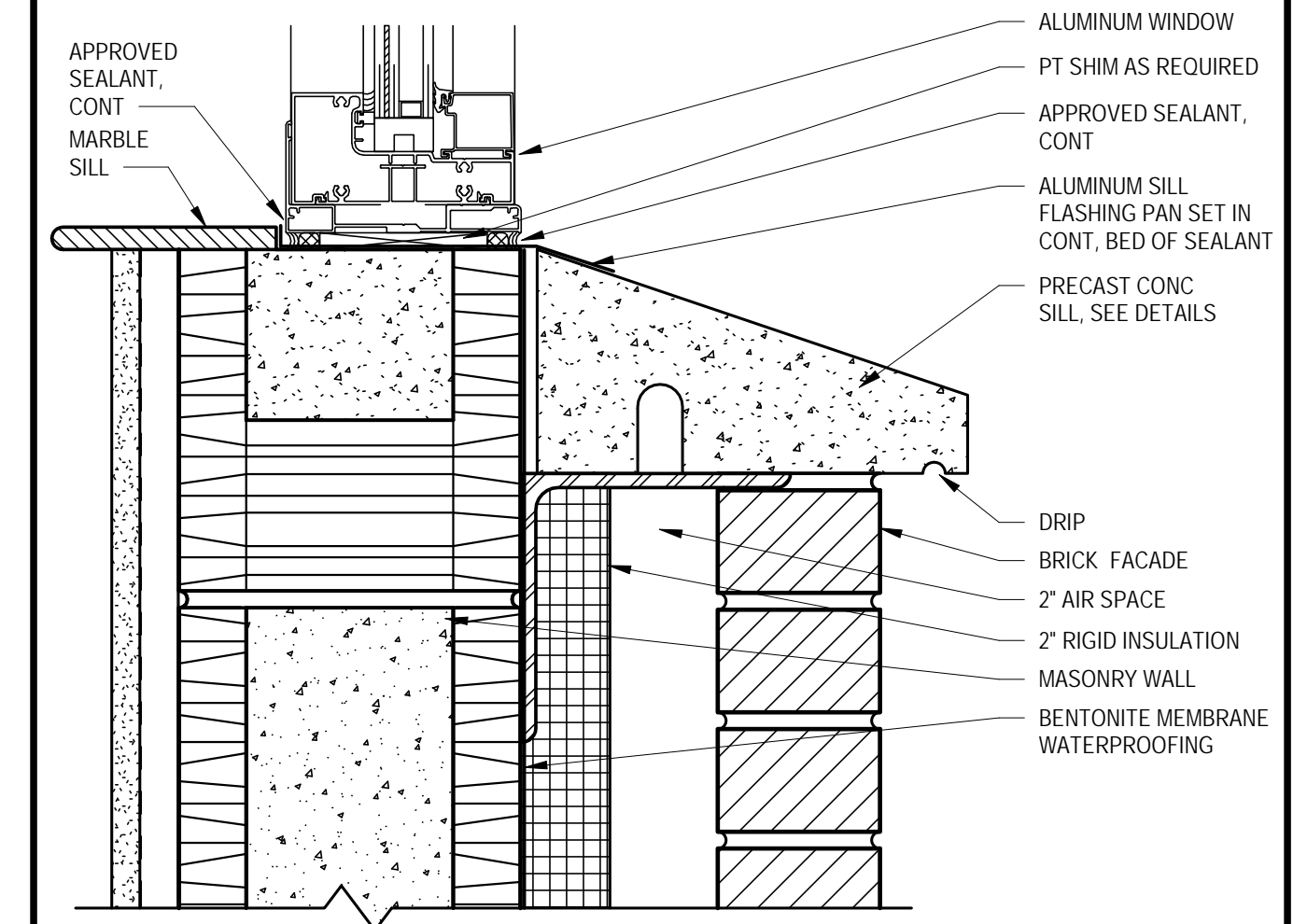
4 EXTERIOR HEAD DETAIL
SCALE: 3" = 1'-0"



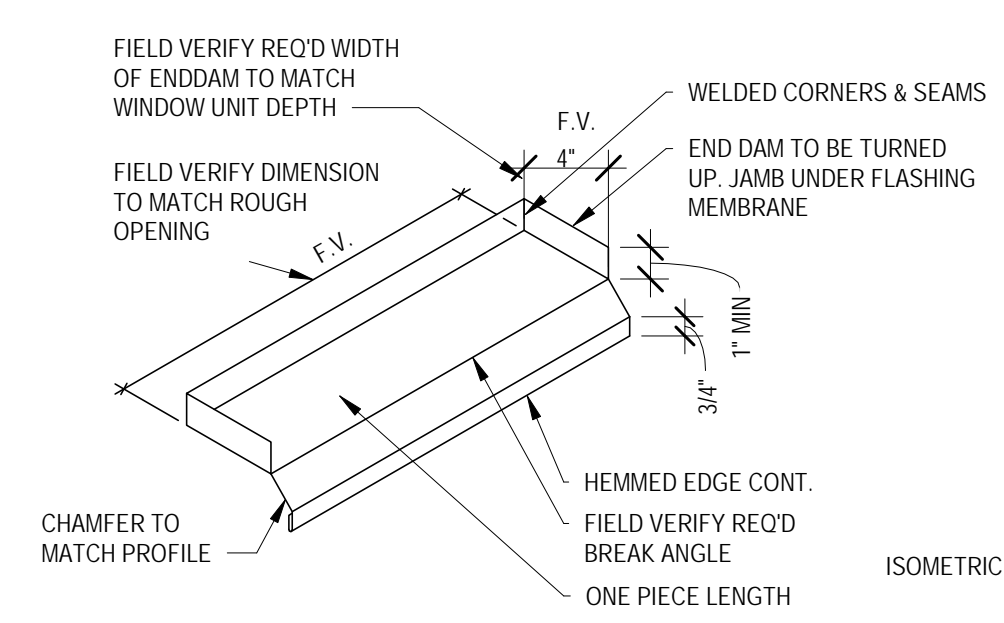
11 HEAD & JAMB DETAIL
SCALE: 3" = 1'-0"



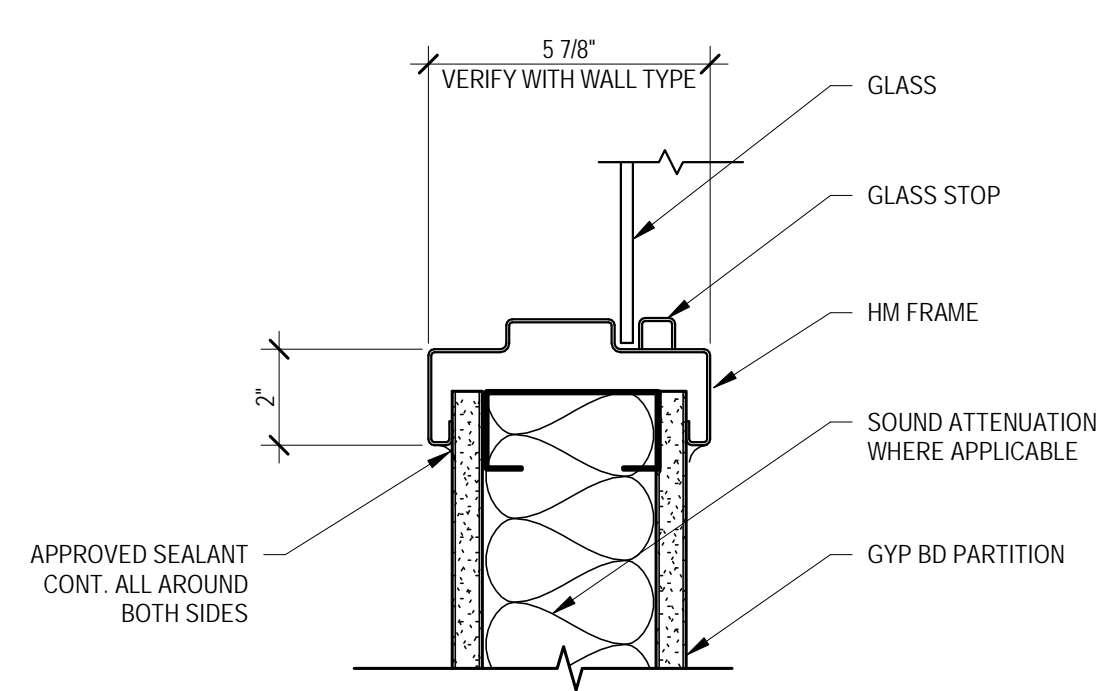
7 INTERIOR H.M. HEAD DETAIL
SCALE: 3" = 1'-0"



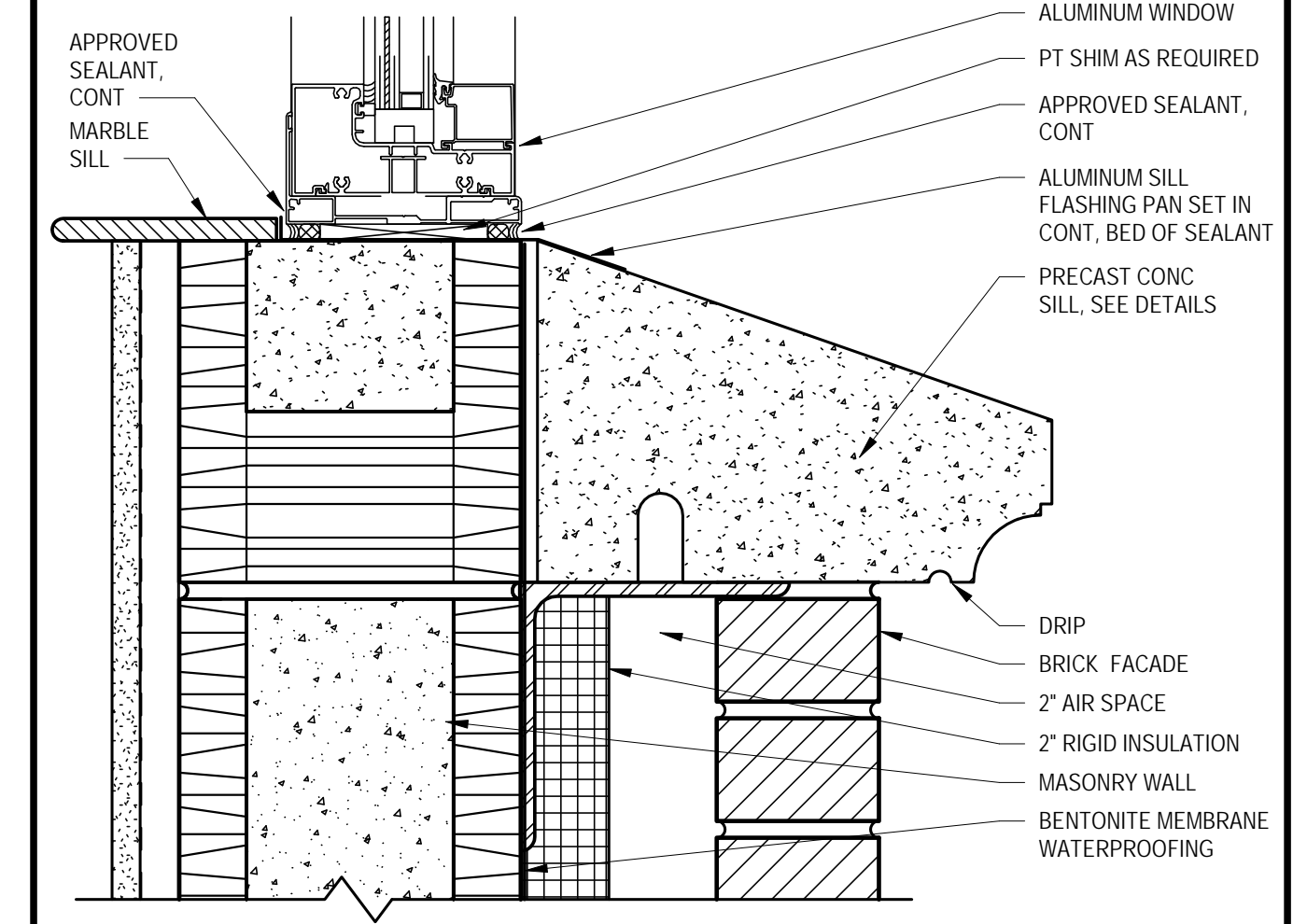
3 SILL DETAIL
SCALE: 3" = 1'-0"



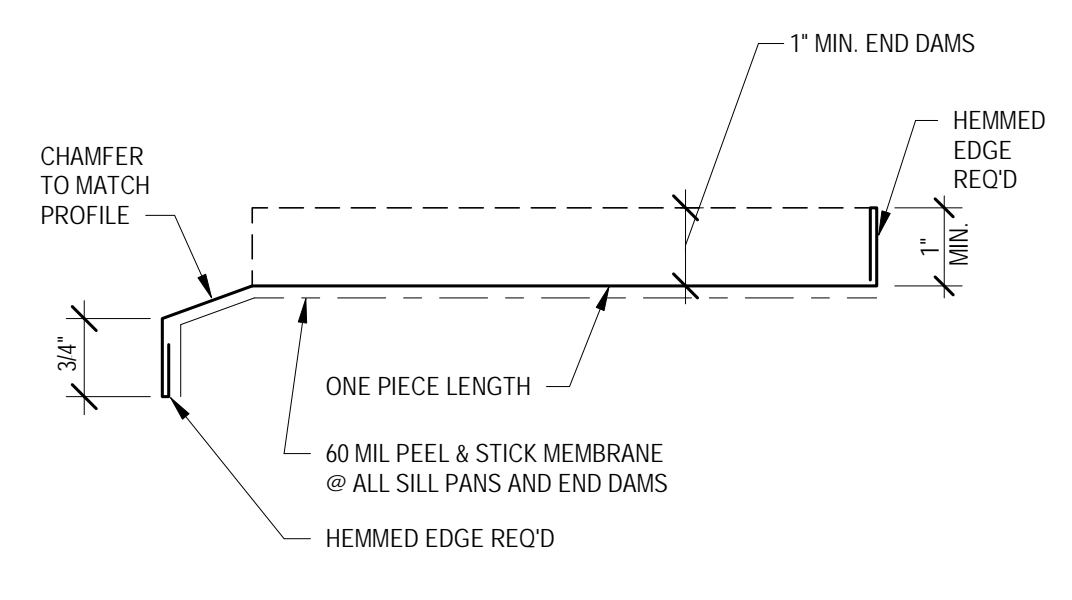
10 ALUM SILL PAN FLASHING
SCALE: 1 1/2" = 1'-0"



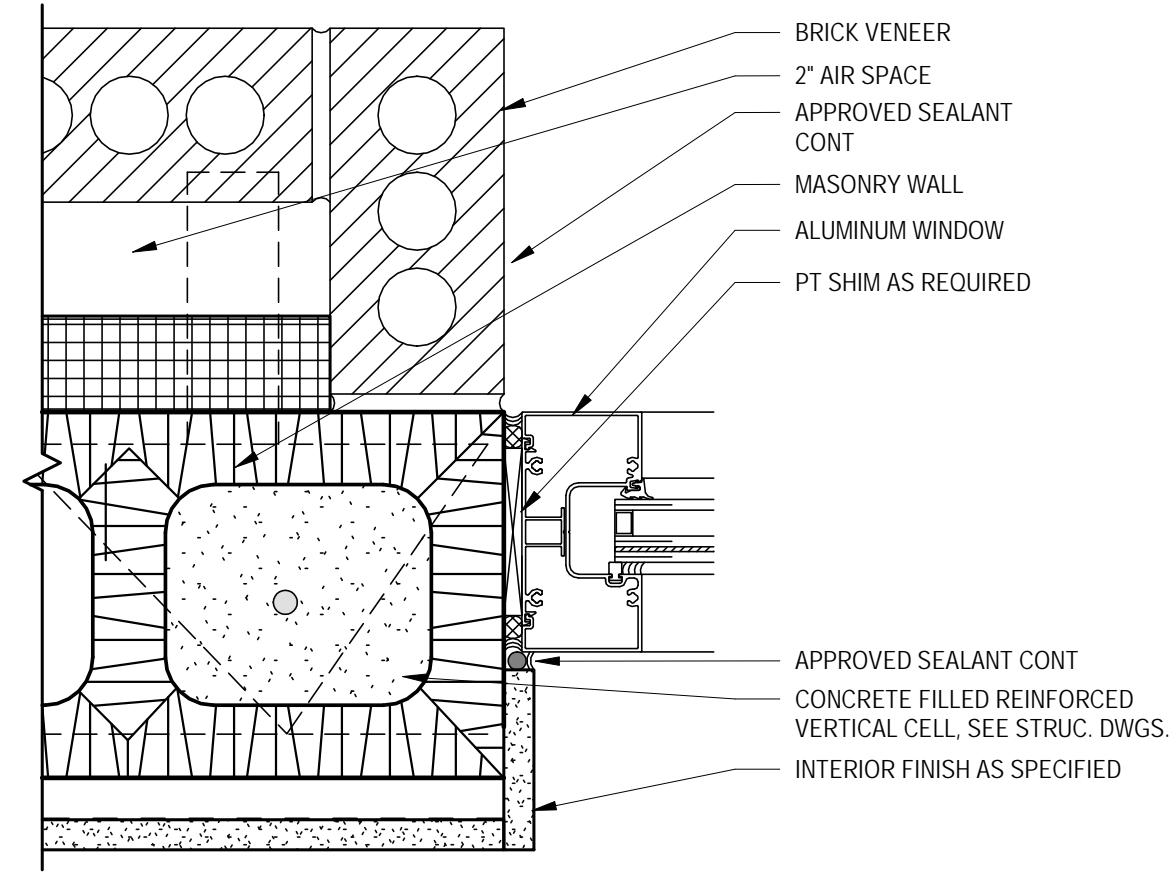
6 INTERIOR H.M. SILL DETAIL
SCALE: 3" = 1'-0"



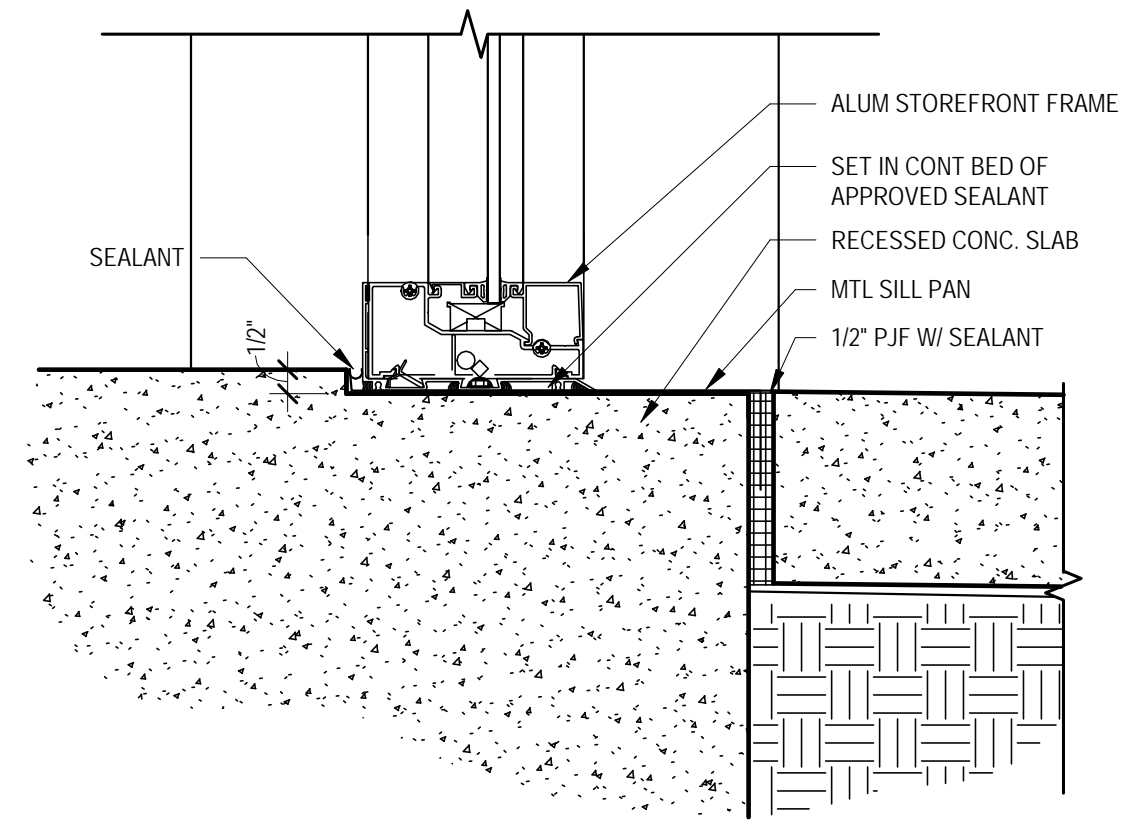
2 SILL DETAIL
SCALE: 3" = 1'-0"



9 ALUMINUM SILL PAN SECTION
SCALE: 3/4" = 1'-0"



5 EXTERIOR JAMB DETAIL
SCALE: 3" = 1'-0"



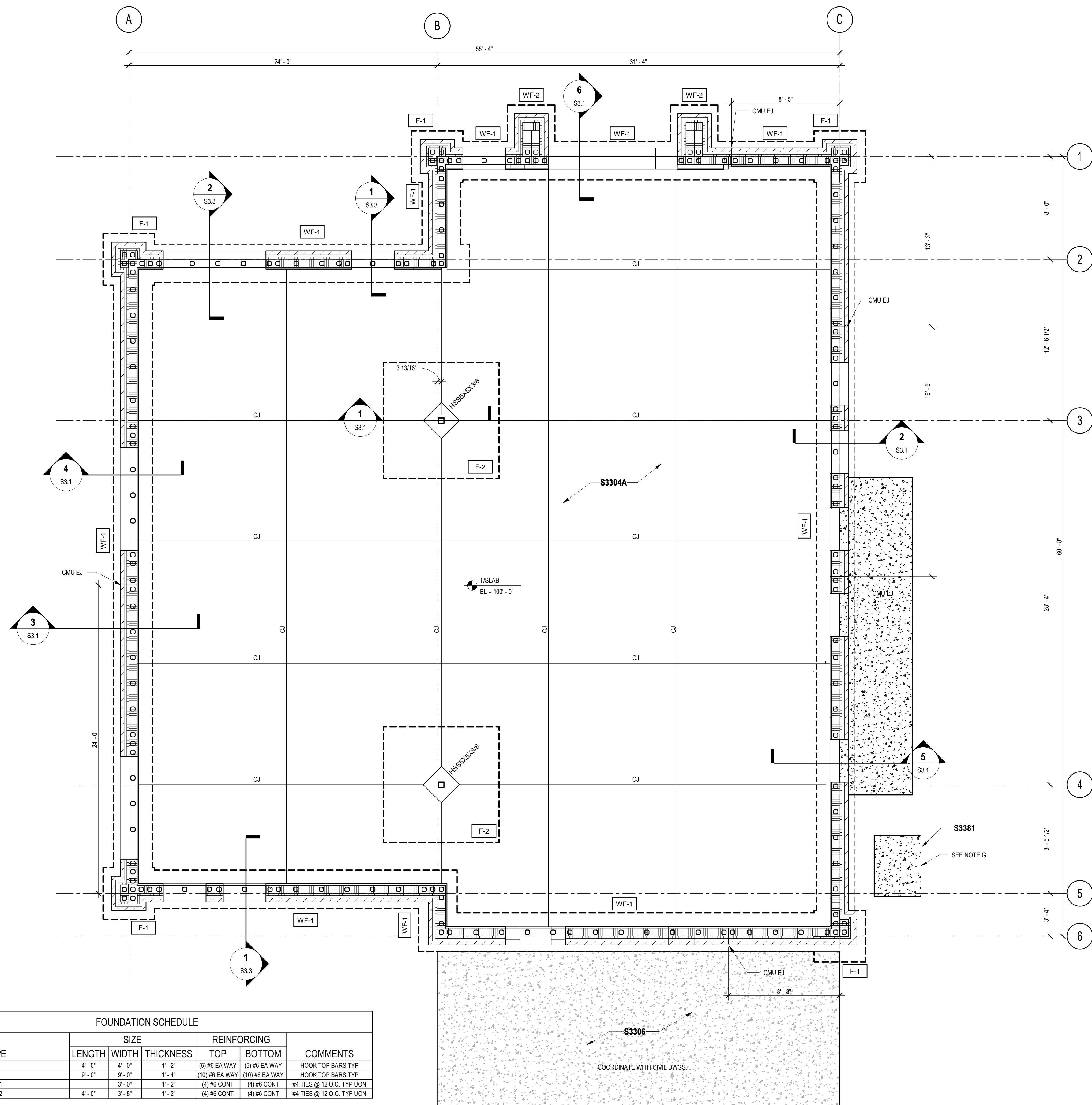
1 SILL DETAIL
SCALE: 3" = 1'-0"

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Job No: 19035
Date: MARCH 5, 2021
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WINDOW DETAILS

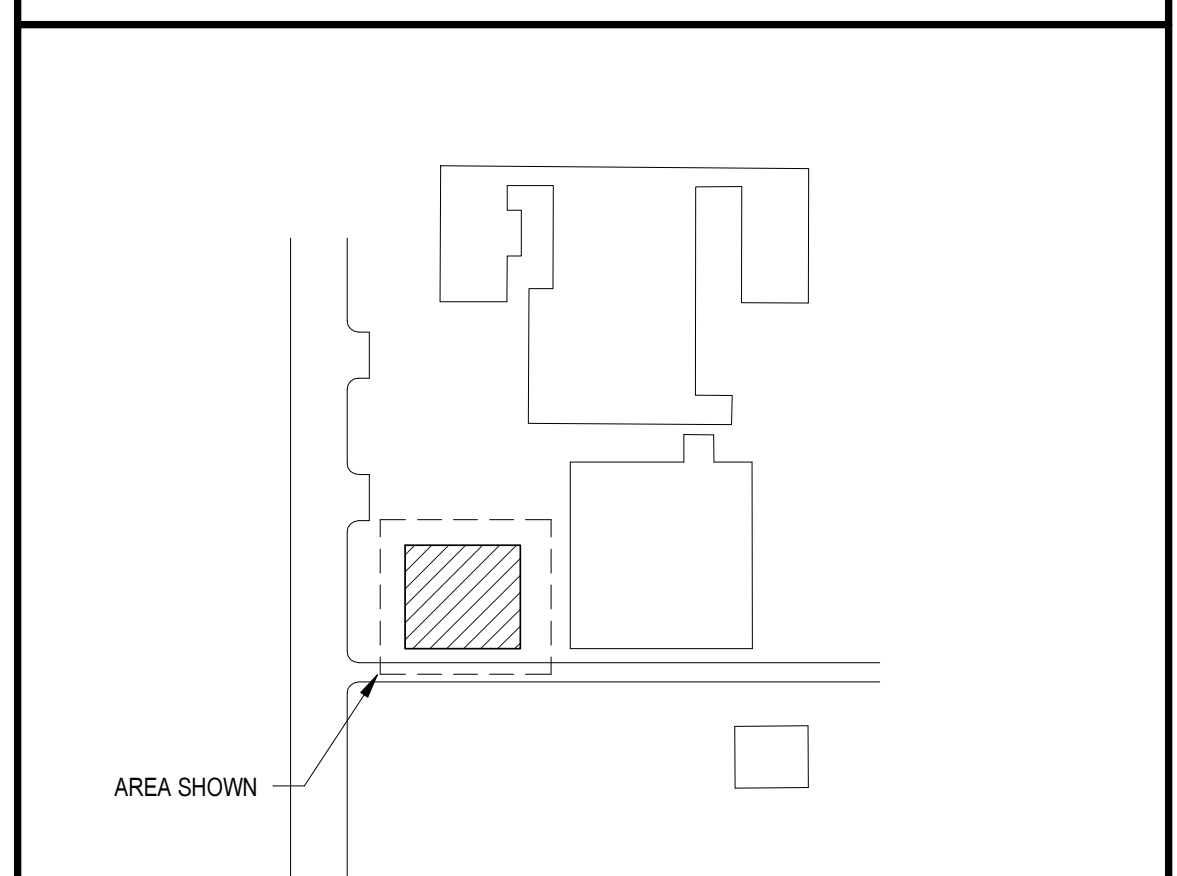


FOUNDATION SCHEDULE						
TYPE	SIZE			REINFORCING		COMMENTS
	LENGTH	WIDTH	THICKNESS	TOP	BOTTOM	
F-1	4'-0"	4'-0"	1'-2"	(5) #6 EA WAY	(5) #6 EA WAY	HOOK TOP BARS TYP
F-2	9'-0"	9'-0"	1'-4"	(10) #6 EA WAY	(10) #6 EA WAY	HOOK TOP BARS TYP
WF-1	4'-0"	3'-0"	1'-2"	(4) #6 CONT	(4) #6 CONT	#4 TIES @ 12 O.C. TYP UON
WF-2	4'-0"	3'-8"	1'-2"	(4) #6 CONT	(4) #6 CONT	#4 TIES @ 12 O.C. TYP UON

KEYNOTE LEGEND	
NO.	DESCRIPTION
S3304A	4" (MIN) 4,000 PSI CONG SLAB ON GRADE REINFORCED W/ 6X6 W2.9XW2.9 WWF OVER VAPOR RETARDER AND POISONED, COMPACTED FILL. SEE VAPOR RETARDER INSTALLATION DETAIL.
S3306	6" (MIN) 4,000 PSI CONG SLAB ON GRADE REINFORCED W/ (2) LAYERS OF 6X6 W4.0XW4.0 WWF OVER VAPOR RETARDER AND POISONED, COMPACTED FILL. SEE VAPOR RETARDER INSTALLATION DETAIL.
S3381	ISOLATED EXTERIOR EQUIPMENT PAD, SEE 'TYP EQUIPMENT PADS' DETAIL.

- FOUNDATION NOTES:**
- A. REFERENCE EL 100'-0" = SEE CIVIL DWG
 - B. STRUCTURAL NOTES REF DWG S0.1
 - C. REFER TO DWG S0.1 FOR "COMPONENT & CLADDING NOMINAL DESIGN WIND LOADS"
 - D. REFER TO DETAIL 7 ON DWG S4.2 FOR "PRE-CAST LINTEL DETAILS"
 - E. REFER TO DETAIL 3 ON DWG S4.1 FOR "CONTINUITY OF FDN REINF @ CORNERS & INTERSECTIONS"
 - F. REFER TO DETAIL 7 ON DWG S4.1 FOR "GRADE 60 REINF HOOK & LAP SPLICES SCHEDULE"
 - G. COORD SIZE AND LOCATION OF EQUIPMENT PADS W/ MECHANICAL & ELECTRICAL DWGS.
 - H. TOP OF FOUNDATIONS 1'-4" BELOW FF ELEVATION OF SLAB (UON)
 - I. FOR GROUNDING ROD LOCATION COORDINATE WITH ELECTRIC DRAWINGS

- LEGEND:**
- CJ = INDICATES CONTROL OR CONSTRUCTION JOINT - REF DETAIL 4 ON DWG S4.1
 - CMU EJ = INDICATES MASONRY CONTROL JOINT - REF DETAIL 3 ON DWG S4.2
 - SLOPE = INDICATES SLOPE CONCRETE SLAB 1/8 IN PER FT (U.O.N.)
 - WF-1 = INDICATES FOUNDATION TYPE - SEE SCHEDULE TOP OF FOUNDATION EL -1'-4", TYP UON
 - FD = INDICATES FLOOR DRAIN, SEE PLUMB DWGS. SLOPE CONCRETE SLAB TO FLOOR DRAIN AT 1/8" PER FT MAX FROM SHORTEST SIDE DIMENSION IN ORDER TO MAINTAIN ADA REQUIREMENTS.
 - [Symbol] = INDICATES VERTICAL REBAR IN GROUT FILLED CELL OF MASONRY WALL REF "TYP VERT FILLED CELL MASONRY REINFORCEMENT (U.O.N)" DETAIL 1/S4.2 "TYPICAL MASONRY WALL REINFORCEMENT" DETAIL 6 ON DWG S4.2
 - [Symbol] = INDICATES VERTICAL REBAR IN GROUT FILLED CELL OF MASONRY WALL ABOVE AND BELOW AN OPENING. HK DOWEL ENDS TYPICAL.



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2	12/10/2020	DESIGN DEVELOPMENT
3	03/05/2021	60% CONSTRUCTION DOCS

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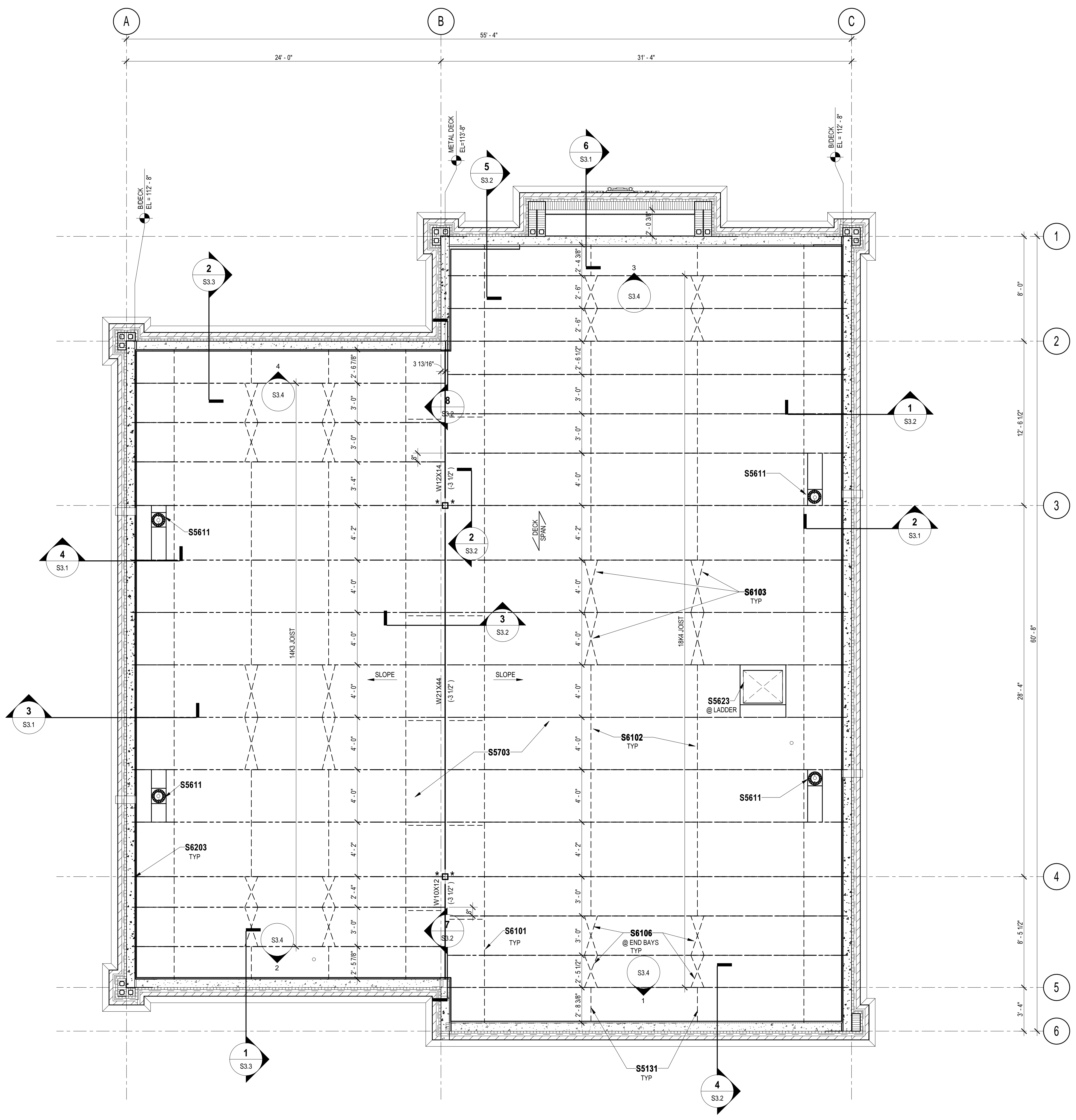
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 Checked By: PW
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FOUNDATION & SLAB PLAN

S1.1

FOUNDATION & SLAB PLAN
SCALE: 1/4" = 1'-0"

KEY PLAN
SCALE: NTS

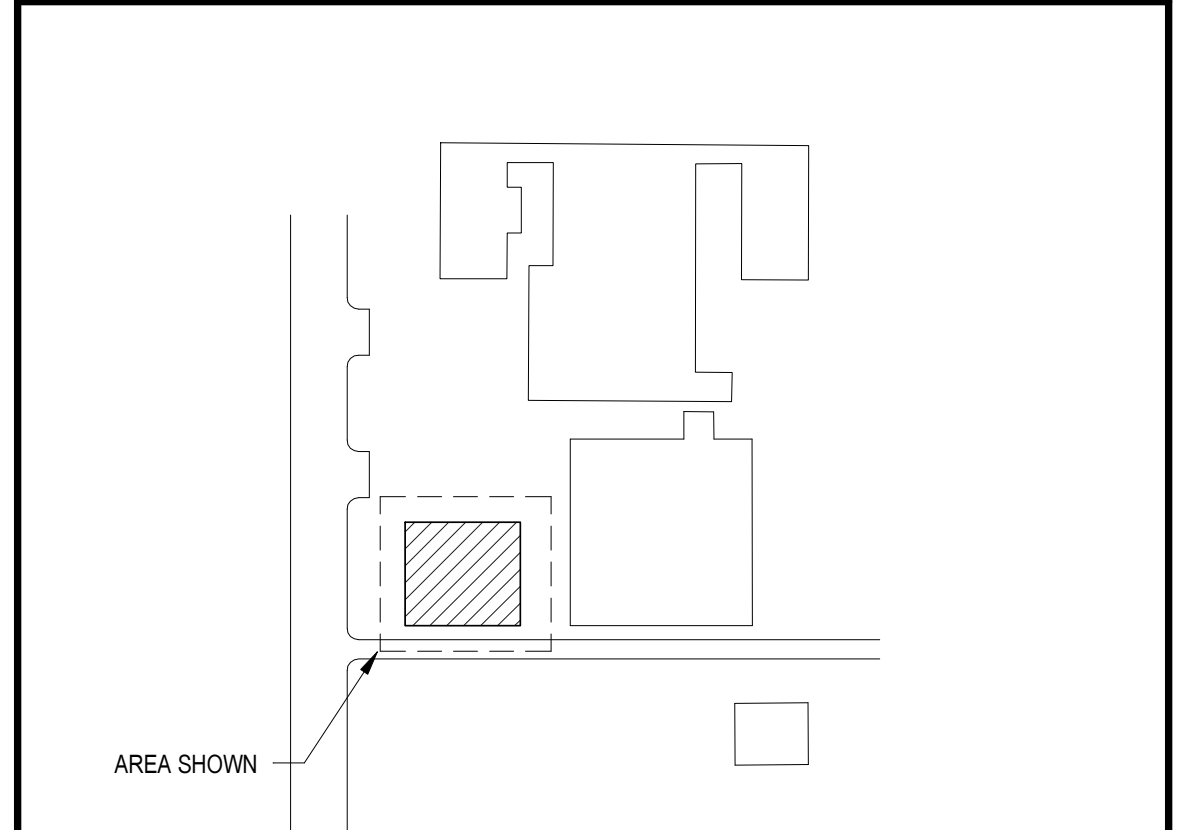


N
 1 ROOF FRAMING
 SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND	
NO.	DESCRIPTION
S5131	L2 1/2X2 1/2X1/4 WELDED TOP & BOTTOM FLANGE HORIZONTAL BRIDGING
S5611	ROOF OPENING. SEE TYP ROOF OPNG FRMG (UON) DETAIL. SEE ARCH & MECH DWGS FOR ADDITIONAL ROOF OPNGS NOT SHOWN OR OTHERWISE NOTED
S5623	SEE 'ROOF TOP EQUIPMENT SUPPORT FRAMING' & 'MIN ROOF MOUNTED EQUIP ANCHORAGE' DETAILS
S5703	METAL ROOF DECK. '1.5B (20GA) WIDE RIB ROOF DECK' SEE DETAIL
S6101	L1 1/4 X1 1/4 X7/84 (MIN) HORIZONTAL BOTTOM CHORD UPLIFT BRIDGING LOCATED NEAR THE FIRST BOTTOM CHORD PANEL POINT OF ALL ROOF JOISTS. SEE 'TYP JOIST BRIDGING LAYOUT' DETAIL AND 'MINIMUM COMPONENT & CLADDING NOMINAL DESIGN WIND PRESSURES' FOR MIN GROSS UPLIFT DESIGN PRESSURES
S6102	L1 1/4 X1 1/4 X7/84 (MIN) HORIZONTAL TOP & BOTTOM CHORD BRIDGING. WELD OR BOLT ALL POINTS OF CONTACT WITH TOP & BOTTOM CHORD. DO NOT WELD TO WEB MEMBERS OF JOIST. SEE 'TYP JOIST BRIDGING LAYOUT' DETAIL
S6103	L1 1/4 X1 1/4 X7/84 (MIN) DIAGONAL INTERIOR BAY BRIDGING. WELD OR BOLT ALL POINTS OF CONTACT W/ TOP & BOTTOM CHORD. DO NOT WELD TO WEB MEMBERS OF JOIST. SEE 'TYP JOIST BRIDGING LAYOUT' DETAIL
S6106	L2X2X1/8 (MIN) BOLTED OR WELDED TOP & BOTTOM CHORD DIAGONAL BRIDGING
S6203	K-SERIES JOIST SEAT EMBED. SEE EMBED DETAILS. MAINTAIN 2 1/2" (MIN) BEARING

- NOTE**
- A. REFER TO DWG S0.1 FOR 'STRUCTURAL NOTES'
 - B. REFER TO DWG S0.1 FOR 'MIN COMPONENT & CLADDING NOMINAL DESIGN WIND LOADS'
 - C. REFER TO DETAIL 7 / S4.2 FOR 'PRE-CAST LINTEL DETAILS'
 - D. REFER TO DETAIL 3 / S4.2 FOR 'CONTINUITY OF CONCRETE BEAM REINF @ CORNERS & INTERSECTIONS'
 - E. REFER TO DETAIL 7 / S4.1 FOR 'GRADE 60 REINF HOOK & LAP SPICES SCHEDULE'
 - F. METAL ROOF DECK, REF TO DETAIL 7 / S4.3 FOR 'TYP 1.5B (20 GA) WIDE RIB'
 - G. REFER TO DETAIL 6 / S4.3 FOR 'TYP JOIST REINFORCEMENT @ CONCENTRATED LOADS'
 - H. REF TO DETAIL 5 / S4.3 FOR 'JOIST BRIDGING LAYOUT'
 - I. JOIST BRIDGING SHOW IN MINIMUM. ADDITIONAL BRIDGING MAY BE REQUIRED PER JOIST REQUIREMENTS
 - J. REF TO DETAIL 3 / S4.3 FOR 'MIN ROOF MOUNTED EQUIP ANCHORAGE'

- LEGEND**
- SLOPE = INDICATES SLOPE (UON)
 - [Symbol] = INDICATES CONCRETE STEPPED BEAM - REF DETAIL 4 / S99.3
 - [Symbol] = INDICATES EXTERIOR MASONRY WALL PARAPET WITH LOAD BEARING CONCRETE BEAM - REF SECTIONS
 - [Symbol] = INDICATES LOAD BEARING MASONRY BOND BEAM - REF SECTIONS
 - * = INDICATES BOLTED JOIST CONNECTION FOR COLUMN ERECTION STABILITY
 - [Symbol] = INDICATES DECK SPAN DIRECTION (MIN 3 SPANS)



N
 KEY PLAN
 SCALE: NTS

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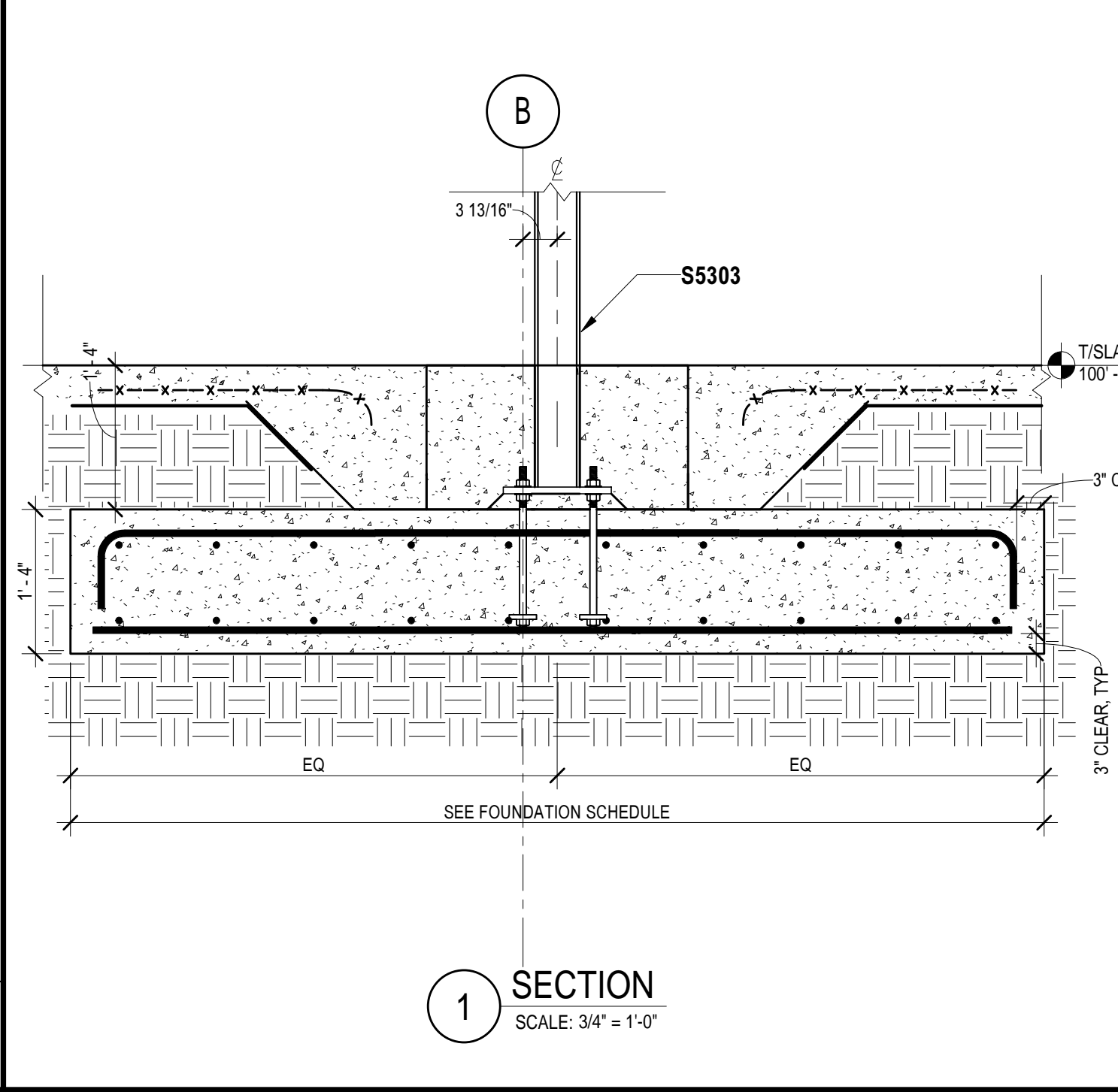
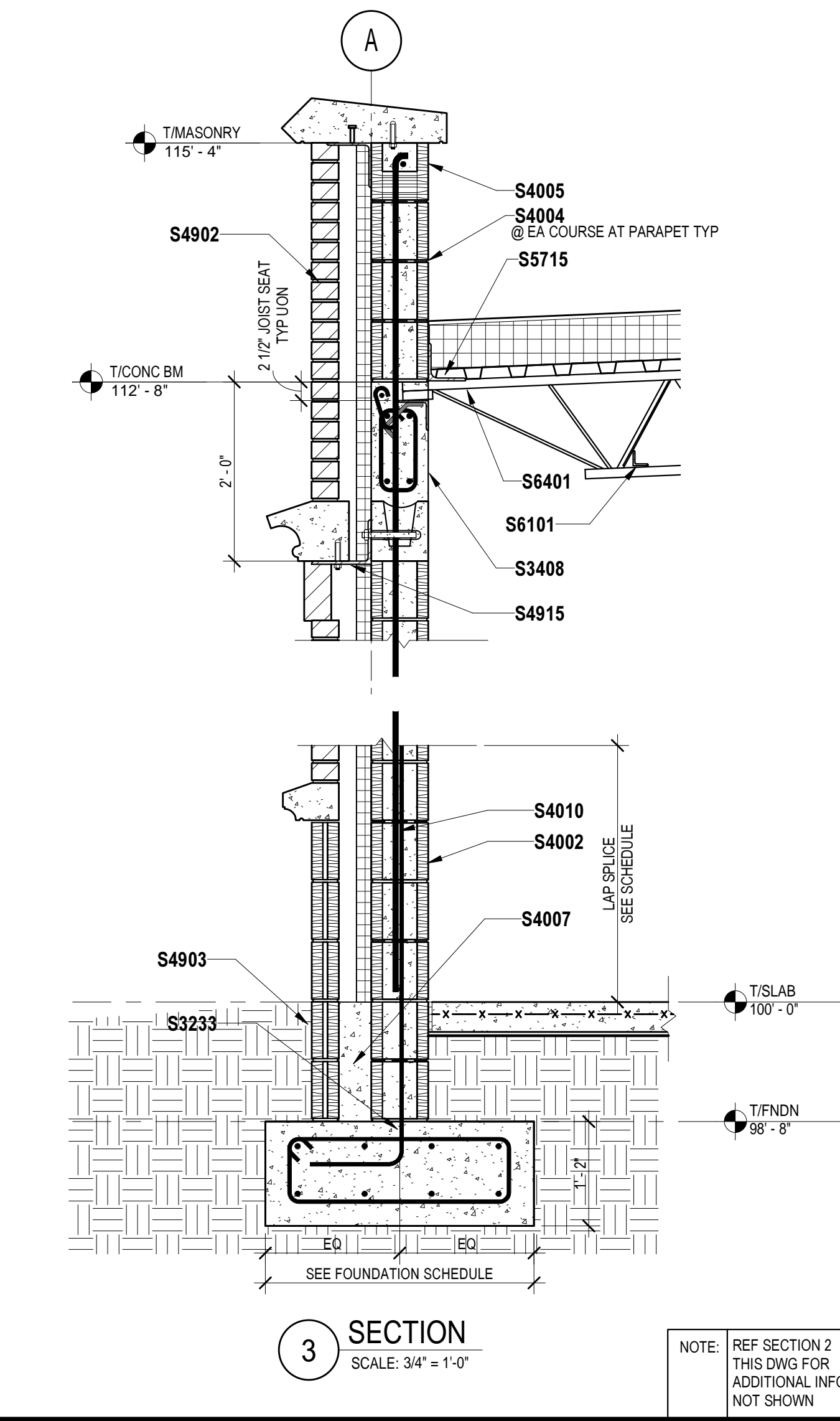
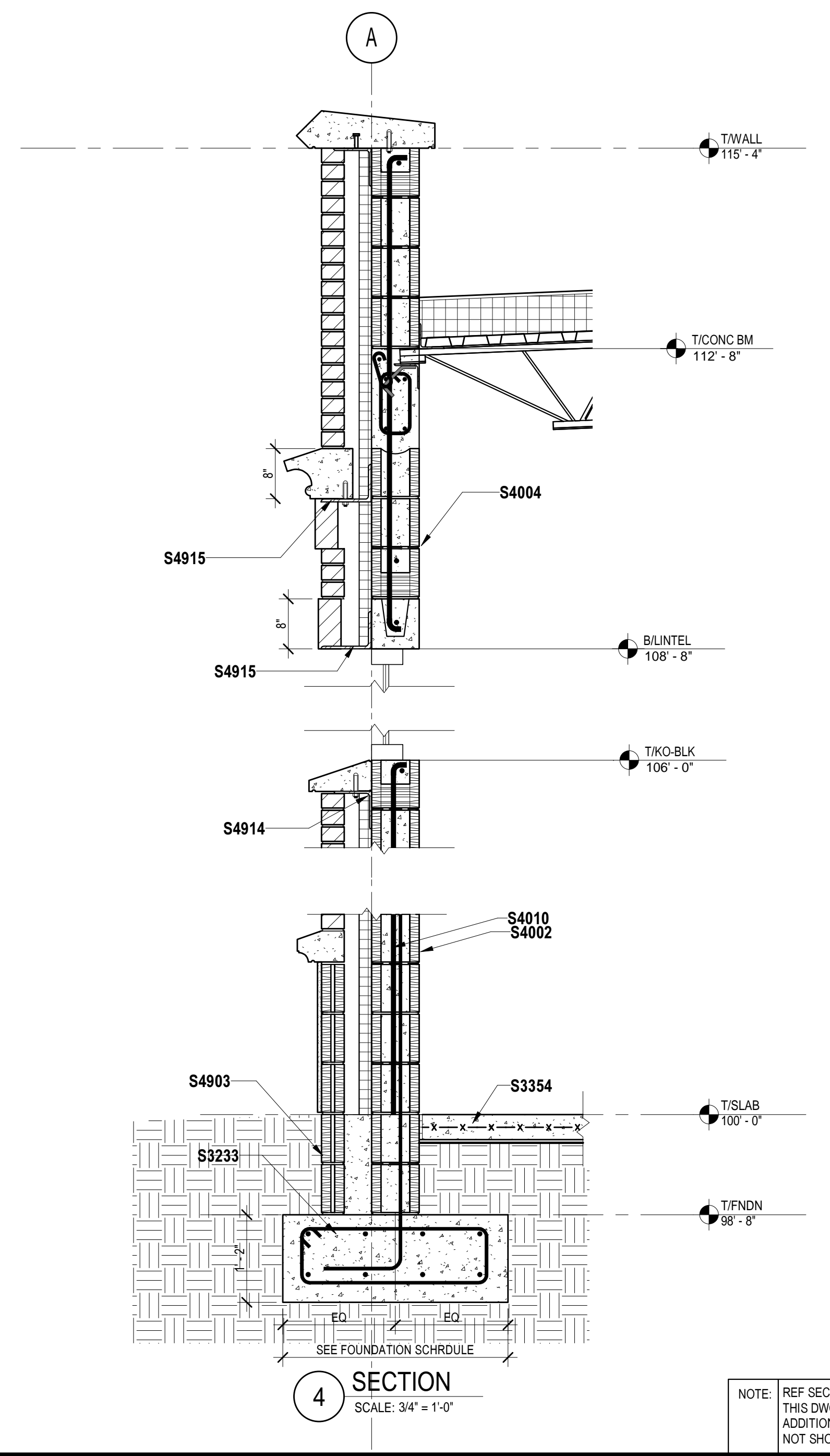
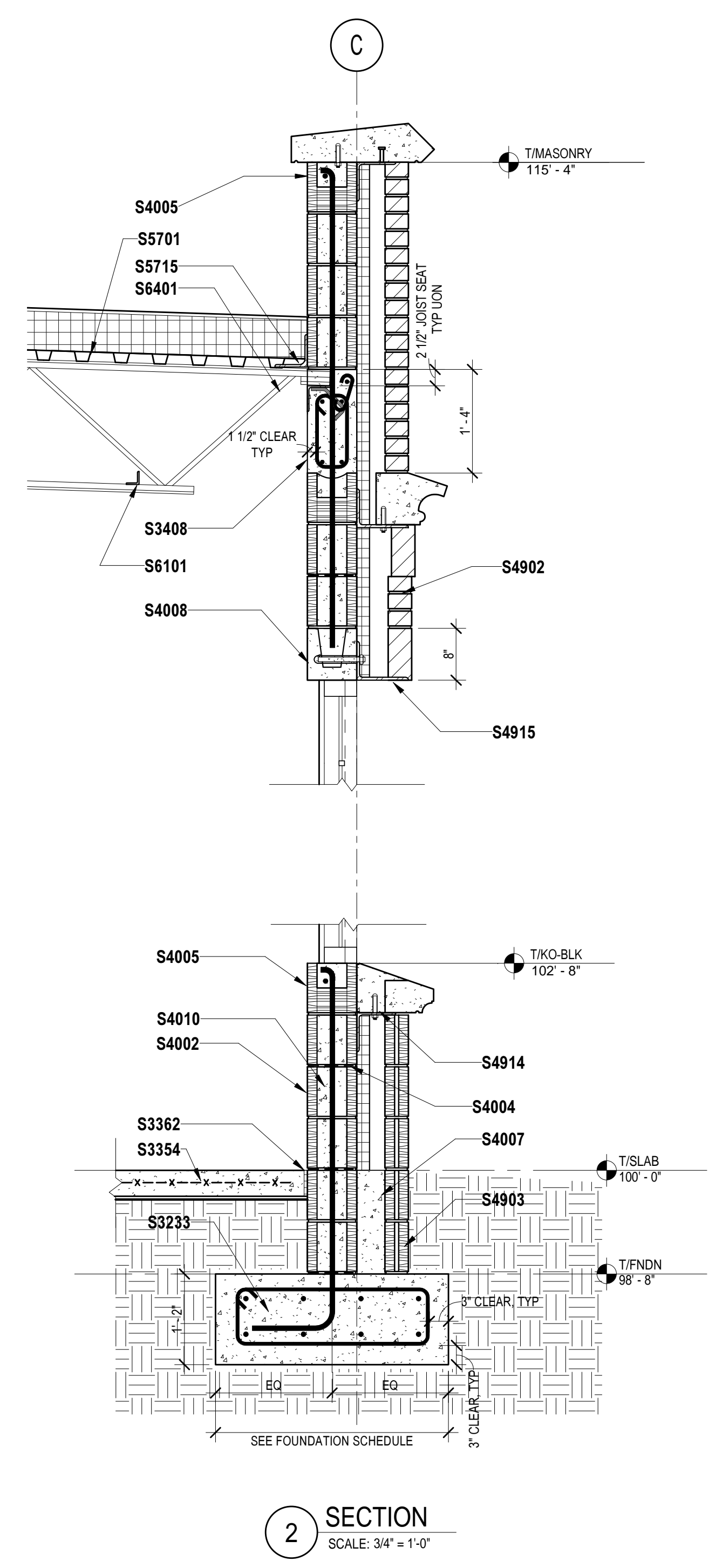
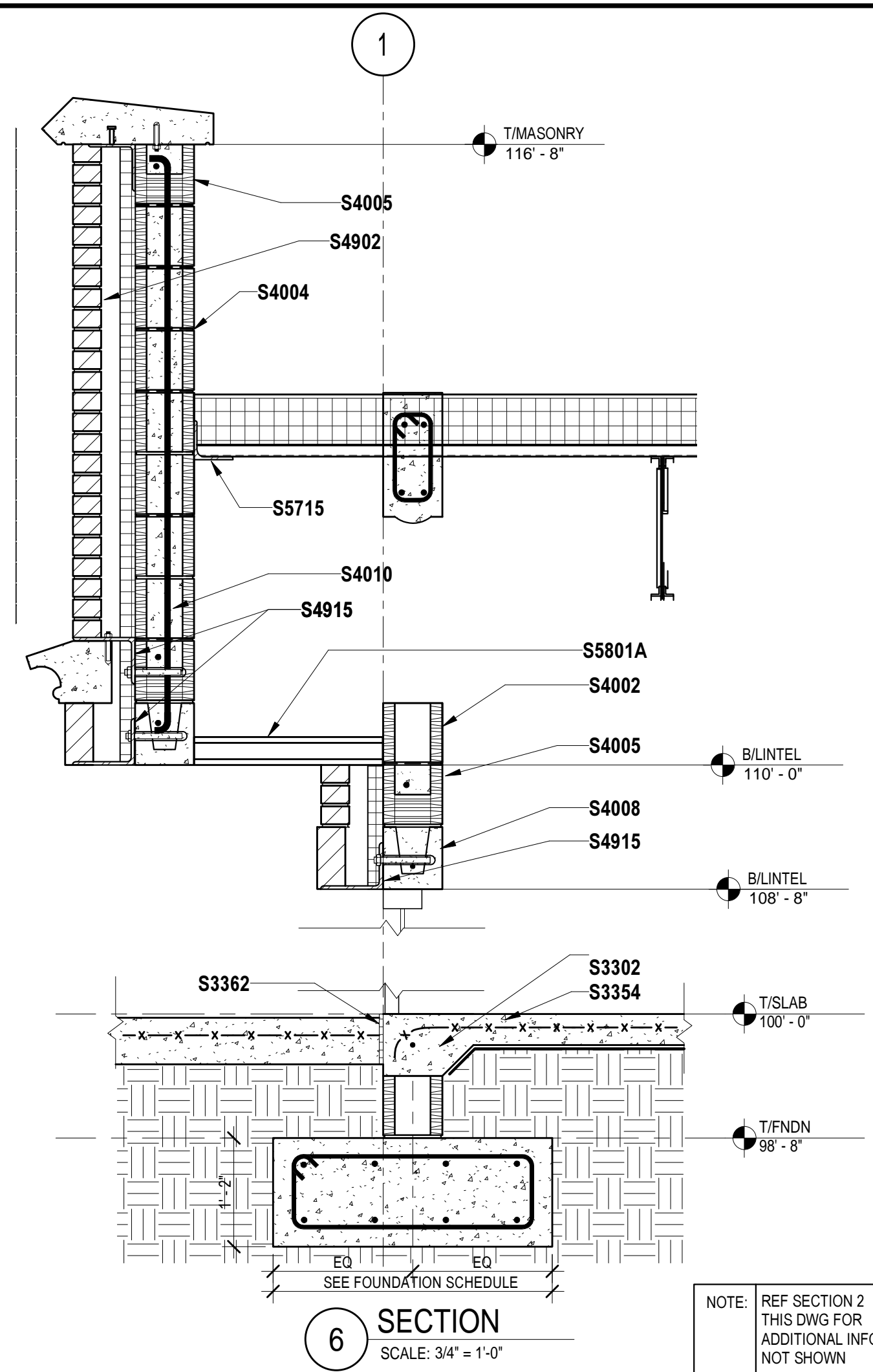
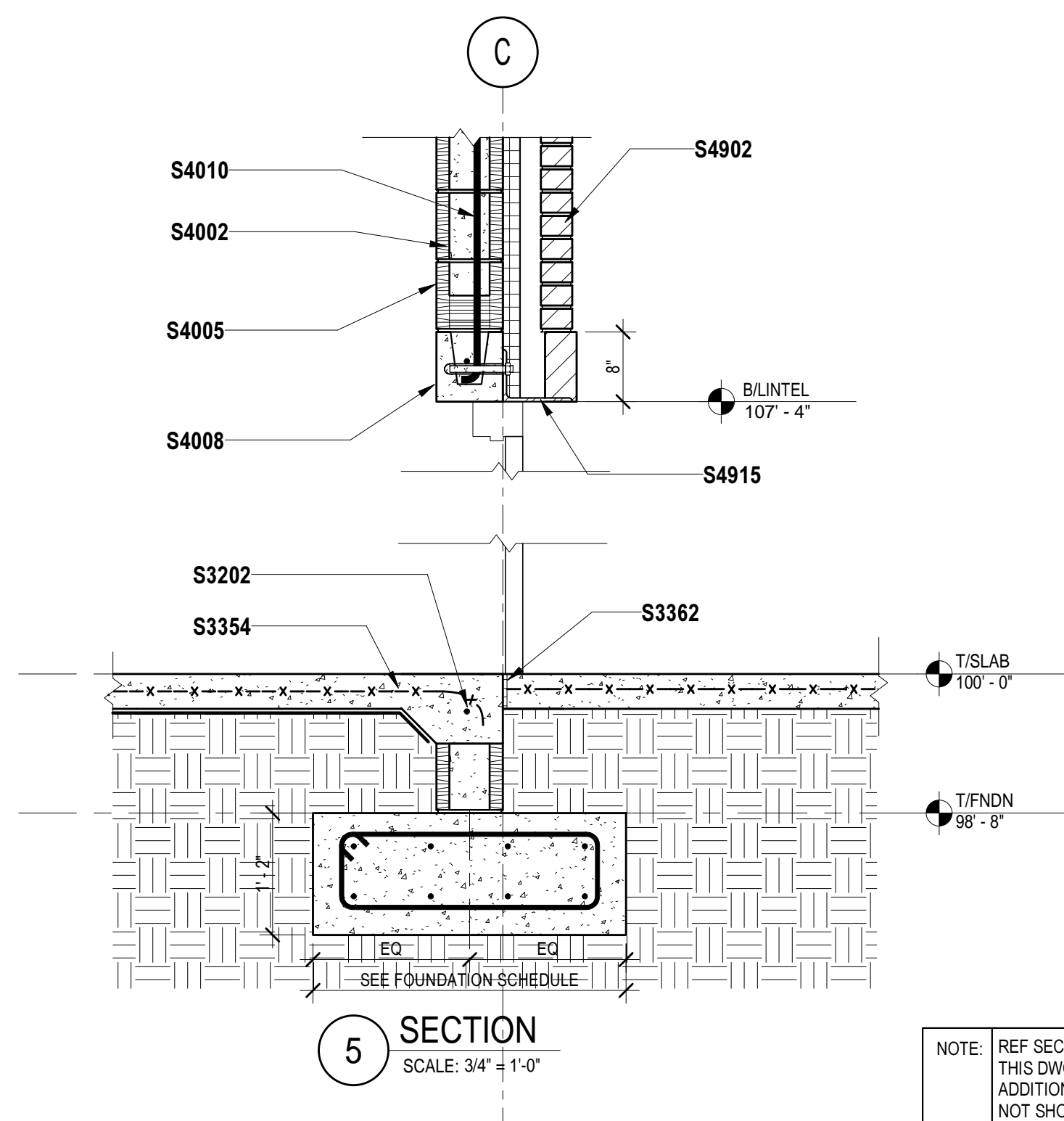
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ROOF FRAMING

S2.1



KEYNOTE LEGEND	
NO.	DESCRIPTION
S3202	(1) # 5 CONT
S3233	STANDARD HOOK
S3302	4" (MIN) 4,000 PSI CONC SLAB ON GRADE REINFORCED W/ 6X6 W1.4XW1.4 WWF OVER VAPOR RETARDER AND POISONED, COMPACTED FILL
S3354	WWF, SEE PLAN
S3362	1/2" PREFORMED JOINT FILLER W/ SEALANT CONTINUOUS (PJF)
S3408	8" (NOMINAL) CONC BEAM
S4002	8" MASONRY WALL SYSTEM
S4004	9 GAUGE STANDARD HORIZONTAL MASONRY WALL JOINT REINFORCING @ 16" OC (MIN) UON
S4005	GROUT FILLED KNOCK-OUT BLOCK REINFORCED WITH (1) # 5 CONTINUOUS
S4007	GROUT FILL ALL CELLS AND CAVITIES BELOW GRADE
S4008	PRECAST LINTEL, SEE SCHEDULE
S4010	VERTICAL FILLED CELL MASONRY WALL REINFORCING
S4902	4" BRICK VENEER SYSTEM
S4903	4" CMU
S4914	L6X6X5/16 (GALV) W/ 3/4" DIA ADHESIVE ANCHOR (GALV) @ 24" OC (GA-4 1/2") TYP BRICK LEDGER ANGLE UON
S4915	L6X8X7/16 (GALV) W/ 3/4" DIA ADHESIVE ANCHOR (GALV) @ 24" OC (GA-4 1/2") TYP BRICK LEDGER ANGLE UON
S5303	HSS COLUMN, SEE PLAN
S5701	METAL DECK, SEE PLAN
S5715	L5X5X5/16 CONT, SECURE DECK TO EDGE ANGLE
S5801A	CFS FRAMING BY SPECIALTY ENGINEER
S6101	L1 1/4 X1 1/4 X7/64 (MIN) HORIZONTAL BOTTOM CHORD UPLIFT BRIDGING LOCATED NEAR THE FIRST BOTTOM CHORD PANEL POINT OF ALL ROOF JOISTS. SEE TYP JOIST BRIDGING LAYOUT DETAIL AND MINIMUM COMPONENT & CLADDING NOMINAL DESIGN WIND PRESSURES FOR MIN GROSS UPLIFT DESIGN PRESSURES
S6401	K-SERIES STEEL JOIST, SEE PLAN

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SECTIONS

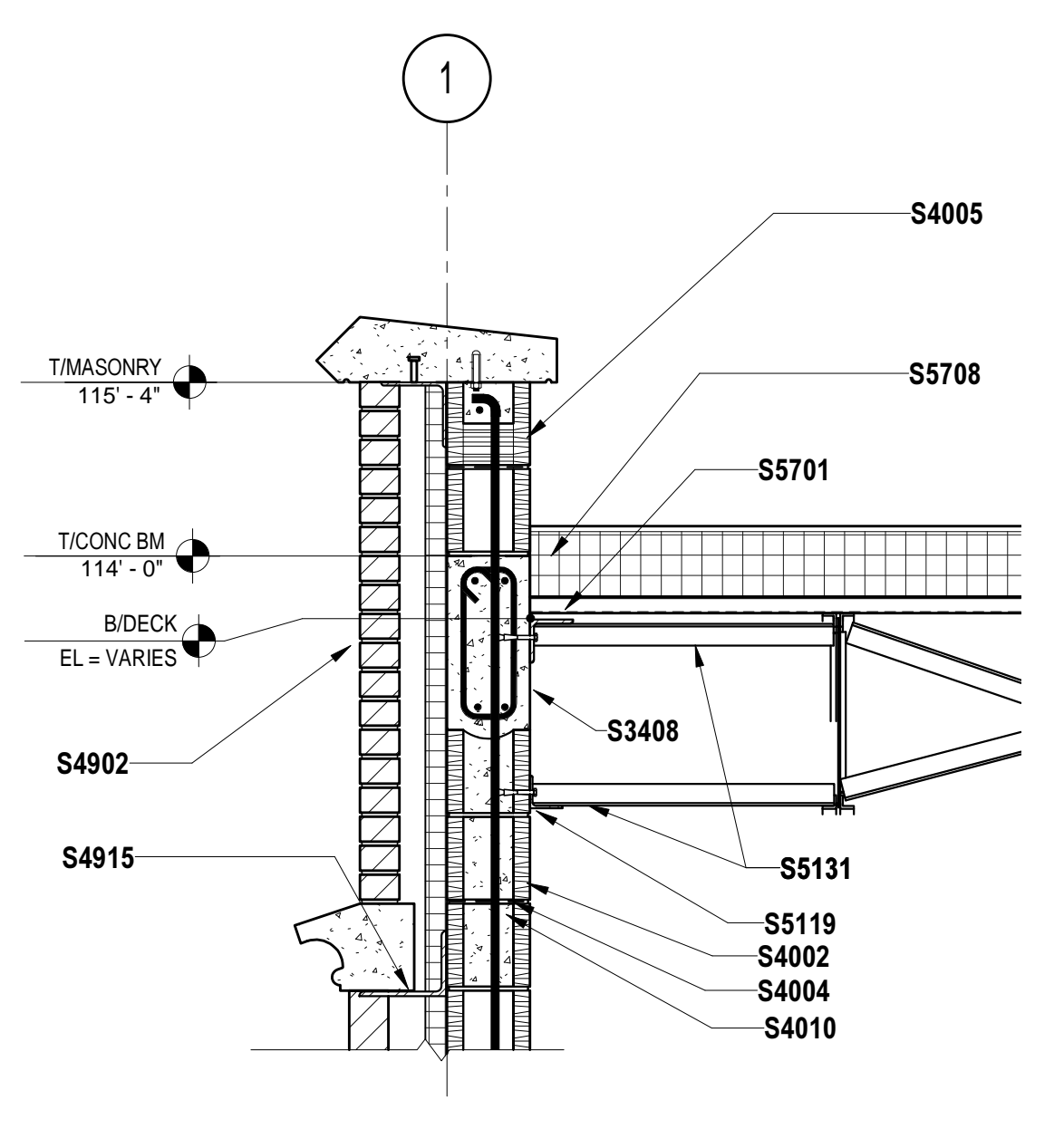
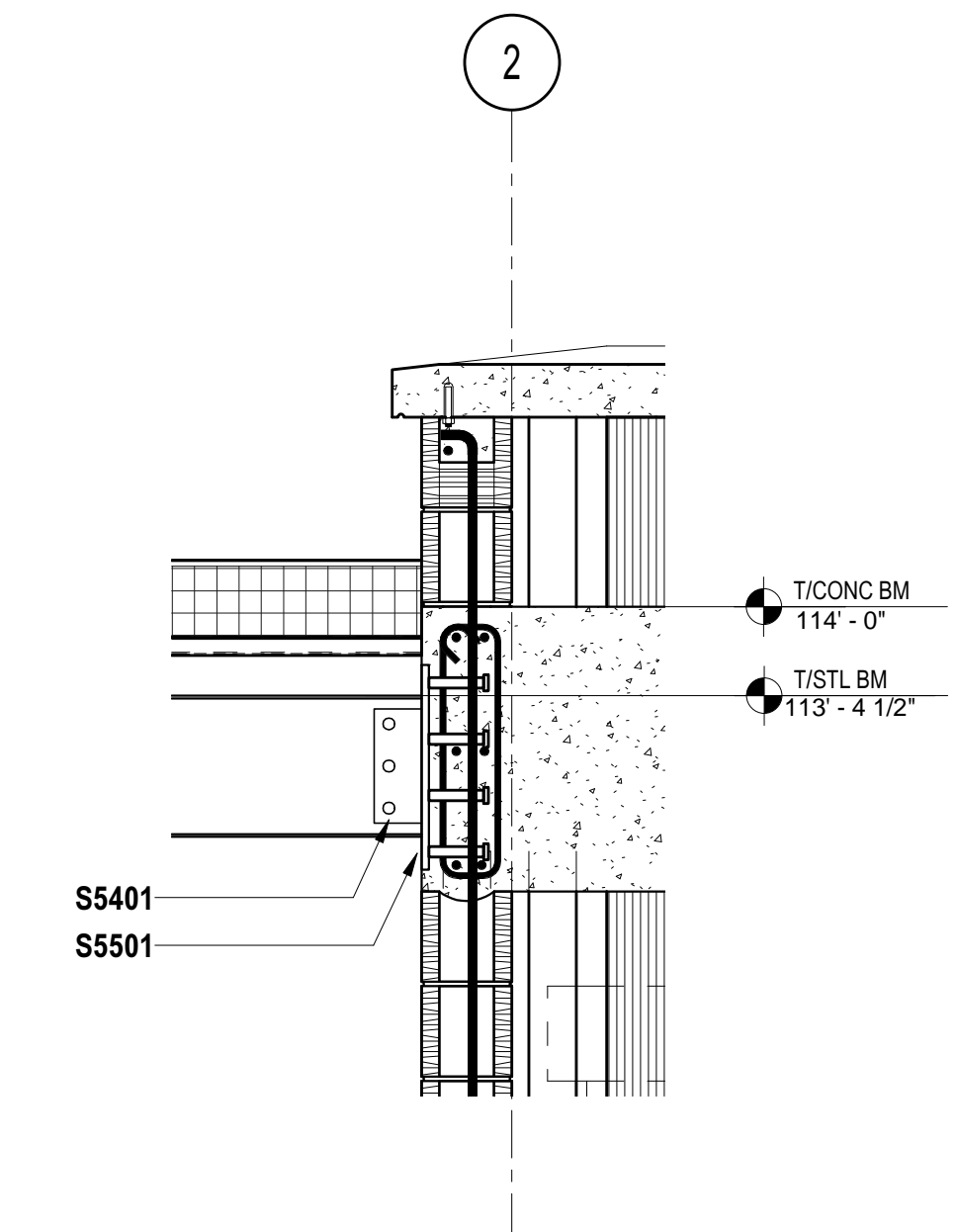
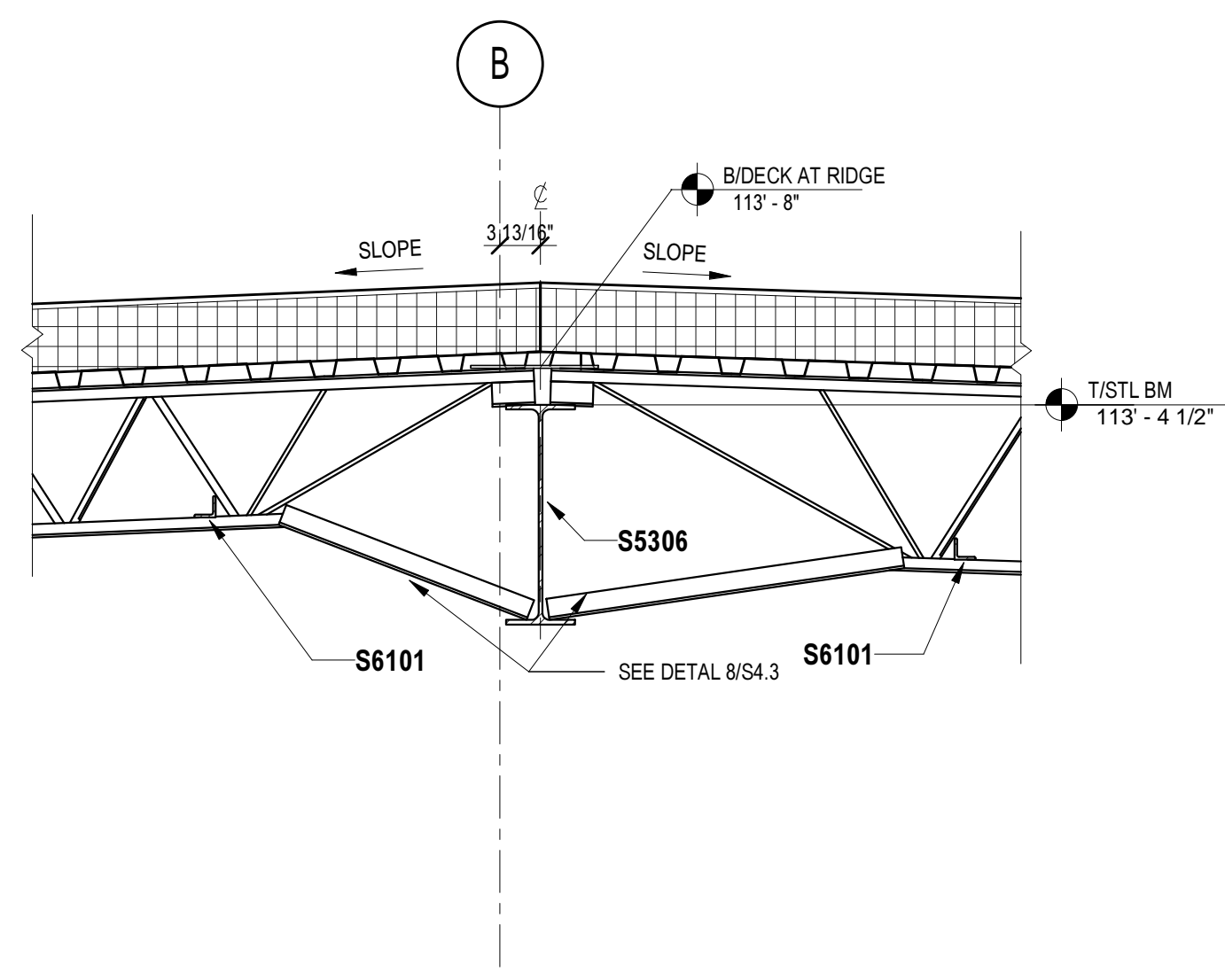
S3.1

KEYNOTE LEGEND	
NO.	DESCRIPTION
S3408	8" (NOMINAL) CONC BEAM
S4002	8" MASONRY WALL SYSTEM
S4004	9 GAUGE STANDARD HORIZONTAL MASONRY WALL JOINT REINFORCING @ 16" OC (MIN) UON
S4005	GROUT FILLED KNOCK-OUT BLOCK REINFORCED WITH (1) # 5 CONTINUOUS
S4010	VERTICAL FILLED CELL MASONRY WALL REINFORCING
S4902	4" BRICK VENEER SYSTEM
S4915	L6X8X7/16 (GALV) W/ 3/4" DIA ADHESIVE ANCHOR (GALV) @ 24" OC (GA=4 1/2") TYP BRICK LEDGER ANGLE UON
S5119	L3X3X1/4X3'-6 1/2" LONG W/ (2) 5/8" DIAMETER EXPANSION BOLTS, 3 1/2" C/C. INSTALL VERTICAL OR HORIZONTAL (TOE UP OR DOWN) AS REQ'D
S5131	L2 1/2X2 1/2X1/4 WELDED TOP & BOTTOM FLANGE HORIZONTAL BRIDGING
S5303	HSS COLUMN. SEE PLAN
S5306	WIDE FLANGE BEAM. SEE PLAN
S5401	SEE 'MINIMUM SHEAR CONNECTIONS' FOR MIN NUMBER OF ROWS OF BOLTS FOR ALL BEAM CONNECTIONS
S5501	BEAM EMBED CONNECTION. SEE EMBED DETAILS
S5701	METAL DECK. SEE PLAN
S5708	L4X4X5/16 CONT W/ 3/4" DIAMETER EXPANSION BOLTS @ 24" OC, SECURE DECK TO EDGE ANGLE
S6101	L1 1/4 X1 1/4 X7/84 (MIN) HORIZONTAL BOTTOM CHORD UPLIFT BRIDGING LOCATED NEAR THE FIRST BOTTOM CHORD PANEL POINT OF ALL ROOF JOISTS. SEE TYP JOIST BRIDGING LAYOUT DETAIL AND 'MINIMUM COMPONENT & CLADDING NOMINAL DESIGN WIND PRESSURES' FOR MIN GROSS UPLIFT DESIGN PRESSURES

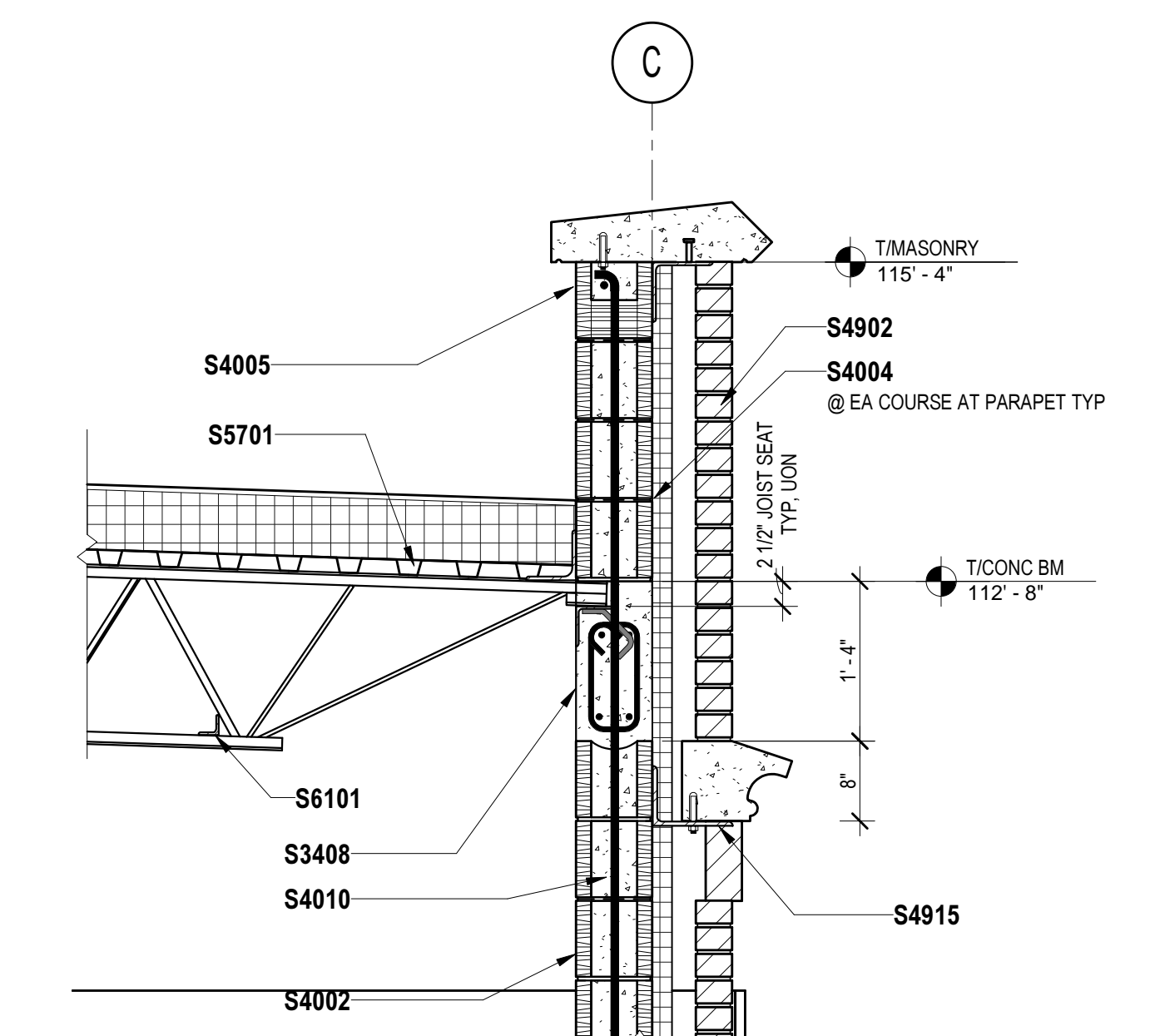
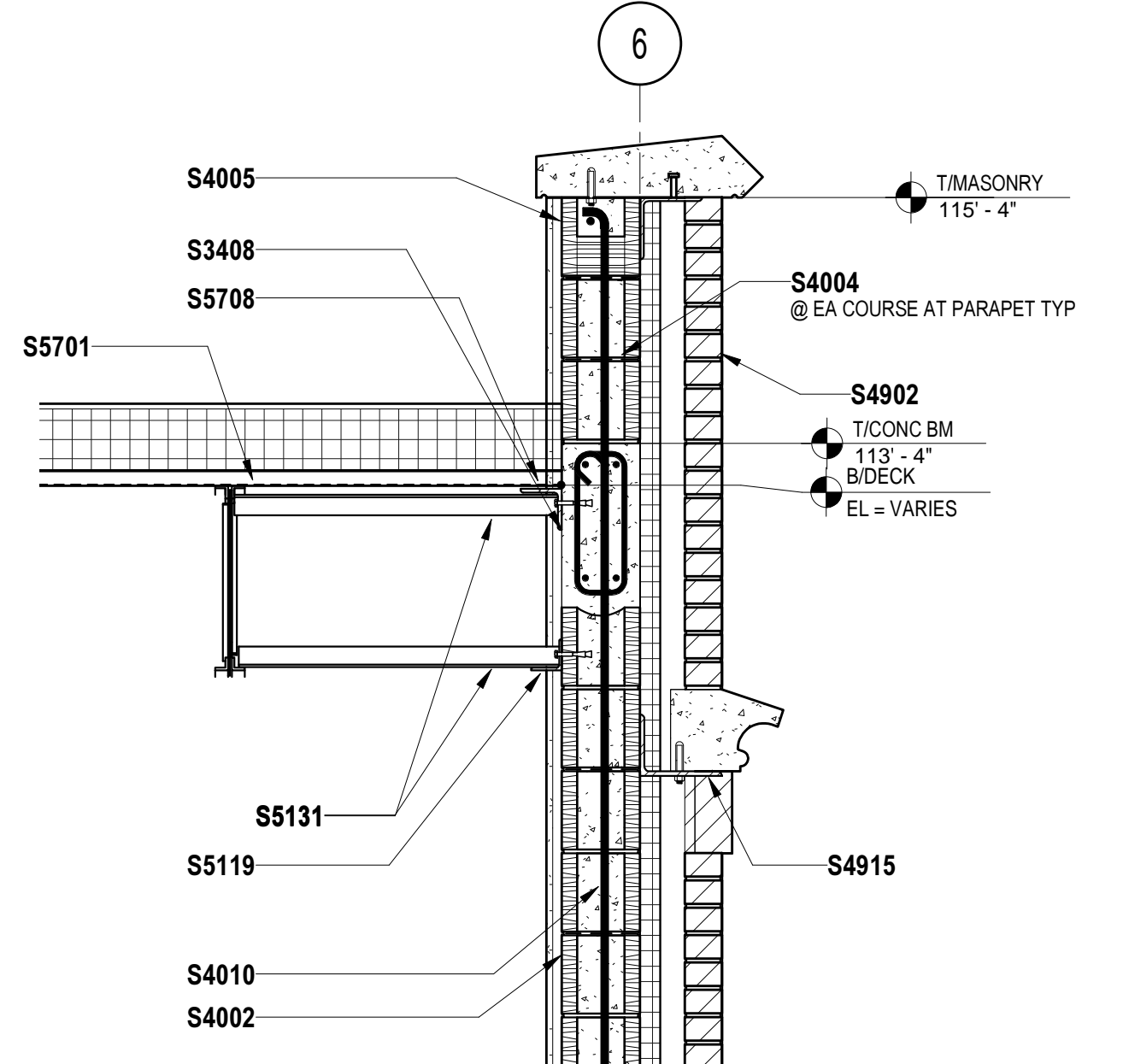
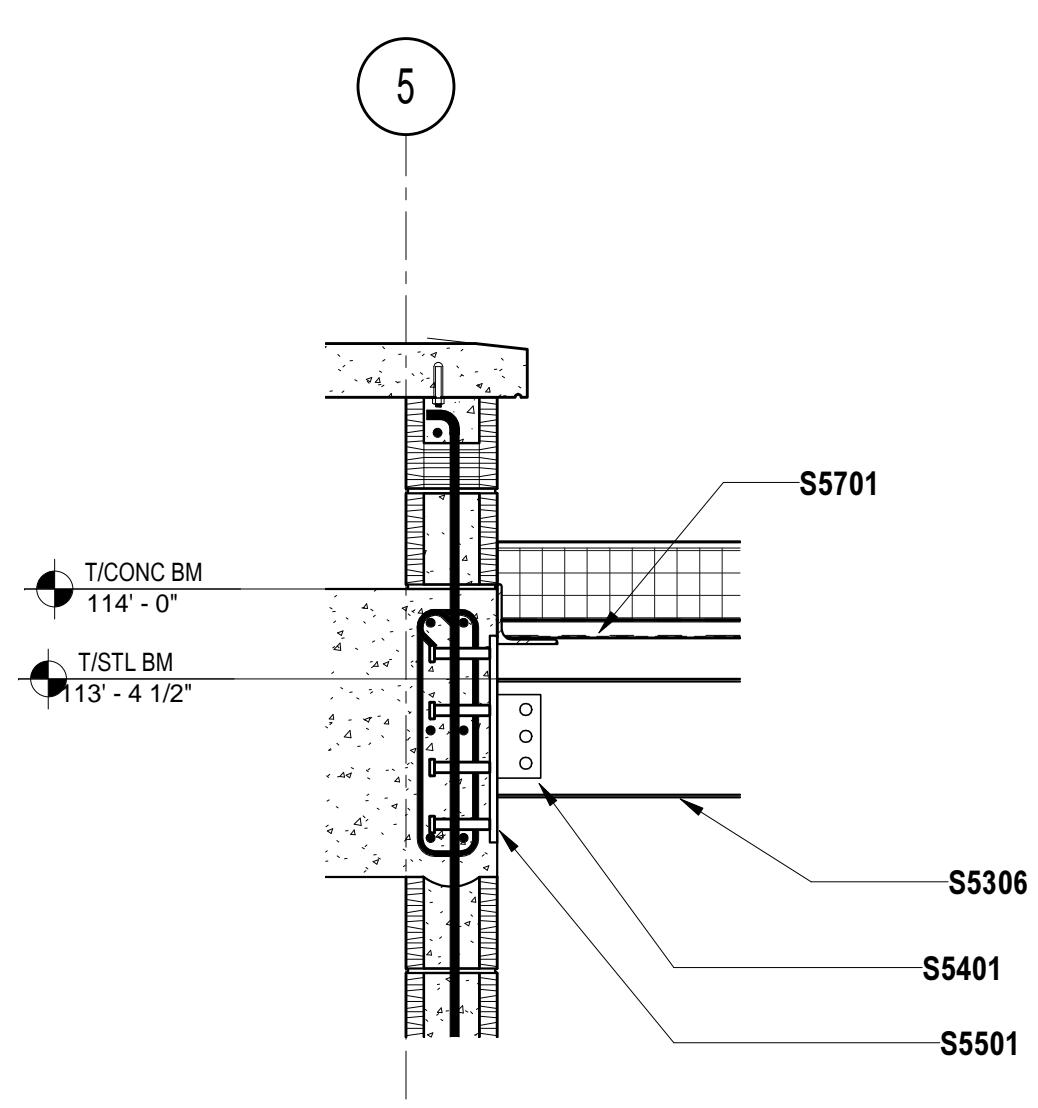
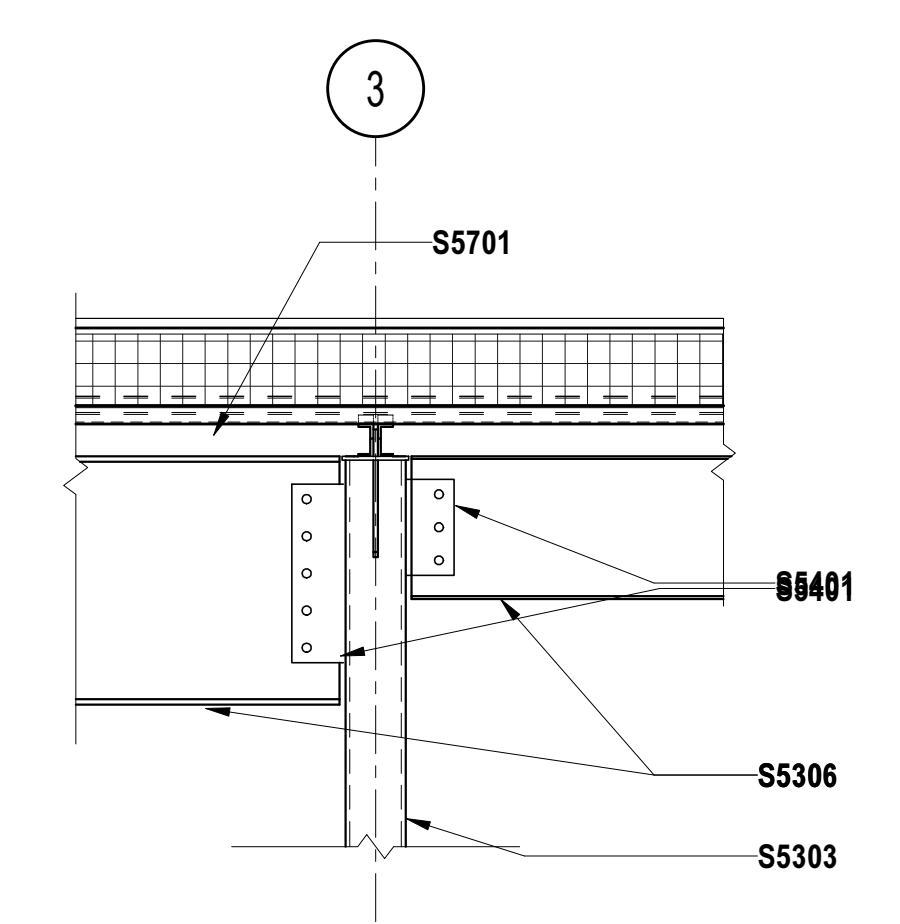
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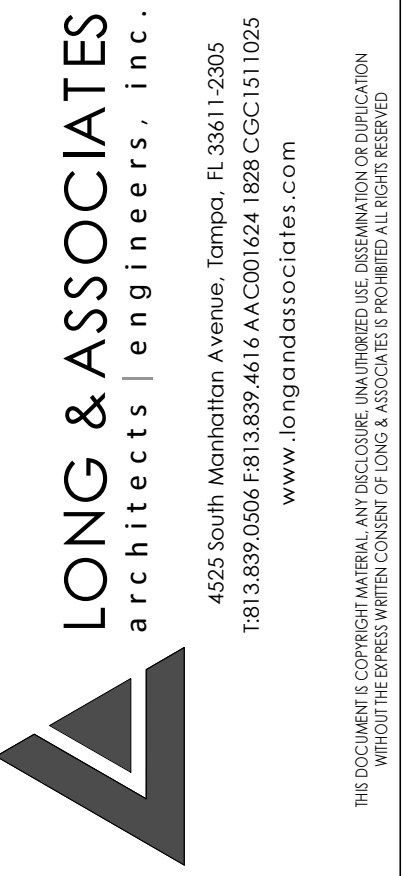
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 Date: MARCH 5, 2021

SECTIONS

S3.2

KEYNOTE LEGEND

NO.	DESCRIPTION
S3233	STANDARD HOOK
S3354	WWF, SEE PLAN
S3362	1/2" PREFORMED JOINT FILLER W/ SEALANT CONTINUOUS (P/JF)
S3408	8" (NOMINAL) CONC BEAM
S4002	8" MASONRY WALL SYSTEM
S4004	9 GAUGE STANDARD HORIZONTAL MASONRY WALL JOINT REINFORCING @ 16" OC (MIN) UON
S4005	GROUT FILLED KNOCK-OUT BLOCK REINFORCED WITH (1) # 5 CONTINUOUS
S4007	GROUT FILL ALL CELLS AND CAVITIES BELOW GRADE
S4008	PRECAST LINTEL, SEE SCHEDULE
S4010	VERTICAL FILLED CELL MASONRY WALL REINFORCING
S4902	4" BRICK VENEER SYSTEM
S4903	4" CMU
S4914	L6X8X16 (GALV) W/ 3/4" DIA ADHESIVE ANCHOR (GALV) @ 24" OC (GA=4 1/2") TYP BRICK LEDGER ANGLE UON
S4915	L6X8X16 (GALV) W/ 3/4" DIA ADHESIVE ANCHOR (GALV) @ 24" OC (GA=4 1/2") TYP BRICK LEDGER ANGLE UON
S5701	METAL DECK, SEE PLAN
S5708	
S708	L4X4X16 CONT W/ 3/4" DIAMETER EXPANSION BOLTS @ 24" OC, SECURE DECK TO EDGE ANGLE



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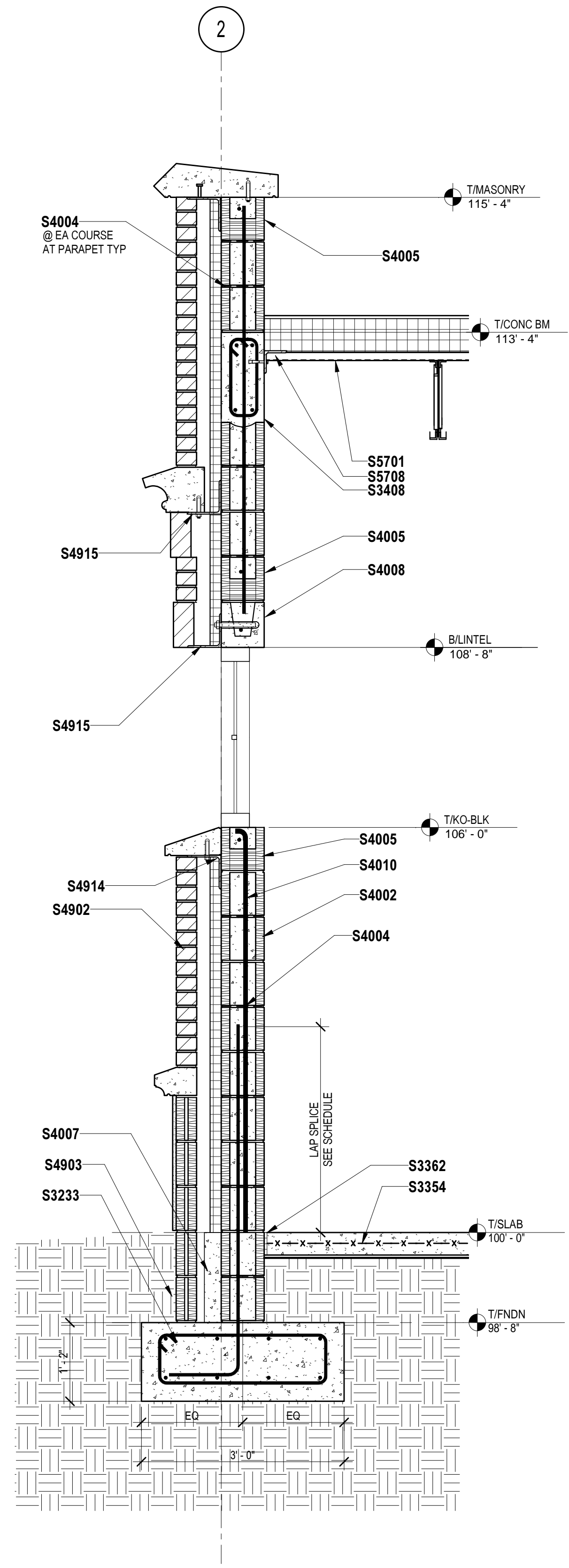
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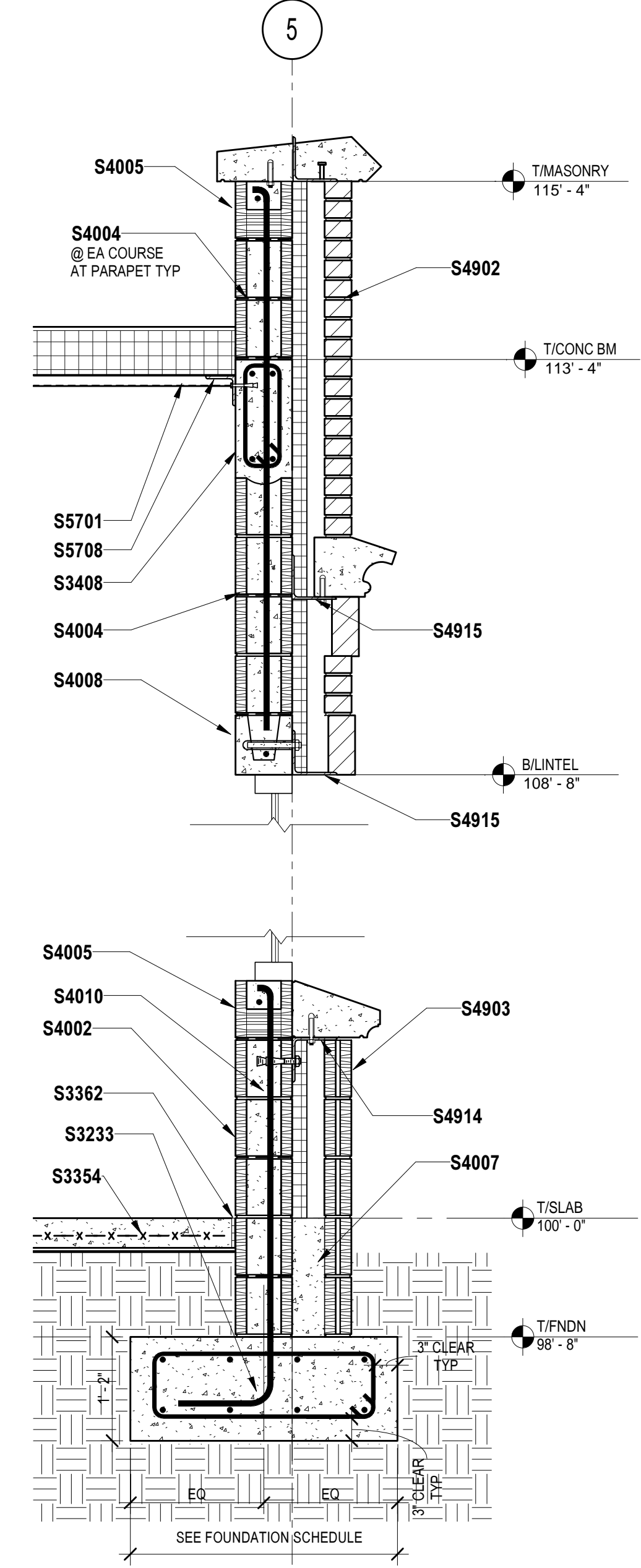
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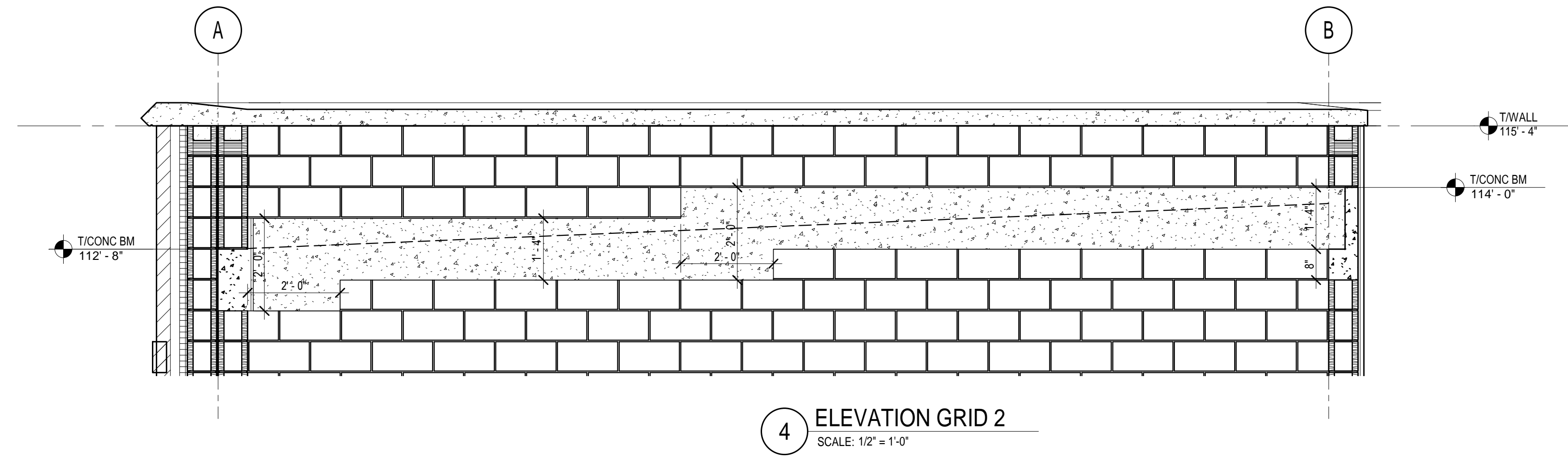
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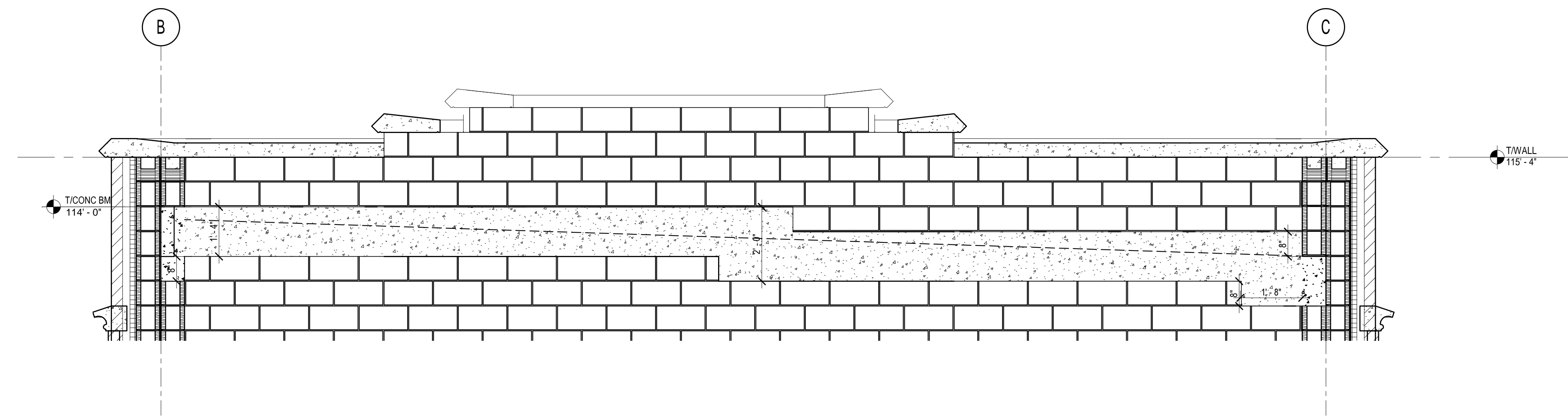
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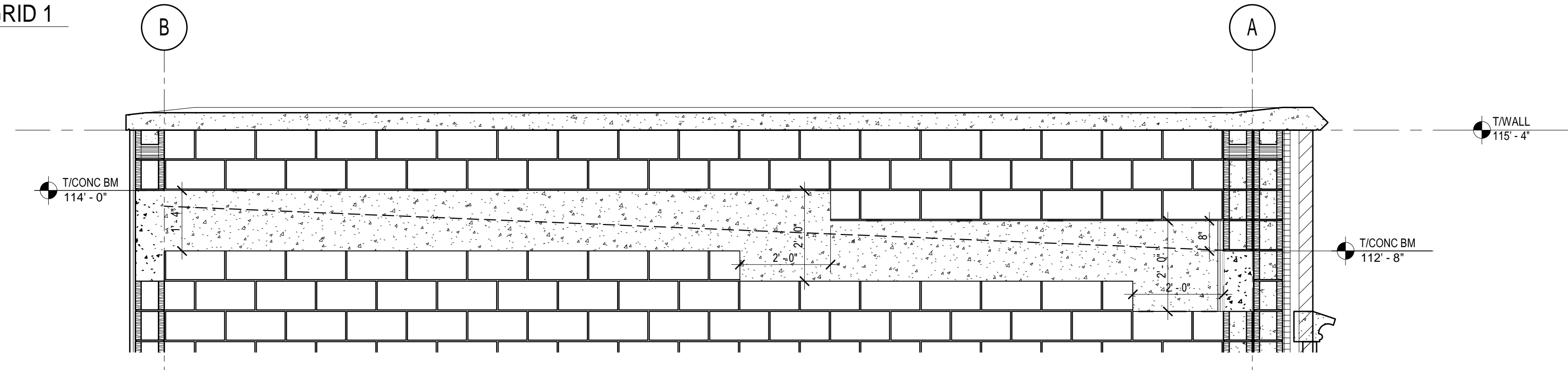
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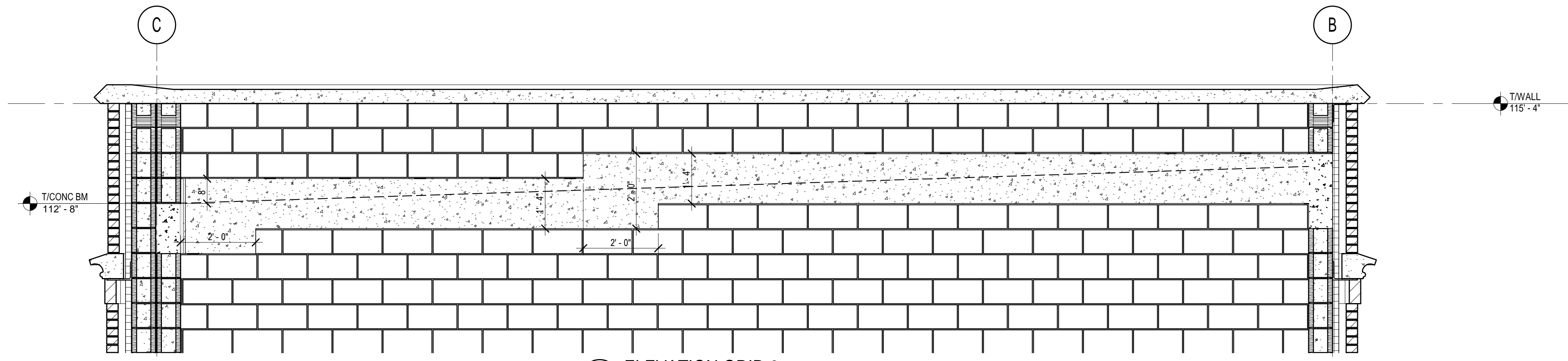
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SCALE: 1/2" = 1'-0"



3 ELEVATION GRID 1
SCALE: 1/2" = 1'-0"

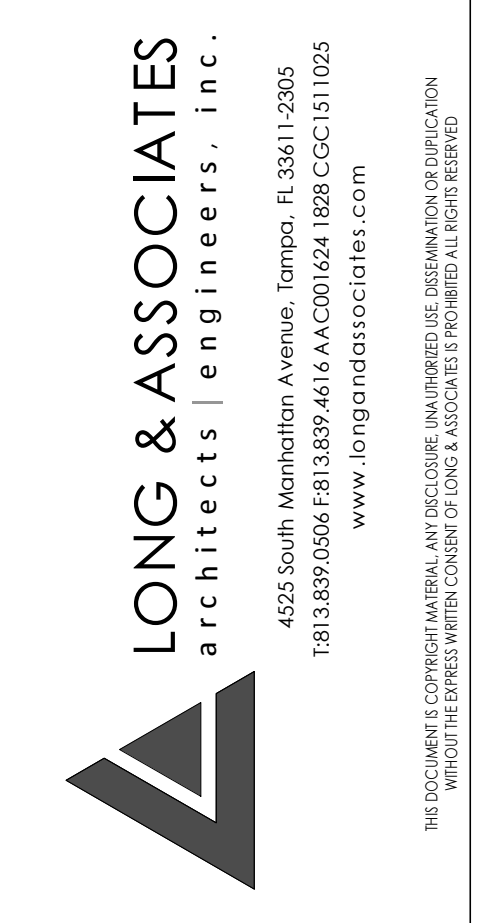


2 ELEVATION GRID 5
SCALE: 1/2" = 1'-0"



1 ELEVATION GRID 6
SCALE: 1/2" = 1'-0"

KEYNOTE LEGEND	
NO.	DESCRIPTION



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 Job No: 19035
 Date: MARCH 5, 2021
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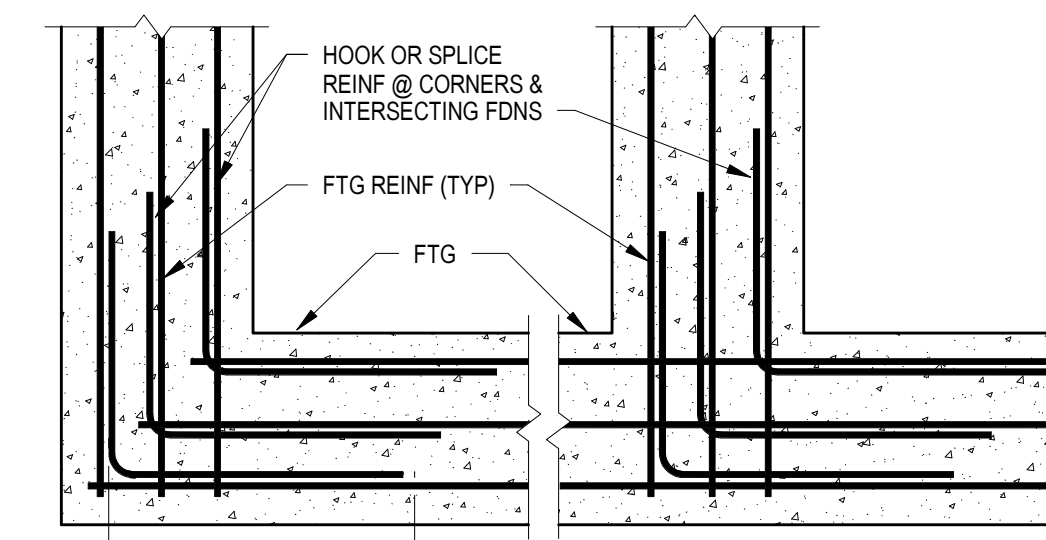
ELEVATIONS

S3.4

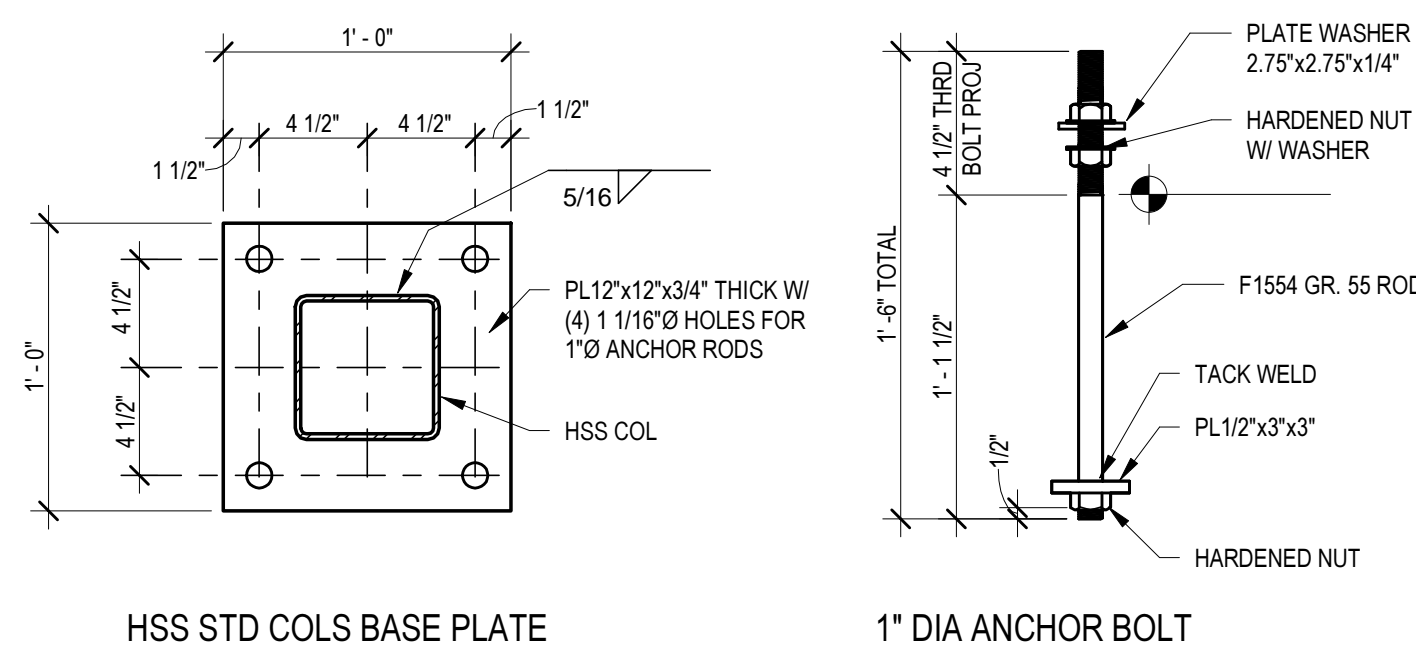
No.	Date	Issues & Revisions
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3	03/05/2021	60% CONSTRUCTION DOCS

TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

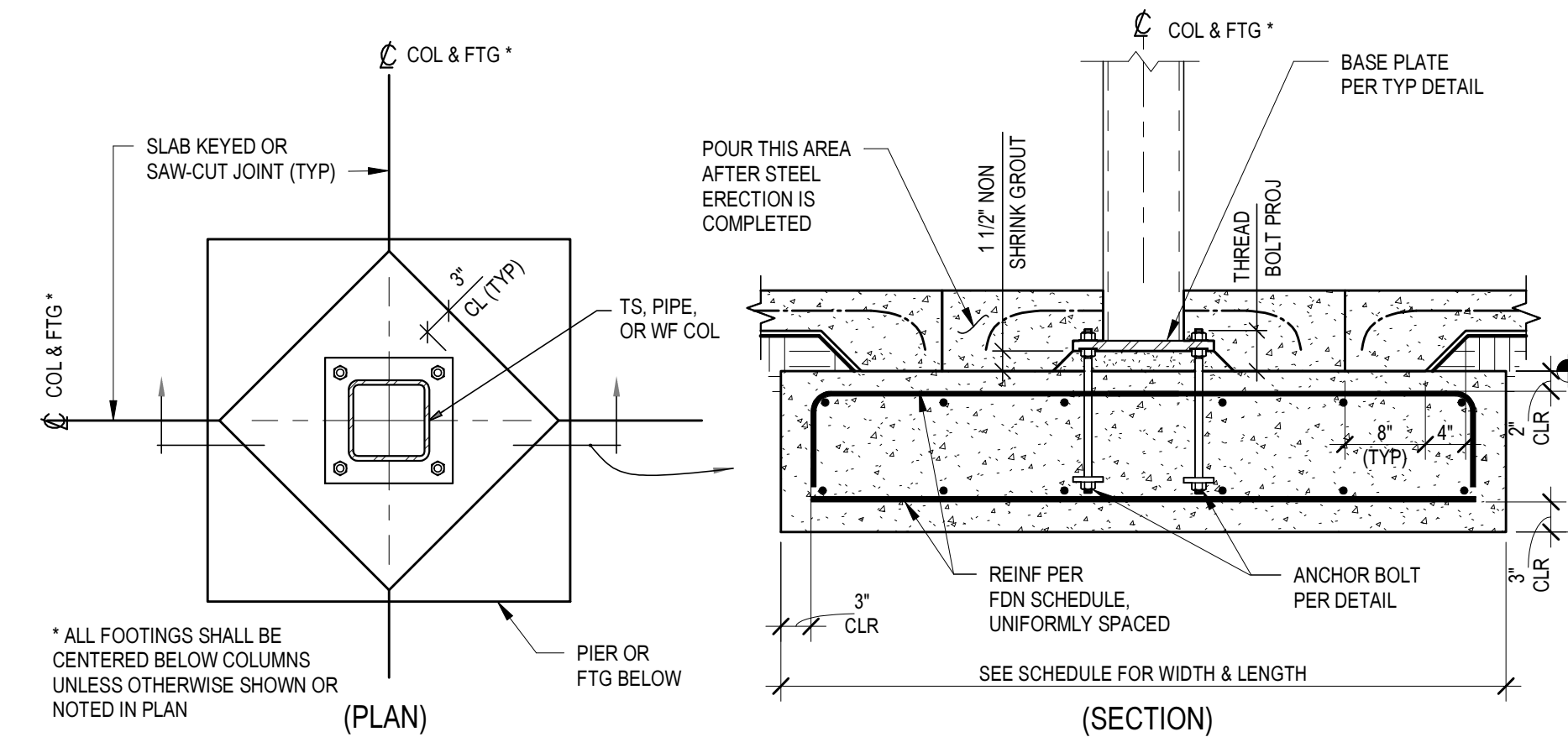
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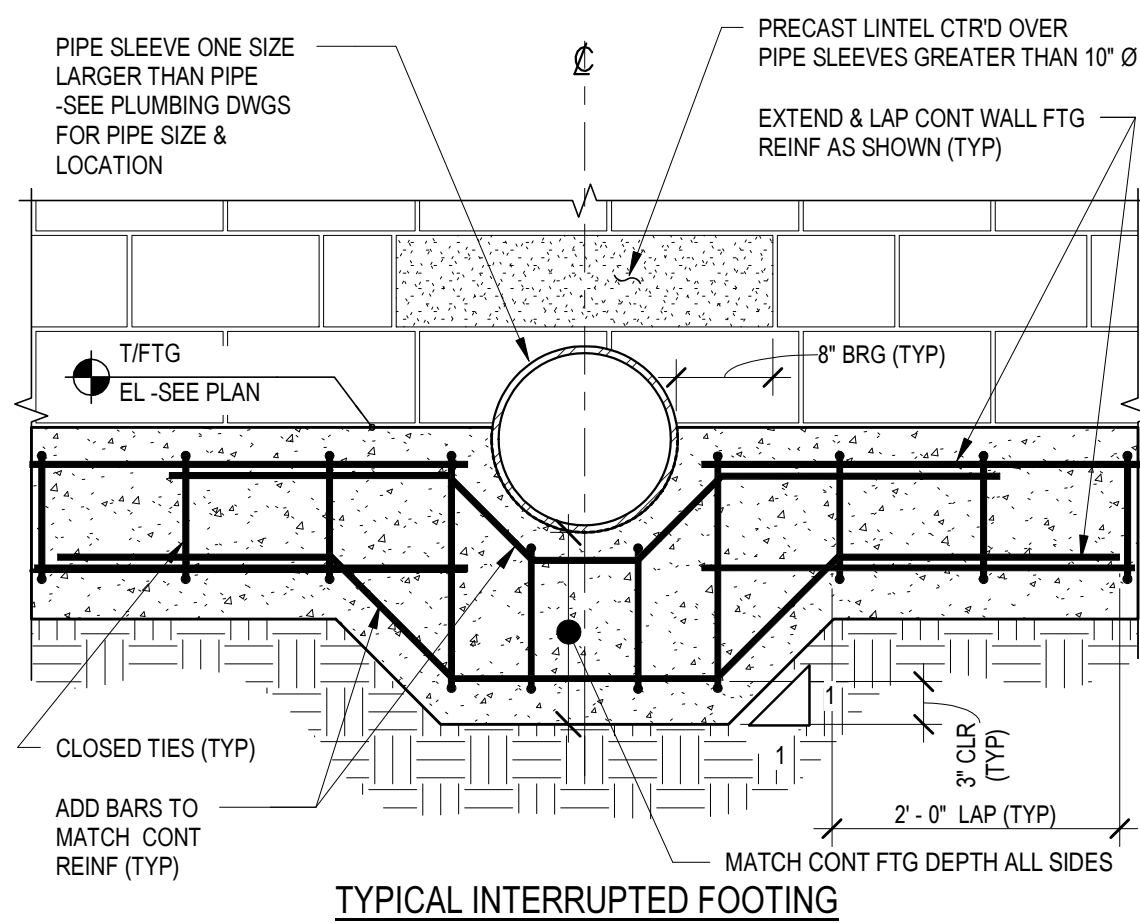
3 DETAIL
SCALE: 3/4" = 1'-0"



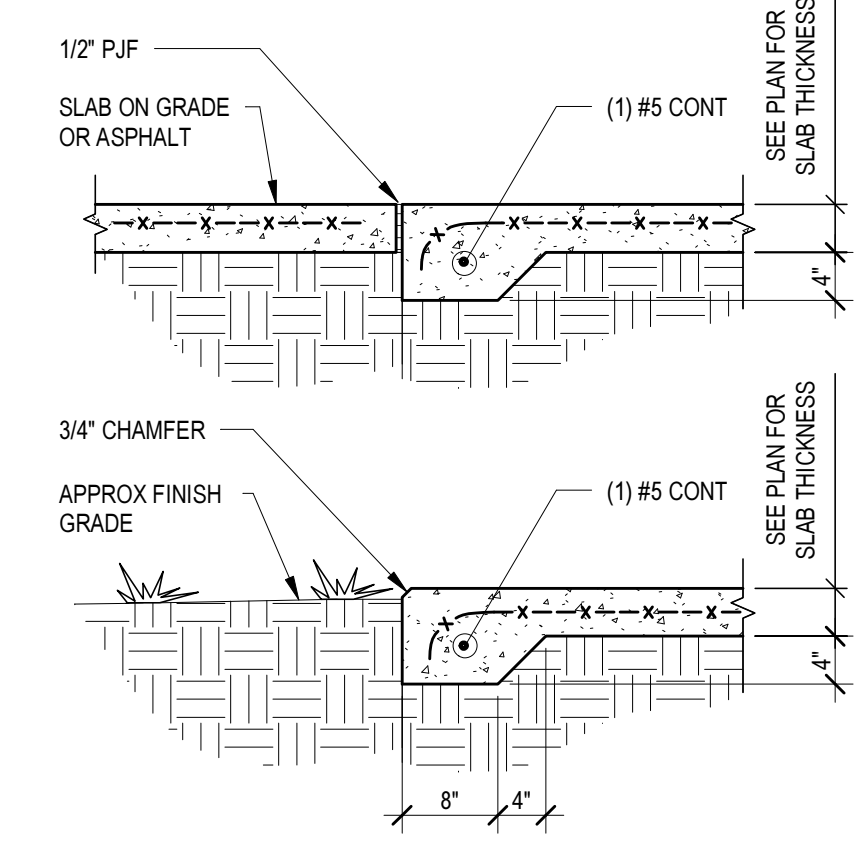
6 DETAIL
SCALE: 1 1/2" = 1'-0"



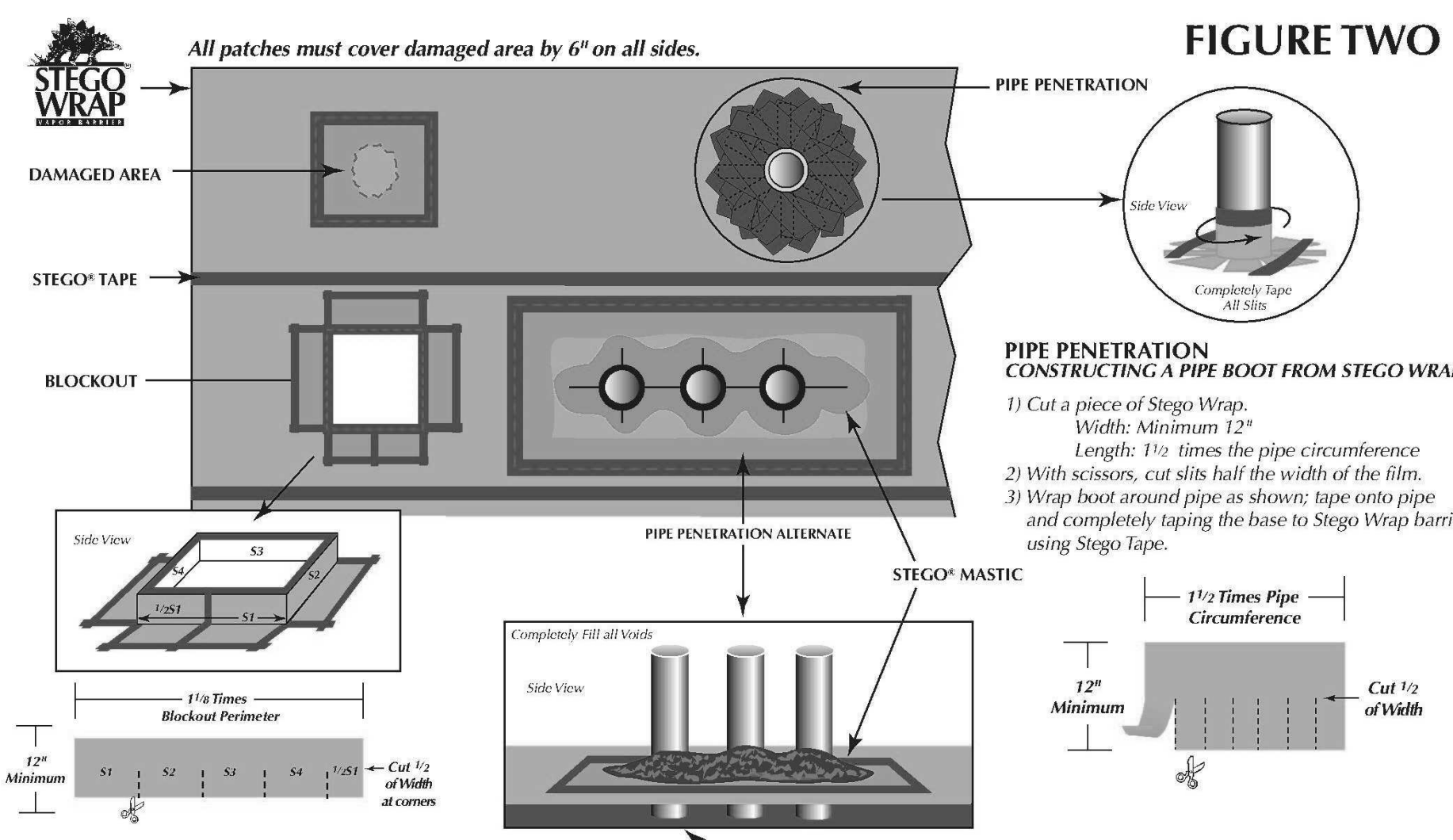
8 DETAIL
SCALE: 3/4" = 1'-0"



5 DETAIL
SCALE: 3/4" = 1'-0"



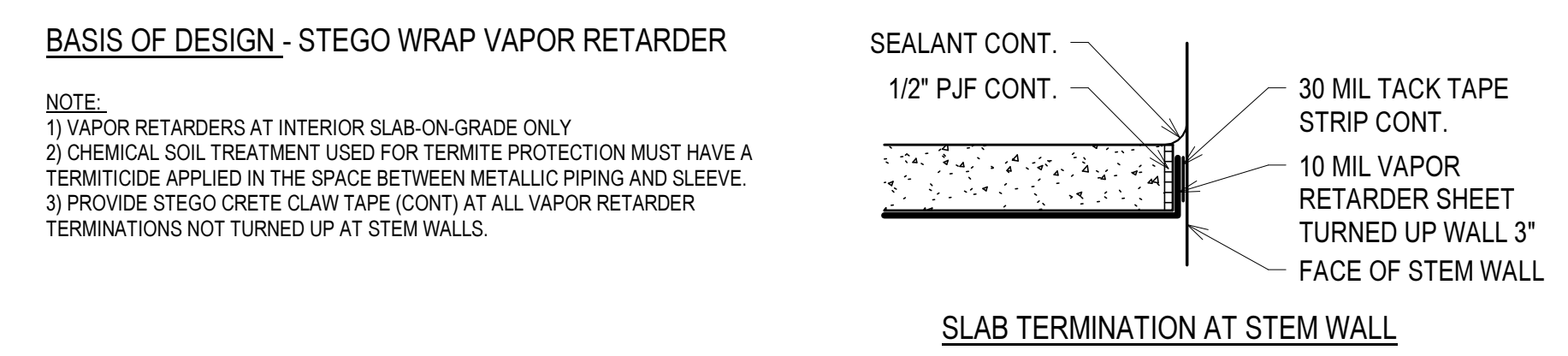
2 DETAIL
SCALE: 3/4" = 1'-0"



BLOCKOUT
CONSTRUCTING A BLOCKOUT BOOT FROM STEGO WRAP

- 1) Cut a piece of Stego Wrap.
- 2) Cut a patch of Stego Wrap extending at least 6" past the cut out in all directions.
- 3) Cut X's or small circles in the patch and install over pipes.
- 4) Overlap at least 6" and tape with Stego Tape.
- 5) Build up 40-60 mils of mastic, or as needed to completely fill all voids between the pipe and Stego Wrap.
- 6) Allow 24 hours for maximum cure before concrete pour.

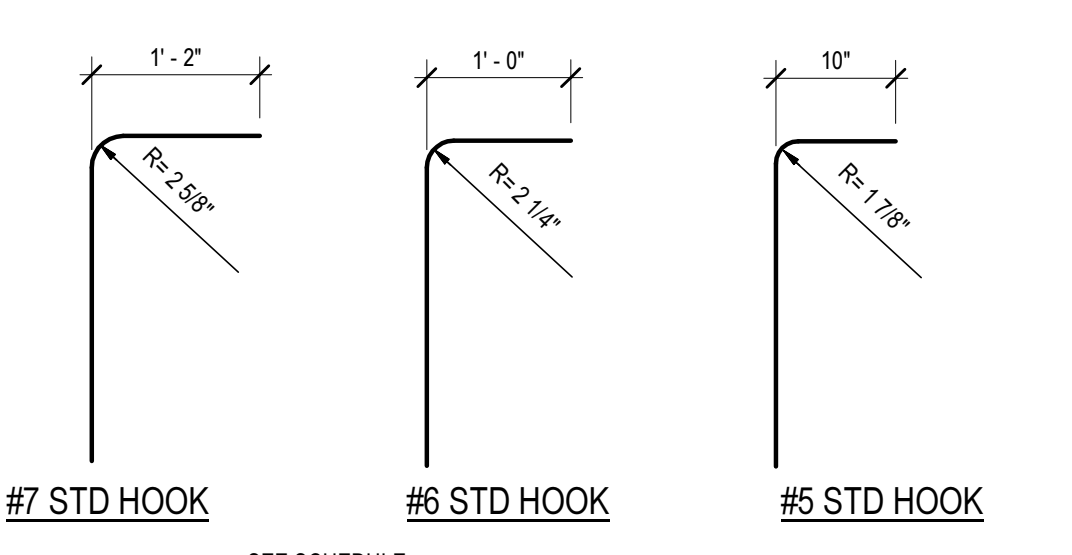
10/03 Pg.4



10 DETAIL
SCALE: 1:10

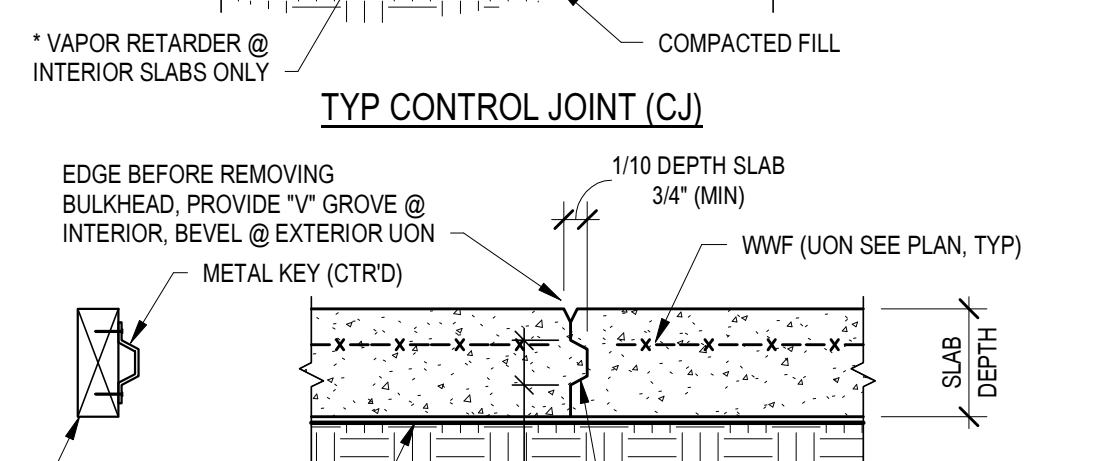
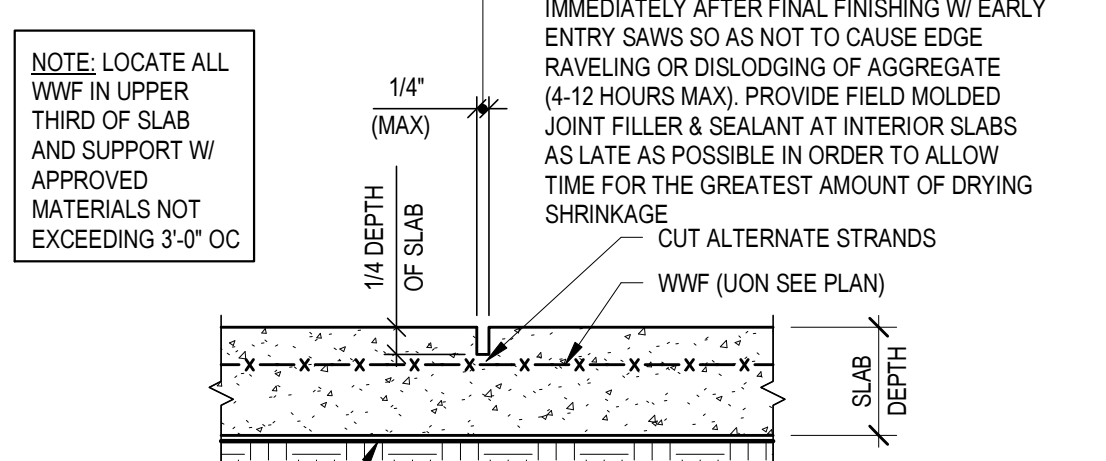
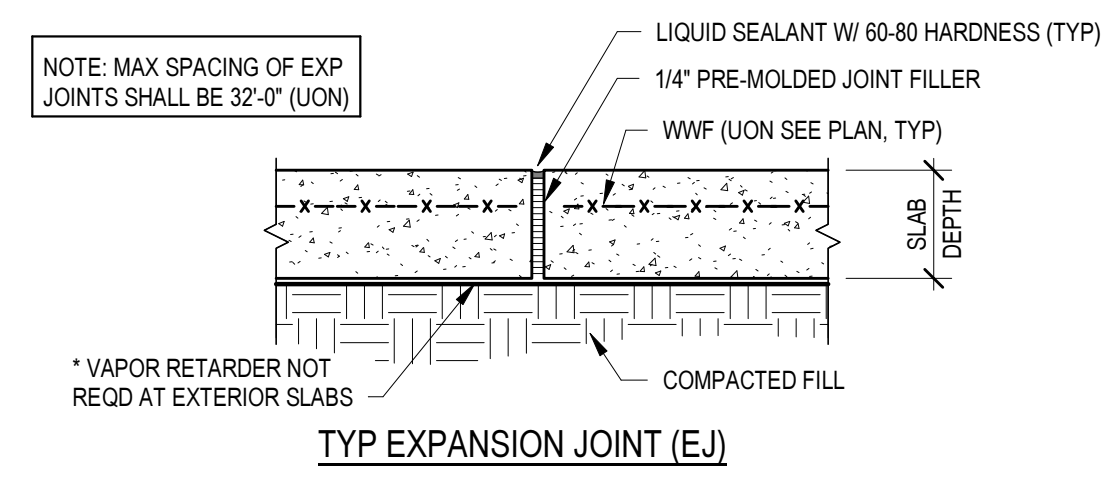
LAP SPLICE SCHEDULE

LOCATION OF LAP SPLICE	BAR SIZE		
	#5	#6	#7
8" MASONRY - FILLED CELLS & LINTELS	32"	44"	60"
12" MASONRY - FILLED CELLS & LINTELS	32"	40"	46"
ALL OTHER BARS IN 3000 PSI CONCRETE	36"	43"	63"
ALL OTHER BARS IN 4000 PSI CONCRETE	31"	37"	54"
ALL OTHER BARS IN 5000 PSI CONCRETE	28"	33"	49"
TOP BARS IN 3000 PSI CONCRETE	47"	56"	81"
TOP BARS IN 4000 PSI CONCRETE	40"	48"	70"
TOP BARS IN 5000 PSI CONCRETE	36"	43"	63"



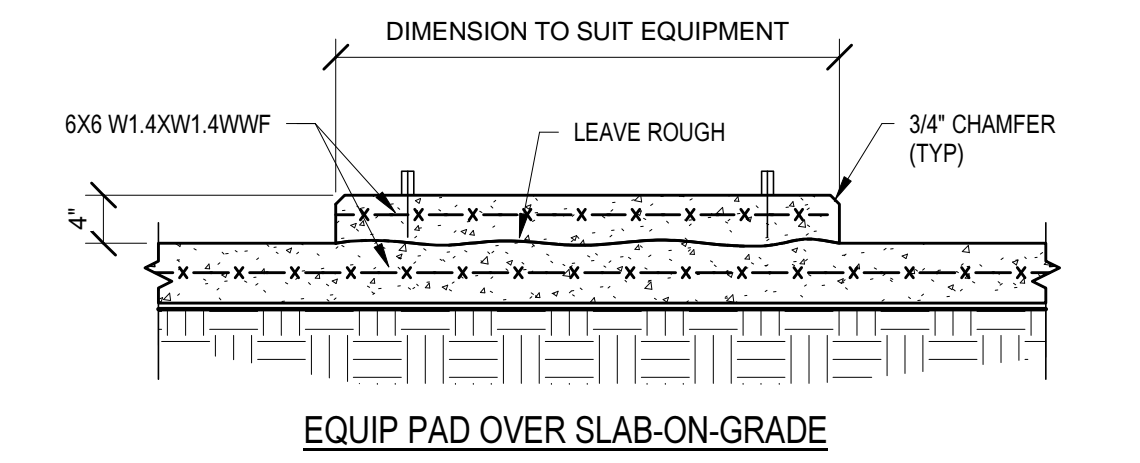
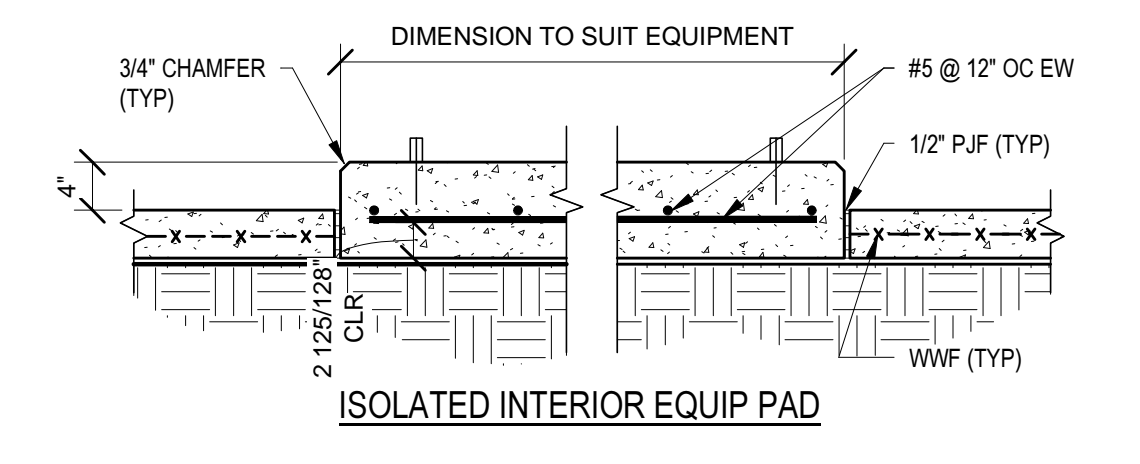
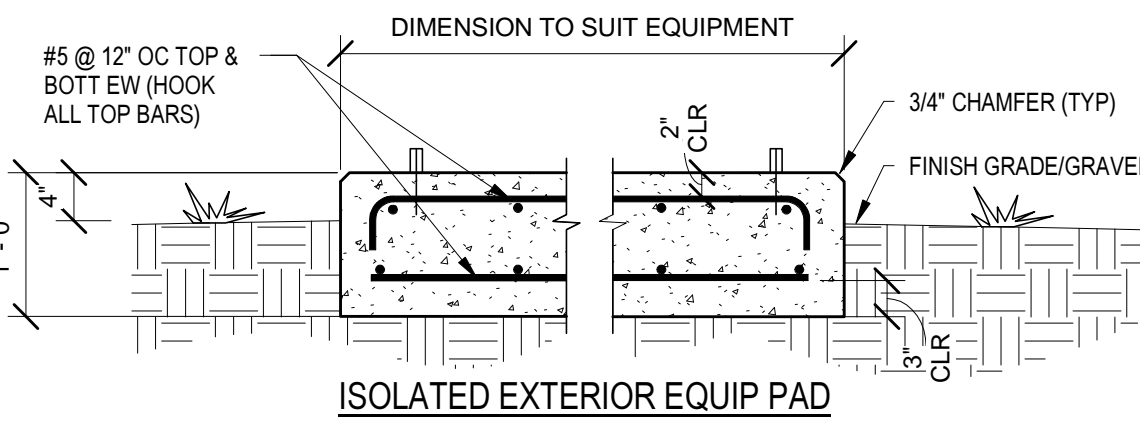
#5, #6 OR #7 LAP SPLICE
GRADE 60 REINF HOOK & LAP SPLICES SCHEDULE

7 DETAIL
SCALE: 3/4" = 1'-0"



TYP EXPANSION JOINT (EJ)
TYP CONTROL JOINT (CJ)
TYP CONSTRUCTION JOINT (CJ)

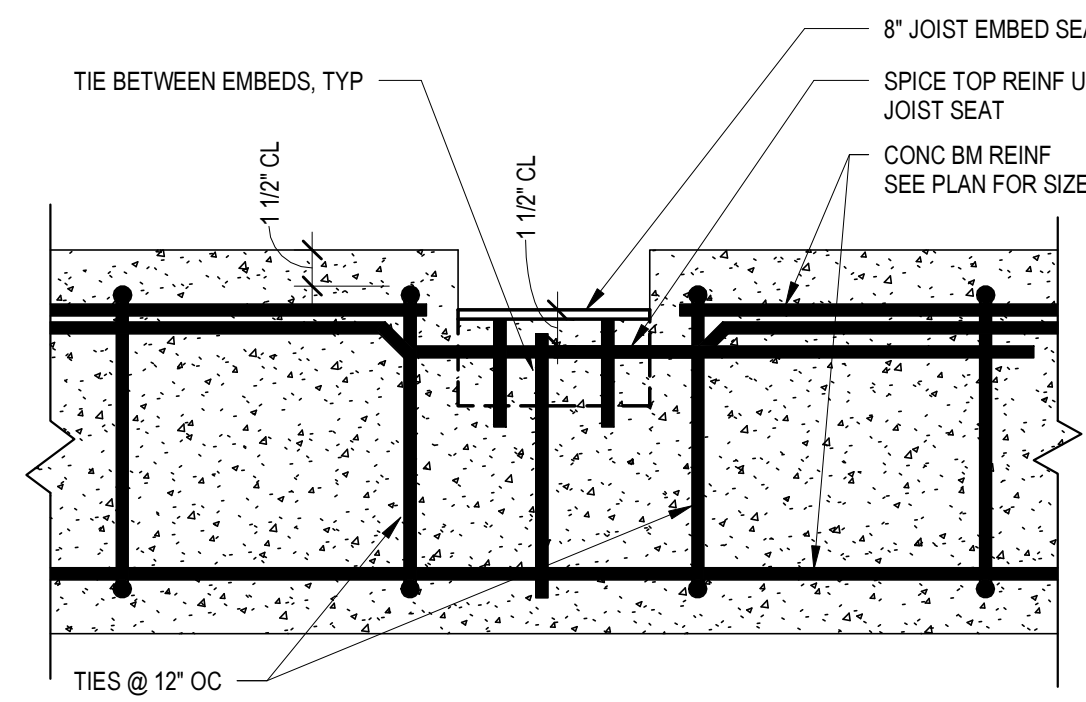
4 DETAIL
SCALE: 3/4" = 1'-0"



ISOLATED EXTERIOR EQUIP PAD
ISOLATED INTERIOR EQUIP PAD
EQUIP PAD OVER SLAB-ON-GRADE
TYP EQUIPMENT PADS

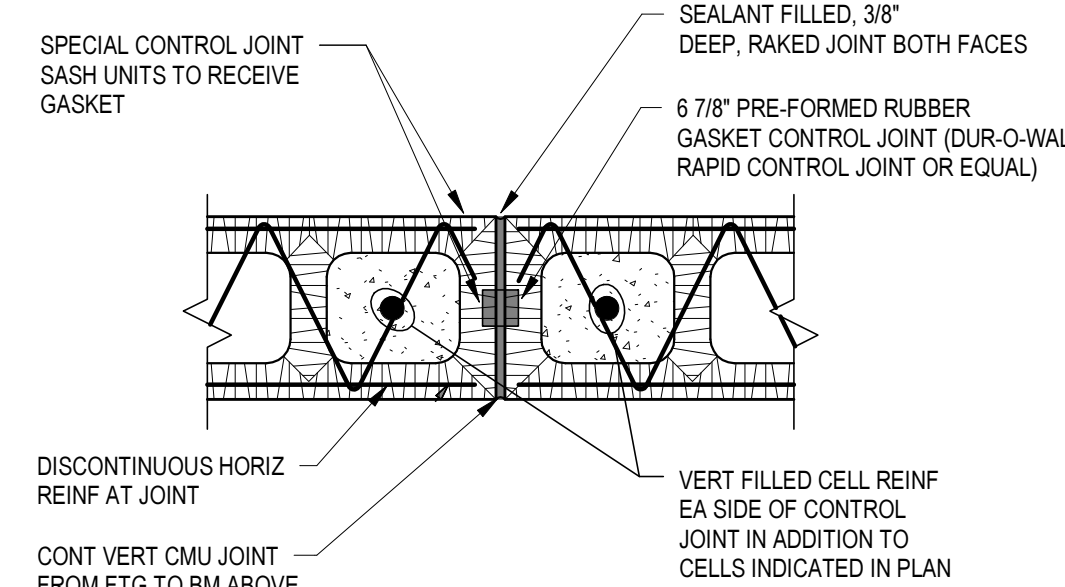
NOTE: CONTRACTOR TO DETERMINE SIZE OF PAD, ANCHORAGE, ETC FROM APPROVED VENDOR PRINTS

1 DETAIL
SCALE: 3/4" = 1'-0"



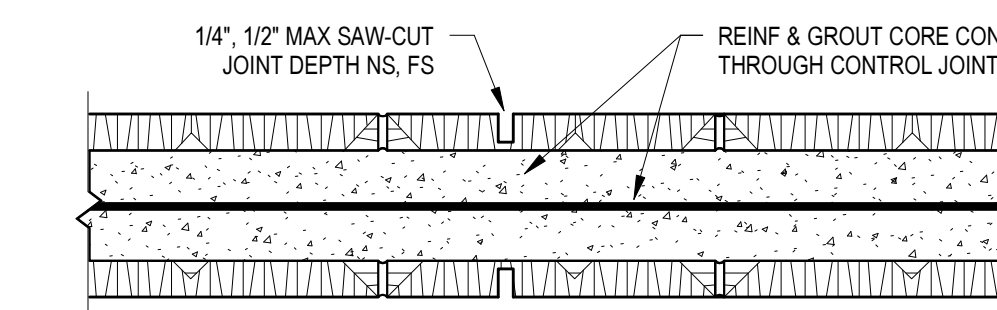
REINFORCEMENT IN CONCRETE BEAM
AT JOIST POCKET ELEVATION

8 SECTION
SCALE: 1 1/2" = 1'-0"



CONTROL JOINT @ MASONRY WALL

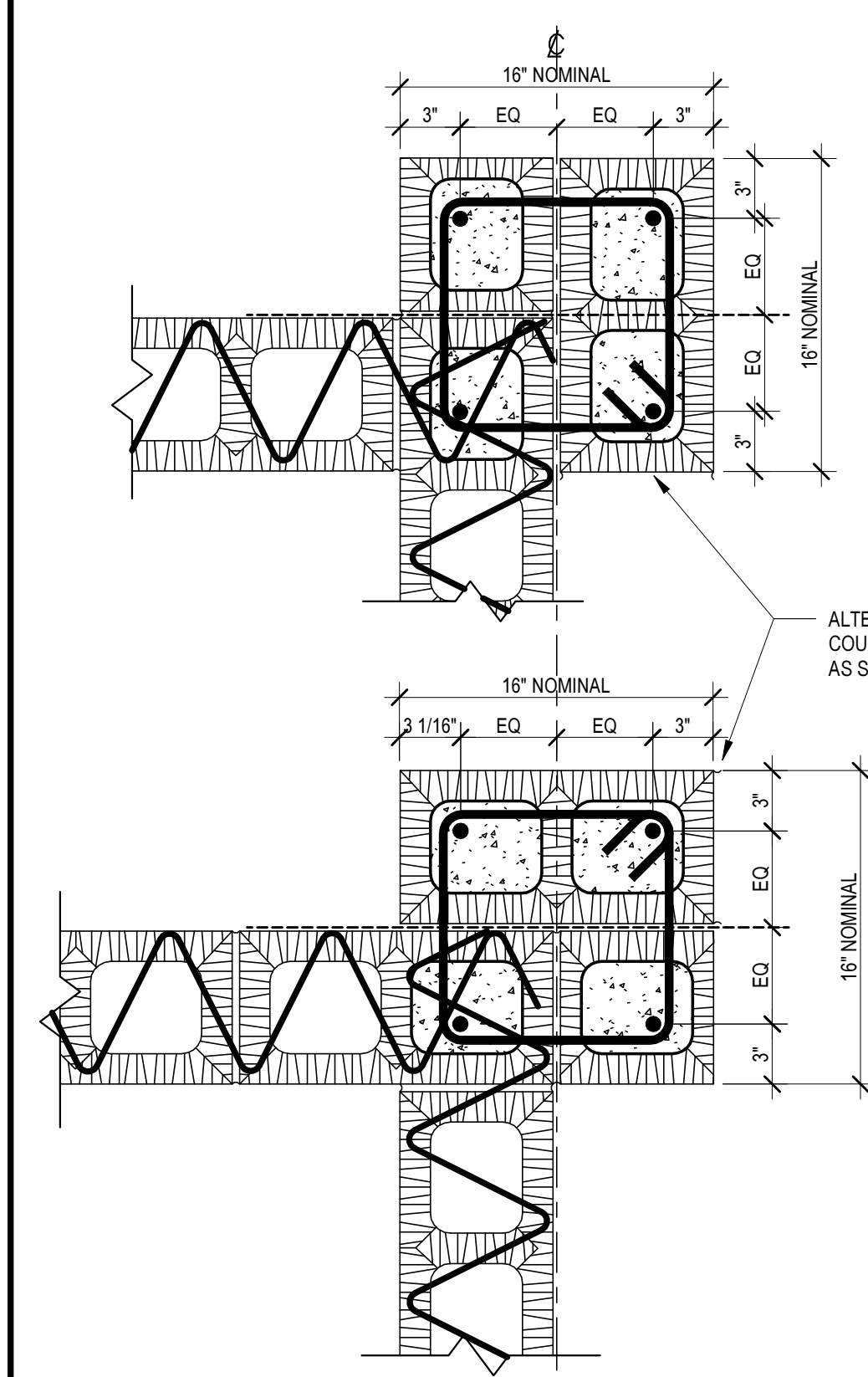
NOTE:
A. MAX SPACING OF EXTERIOR CONTROL JOINTS SHALL NOT EXCEED 28'-0" WITH BED JOINT REINFORCING SPACED 16" OC AND 32'-0" OC IF BED JOINT REINFORCING IS INCREASED TO 8" OC. MAX SPACING OF INTERIOR CONTROL JOINTS SHALL NOT EXCEED 32'-0"
B. PROVIDE 1/4" (MIN) 1/2" (MAX) SAW-CUT JOINT DEPTH IN EACH FACE SHELL OF MASONRY BOND BEAMS. REINF AND GROUT CORE IN MASONRY BOND BEAMS AS WELL AS REINF AND CONC BEAMS SHALL BE CONTINUOUS THROUGH MASONRY CONTROL JOINTS.



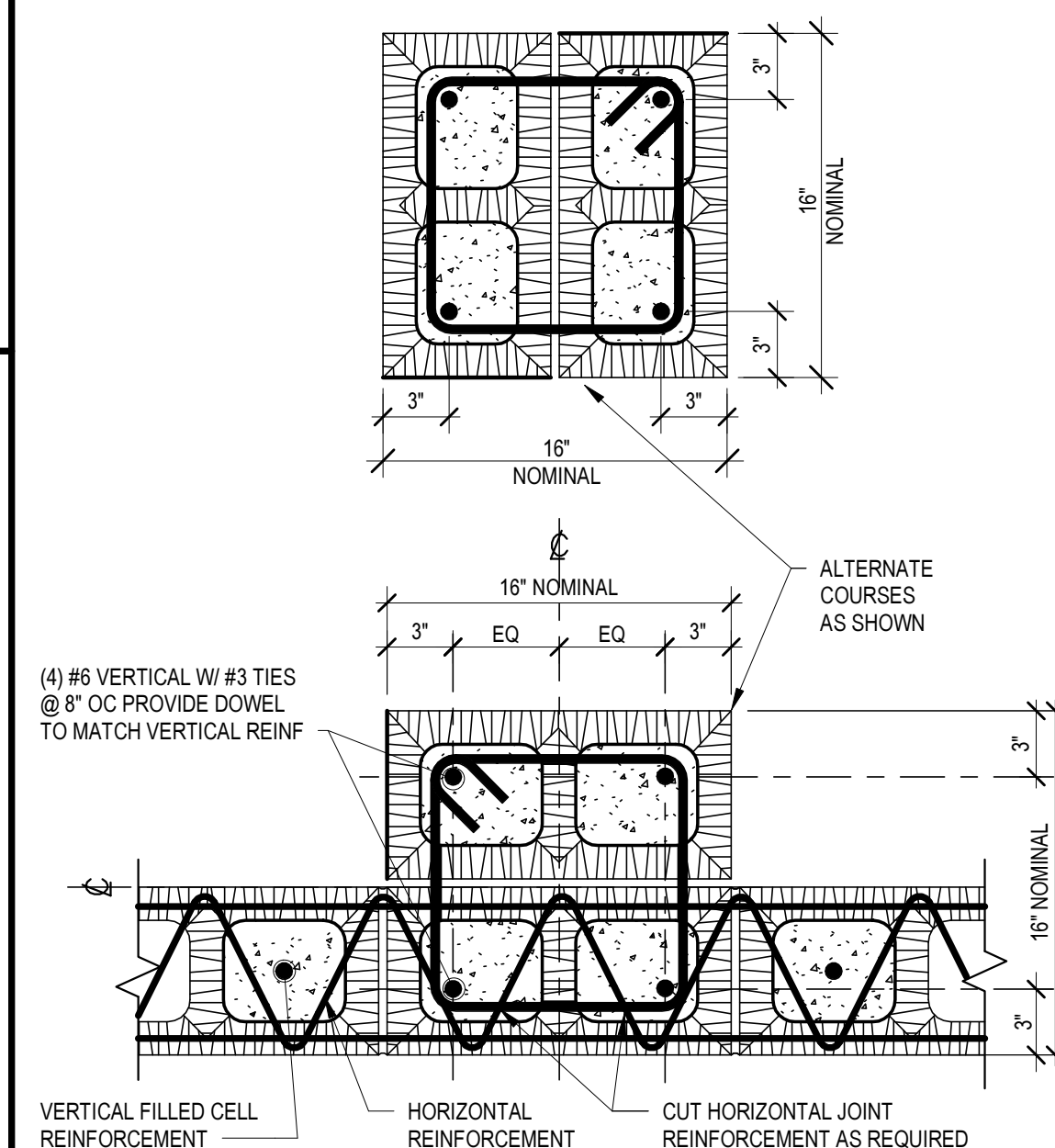
CONTROL JOINT @ MASONRY BOND BEAM

MASONRY CONTROL JOINT

5 DETAIL
SCALE: 3/4" = 1'-0"

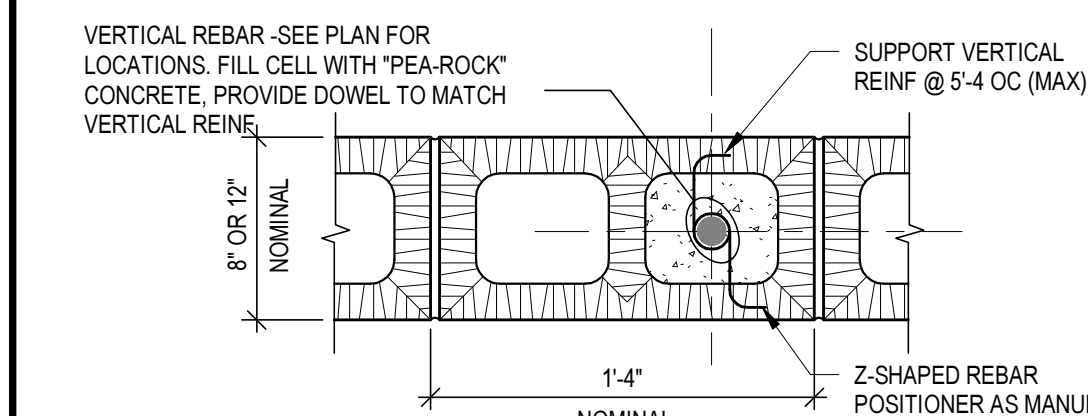


TYP 16" MASONRY REINFORCEMENT @ CORNER COL (UON)



TYP 16" MASONRY REINFORCEMENT COL (UON)

2 DETAIL
SCALE: 1 1/2" = 1'-0"

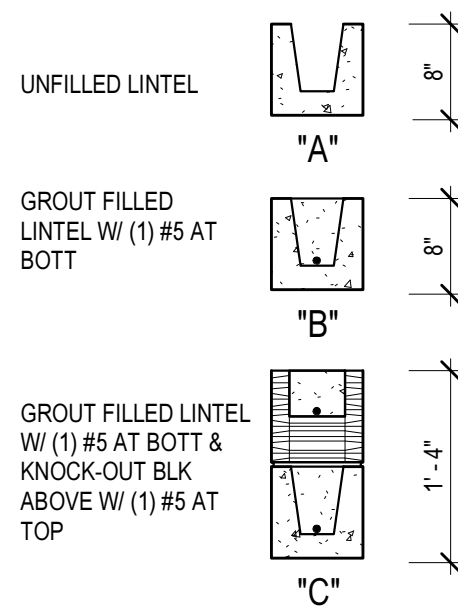


NOTE:
- REMOVE ALL PROTRUSIONS EXTENDING 1/2" OR MORE INTO CELLS OR CAVITIES TO BE GROUTED.
- SPACES TO BE GROUTED SHALL BE FREE OF MORTAR DROPPINGS, DEBRIS, LOOSE AGGREGATES, AND ANY MATERIAL DELETERIOUS TO MASONRY GROUT.
- SOLIDIFY BED WEBS IN MORTAR WHERE ADJACENT TO REINFORCED CORES OR CELLS.

TYP VERT FILLED CELL MASONRY REINFORCEMENT (UON)

1 DETAIL
SCALE: 3/4" = 1'-0"

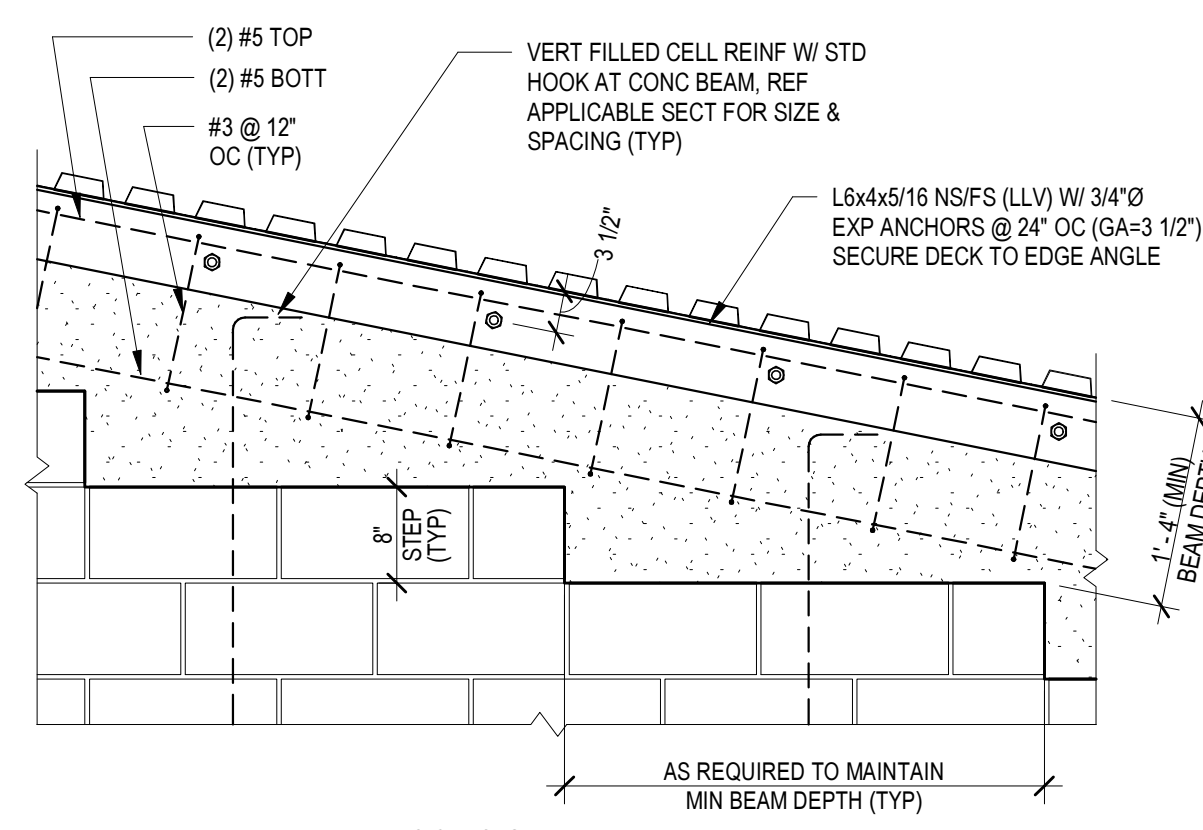
CLEAR SPAN	TYPE	DETAIL	CAPACITY (PLF)
7'-4" - 10'-0"	8" PRE-CAST	C	1,498
6'-8"	8" PRE-CAST	C	2,798
6'-0"	8" PRE-CAST	B	1,200
5'-4"	8" PRE-CAST	B	1,398
4'-8"	8" PRE-CAST	B	1,663
4'-0"	8" PRE-CAST	B	2,081



PRE-CAST LINTEL DETAILS

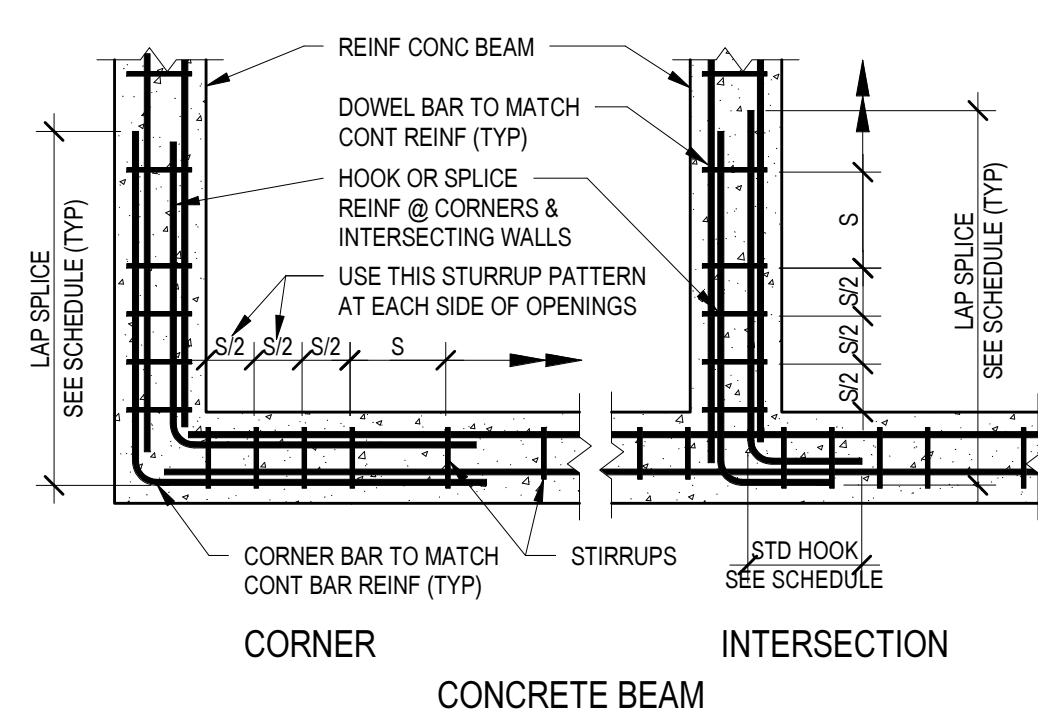
>>LINTEL SCHEDULE NOTES:
LS1. PROVIDE FULL MORTAR HEAD AND BED JOINTS.
LS2. PROVIDE 8" MIN BEARING AT EA END OF LINTELS.
LS3. LOCATE FIELD ADDED REINFORCING BARS AT THE BOTTOM OF LINTEL CAVITY OR TOP OF FIELD PLACED CMU AS APPLICABLE.
LS4. INTERIOR, NON LOAD BRG, LINTELS OVER OPNGS W/ CLEAR SPANS 4'-0" OR LESS MAY BE UNFILLED. ALL OTHER LINTELS SHALL BE FILLED W/ 3,000 PSI 28-DAY COMPRESSIVE STRENGTH GROUT AND REINF W/ (1) #5 CONT, MIN
LS5. CLEAR SPANS EXCEEDING 8'-8" NOT OTHERWISE NOTED SHALL HAVE A FORMED CONC LINTEL 24" DEEP X WALL WIDTH REINF W/ (2) #6 T&B, (2) #5 MID & #3 TIES @ 10" OC.
LS6. LINTELS SHALL MEET OR EXCEED THE CAPACITIES LISTED FOR GRAVITY LOADS WHILE LIMITING TOTAL DEFLECTION TO L/360.
LS7. BASIS OF DESIGN FOR LINTELS: CAST-CRETE (813) 621-4841, FLORIDA PRODUCT APPROVAL #FL158-R12 / NOA 19-0130.13 EXP 05-21-22.
LS8. THESE LOADS REPRINTED FROM CAST-CRETE SAFE LOAD TABLES DATED MAY 2015. ALTERNATE LINTELS, IF USED, MUST MEET OR EXCEED THESE VALUES IN ALL RESPECTS.

7 DETAIL
SCALE: 3/4" = 1'-0"



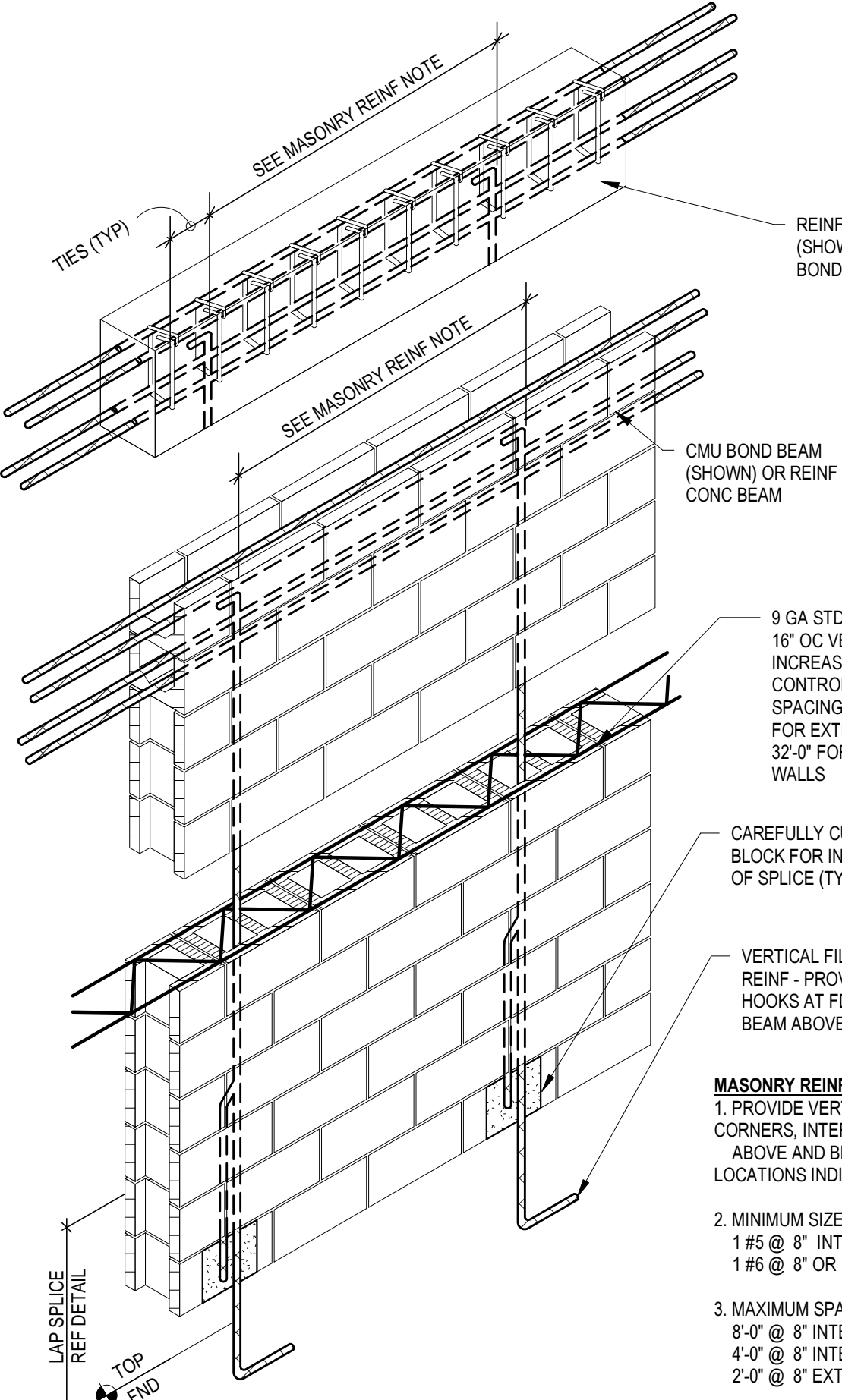
TYP CONC STEPPED BEAM @ MASONRY SHEAR WALL

4 DETAIL
SCALE: 3/4" = 1'-0"



CORNER CONCRETE BEAM INTERSECTION

3 DETAIL
SCALE: 3/4" = 1'-0"



TYPICAL MASONRY WALL REINFORCEMENT

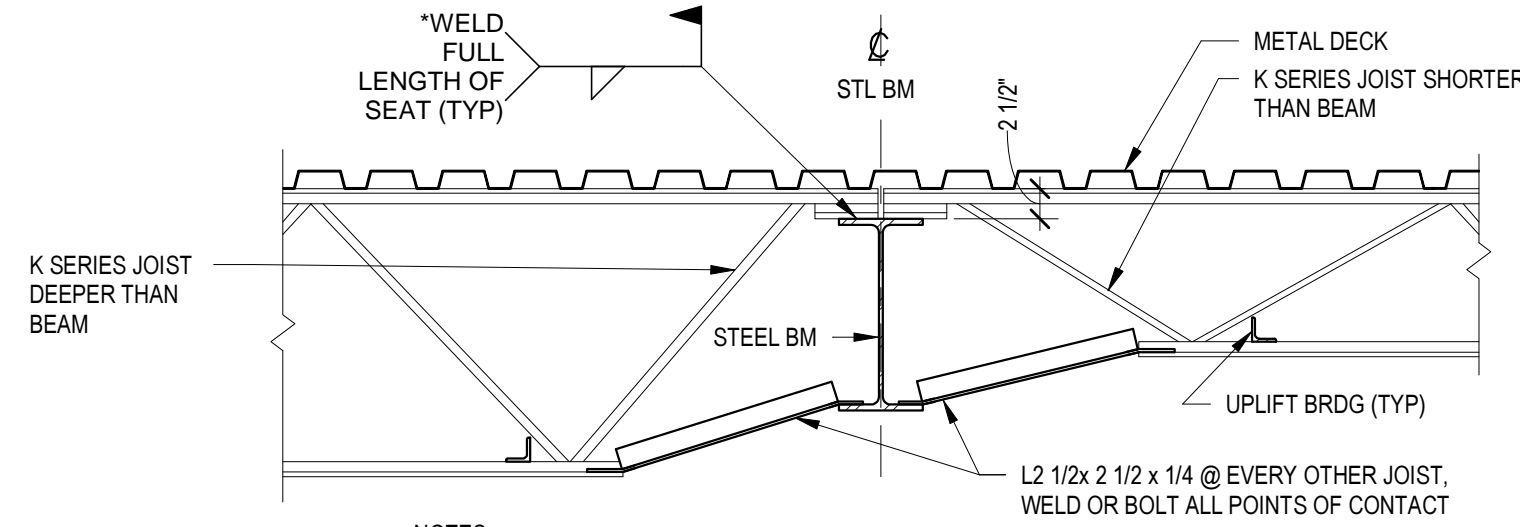
6 DETAIL
SCALE: 3/4" = 1'-0"

MASONRY REINFORCING NOTES:
1. PROVIDE VERT FILLED CELL REINF AT ALL CORNERS, INTERSECTIONS, EA SIDE OF OPNGS, ABOVE AND BELOW OPNGS, AS WELL AS ALL LOCATIONS INDICATED ON THESE DWGS.
2. MINIMUM SIZE OF FILLED CELL REINF:
1 #5 @ 8" INTERIOR WALL, UON
1 #6 @ 8" OR 12" EXTERIOR WALLS, UON
3. MAXIMUM SPACING OF FILLED CELL REINF:
8'-0" @ 8" INTERIOR, NON LOAD BRG WALLS, UON
4'-0" @ 8" INTERIOR, LOAD BRG WALLS, UON
2'-0" @ 8" EXTERIOR WALLS, UON
4. SEE DETAIL 5/42 FOR MASONRY CONTROL JOINT INFORMATION. COORDINATE LOCATIONS OF CONTROL JOINTS W/ ARCH & THESE DWGS

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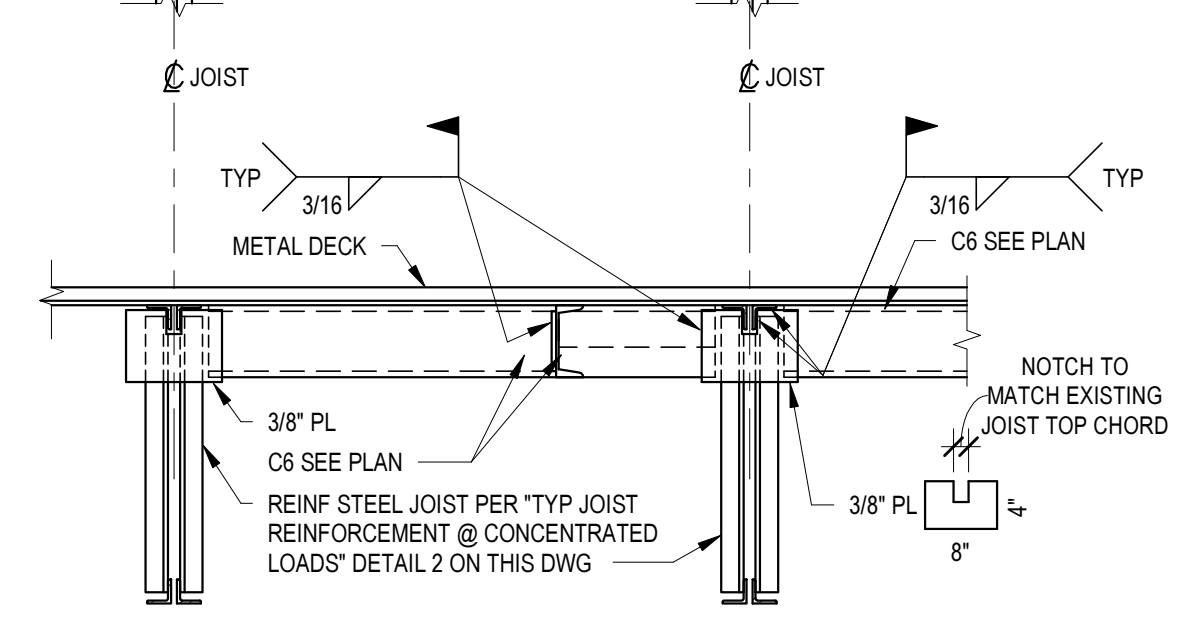
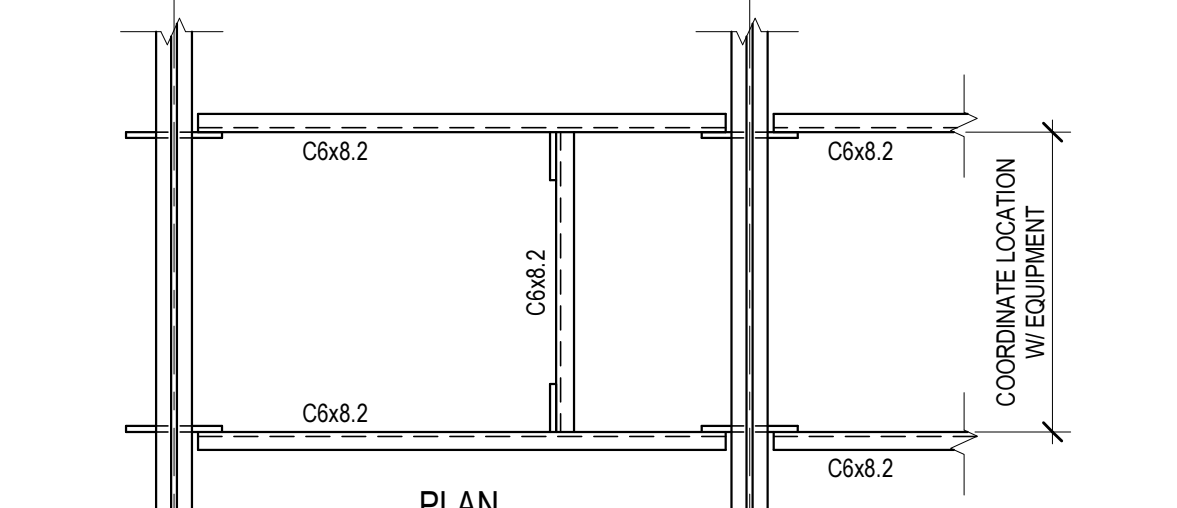
SECTIONS & DETAILS



- NOTES:**
1. STAGGER JOISTS WHERE INDICATED IN PLAN OR AS REQ'D TO OBTAIN 2 1/2" (MIN) BEARING ON STEEL SUPPORTS. COORD AS REQ'D.
 2. JOISTS/ROOF SLOPE IS NOT SHOWN FOR CLARITY. REF ROOF FRMG PLAN FOR SLOPES AS APPLICABLE. PROVIDE FLAT AND LEVEL BEARING SEATS AT ALL SLOPING ROOF JOISTS IN ORDER TO OBTAIN FULL CONTACT W/ SUPPORTING MEMBERS.
 3. *BOLT JOISTS AS REQ'D FOR COLUMN STABILITY AND WHERE INDICATED IN PLAN.

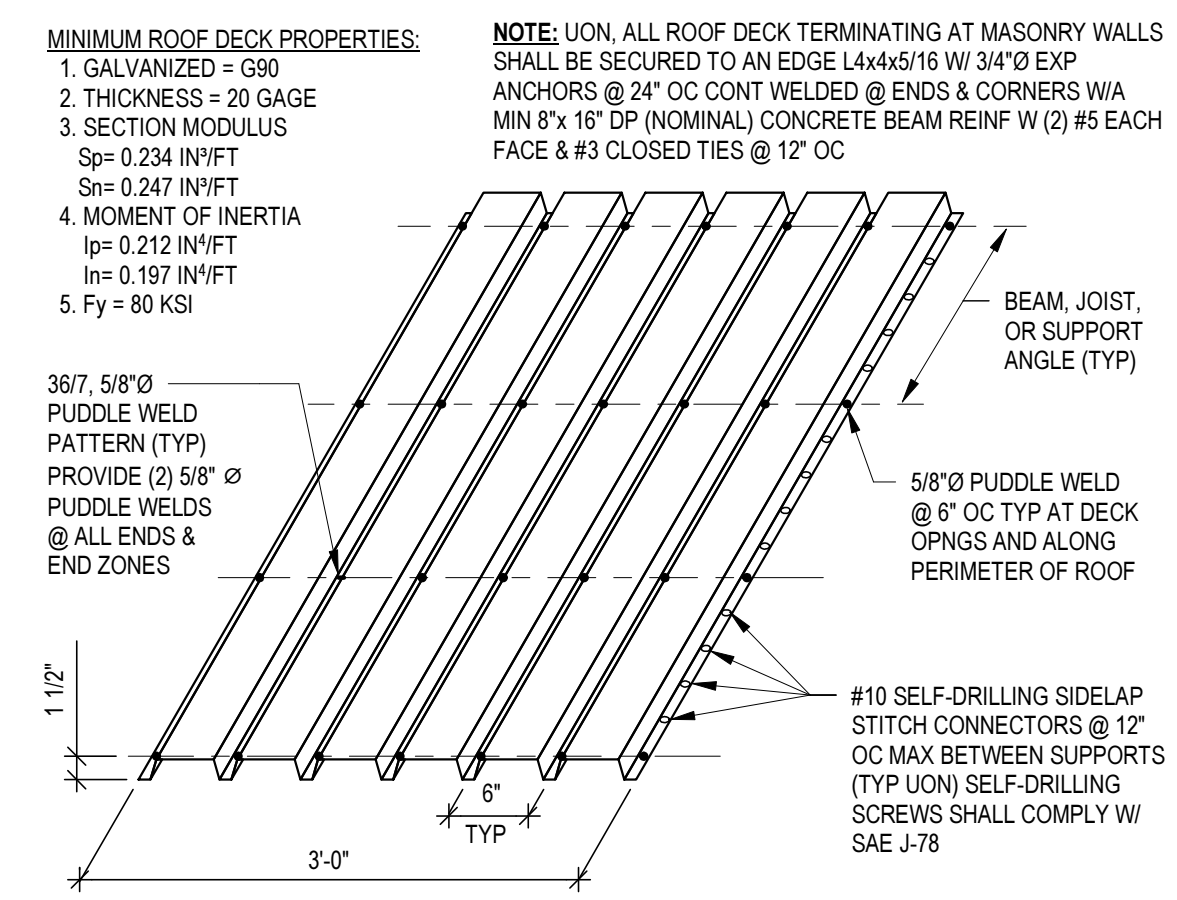
TYP K-SERIES ROOF JOIST FRMG @ STEEL BEAM

8 DETAIL
SCALE: 3/4" = 1'-0"



ROOF TOP EQUIPMENT & ROOF HATCH SUPPORT FRAMING

4 DETAIL
SCALE: 3/4" = 1'-0"



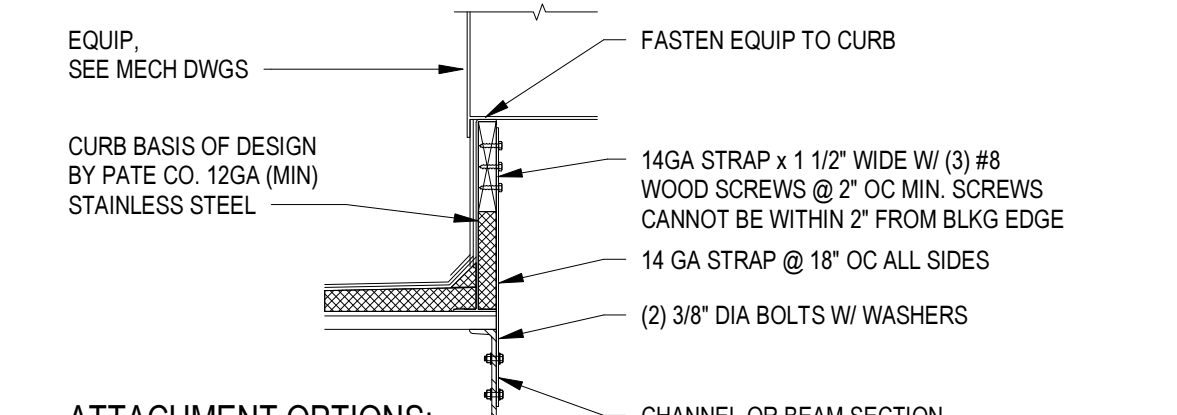
- MINIMUM ROOF DECK PROPERTIES:**
1. GALVANIZED = G90
 2. THICKNESS = 20 GAUGE
 3. SECTION MODULUS
S_x = 0.234 IN³/FT
S_y = 0.247 IN³/FT
 4. MOMENT OF INERTIA
I_x = 0.212 IN⁴/FT
I_y = 0.197 IN⁴/FT
 5. F_y = 80 KSI
- NOTE:** UON, ALL ROOF DECK TERMINATING AT MASONRY WALLS SHALL BE SECURED TO AN EDGE L4x4x5/16 W/ 3/4" Ø EXP ANCHORS @ 24" OC W/ WELDED @ ENDS & CORNERS W/ MIN 8" x 16" DP (NOMINAL) CONCRETE BEAM REINF W/ (2) #5 EACH FACE & #3 CLOSED TIES @ 12" OC

NOTE: INVERT DECK AT BOTTOM LAYER OF SOFFIT FRAMING LOCATIONS

WELD ALL DECK FLUTES AT ROOF CORNER AND EDGE ZONES AS WELL AS ALONG PERIMETER OF DECK OPNGS

TYPE 1.5B (20 GA) WIDE RIB ROOF DECK

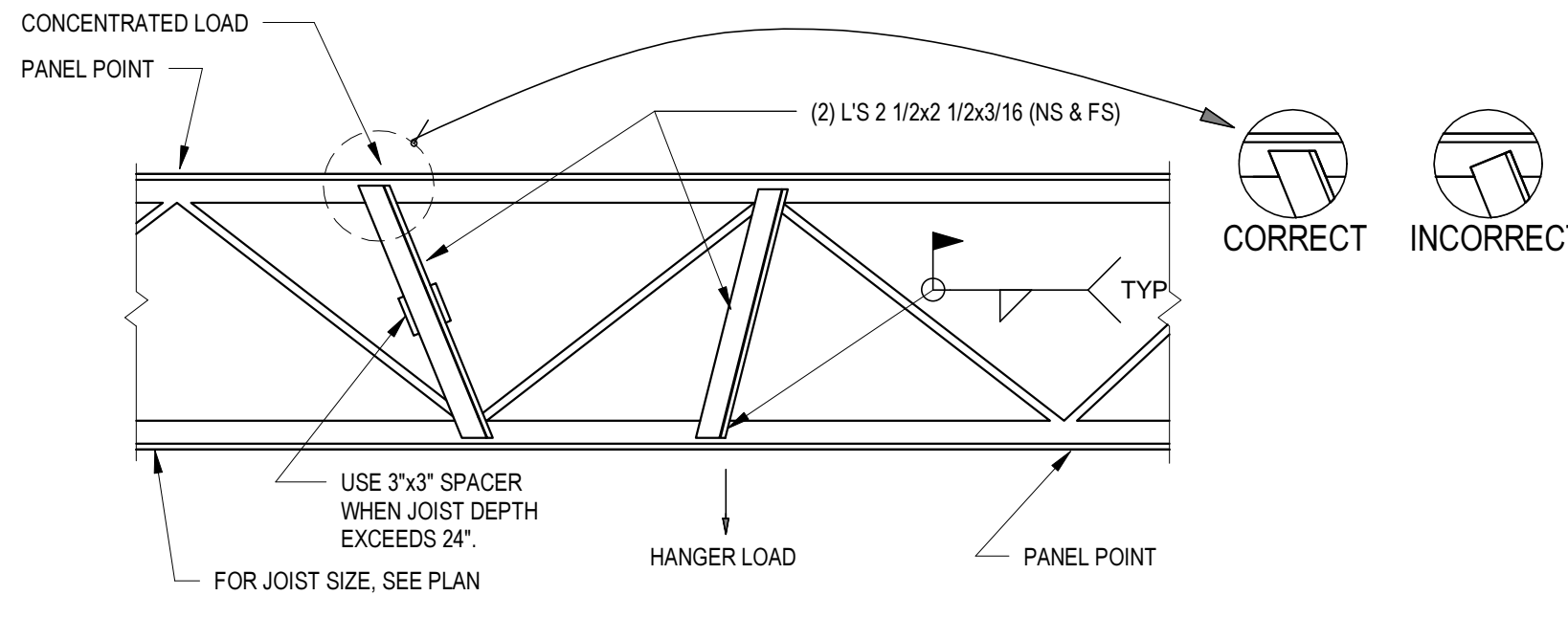
7 DETAIL
SCALE: 3/4" = 1'-0"



- ATTACHMENT OPTIONS:**
1. STRAP ALL ROOFTOP UNITS TO CURBS W/ 3" WIDE STRAPS x 14 GA (MIN) @ 3'-0" OC FASTEN STRAP TO UNIT W/ #10 TEX SCREWS W/ WATER TIGHT WASHERS @ 12" OC AROUND (3) SIDES. FASTEN STRAP TO CURB AND BLKG INFILL W/ (2) 3/8" THRU-BOLTS
 2. CLIP ALL ROOFTOP UNITS TO CURBS W/ 14 GA CONT PLATE FASTENED TO THE CURB W/ 3/8" THRU-BOLTS @ 12" OC AND FASTENED TO THE UNIT W/ #10 SCREWS @ 3' OC ON THE UNIT SHORT SIDE AND 12" OC ON THE MECH UNIT LONG SIDE
 3. STRAP ALL ROOFTOP FAN COWLINGS AND VENT HOODS W/ (4) STAINLESS STEEL, 3/8" DIAMETER CABLES (OR EQUIVALENT G90 HOT-DIP GALVANIZED STRAPS) SECURE TO THE COWLING AND CURB
- NOTE:**
1. ALL STEEL RODS, PLATES, & SHIMS SHALL BE GALVANIZED
 2. ALL DEVIATIONS TO THE ANCHORAGE REQUIREMENTS MUST BE VERIFIED WITH CALCULATIONS SIGNED AND SEALED BY A CURRENTLY REGISTERED SPECIALTY STRUCTURAL ENGINEER PRACTICING IN THE STATE OF FLORIDA. DESIGN AND INSTALLED TO RESIST WIND PRESSURES ON THE EQUIPMENT AND THE SUPPORTS AS DETERMINED IN ACCORDANCE WITH THE 2010 FLORIDA BUILDING CODE AND THESE DRAWINGS (AT NO ADDITIONAL COST TO THE OWNER)
 3. ALL ROOF TOP EQUIPMENT SHALL BE RESISTANT TO PENETRATION BY FLYING MISSILES PER SSTD 12.99, ASTM E1886, ASTM E1996, OR MIAMI DADE TAS 201, OR 203.

MIN ROOF MOUNTED EQUIP ANCHORAGE

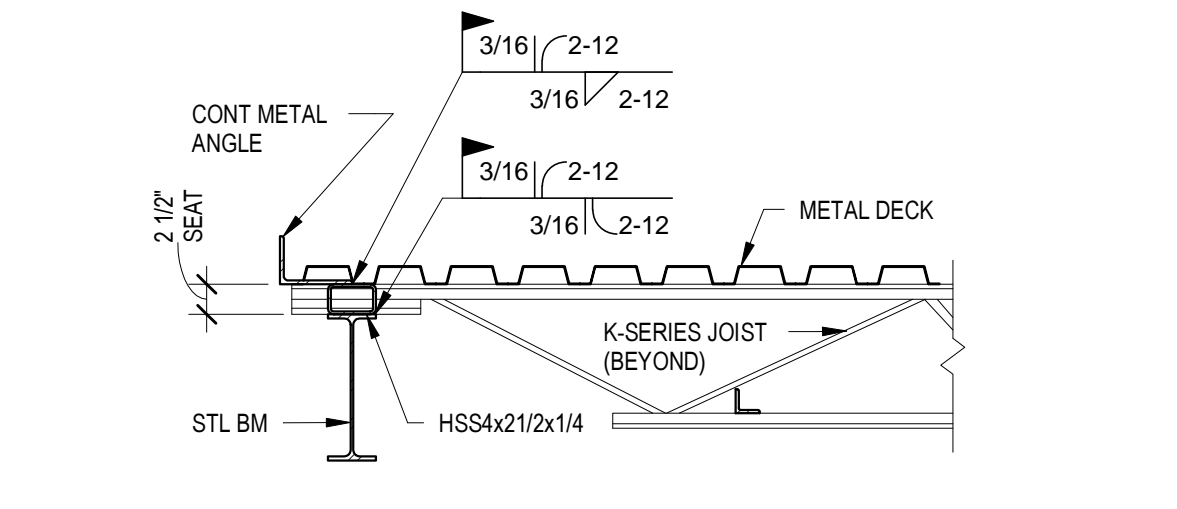
3 DETAIL
SCALE: 3/4" = 1'-0"



ADD JOIST REINFORCING ANGLES FOR CONCENTRATED LOADS WHICH EXCEED 150 LB AND DO NOT FALL AT A PANEL POINT.

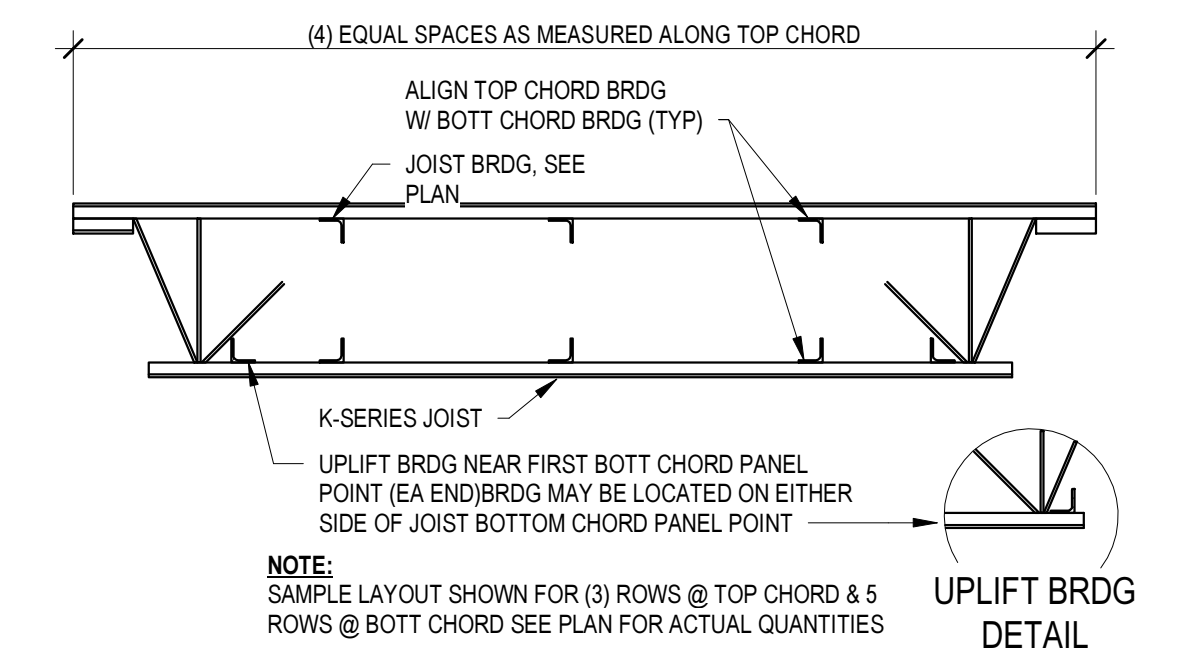
TYP JOIST REINFORCEMENT @ CONCENTRATED LOADS

6 DETAIL
SCALE: 3/4" = 1'-0"



TYP DECK ATTACHMENT BETWEEN K-SERIES JOISTS BEARING ON STEEL BEAMS

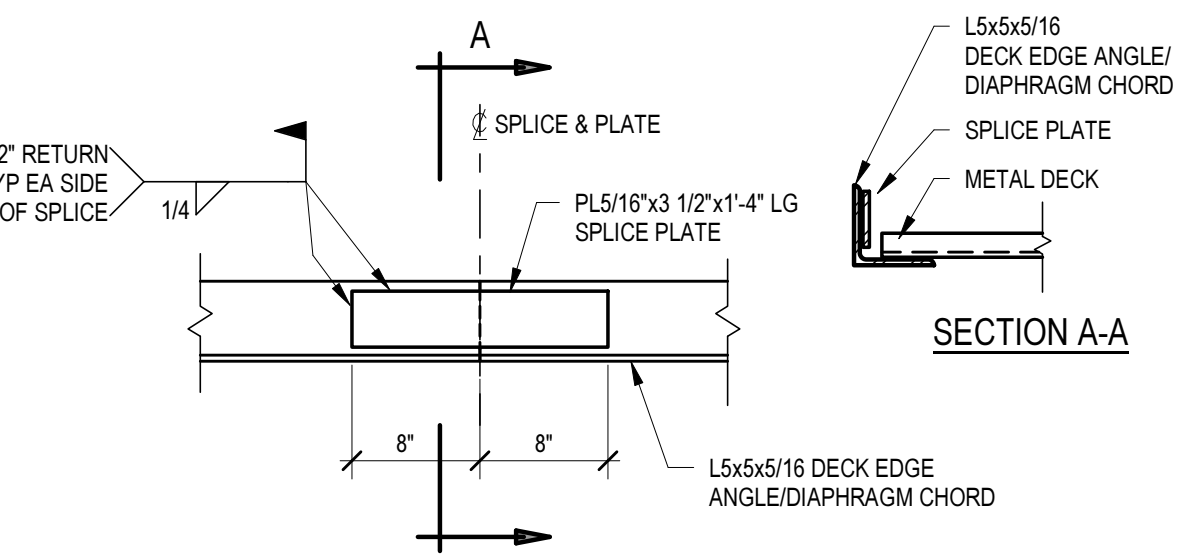
2 DETAIL
SCALE: 3/4" = 1'-0"



NOTE: SAMPLE LAYOUT SHOWN FOR (3) ROWS @ TOP CHORD & (5) ROWS @ BOTT CHORD SEE PLAN FOR ACTUAL QUANTITIES

TYPICAL DECK EDGE ANGLE SPLICE

5 DETAIL
SCALE: 3/4" = 1'-0"



TYPICAL DECK EDGE ANGLE SPLICE

1 DETAIL
SCALE: 1" = 1'-0"

CITY OF TARPON SPRINGS
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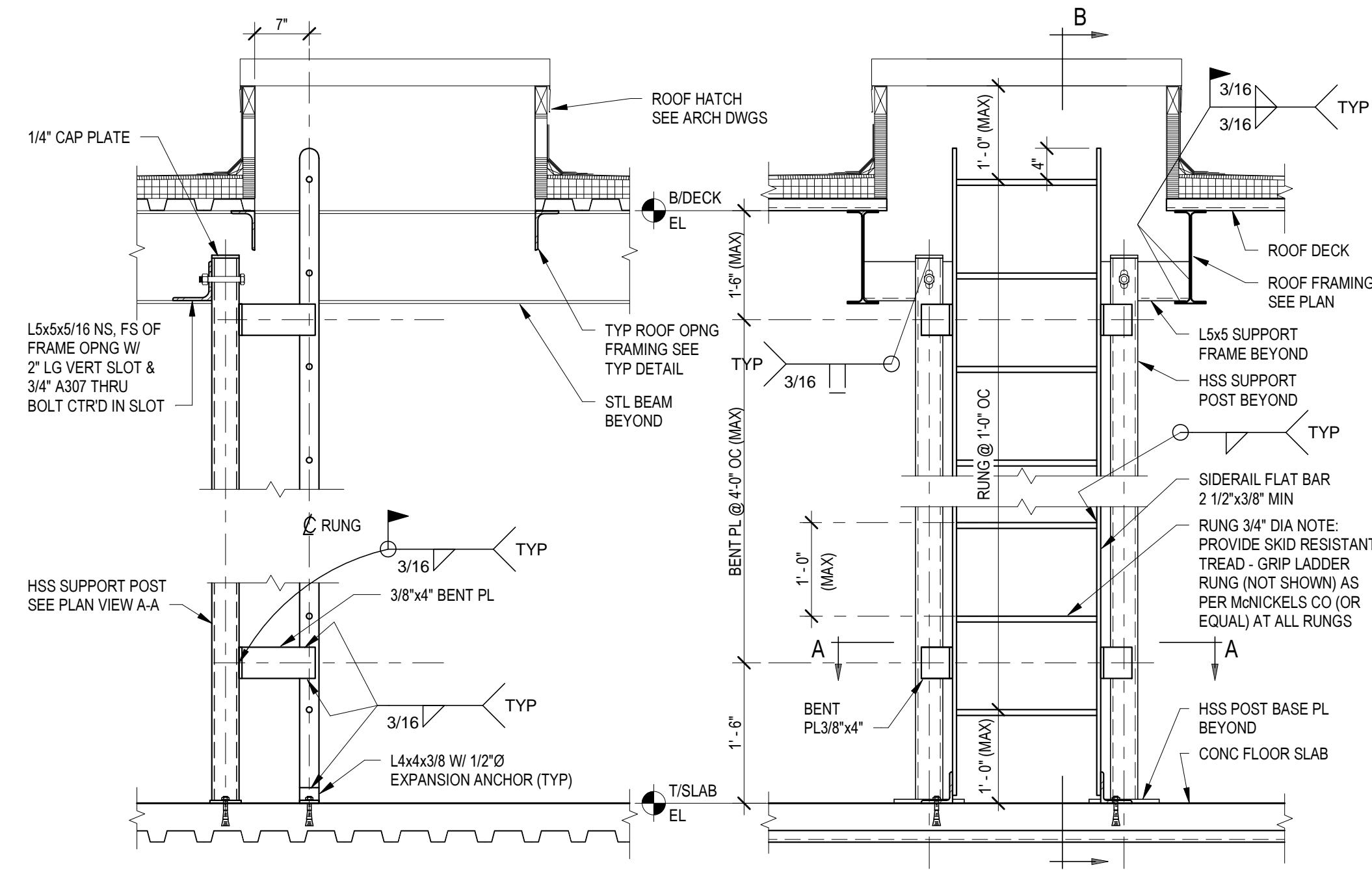
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SECTIONS & DETAILS

S4.3

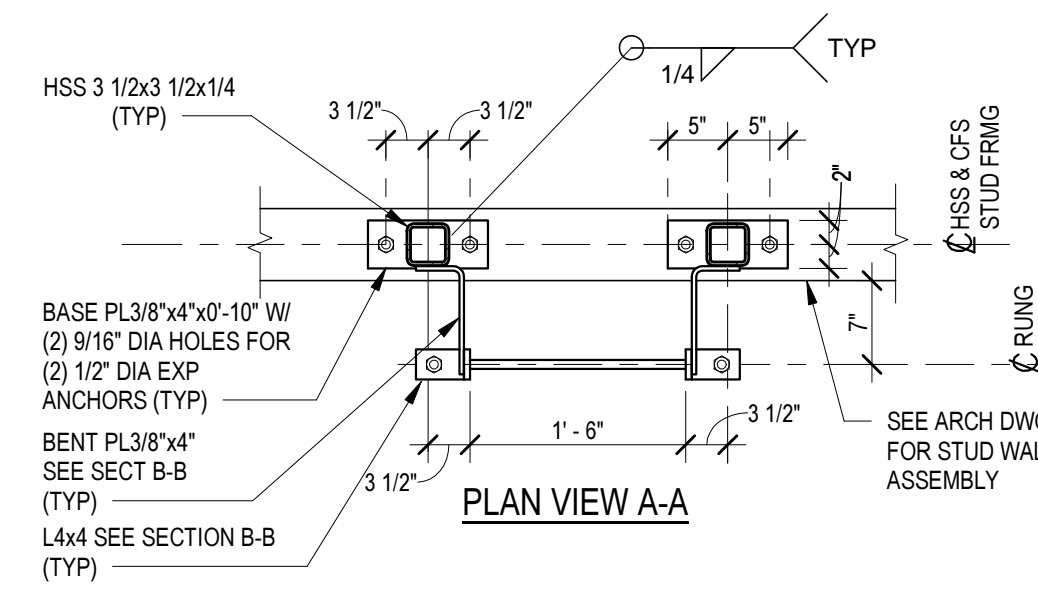


SECTION B-B
SCALE: 3/4" = 1'-0"

ELEVATION

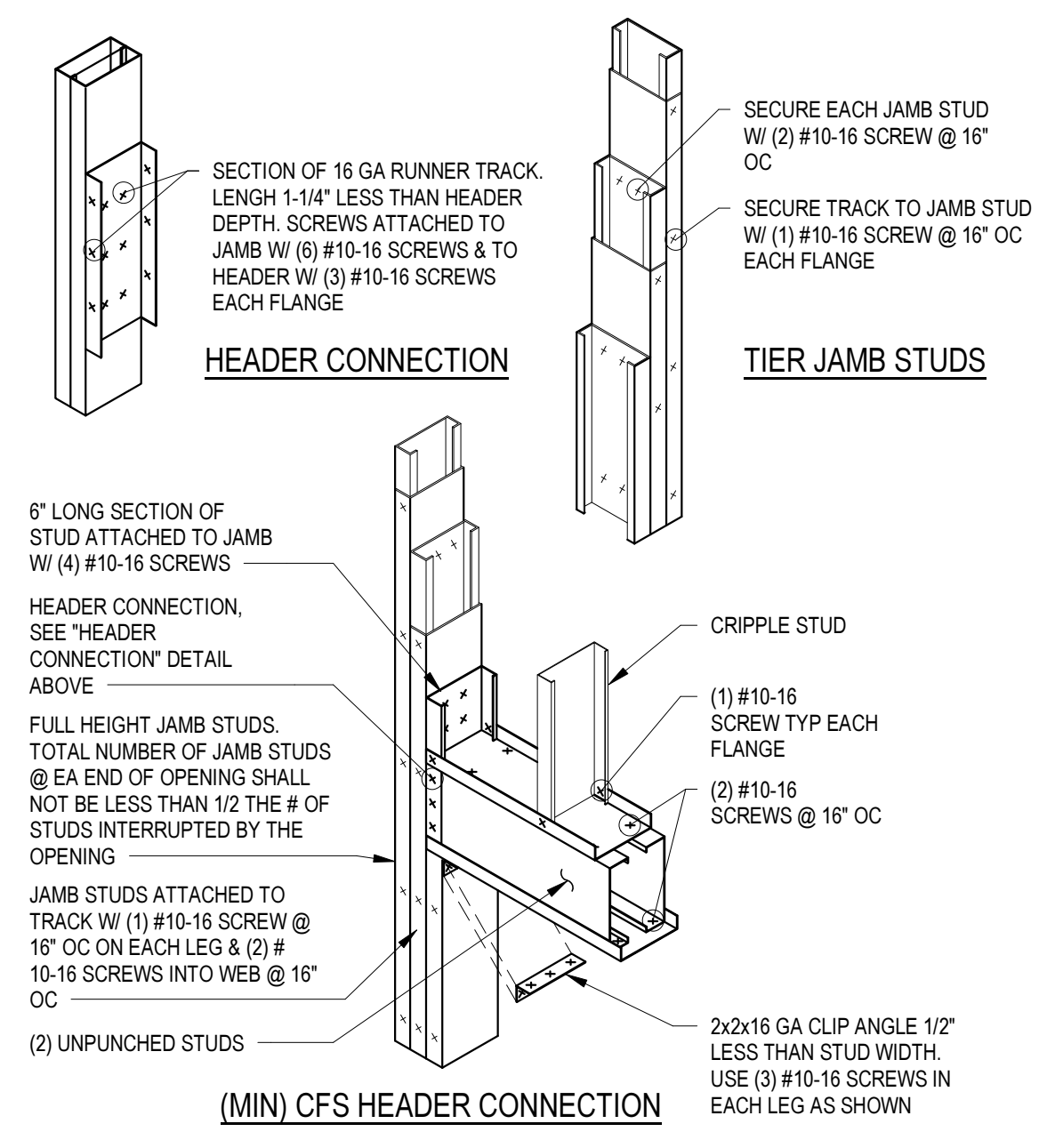
NOTE:
HSS SUPPORT POSTS SHALL BE
CENTERED WITHIN STUD WALL
FRAMING

TYP INTERIOR FIXED LADDER

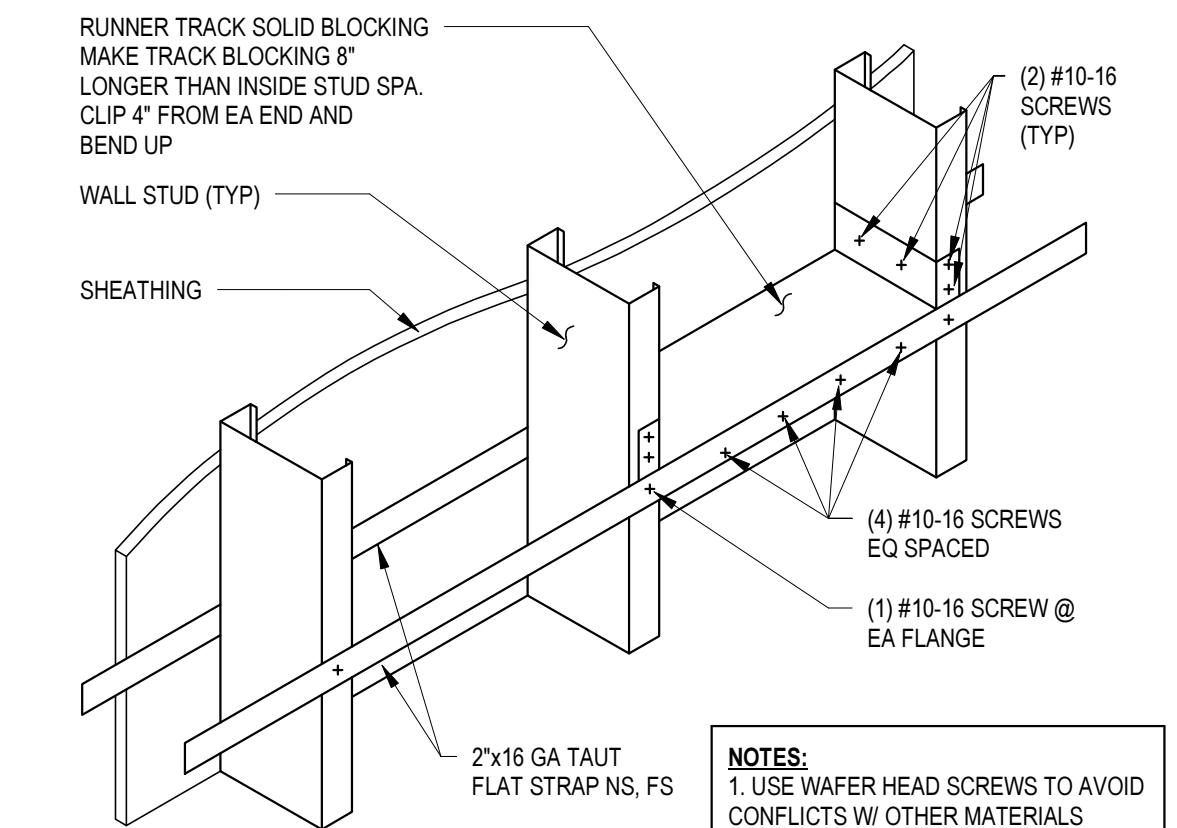


PLAN VIEW A-A

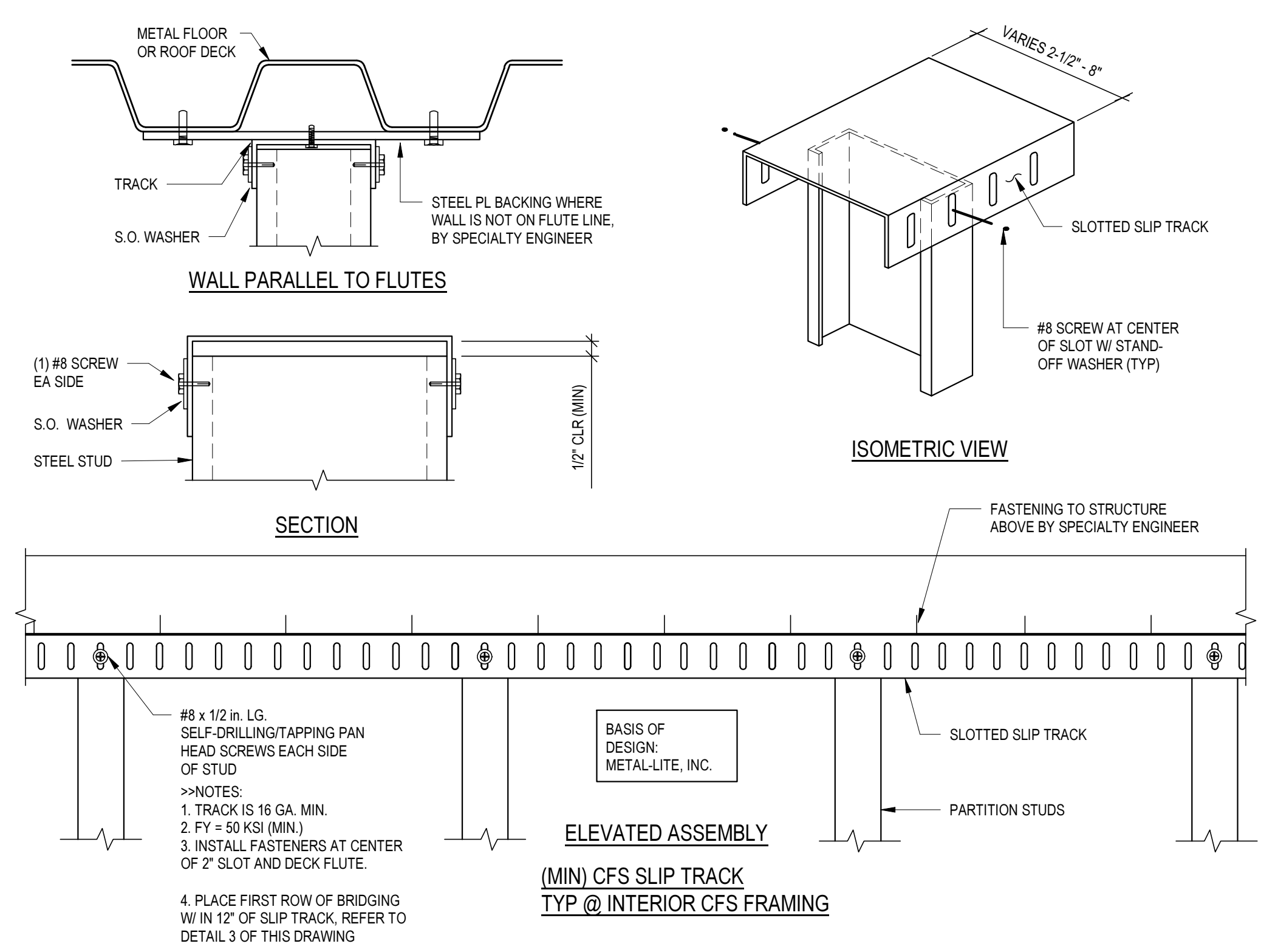
5 HATCH LADDER DETAIL
SCALE: 3/4" = 1'-0"



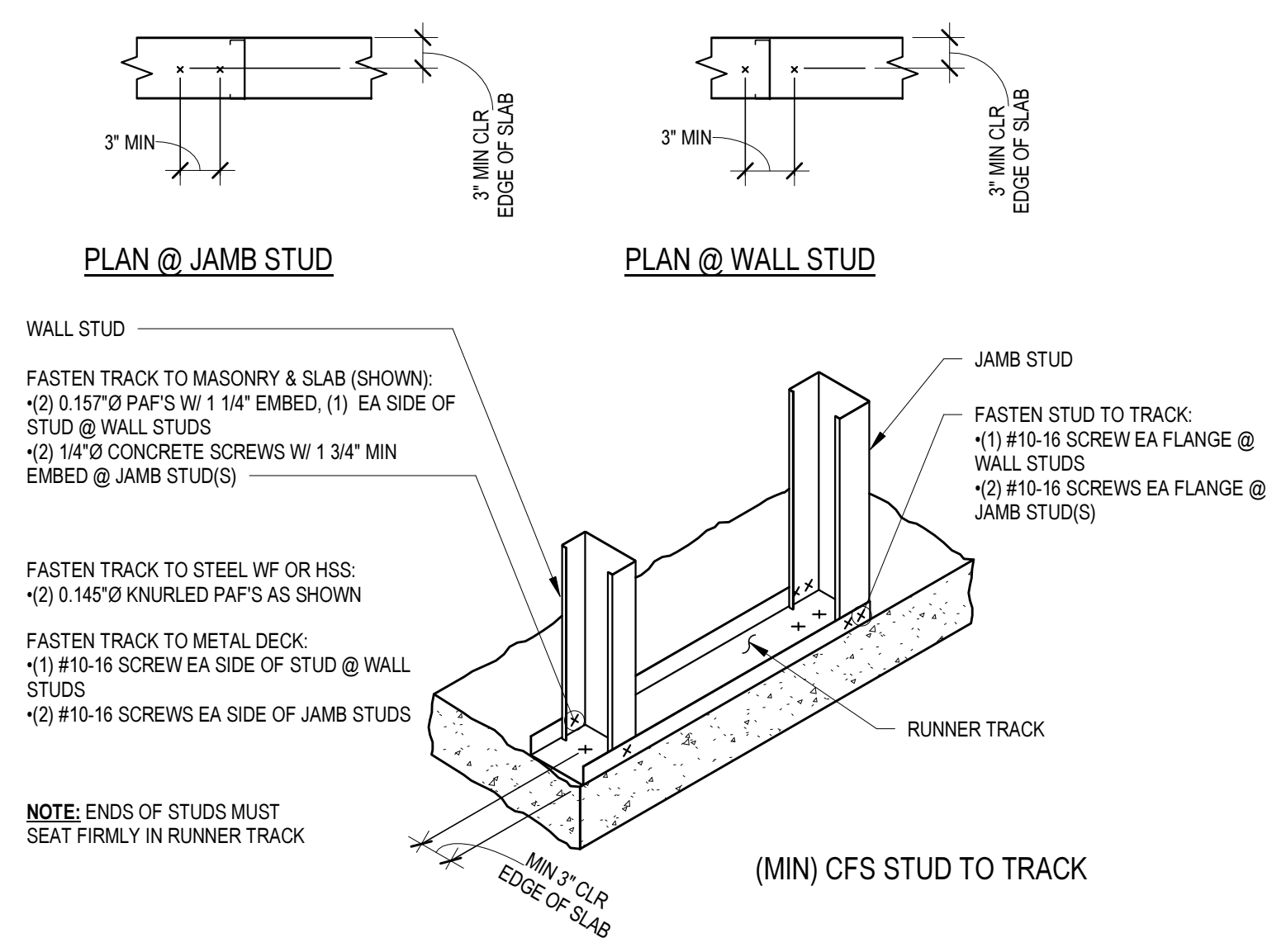
3 DETAIL
SCALE: 3/4" = 1'-0"



2 DETAIL
SCALE: 3/4" = 1'-0"



6 DETAIL
SCALE: 3/4" = 1'-0"



4 DETAIL
SCALE: 3/4" = 1'-0"

MINIMUM SHEAR...	
BEAM DEPTH	"N" ROWS OF BOLTS
W8 & W10	2
W12 & W14	3
W16	4
W18	5
W21 & W24	6
W27	7
W30	8
W33	9
W36	10

NOTE:
CONNECTIONS OF STRUCTURAL STEEL BEAMS TO COLUMNS AND BEAMS TO BEAMS SHALL BE BEARING TYPE WITH STANDARD CLIP ANGLES MINIMUM 5/16\"/>

1 DETAIL
SCALE: 3/4" = 1'-0"

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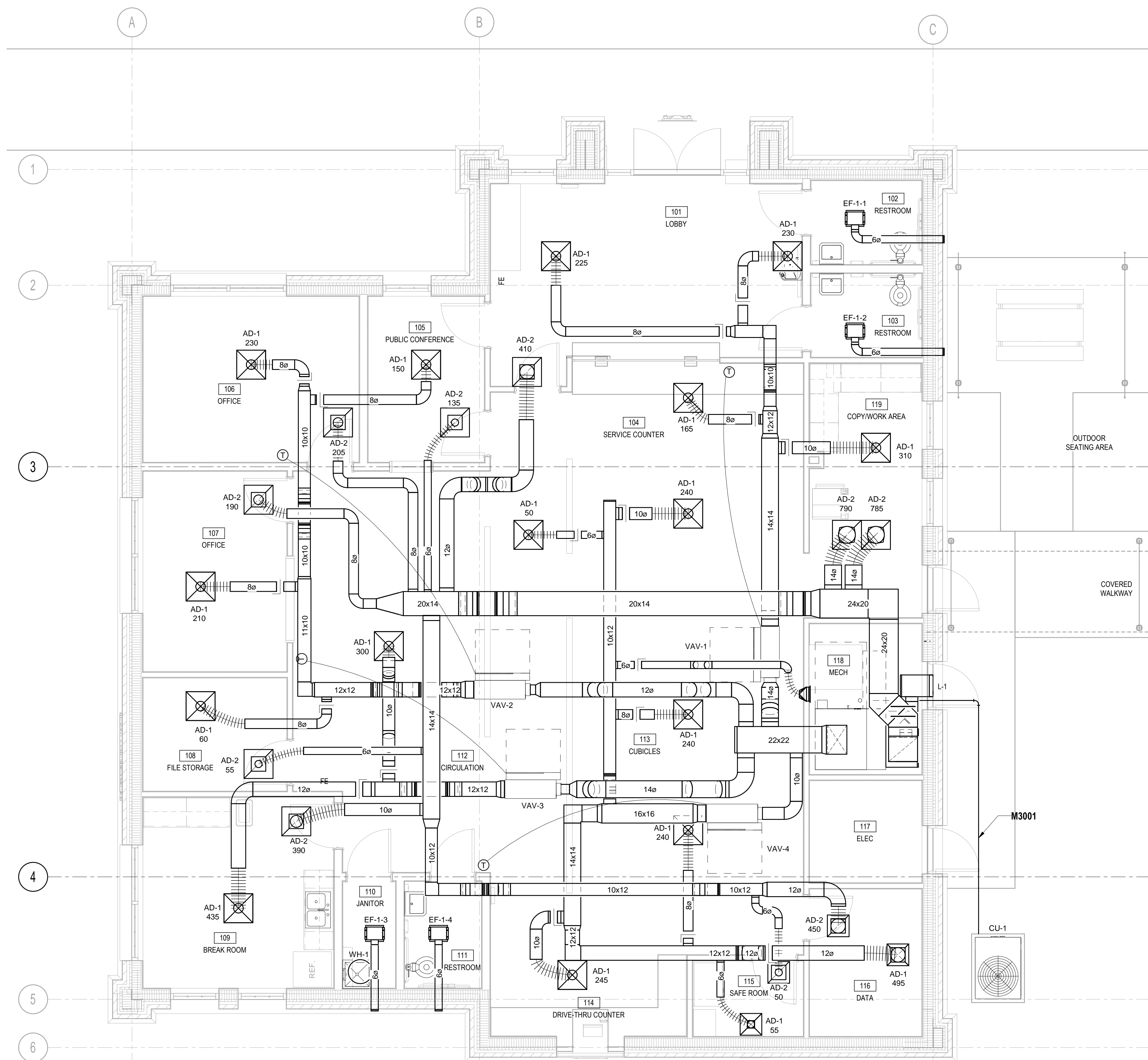
S4.4

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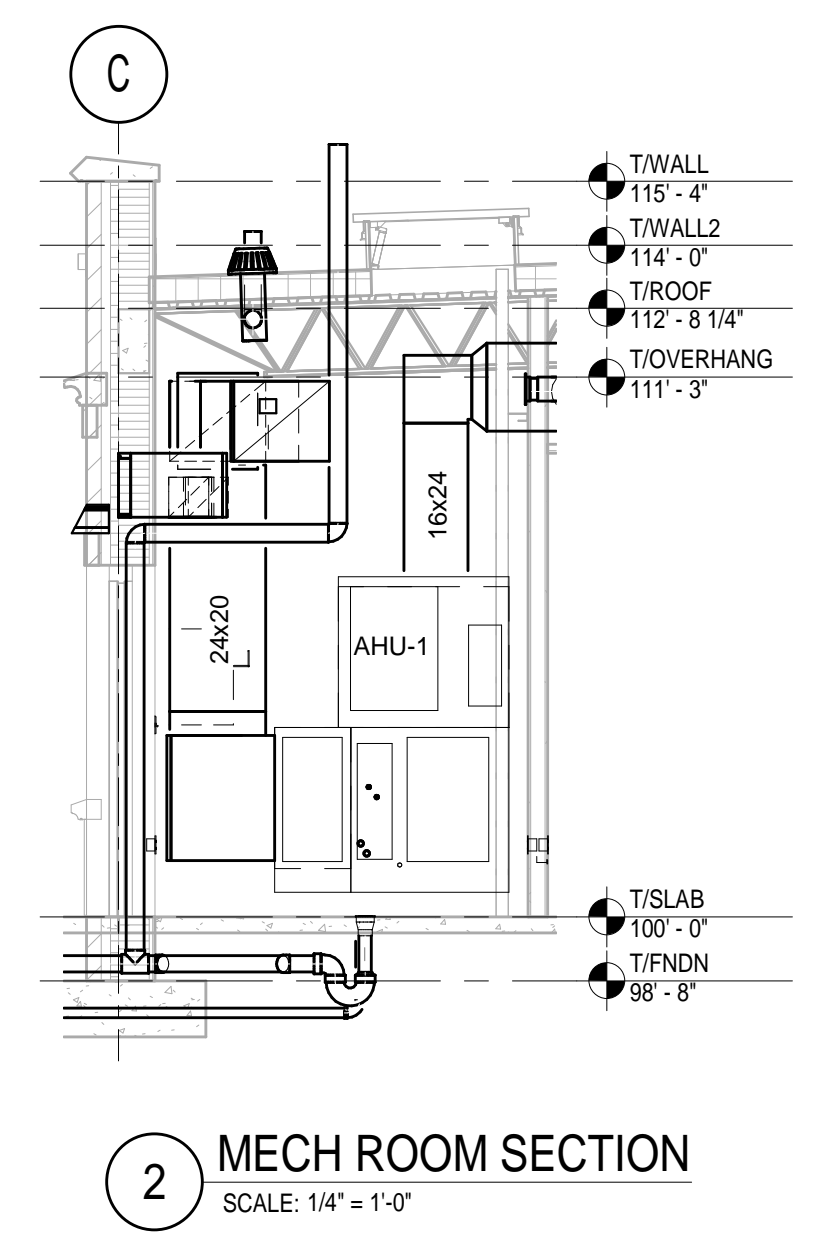
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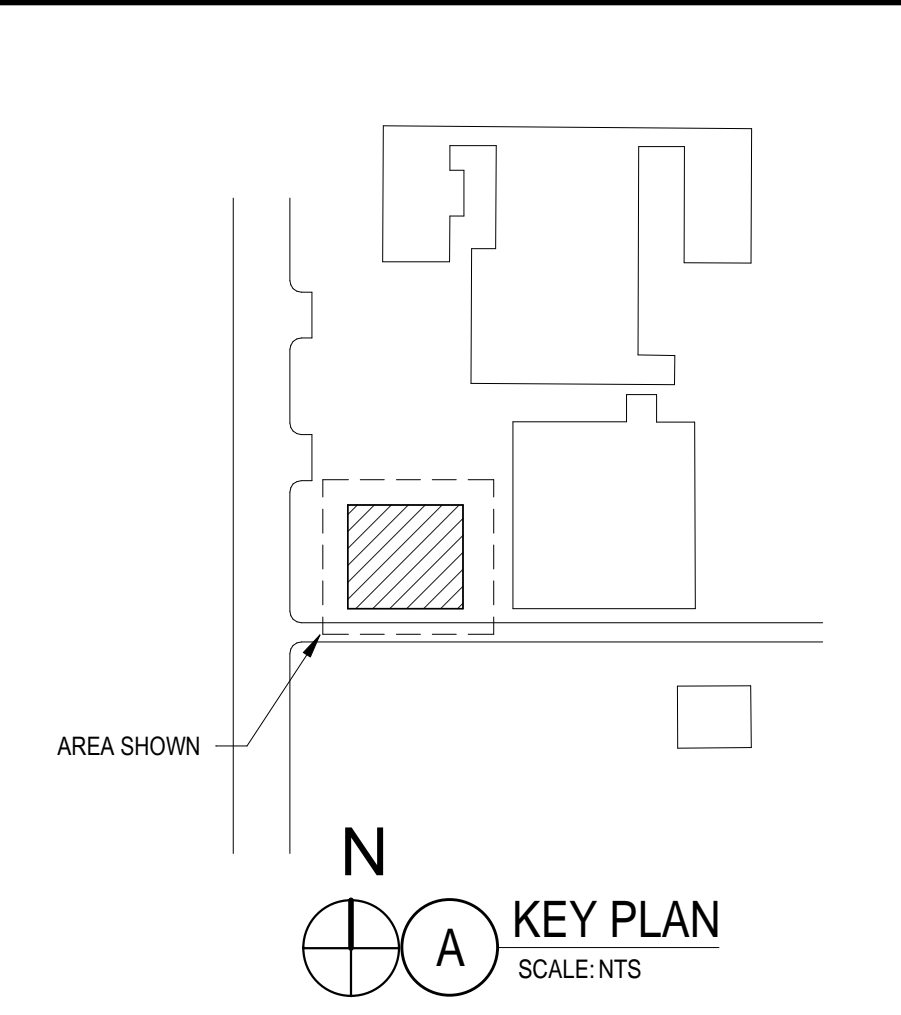


N
1
MECHANICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8

KEYNOTE LEGEND	
NO.	DESCRIPTION
M3001	ROUTE REFRIGERANT PIPE UNDER GROUND IN PVC SLEEVE



2
MECH ROOM SECTION
SCALE: 1/4" = 1'-0"



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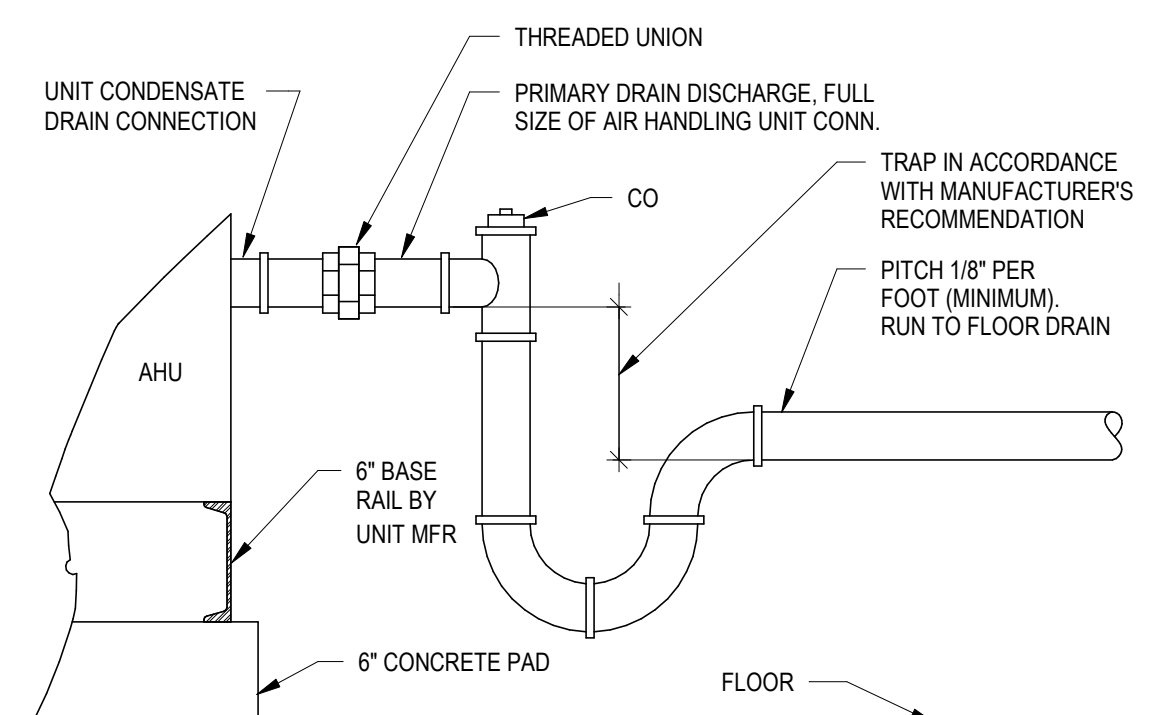
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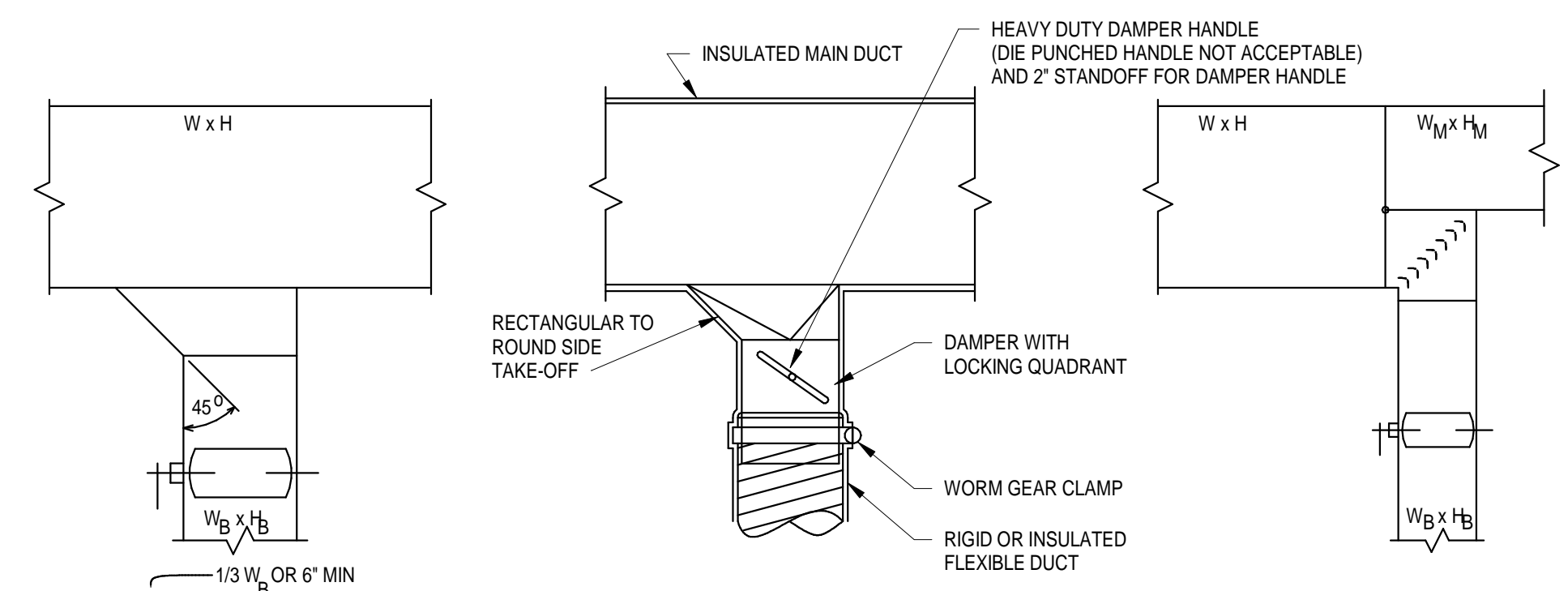
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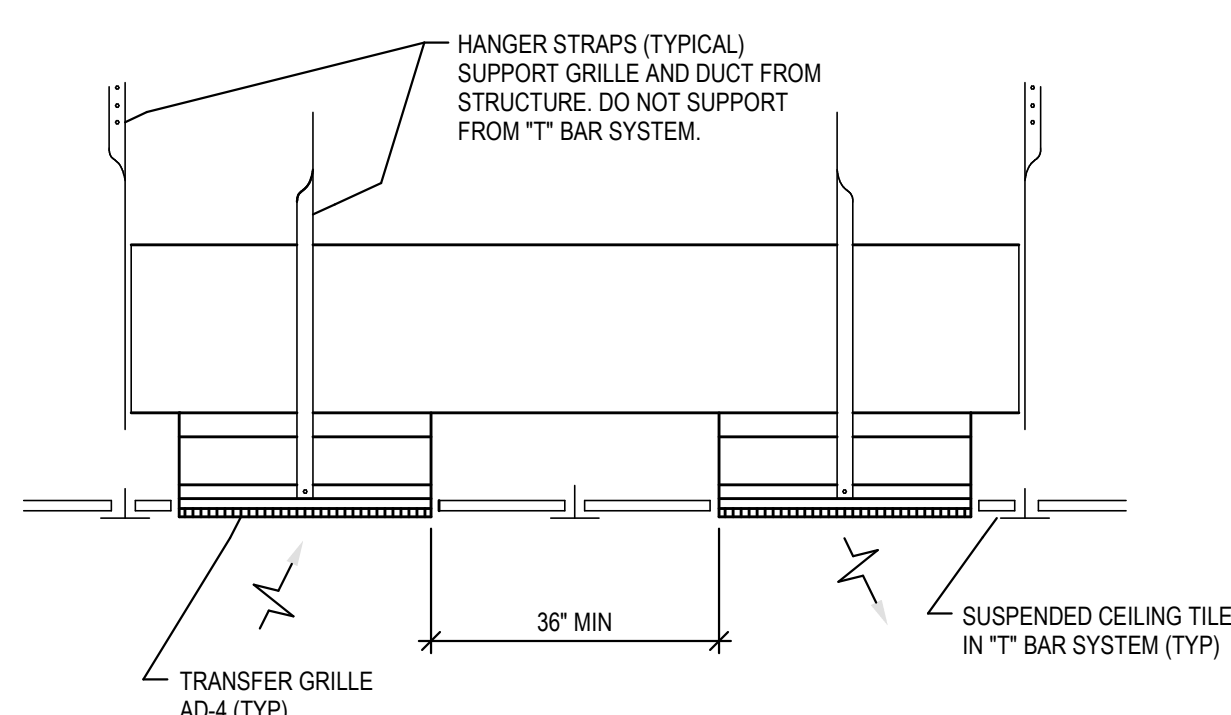


4 AHU CONDENSATE DRAIN DETAIL
SCALE: NTS

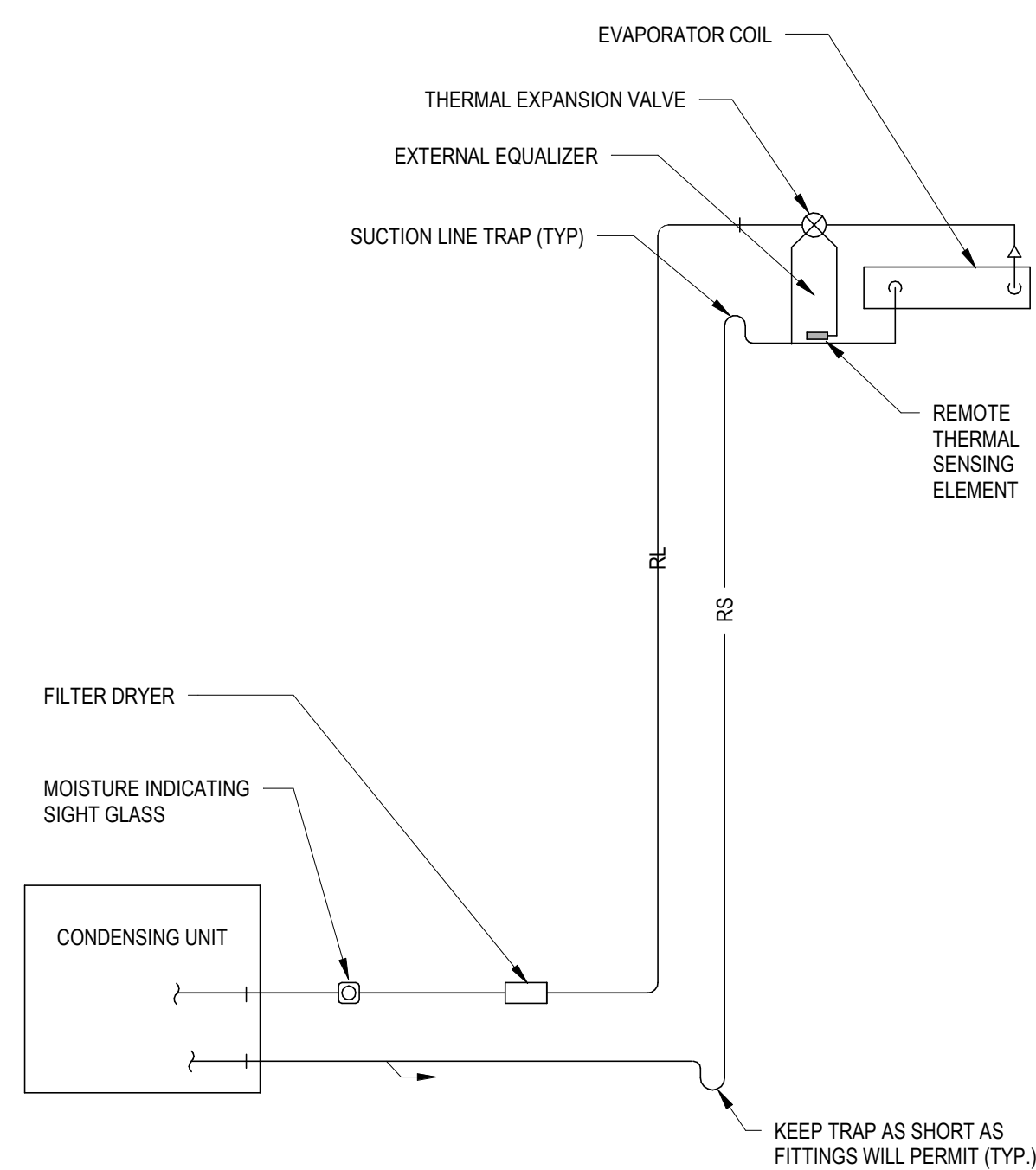


TAPERED ENTRY ROUND BRANCH OR RUNOUT RECTANGULAR BRANCH

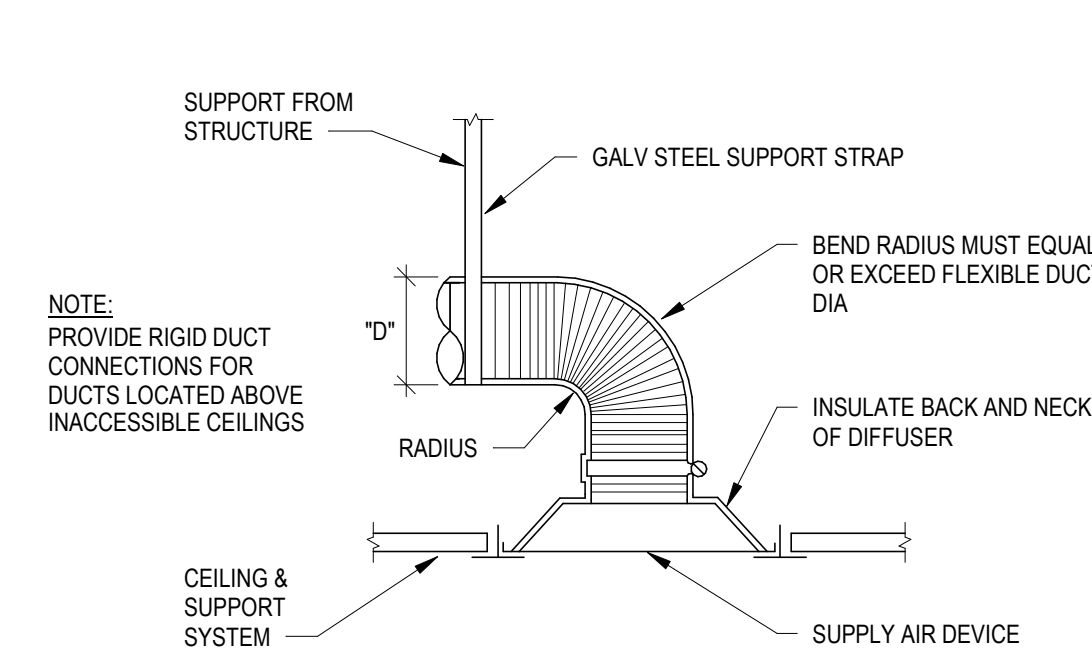
2 BRANCH DUCT DETAIL
SCALE: NTS



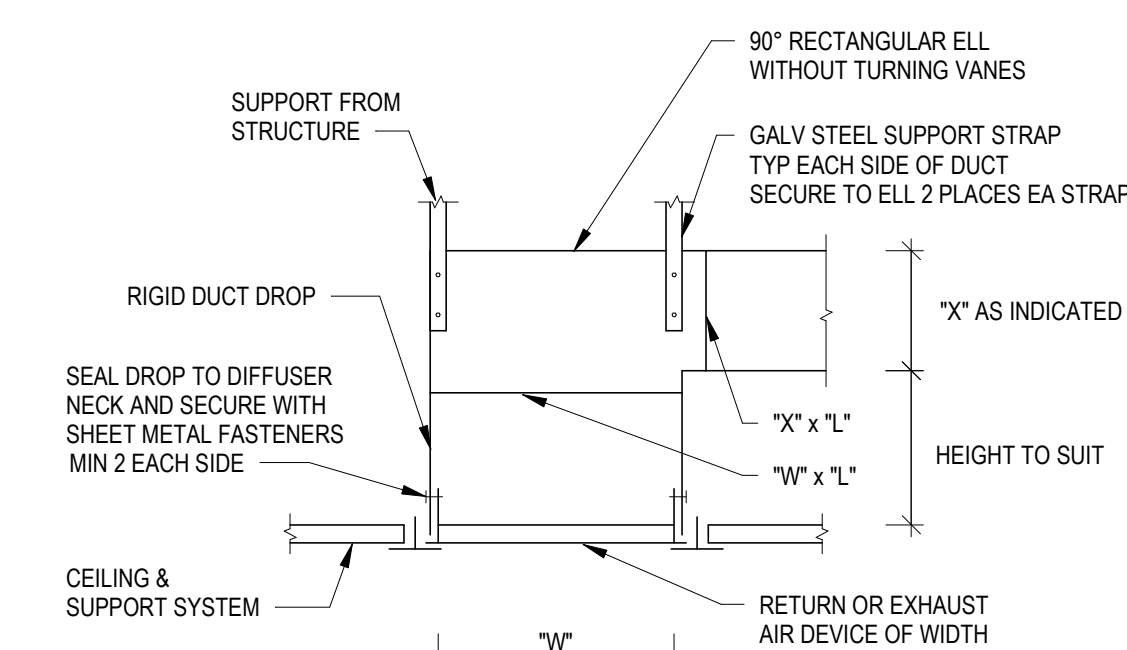
5 TRANSFER DUCT DETAIL
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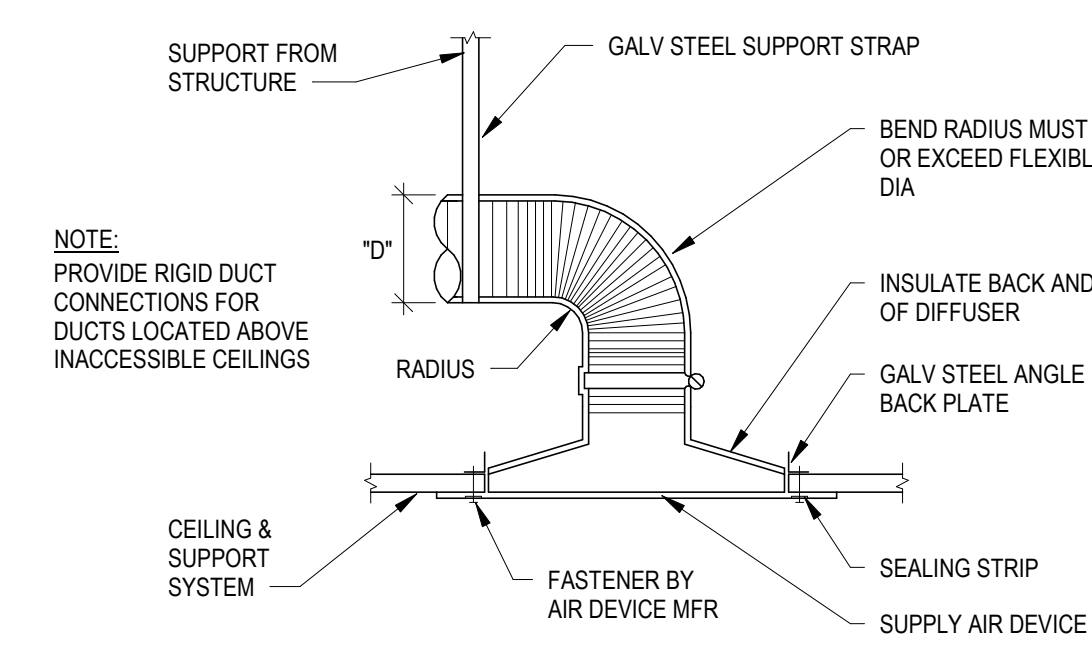
3 SPLIT SYSTEM REFRIGERANT PIPING DIAGRAM
SCALE: NTS



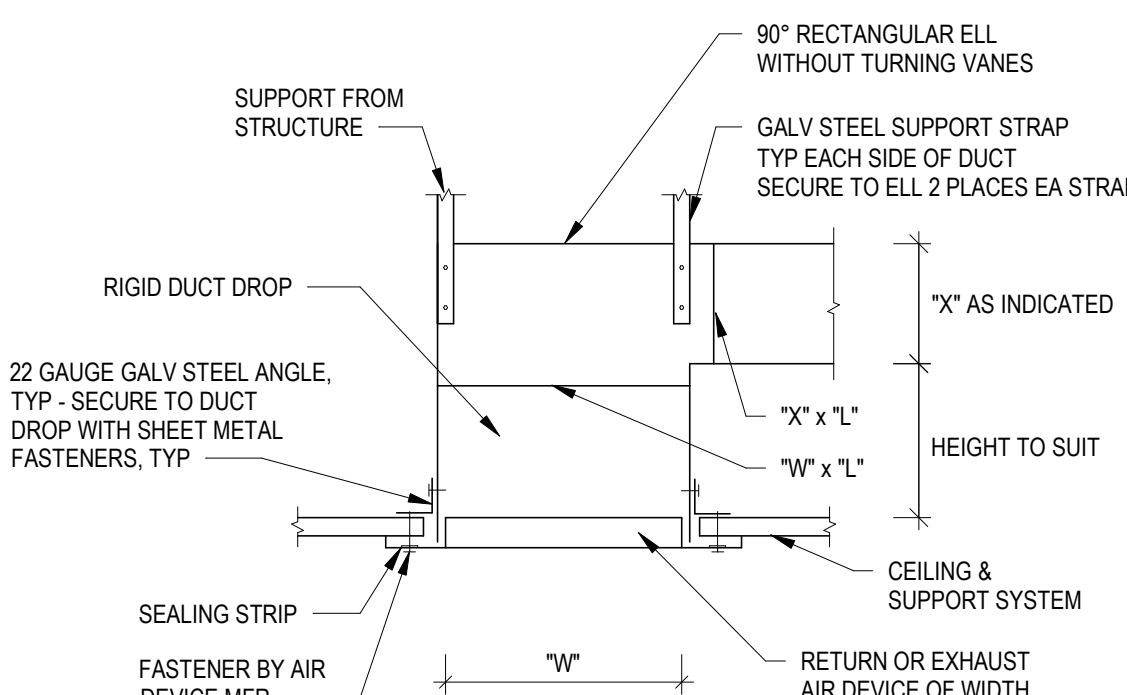
LAY-IN AND PANEL MOUNTED SUPPLY AIR DEVICES



LAY-IN AND PANEL MOUNTED RETURN OR EXHAUST AIR DEVICES



SURFACE MOUNTED SUPPLY AIR DEVICE



SURFACE MOUNTED RETURN OR EXHAUST AIR DEVICES

1 AIR DEVICE CONNECTION DETAILS
SCALE: NTS

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DETAILS

M3.1

AHU SCHEDULE																	
MARK	MANUFACTURER	MODEL NUMBER	DESIGN AIRFLOW	OUTSIDE AIR	MOTOR HP	DRIVE	TOTAL CAP	SENSIBLE CAP	ENT. AIR TEMP (DBWB)	LVG. AIR TEMP (DBWB)	ESP	VOLTS/PHASE	MCA	MOCP	HEAT KW	CONFIGURATION	NOTES:
AHU-1	TRANE	CSAA008	3750	355	8.05	DIRECT	117.50 MBh	95.77 MBh	77.7/64.4	54.43/53.88	2.5	208/3	10.28	15	-	VERTICAL	1,2,3,4,5,6,7,8,9,10
<p>AHU SCHEDULE NOTES:</p> <ol style="list-style-type: none"> PROVIDE A UL LISTED UNIT WITH 2" DOUBLE WALL INJECTED FOAM PANELS WITH MINIMUM THERMAL RESISTANCE OF R-13 AND L/240 PANEL/DOOR DEFLECTION AT +/- 8" W.G. UNIT MUST BE DESIGNED WITH NO THROUGH METAL THROUGHOUT THE UNIT TO PREVENT CONDENSATION FROM FORMING ON THE EXTERIOR OF THE UNIT AT THE DESIGN LEAVING AIR TEMPERATURE OF 49 F DB WITH 76 DB / 60% RH IN THE MECHANICAL ROOM. CASING PERFORMANCE AT THESE CONDITIONS WITH A NON SWEAT GUARANTEE MUST BE INCLUDED IN THE SUBMITTALS OR AHUS WILL BE REJECTED. PROVIDE UNIT WITH INTEGRAL 6 INCH BASERAIL. UNIT LEAKAGE SHALL BE EQUIVALENT TO AN ASHRAE 111 CLASS 6 AT DESIGN UNIT STATIC PRESSURE. PROVIDE UNIT WITH DOUBLE SLOPED INSULATED STAINLESS STEEL IAQ DRAIN PAN AND STAINLESS STEEL COIL CASING IN THE COOLING COIL MODULE. FILTER PERFORMANCE WAS CALCULATED WITH MID-LIFE PRESSURE DROPS. PROVIDE A FACTORY TEST PRESSURE PORT PER DOOR. PROVIDE AN 18 INCH OR LARGER ACCESS DOOR IMMEDIATELY AFTER THE COOLING COIL. UNIT SOUND VALUES OF 84 DB DISCHARGE AND 79 DB CASING RADIATED SOUND POWER IN THE 250 HZ OCTAVE BAND ARE A MAXIMUM AND TO BE IN ACCORDANCE WITH AHRH 260. AMCA 300 IS UNACCEPTABLE. AHU AND CU SYSTEM MUST BE ABLE TO TURN DOWN TO 50% AIRFLOW. FAN MOTOR WIRING IS TO BE WIRED TO AN ECM MOTOR CONTROL PANEL. 																	

EXHAUST FAN SCHEDULE													
MARK	MANUFACTURER	TYPE OF EXHAUST	MODEL NUMBER	DRIVE	AIRFLOW	ESP	MOTOR HP	WATTS	VOLTS	PHASE	FREQUENCY	CONTROL/INTERLOCK	NOTES:
EF 1-1	GREENHECK	CEILING MOUNTED	SP-A50-90-VG	DIRECT	70	0.3	---	6	115	1	60	TIME DELAY LIGHT SWITCH	1,2,3,4
EF 1-2	GREENHECK	CEILING MOUNTED	SP-A50-90-VG	DIRECT	70	0.3	---	6	115	1	60	TIME DELAY LIGHT SWITCH	1,2,3,4
EF 1-3	GREENHECK	CEILING MOUNTED	SP-A50-90-VG	DIRECT	70	0.3	---	6	115	1	60	TIME DELAY LIGHT SWITCH	1,2,3,4
EF 1-4	GREENHECK	CEILING MOUNTED	SP-A50-90-VG	DIRECT	70	0.3	---	6	115	1	60	TIME DELAY LIGHT SWITCH	1,2,3,4
<p>SCHEDULE NOTES:</p> <ol style="list-style-type: none"> PROVIDE FLEXIBLE CONNECTORS AT ALL DUCT CONNECTIONS TO FAN. PROVIDE FAN WITH GRAVITY BACKDRAFT DAMPER. REFER TO STANDARD MECHANICAL DETAILS FOR FURTHER INFORMATION. PROVIDE WITH FACTORY MOUNTED DISCONNECT SWITCH. PROVIDE FAN WITH SPEED CONTROLLER. MOUNT SPEED CONTROLLER IN 2X4 METALLIC BOX ADJACENT TO FAN IN CEILING. TEST AND BALANCE CONTRACTOR SHALL ADJUST FAN PERFORMANCE THROUGH USE OF SPEED CONTROLLER. 													

AIR DEVICE SCHEDULE						
MARK	MANUFACTURER	MODEL	MATERIAL	ACCESSORIES	FINISH	NOTES:
AD-1	TITUS	TMS-AA	ALUMINUM		WHITE	1,2
AD-2	TITUS	300FL	ALUMINUM		WHITE	
AD-3	TITUS	50F	ALUMINUM		WHITE	2,3
AD-4	TITUS	50F	ALUMINUM		WHITE	2,3
AD-5	TITUS	350FL	ALUMINUM		WHITE	
<p>SCHEDULE NOTES:</p> <ol style="list-style-type: none"> FLEX DUCT SIZE TO MATCH NECK SIZE. MINIMUM LENGTH OF FLEX SHALL BE 6'-0" TO A MAXIMUM OF 10'-0". BALANCE OF DUCT SHOWN ON PLAN SHALL BE RIGID STEEL DUCT SAME AS NECK SIZE. EXTERNALLY INSULATED. PROVIDE RUNOUT BRANCH DUCT TO AIR DEVICE SAME SIZE AS AIR DEVICE NECK UNLESS OTHERWISE NOTED ON PLANS. PROVIDE O.B.D. MODEL # AG-15-AA FOR AIR DEVICES IN HARD CEILING. AIR DEVICES USED FOR THE TRANSFER OF AIR DO NOT REQUIRE O.B.D. OR FILTER. PROVIDE WITH SHEET METAL PLENUM 12 INCHES DEEP X FACE DIMENSION FOR TRANSITION OF LOUVER TO DUCT. AMCA 550 LISTED, INSTALL ACCORDING TO MANUFACTURER INSTRUCTIONS TO MAINTAIN RATING. <p>AIR DEVICE GENERAL NOTES:</p> <ol style="list-style-type: none"> ALL UNITS FOR LAY-IN T-BAR GRILLE SHALL BE PROVIDED WITH TYPE 3 BORDER CEILING MODULE (24X24). ALL AIR DEVICES SHALL HAVE PAINTED WHITE FINISH. ALL 24X24 FACE AIR DEVICES INSTALLED IN HARD CEILINGS SHALL BE PROVIDED WITH T-BAR FRAME FOR PLASTER OR GYPSUM CEILINGS. PROVIDE SQUARE TO ROUND TRANSITIONS AS REQUIRED FOR COORDINATION OF DUCT AND AIR DEVICE NECK. COORDINATE FRAME TYPE WITH LATEST ARCHITECTURAL REFLECTED CEILING PLAN. INSULATE THE TOPS OF ALL SUPPLY AIR DEVICES, REFER TO SPECIFICATIONS. AIR DEVICES LOCATED IN HARD CEILINGS SHALL BE EQUIPPED WITH AN OPPOSED BLADE DAMPER ADJUSTABLE FROM FACE OF DEVICE. ALL DIFFUSERS 4-WAY THROW UNLESS OTHERWISE NOTED. 						

LOUVER SCHEDULE							
MARK	AIR FLOW	MAX SP DROP	APPLICATION	MFR	MODEL	SIZE (W x H)"	NOTES
L-1	355	.06	INTAKE	GREENHECK	EVH-302	18 X 16	1,2,3,4,5,6,7
<p>NOTES:</p> <ol style="list-style-type: none"> ALUMINUM CONSTRUCTION. COLOR TO BE SELECTED BY ARCHITECT. FLORIDA PRODUCT APPROVAL NUMBER 19277.1. PROVIDE FLORIDA PRODUCT APPROVAL NUMBER IF SELECTING A DIFFERENT LOUVER. MIAMI-DADE NOA NUMBER: 15-0415.05. PROVIDE MIAMI-DADE NOA NUMBER IF SELECTING A DIFFERENT LOUVER. AMCA 550 CERTIFIED. PROVIDE WITH ALUMINUM BIRD SCREEN THAT IS EASILY REMOVED AND CLEANED. PROVIDE AS VERTICAL DRAINABLE BLADES. 							

CONDENSING UNIT SCHEDULE										
MARK	SERVES	MANUFACTURER	MODEL	VOLT	PHASE	FREQ	MCA	MOCP	OUTDOOR TEMP	NOTES:
CU-1	AHU-1	TRANE	TTA12043DAA	208	3	60	41	50	91	1,2,3,4,5,6
<p>NOTES:</p> <ol style="list-style-type: none"> PROVIDE A DUAL COMPRESSOR CONDENSING UNITS WITH TWO INDEPENDENT REFRIGERANT CIRCUITS. PROVIDE WITH CONDENSER COIL HAIL GUARDS. WIRE SCREENS ARE NOT ACCEPTABLE. PROVIDE UNIT WITH HEAD PRESSURE CONTROLS. PROVIDE A CONDENSER CASING AND COIL COATING WITH A MINIMUM OF 6,000 HOURS IN THE ASTM B-117 SALT SPRAY TEST. COATING MAY NOT DECREASE HEAT TRANSFER BY MORE THAN 1%. PROVIDE WITH START UP PERFORMED BY A FACTORY AUTHORIZED TECHNICIAN. PROVIDE WITH FACTORY FIRST YEAR PARTS AND LABOR WARRANTY. FIVE YEAR COMPRESSOR PARTS WARRANTY. 										

VARIABLE VOLUME TERMINAL UNIT SCHEDULE																
TAG	ZONE SERVED	GENERAL DATA					ELECTRIC HEAT				MISCELLANEOUS DATA					REMARKS
		DESIGN CFM	MIN CFM	HTG CFM	APD (IN WC)	MAX NC	INLET DIAMETER	OUTLET (WxH)	KW	VOLTS/PHASE	MANUFACTURER	MODEL NO.	FULL LOAD AMPS	MIN CIRCUIT AMPACITY	MAX FUSE SIZE	
VAV - 1	1	930	465	465	0.03	< 20	10"	14x12	4	208 / 3	TRANE	VCEF	11.1	13.88	15	(1-9)
VAV - 2	2	650	325	325	0.06	< 20	8"	11x10	3	208 / 1	TRANE	VCEF	14.42	18.03	20	(1-9)
VAV - 3	3	735	370	370	0.02	< 20	8"	14x12	3	208 / 1	TRANE	VCEF	14.42	18.03	20	(1-9)
VAV - 4	4	1,630	815	815	0.01	< 20	14"	19x18	6	208 / 3	TRANE	VCEF	16.65	20.82	25	(1-9)
<p>REMARKS:</p> <ol style="list-style-type: none"> MAX NC INCLUDES ELECTRIC HEATER APD. MAX NC IS HIGHER OF EITHER DISCHARGE OR RADIATED SOUND WHEN TESTED IN ACCORDANCE WITH ARI-885, 2002, ADDENDUM TO REVISION 1998, RADIATED TRANSFER FUNCTION APPENDIX E, TYPE 2 MINERAL FIBER INSULATION. FURNISH WITH SLIP AND DRIVE OUTLET CONNECTIONS. TAMPER-PROOF THERMOSTAT SHALL BE PROVIDED TO PREVENT TEMPERATURE FROM BEING ADJUSTED INDEPENDENTLY. THERMOSTATS SHALL BE GOOD QUALITY AND READILY AVAILABLE SHELF PRODUCT. CONTROLS SHALL BE FURNISHED BY CONTROL SYSTEM MANUFACTURER AND INSTALLED AT VAV TERMINAL UNIT MANUFACTURER'S FACTORY. UNIT SHALL INCLUDE INTEGRAL FUSING AND DISCONNECT SWITCH. CONTROL TRANSFORMER PROVIDED BY BOX MANUFACTURER. PROVIDE SINGLE WALL, 1" FOIL FACED FIBERGLASS INSULATION. PROVIDE WITH SCR HEATER CONTROL. 																



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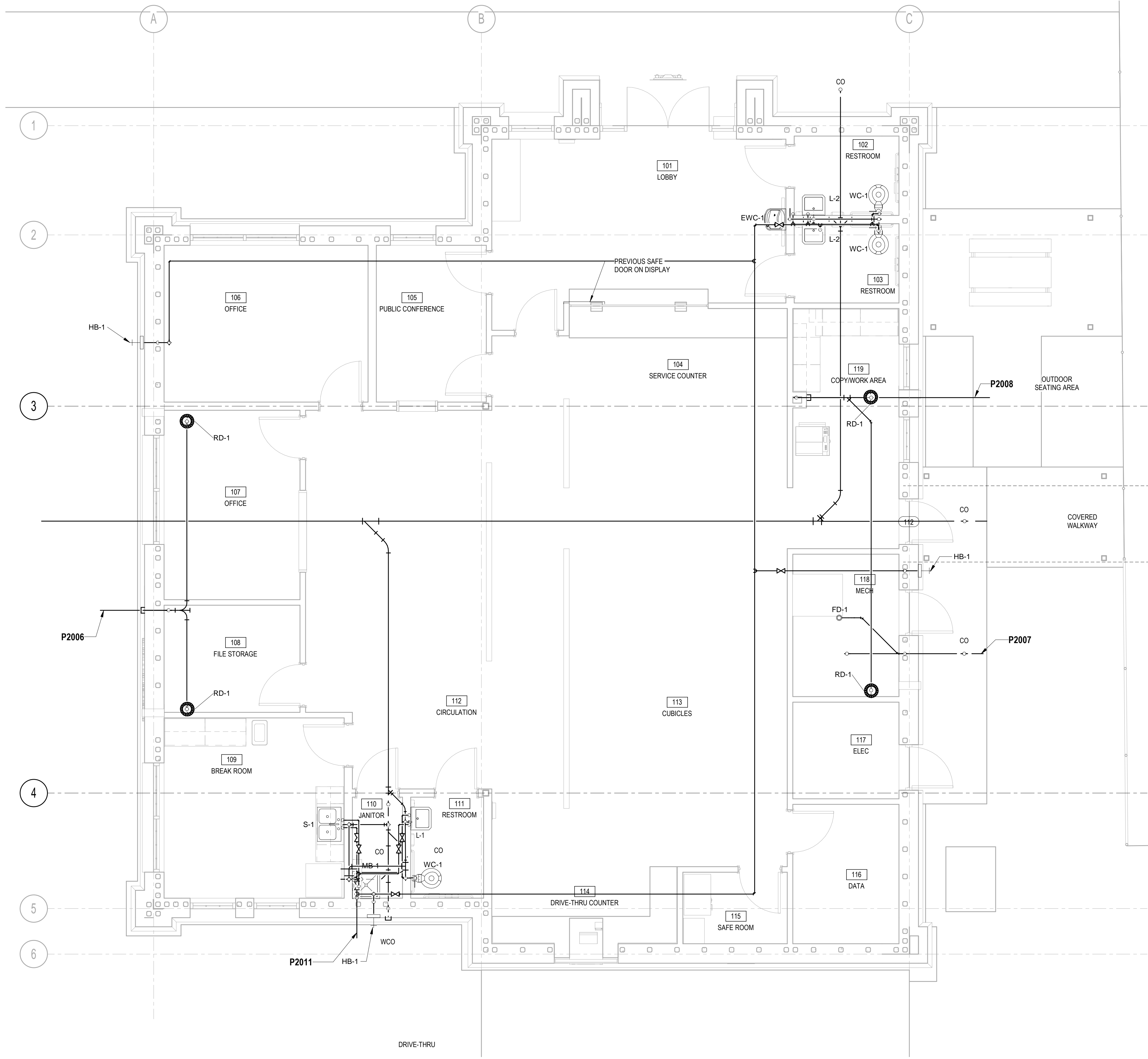
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SCHEDULES

M4.1



N
 1 PLUMBING FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8

KEYNOTE LEGEND

NO.	DESCRIPTION
P2006	4" STORM 1723 SF ROOF = 81 GPM
P2007	4" STORM - (1) 5" FLOOR DRAIN
P2008	4" STORM 1150 SF ROOF = 54 GPM
P2011	2" DOWN WATER MAIN

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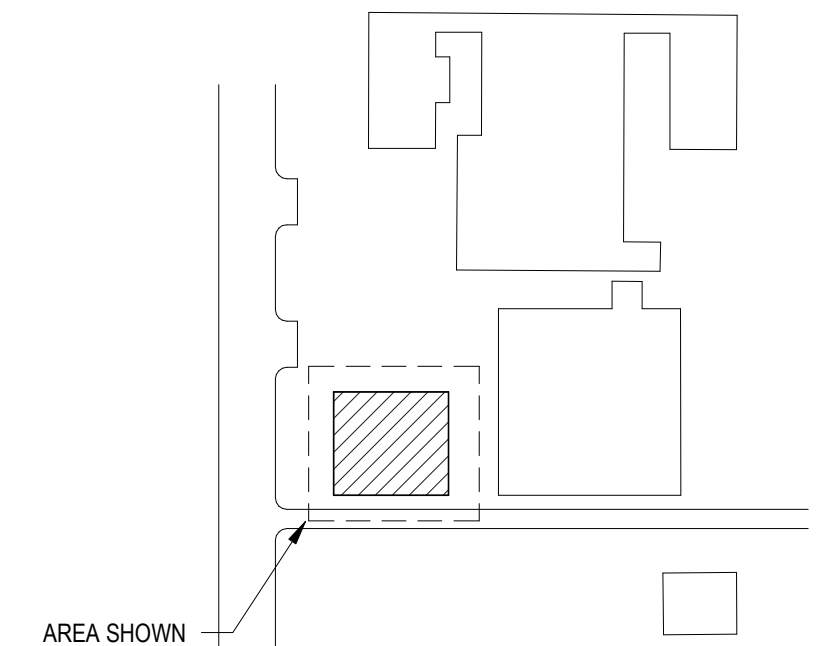
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 MINIMUM BUILDING CODES AND THE
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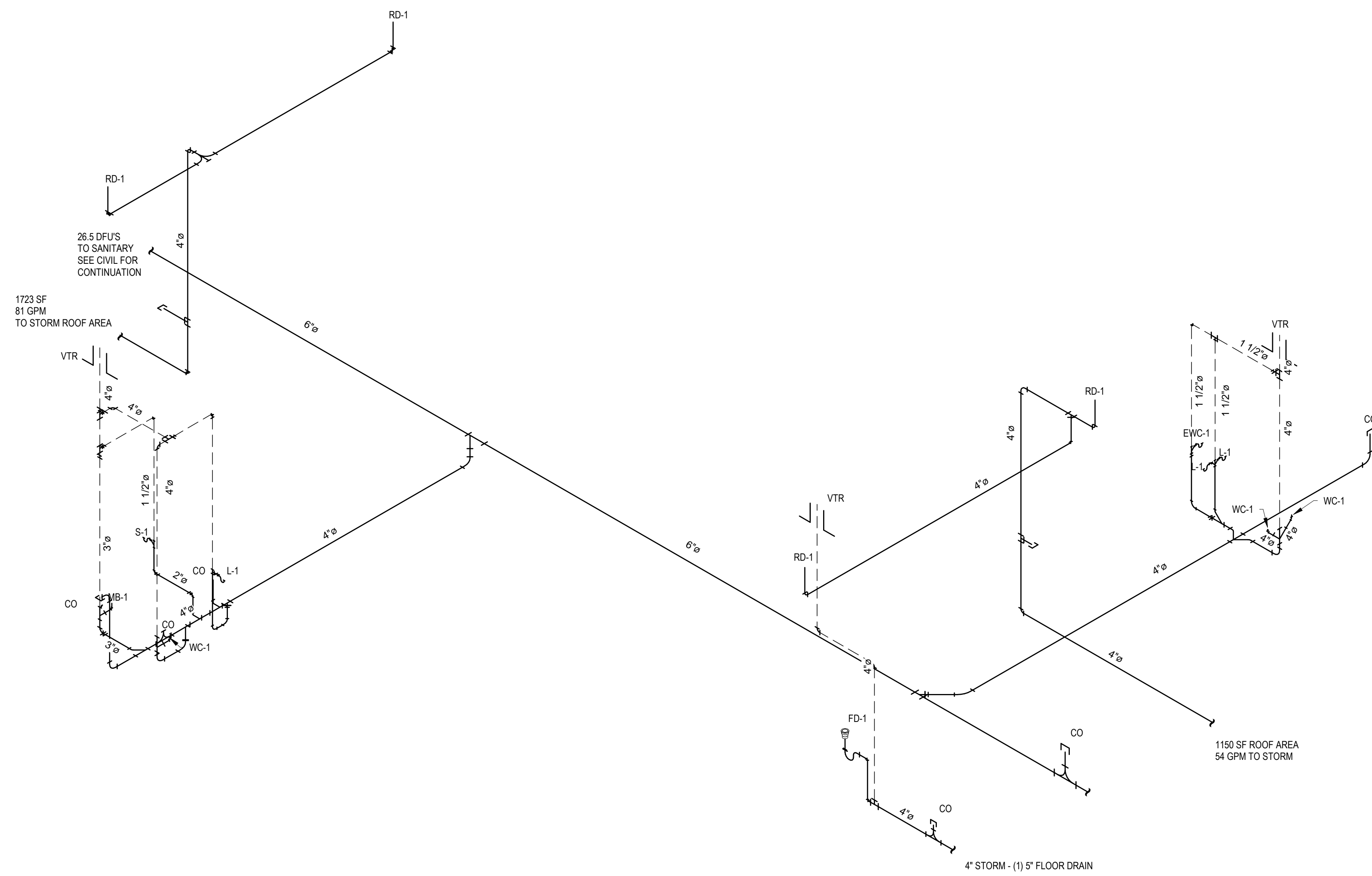
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PLUMBING FLOOR
 PLAN

P1.1



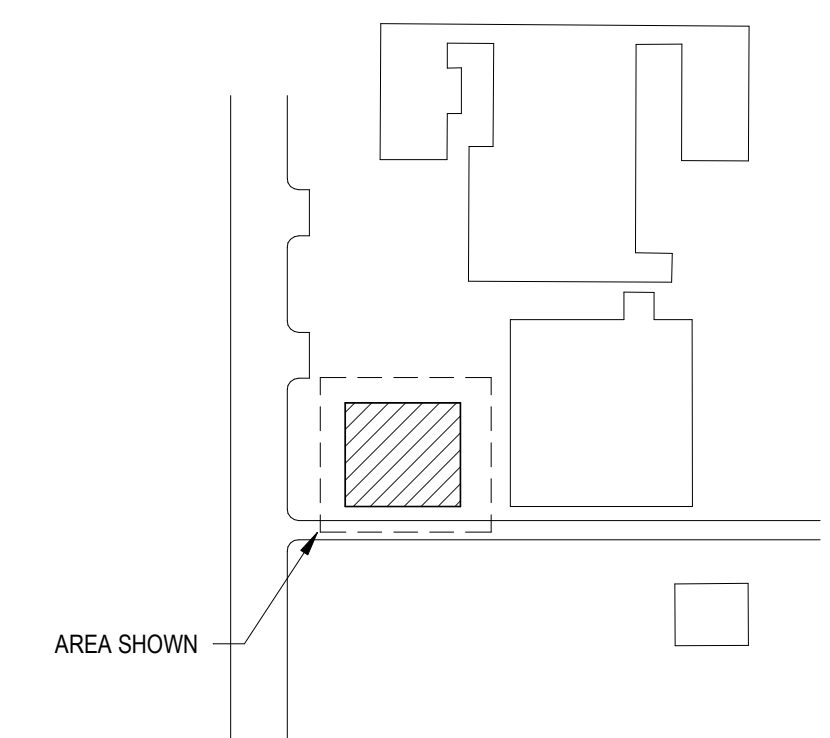
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 A KEY PLAN
 SCALE: NTS



1 SANITARY RISER
SCALE: NTS

KEYNOTE LEGEND

NO.	DESCRIPTION
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A KEY PLAN
SCALE: NTS

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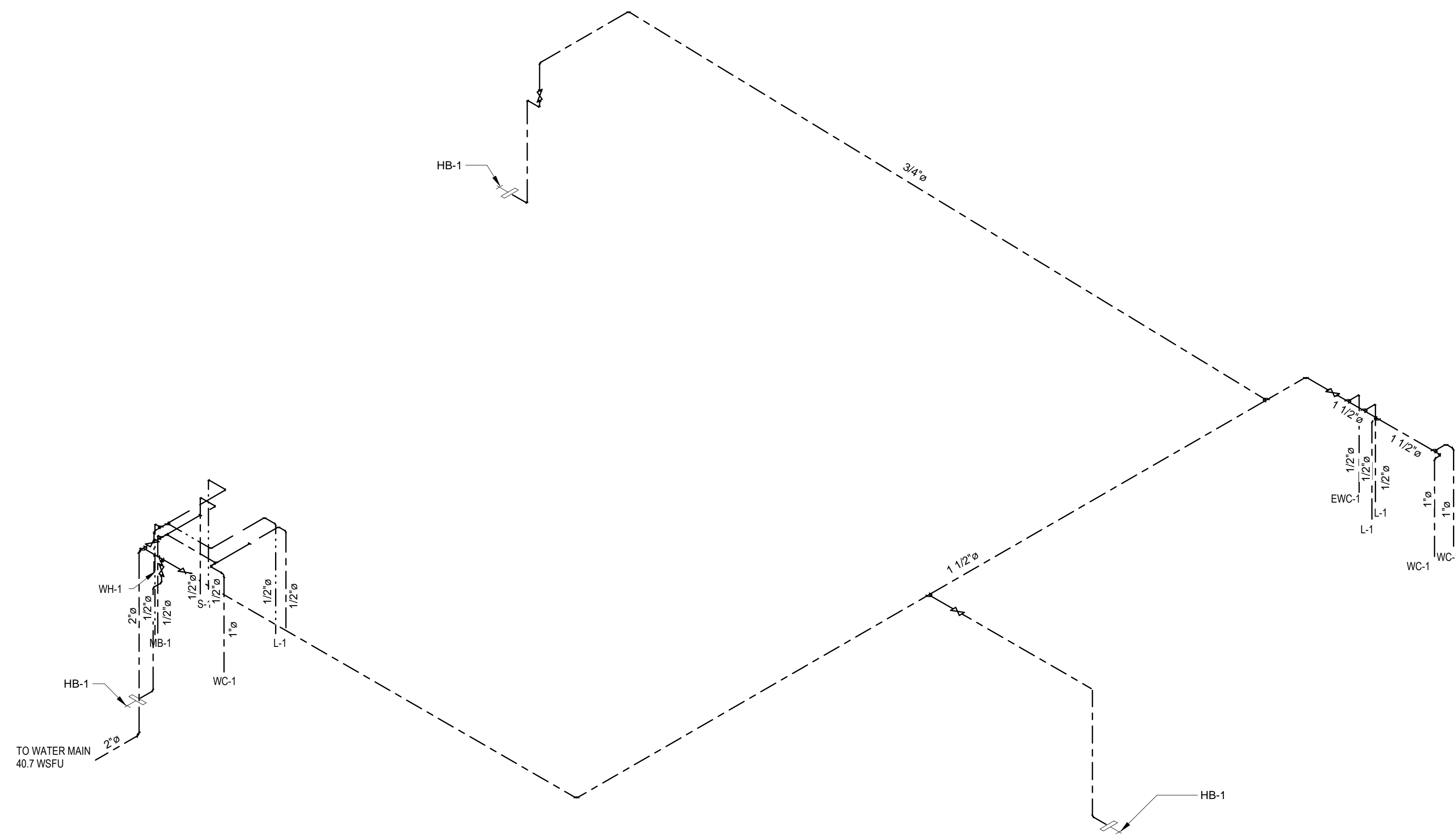
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SANITARY RISER



1 DOMESTIC WATER RISER
SCALE: NTS

KEYNOTE LEGEND

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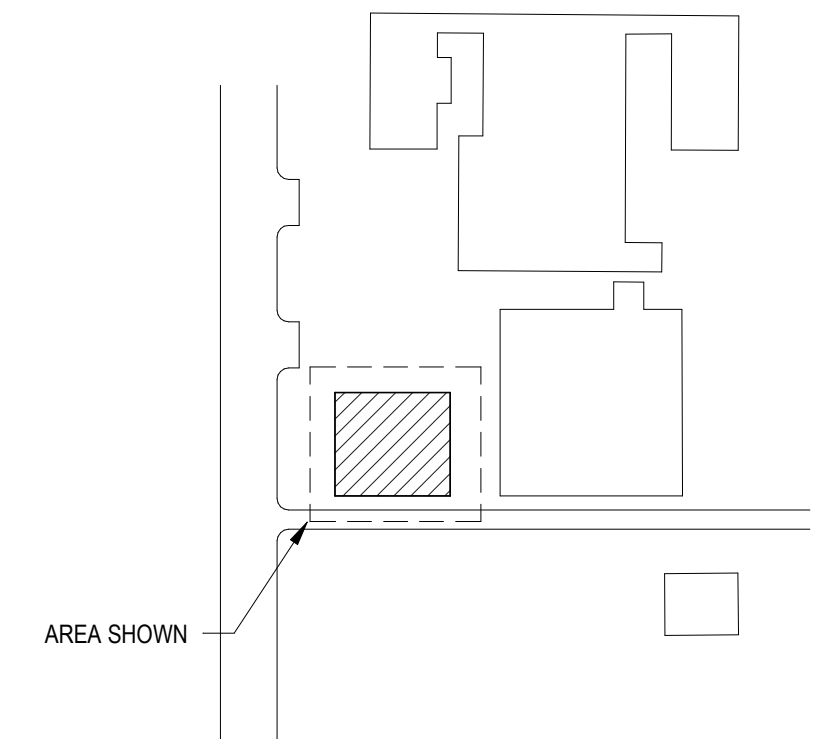
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A KEY PLAN
SCALE: NTS

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DOMESTIC RISER

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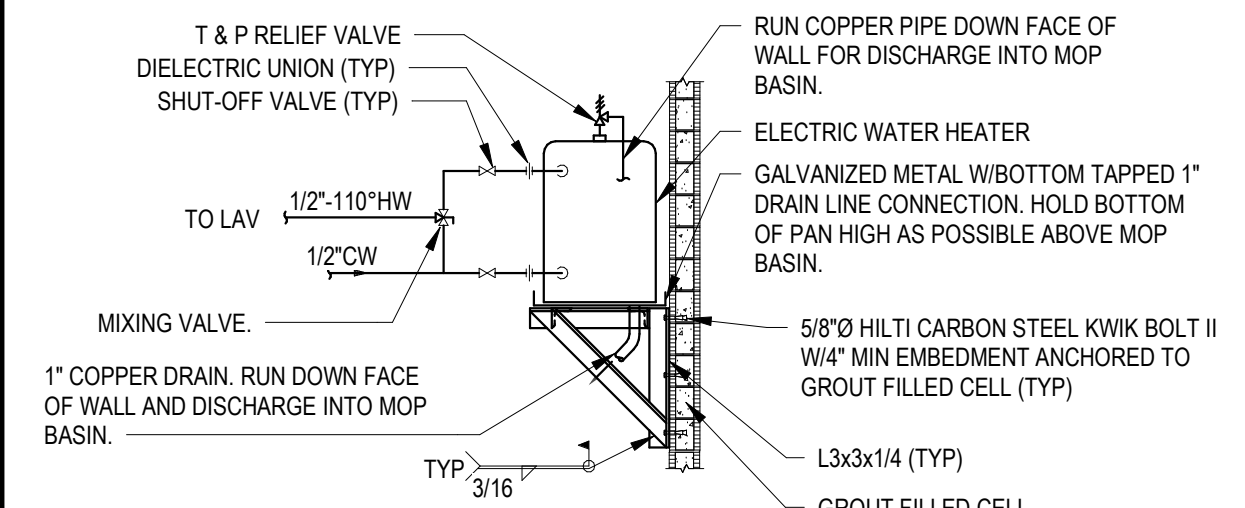
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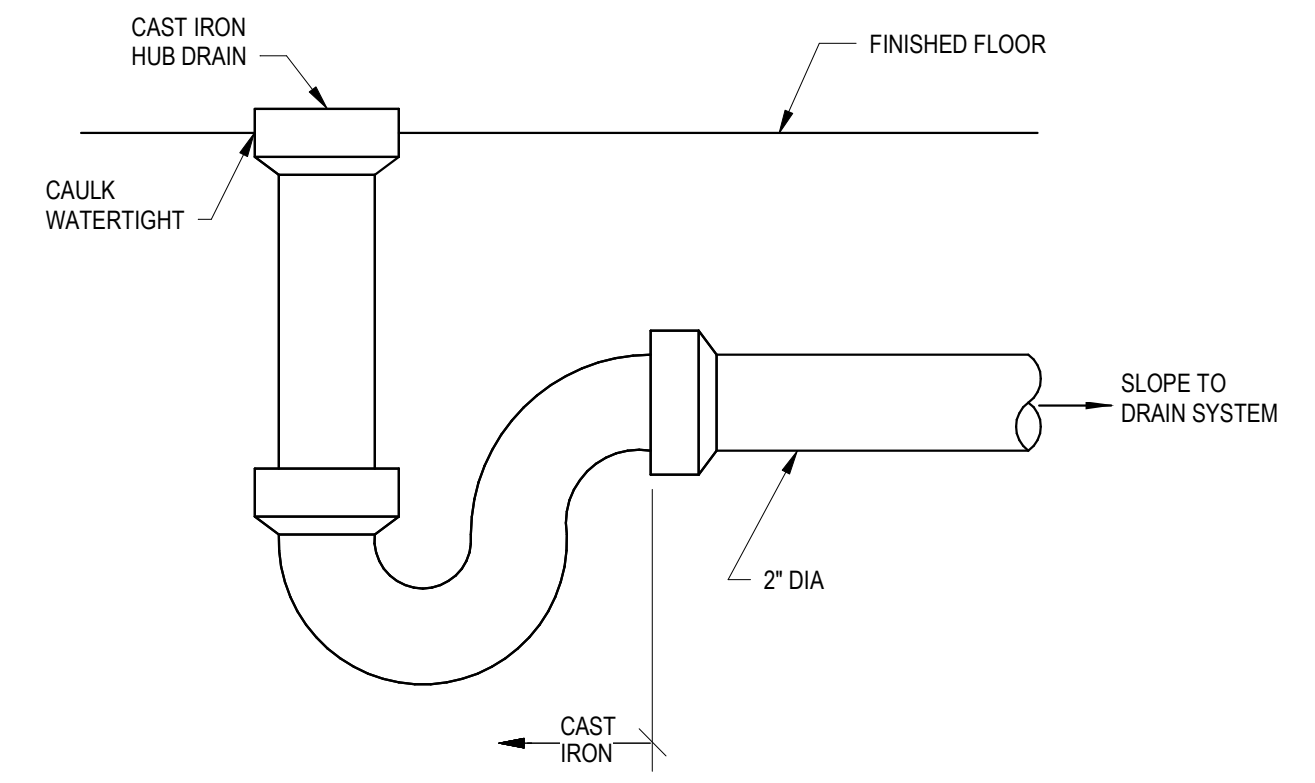
DETAILS

P3.2

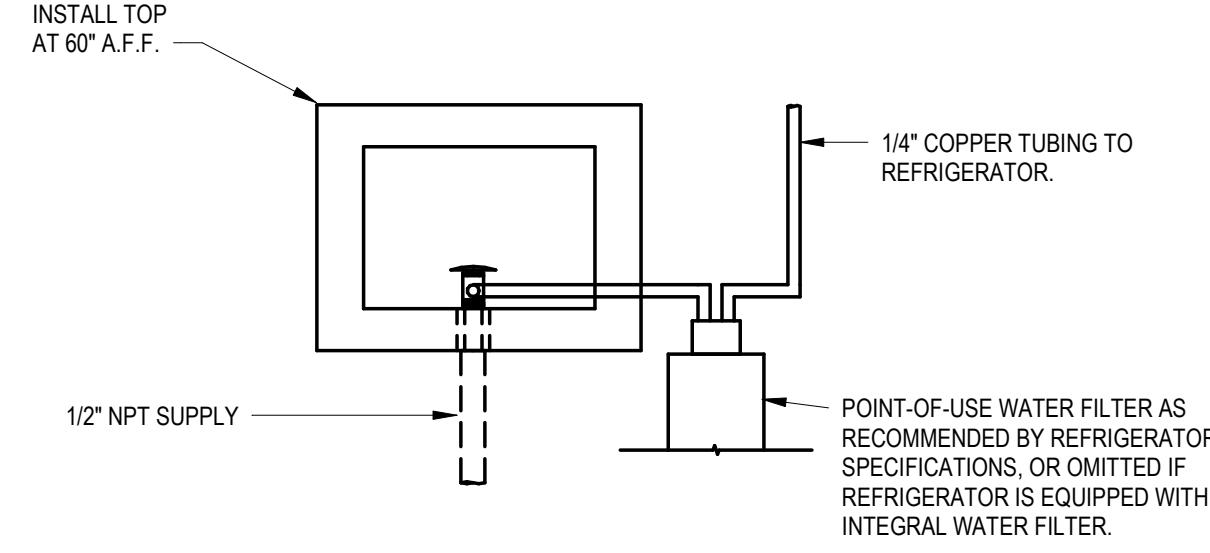


NOTES:
 A. PROVIDE HEAT TRAP FITTINGS ON WATER LINES AND INSULATE HOT WATER PIPING.
 B. PRIME AND PAINT SUPPORT STEEL FLAT BLACK.

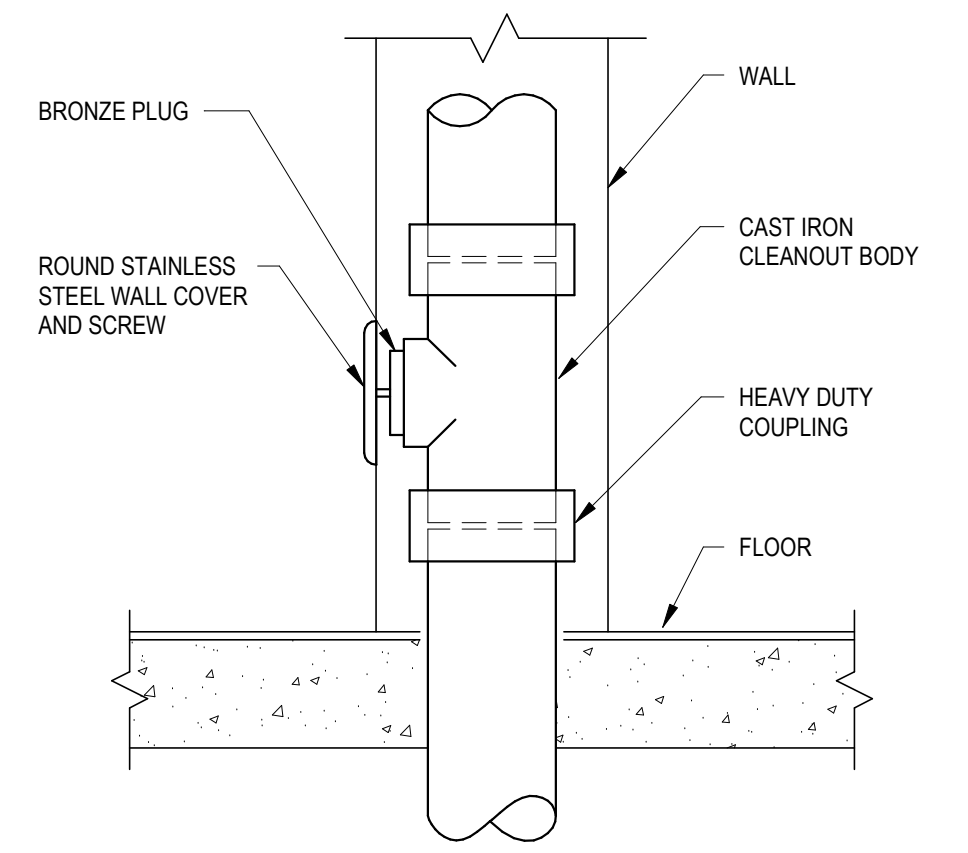
2 WALL MOUNTED WATER HEATER DETAIL
SCALE: NTS



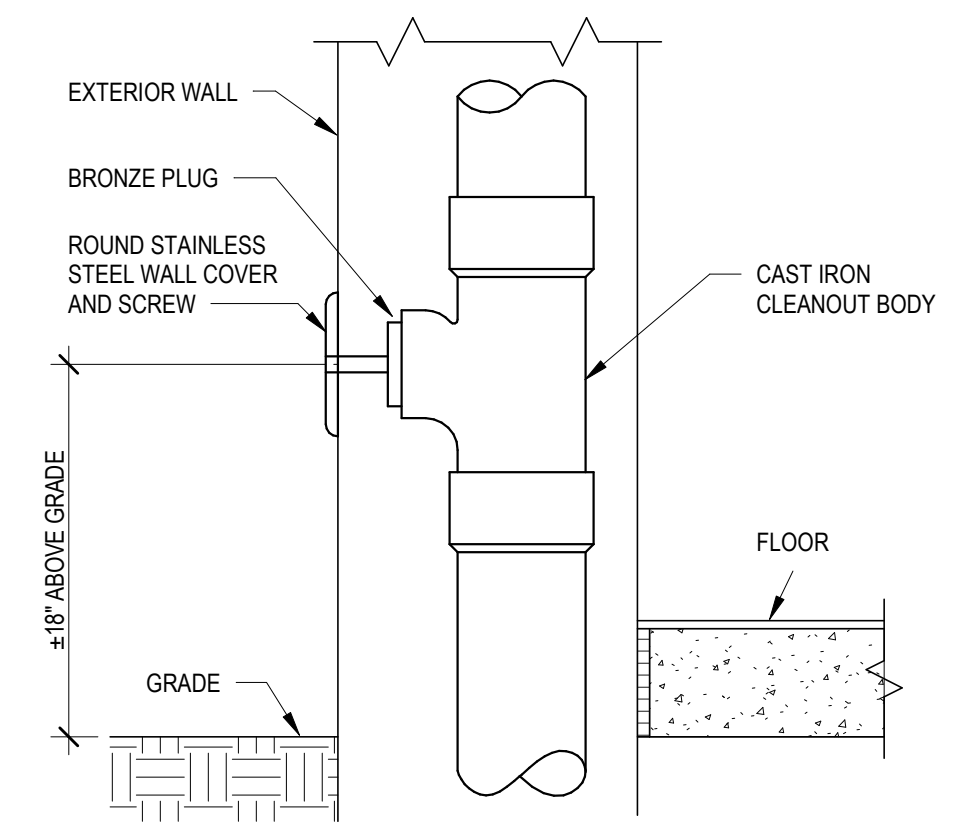
4 TYPICAL HUB DRAIN DETAIL
SCALE: NTS



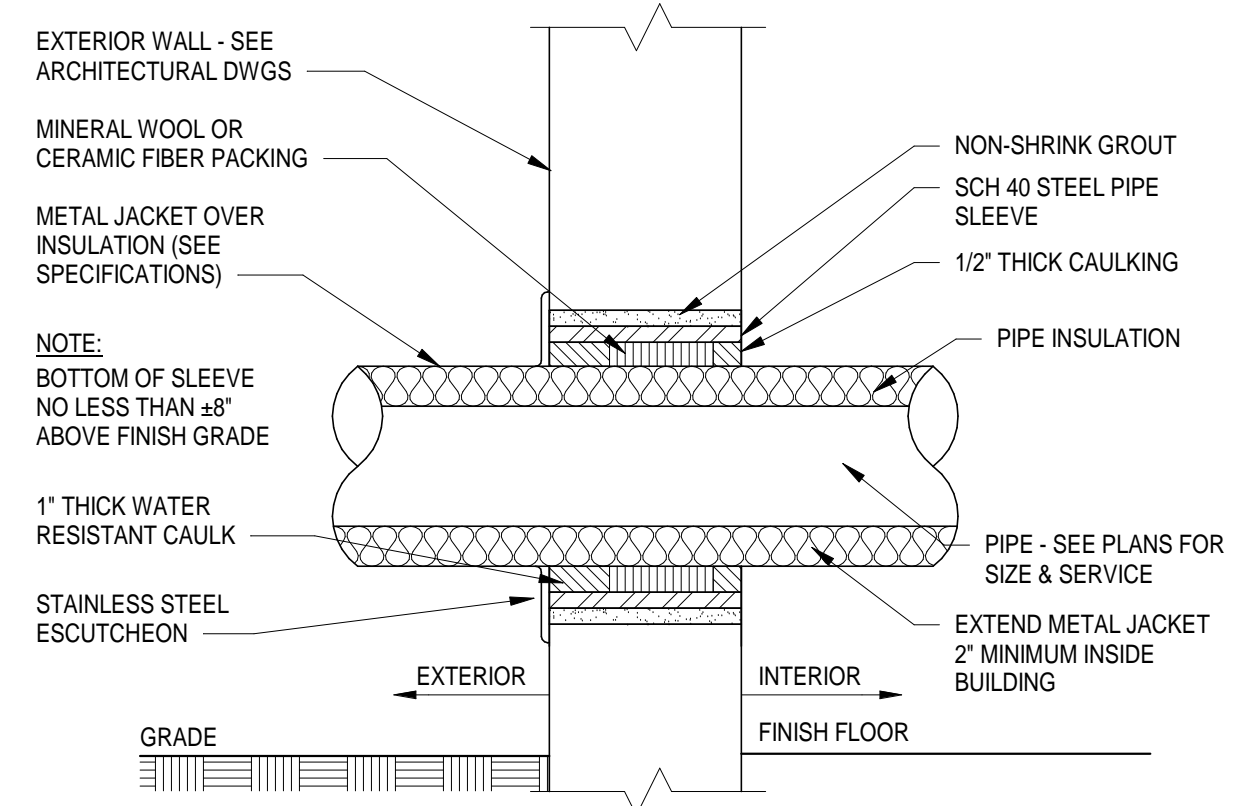
6 ICE MAKER VALVE BOX COMBO DETAIL
SCALE: NTS



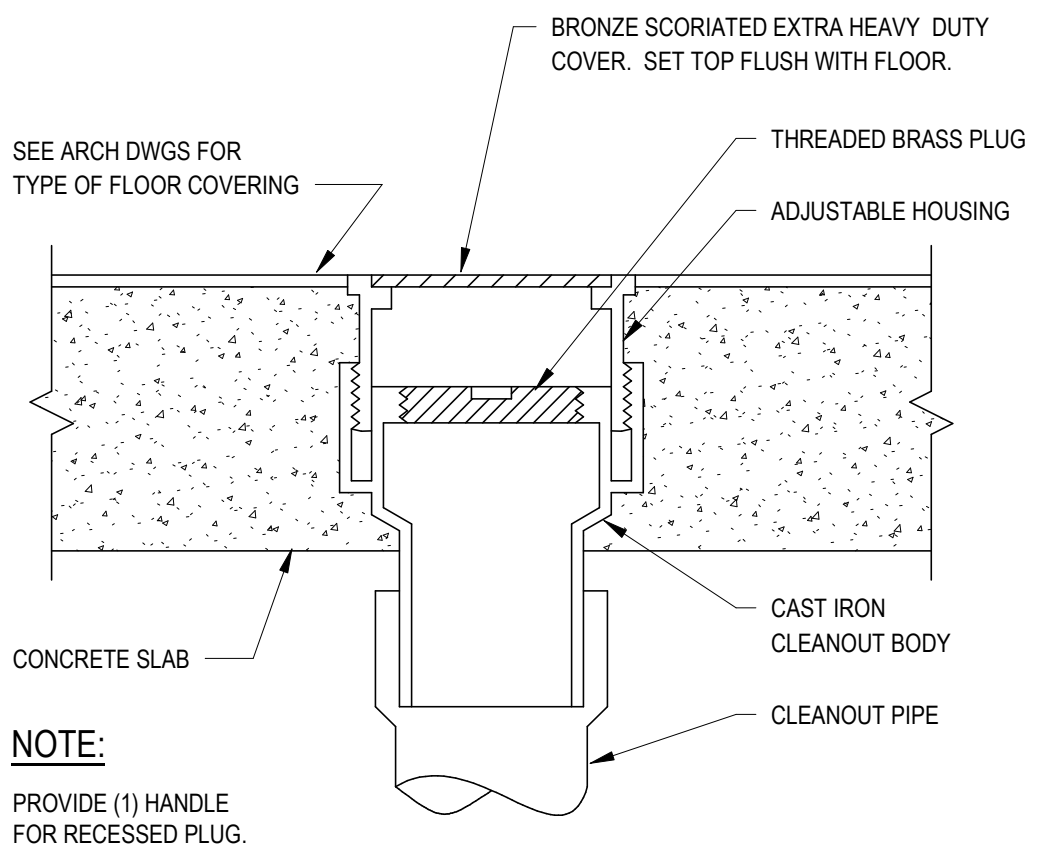
1 INTERIOR WALL CLEANOUT DETAIL
SCALE: NTS



3 EXTERIOR WALL CLEANOUT DETAIL
SCALE: NTS



5 PIPE PENETRATION AT EXTERIOR WALL DETAIL
SCALE: NTS



7 INTERIOR FLOOR CLEANOUT DETAIL
SCALE: NTS

GENERAL NOTES:

- A. METHODS, MATERIALS, AND PROVISIONS OF DIVISION 26 SPECIFICATIONS, GENERAL CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS ARE AN INTEGRAL PART OF THE BID AND CONSTRUCTION DOCUMENTS AND MUST BE RIGIDLY ADHERED TO.
B. UTILITY WORK SHALL COMPLY WITH THE STANDARD SERVICE REQUIREMENTS OF TAMPA ELECTRIC COMPANY. SEE COMPLETE SPECIFICATION 28020.
C. ELECTRIC SERVICE SHALL BE PROVIDED UNDER DIVISION 26. COORDINATE REQUIREMENTS FOR NEW SERVICE TO THE FACILITY. ALL COSTS ASSOCIATED WITH PROVIDING SERVICE TO THE FACILITY SHALL BE INCLUDED IN CONTRACT.
D. A TEMPORARY SERVICE SHALL BE PROVIDED FROM A POWER COMPANY SOURCE TO THE FACILITY SITE FOR LIGHT AND POWER REQUIREMENTS DURING CONSTRUCTION. MEET OR EXCEED OSHA STANDARDS FOR ELECTRICAL DISTRIBUTION AND SAFETY ON CONSTRUCTION SITES.
E. REVIEW CONTROL SCHEMATICS AND DIAGRAMS ON MECHANICAL DRAWINGS (DIVISION 23) IN ORDER TO INCLUDE ACCESSORIES REQUIRED WITH MOTOR CONTROLLER DEVICES PROVIDED UNDER DIVISION 26.
F. ALL WIRE AND CABLE SHALL BE COPPER WITH THW/THWN-60 VOLTS INSULATION. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG FOR POWER AND LIGHTING CIRCUITS, AND MINIMUM #14 FOR SIGNAL CIRCUITS. SEE COMPLETE SPECIFICATION SECTION 16120. BRANCH & FEEDER ABOVE GROUND - THW (90 DEGREES C) BRANCH & FEEDER BELOW GROUND - THWN (75 DEGREES C) SECONDARY ELECTRIC SERVICE - THWN (75 DEGREES C) PRIMARY SERVICE ENTRANCE - POWER COMPANY CHOICE
G. #10 AWG AND SMALLER WIRE CONNECTORS SHALL BE 600 VOLTS ELECTRICAL SPRING CONNECTORS (IDEAL 451/452) OR (3M E12/612). #8 AWG AND LARGER WIRE CONNECTORS SHALL BE THE SPLIT BOLT TYPE WITH INSULATION OF VINYL MASTIC PADS AND VINYL PLASTIC TAPE (3M 220U/2210 AND SUPER 33+). SEE COMPLETE SPECIFICATION SECTION 16121.
H. ALL WIRE AND CABLE SHALL BE INSTALLED IN CONDUIT. MINIMUM CONDUIT SIZE SHALL BE 1/2" AND CONDUIT SHALL BE CONCEALED IN FINISHED AREAS AND PROTECTED IN UNFINISHED AREAS. SEE COMPLETE SPECIFICATION SECTION 26111.
J. ELECTRICAL METALLIC TUBING MAY BE USED IN FINISHED AREAS WITH STEEL COMPRESSION COUPLINGS AND FITTINGS. E.M.T. MAY ALSO BE USED IN UNFINISHED AREAS WHERE PROTECTED IN COLUMN WEBS OR UP IN JOIST SPACE.
K. RIGID GALVANIZED STEEL CONDUIT SHALL BE INSTALLED WHERE CONDUITS ARE SUSCEPTIBLE TO PHYSICAL DAMAGE AND IN ALL EXTERIOR LOCATIONS ABOVE GROUND.
L. STEEL BONDING TYPE LOCKNUTS SHALL BE INSTALLED WHERE CONDUITS ENTER PANELBOARD, ENCLOSURES, WIREWAYS, STARTERS, SWITCH ENCLOSURES, JUNCTION BOXES AND ALL METALLIC ENCLOSURE ALL METALLIC ENCLOSURE BOXES. ALL EMT FITTINGS SHALL BE COMPRESSION TYPE.
M. SCHEDULE 40 PVC CONDUIT SHALL BE INSTALLED BELOW GRADE. THE USE OF SCHEDULE 40 PVC ELBOWS AND CONDUIT STUB-UPS SHALL NOT BE PERMITTED. TRANSITION BELOW GRADE PVC TO RIGID GALVANIZED STEEL PRIOR TO STUB-UP TO BUILDING. PVC MAY BE CONTINUED UP INTO EXTERIOR POLE BASES.
N. FINAL CONNECTIONS TO MOTORS, VIBRATING EQUIPMENT AND WATER HEATERS SHALL BE MADE WITH LIQUID-TIGHT FLEXIBLE METAL CONDUIT AND CONNECTORS. FINAL CONNECTIONS TO LIGHT FIXTURES SHALL BE MADE WITH FLEXIBLE METAL CONDUIT AND CONNECTORS.
P. INSTALL INTUMESCENT FIRE SEAL AT ALL SLEEVE/CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS TO MAINTAIN RATING OF WALLS.
Q. CAREFULLY REVIEW SPECIFICATION SECTION 26480 - GROUNDING SYSTEMS. PREPARE FOUNDATION AND/OR GRADE BEAM REINFORCING BARS TO SERVE AS GROUNDING ELECTRODE PER NEC ARTICLE 250-50. IN ADDITION, USE OTHER AVAILABLE ON-PREMISE ITEMS PER NEC ARTICLE 250-50. ADDITIONAL ELECTRODES DESCRIBED IN NEC ARTICLE 250-52 REQUIRED BY THE AUTHORITY AND/OR LOCAL POWER COMPANY SHALL BE IN ADDITION TO THOSE DESCRIBED UNDER NEC ARTICLE 250-50.
R. GREEN COLORED INSULATED GROUNDING CONDUCTOR(S) SHALL BE INCLUDED IN ALL RACEWAY AND RACEWAY SYSTEMS. SIZES UP THROUGH #6 SHALL BE SOLID COLOR.
S. FUSES SHALL BE DUAL ELEMENT, NEMA CLASS RK1 OR RK5. SEE COMPLETE SPECIFICATION SECTION 16181.
T. ALL LIGHTING FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF ALL SUSPENDED CEILINGS. THE FIXTURES SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE WITH 2-#14 GAUGE TIE WIRES.
U. LIGHT FIXTURE CATALOG NUMBER MAY OR MAY NOT REFLECT TRIM OR FLANGE REQUIRED FOR A SPECIFIC CEILING TYPE IN A ROOM. VERIFY CEILING TYPES FROM ARCHITECTURAL DRAWINGS TO DETERMINE WHETHER THE FIXTURE REQUIRES G, F, Z, H, T OR C TRIM.
V. VERIFY ALL DOOR SWINGS WITH THE FINAL ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING-IN ANY SWITCHES.
W. OUTLETS WHICH ARE NOTED FOR A PARTICULAR PIECE OF EQUIPMENT ARE SO NOTED IN ORDER THAT THE CONTRACTOR CAN COORDINATE THE LOCATION OF THE OUTLET WITH THE CONNECTING LOCATION OF THE EQUIPMENT. THIS COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
X. OUTLET AND JUNCTION BOXES SHALL NOT BE MOUNTED BACK-TO-BACK IN WALLS. PROVIDE MINIMUM 6" HORIZONTAL SEPARATION.
Y. CIRCUIT DIRECTORIES FOR PANELBOARD, SHALL BE TYPE WRITTEN, HAND WRITTEN SHALL BE UNACCEPTABLE.
Z. FURNISH OWNER WITH MINIMUM THREE (3) SPARE FUSES OF EACH SIZE AND CLASS PROVIDED UNDER CONTRACT.
AA. ALL J-BOX COVERS SHALL BE MARKED WITH BRANCH CIRCUIT NUMBERS CONTAINED THERE-IN. SIGNAL SYSTEM JUNCTION BOXES SHALL BE COLOR CODED.
BB. CONDUIT WIRE FILL CAPACITY SHALL COMPLY WITH 2002 NEC. SIGNAL SYSTEM CONDUIT WIRE FILL CAPACITY SHALL NOT EXCEED 40%.
CC. SECURITY, TELEPHONE, FIRE ALARM, AND OTHER SIGNAL SYSTEM J-BOX COVERS SHALL BE LABELED WITH PERMANENT BLACK MARKER. (I.E. INTERCOM J-BOX SHALL READ "INTERCOM").
DD. ALL POWER AND SIGNAL J-BOX COVERS SHALL BE SPRAY PAINTED COLOR NOTED BELOW AND LABELED WITH BLACK PERMANENT MARKER AS FOLLOWS:
1. "FIRE ALARM" - RED COVER
EE. UL LISTED ASSEMBLIES SHALL BE INSTALLED AT ALL PENETRATIONS OF RATED WALLS. JUNCTION BOXES AND OUTLET BOXES LOCATED WITHIN RATED WALLS SHALL BE WRAPPED WITH FIRE STOP PUTTY PADS. INCLUDE PUTTY PADS IN SHOP DRAWINGS SUBMITTALS.
FF. PROVIDE DUCT SEAL IN ALL UNDERGROUND CONDUITS ENTERING ELECTRICAL EQUIPMENT AND SIGNAL CABINETS.

LEGEND table with columns: SYMBOL, DESCRIPTION. Symbols include circle with dot, hatched rectangle, lightning bolt, etc. Descriptions include: JUNCTION BOX, 208/120V PANELBOARD, MISC. PANEL, DUPLEX RECEPTACLE, NEMA TYPE 5-20R, CENTERLINE MOUNTED 18" AFF IN FINISHED AREAS AND 42" AFF IN UNFINISHED AREAS, etc.

- FLUSH CEILING MOUNTED PAIC SYSTEM PAIC SPEAKER.
PA HORN SPEAKER OUTLET. SPEAKER BY OWNER.
FLUSH WALL MOUNTED PA SPEAKER OUTLET. SPEAKER BY OWNER.
GROUNDING ELECTRODE.
FIRE ALARM CONTROL PANEL.
FIRE ALARM FLUSH MOUNTED REMOTE ANNUNCIATOR.
DATA/VOICE OUTLET. 4"x4" DOUBLE GANG, DEEP BACKBOX WITH SINGLE GANG FACE PLATE. PROVIDE 1" CONDUIT WITH PULLSTRING FROM BOX, CONCEALED INTO ACCESSIBLE CEILING SPACE, AND STUBBED OUT AND BUSHED, OUTLET TYPICALLY MOUNTED 18" AFF UNLESS ABOVE COUNTER. "AC" NEXT SYMBOL INDICATES OUTLET IS MOUNTED ABOVE COUNTER, UNLESS OTHERWISE NOTE. DATA SYSTEM FACEPLATES, JACKS AND CABLING BY OWNER'S DATA VENDORS. PROVIDE BLANK COVERPLATES OVER ALL OUTLET BOXES.
SAME AS ABOVE, BUT FLOOR MOUNTED.
SPECIAL RECEPTACLE. COORDINATE NEMA CONFIGURATION WITH EQUIPMENT SUPPLIED.
TAMPER SWITCH
FIRE ALARM SHUTDOWN DEVICES/RELA.
PUSHBUTTON AS NOTED MTD 42" AFF.
VIDEO SURVEILLANCE SYSTEM CAMERA (VSS) OUTLET, CAMERA BY OWNER.
VIDEO SURVEILLANCE SYSTEM OUTLET, CAMERA BY OWNER.
AUDIO/VISUAL OUTLET OR WALLBOX AS SPECIFIED.
MATV OUTLET. 4"x4" DOUBLE GANG, DEEP BACKBOX WITH SINGLE GANG FACE PLATE. PROVIDE 1" CONDUIT WITH PULLSTRING FROM BOX, CONCEALED INTO ACCESSIBLE CEILING SPACE, AND STUBBED OUT AND BUSHED, UON, OUTLET TYPICALLY MOUNTED 18" AFF. UON, CABLE TV SYSTEM FACEPLATES, CONNECTORS AND CABLING BY OWNER'S CABLE TV VENDORS. PROVIDE BLANK COVERPLATES OVER ALL OUTLET BOXES.
SECURITY SYSTEM MOTION DETECTOR OUTLET, CEILING MOUNTED.
SECURITY SYSTEM MOTION DETECTOR OUTLET, WALL MOUNTED. MTD TYPICALLY 80" AFF.
SECURITY SYSTEM DOOR SWITCH.
SURGE SUPPRESSION PUNCHDOWN BLOCK.
PUNCHDOWN BLOCK.
THERMOSTAT.
ACCESS CONTROL SYSTEM (ACS) CARD READER OUTLET FLUSH MOUNTED AT 48" AFF. CARD READER, CONNECTORS AND CABLING BY OWNER'S ACS VENDOR. PROVIDE BLANK COVERPLATES OVER ALL OUTLET BOXES. SEE ACS DETAIL FOR ADDITIONAL ACS DEVICE OUTLETS AND CONDUIT REQUIREMENTS.
DIMMER SWITCH CENTERLINE MOUNTED 42" AFF. SEE SPECIFICATIONS. DIMMER SWITCH SHALL BE COMPATIBLE WITH LIGHT FIXTURE 0-10V DRIVER.
MOUNT 6" ABOVE COUNTER.
AMPERS INTERRUPTING CAPACITY.
ABOVE FINISHED FLOOR.
ABOVE FINISHED GRADE.
CENTERLINE.
CONDUIT.
EQUIPMENT GROUNDING CONDUCTOR.
ELECTRIC WATER COOLER.
ELECTRIC WATER HEATER.
GROUND FAULT CIRCUIT INTERRUPTER TYPE.
MOUNTED.
RIGID STEEL CONDUIT.
SHORT CIRCUIT CURRENT, 3 PHASE SYMMETRICAL.
UNLESS OTHERWISE NOTED.
TRANSFORMER.
WEATHERPROOF, OUTDOOR.

LUMINAIRE SCHEDULE table with columns: TYPE, DESCRIPTION, MANUFACTURER, CATALOG NO., LAMP, MOUNTING, REMARKS. Includes rows for Walkway Canopy Light, Slim Surface LED Downlight, 3" Diameter Full Circle LED, Recessed Troffer 2X2 Grid, LED Downlight, Wall Mounted Luminaire, Suspended Luminaire, 48" Strip Light, Emergency Luminaire, Recessed Troffer 2X4 Grid, Wall Light Egress, Exit Light.

NOTE: 1. ANY REQUEST FOR SUBSTITUTION MUST BE MADE TEN DAYS PRIOR TO BID. ALL REQUESTS MUST INCLUDE PHOTOMETRICS, AND ONLY THOSE ISSUED THRU AN OFFICIAL ADDENDUM WILL BE ALLOWED TO BID. 2. ALL FIXTURES SHALL INCLUDE IN LINE FUSES.

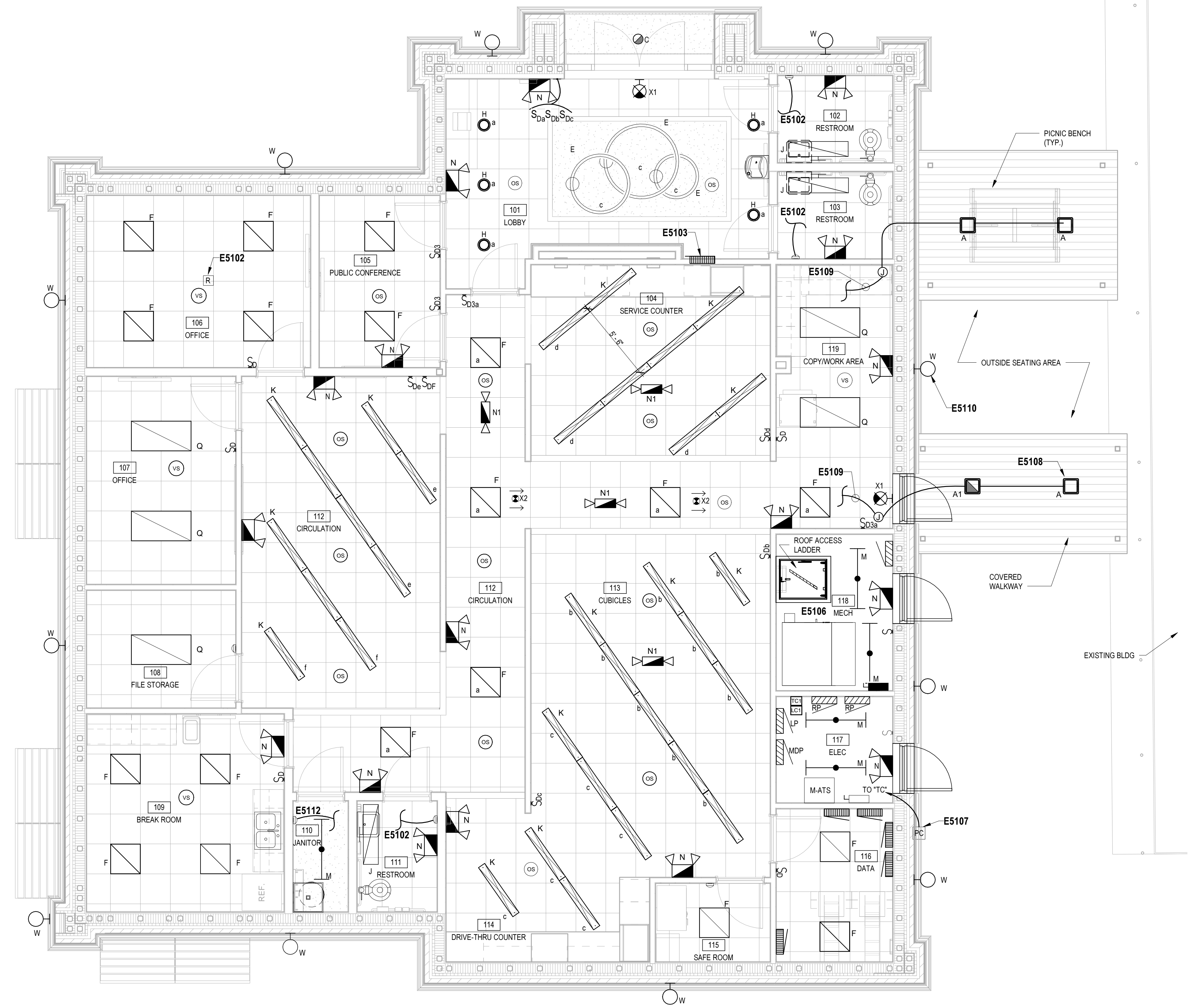


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Table with columns: No, Date, Issues & Revisions. Includes rows for design development and construction docs.

LEGEND & GENERAL NOTES
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MARCH 5, 2021



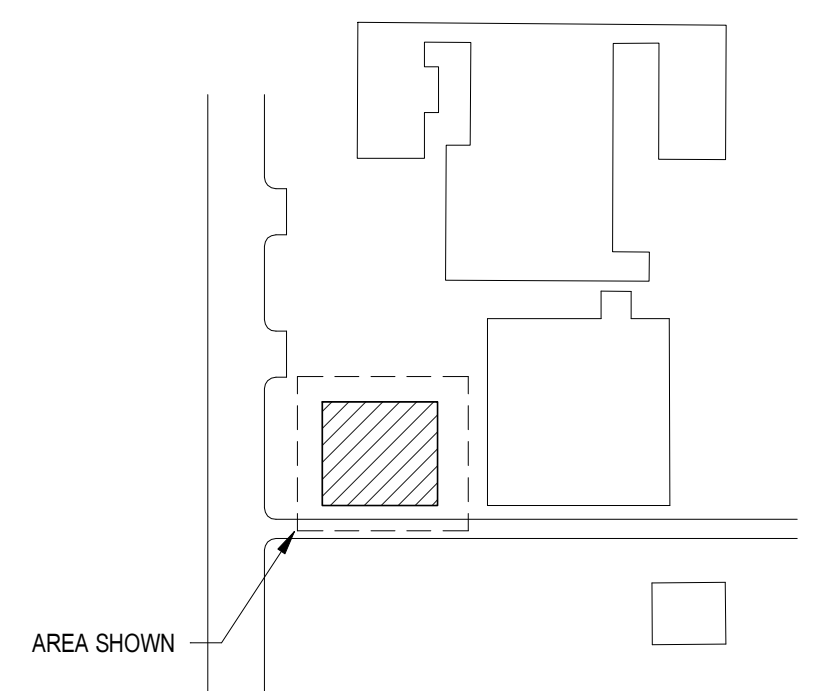
1 LIGHTING PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8

GENERAL NOTES

- A. REFER TO THE SPECIFICATIONS, AND THE GENERAL NOTES AND LEGEND ON DRAWING E01.
- B. COORDINATE ALL WORK WITH OTHER TRADES AND THE PROJECT SCHEDULE.
- C. UL LISTED ASSEMBLIES SHALL BE INSTALLED AT ALL PENETRATIONS OF RATED WALLS. JUNCTION BOXES LOCATED WITHIN RATED WALLS SHALL BE WRAPPED WITH FIRE STOP PUTTY PADS.
- D. ALL WORK SHALL BE CONCEALED UNLESS NOTED OTHERWISE.
- E. PROVIDE AN UNSWITCHED HOT CIRCUIT CONDUCTOR TO ALL FIXTURES HAVING INTERNAL EMERGENCY BATTERY/CHARGERS.
- F. TYPICAL LIGHT FIXTURES SHALL BE SUPPORTED FROM TWO OPPOSITE CORNERS TO OVERHEAD STRUCTURE WITH SEPARATE CEILING GRID TYPE WIRE.
- G. FIXTURE WHIPS SHALL NOT LAY ON CEILING TILES.
- H. PROVIDE #10 AWG HOMERUN CONDUCTORS FOR ALL 120 VOLT BRANCH CIRCUITS EXCEEDING 100 FEET IN LENGTH TO MINIMIZE VOLTAGE DROP.
- I. EXTEND AN UNSWITCHED CONDUCTOR TO FIXTURES WITH EMERGENCY BATTERY BALLASTS AND TO EXIT LIGHTS.

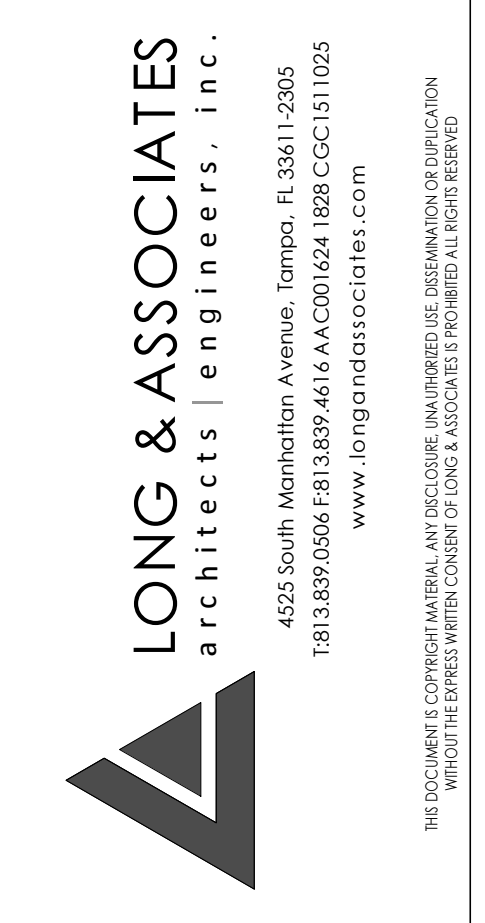
KEYNOTE LEGEND

NO.	DESCRIPTION
E5102	TYP. POWER PACK AND RELAY FOR ROOM VACANCY CONTROL. SEE SPECIFICATIONS. MOUNT ABOVE CEILING, ABOVE WALL SWITCH.
E5103	INSTALL LIGHTING POWER AND CONTROL DRIVERS, POWER SUPPLIES, POWER SUPPLY HOUSINGS, AND DIMMING CONTROL COMPONENTS FOR CORRIDOR LIGHTS ON WALL ABOVE CEILING, WHERE APPROXIMATELY SHOWN, AND LABEL ACCORDINGLY. PROVIDE ALL LIGHT FIXTURE ACCESSORIES AND CONTROL DEVICES AS REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM. INSTALL SYSTEMS IN ACCORDANCE WITH MANUFACTURERS EQUIPMENT SHOP DRAWINGS AND FIELD WIRING REQUIREMENTS.
E5106	COORDINATE LIGHT LOCATIONS WITH DUCT WORK AND AHU TO PROVIDE OPTIMAL LIGHT DISTRIBUTION IN ROOM.
E5107	MOUNT PHOTOCELL AT 14'-0" AFF. SEE BLDG PERIMETER LIGHTING CONTROL DIAGRAM FOR ADDITIONAL REQUIREMENTS. PHOTO EYE INTERMATIC MODEL K423 MOUNTED ON WP J-BOX NEAR ROOF LINE. PROVIDE DEVICE OUTLET BOX AND CIRCUITING AS REQUIRED.
E5108	TYP. SEE DETAIL #10 DRAWING E7.2 FOR FIXTURE MOUNTING IN CANOPY.
E5109	EXTEND BRANCH CIRCUIT TO LIGHTING PANEL AS SHOWN.
E5110	COORDINATE EXTERIOR LIGHT FIXTURE MOUNTING LOCATION WITH ARCHITECTURAL ELEVATION DWGS.
E5112	TYP. PROVIDE WALL MOUNTED VACANCY CONTROL DEVICE.



A KEY PLAN
SCALE: NTS

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PE51483

No.	Date	Issues & Revisions
2	12/10/2020	DESIGN DEVELOPMENT
3	03/05/2021	60% CONSTRUCTION DOCS

TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

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LIGHTING PLAN

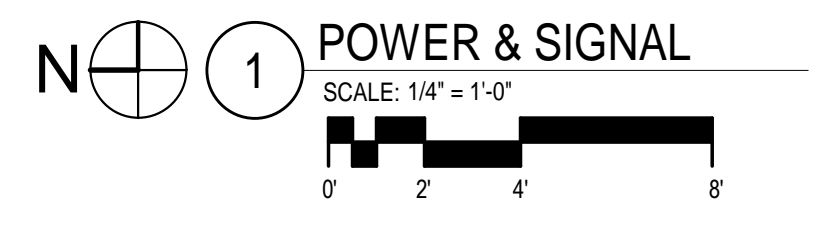
E2.1



- GENERAL NOTES**
- COORDINATE ALL WORK WITH THE OWNER, THE PHASING SCHEDULE AND OTHER TRADES.
 - FIELD VERIFY ACTUAL EXISTING CONDITIONS. INFORMATION SHOWN ON THIS DRAWING IS THE RESULT OF FIELD OBSERVATIONS.
 - SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACCESS HOURS TO PROJECT SITE.
 - COORDINATE INSTALLATION OF NEW BUILDING SERVICE WITH DUKE REPRESENTATIVE XXXX. SEE ELECTRICAL RISER FOR ADDITIONAL REQUIREMENTS.
 - COORDINATE ALL ROUGH-IN LOCATIONS WITH ARCHITECTURAL ELEVATIONS AND DRAWINGS, SHOP DRAWINGS AND OTHER TRADES.
 - VERIFY ALL COUNTER HEIGHTS PRIOR TO ROUGH-IN.
 - GENERAL ELECTRICAL NOTES ON DRAWING E0.1 APPLY TO THIS DRAWING.
 - ALL RECEPTACLES LOCATED WITHIN SIX FEET OF SINKS SHALL BE GFCI TYPE WHETHER NOTED OR OTHERWISE.
 - 120V BRANCH CIRCUITS EXCEEDING 100 FEET SHALL BE #10 AWG THROUGHOUT LENGTH OF CIRCUIT.
 - SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF EQUIPMENT SUCH AS DUCT MOUNTED SMOKE DETECTORS, DDC PANEL, VFD'S, AHU'S, C.U.S, EXHAUST FANS, VAV UNITS, ETC.
 - SEE PLUMBING DRAWINGS FOR EXACT LOCATIONS OF EQUIPMENT SUCH AS WATER HEATER.
 - RECEPTACLES SERVING ELECTRIC WATER COOLERS SHALL BE LOCATED WITHIN COOLER HOUSING. COORDINATE EXACT LOCATION OF RECEPTACLE OUTLET WITH ELECTRIC WATER COOLER SHOP DRAWINGS AND PLUMBING SUBCONTRACTOR.
 - UL-LISTED ASSEMBLIES SHALL BE INSTALLED AT ALL PENETRATIONS OF RATED WALLS. JUNCTION BOXES LOCATED WITHIN RATED WALLS SHALL BE WRAPPED WITH FIRE STOP PUTTY PADS. ALL WORK SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
 - ALL RECEPTACLES SHALL BE LABELED WITH PANELBOARD NAME AND CIRCUIT NUMBER.
 - COORDINATE POWER CONNECTION TO EQUIPMENT WITH EQUIPMENT SUBMITTALS.
 - COORDINATE CONDUIT ROUTING AND OUTLET BOX INSTALLATION IN CASEWORK WITH SHOP DRAWINGS.

KEYNOTE LEGEND

NO.	DESCRIPTION
E1102	PROVIDE FURNITURE POWER SERVICE FEED-IN WHIPS FROM RECESSED POWER WALL J-BOXES MOUNTED AT 12" AFF. PROVIDE QUANTITY OF OUTLET BOXES, OUTLET BOX BLANK COVERS WITH 90 DEGREE CONNECTORS, J-BOXES, CONDUIT, RACEWAY AND RACEWAY ACCESSORIES AS REQUIRED TO ACCOMMODATE DATA CABLES SERVING LANDSCAPE FURNITURE OUTLETS. FIELD VERIFY LANDSCAPE FURNITURE POWER FEED-IN J-BOX LOCATION WITH FURNITURE SHOP DRAWINGS AND LANDSCAPE FURNITURE AND COORDINATE FURNITURE POWER DISTRIBUTION FIELD WIRING REQUIREMENTS WITH FURNITURE INSTALLER AND OWNER. COORDINATE FURNITURE POWER FEED-IN LOCATIONS WITH REFERENCED WORKSHEETS, INC. FURNITURE PLANS.
E3011	COORDINATE COPIER RECEPTACLE NEMA CONFIGURATION REQUIREMENTS WITH COPIER INSTALLER. UPGRADE CIRCUIT AND BRANCH CIRCUIT/CB AS REQUIRED.
E3012	CIRCUIT EXHAUST FAN TO RESTROOM LIGHT SWITCH.
E3013	PROVIDE THERMOSTAT OUTLET BOX AND 120V CIRCUITING TO ELECT. RM EXHAUST FAN.
E3014	DOOR ACCESS CONTROL CARD READER OVER FLUSH BACKBOX. PROVIDE FLUSH OUTLET BOX AND CONCEALED CONDUIT PATHWAYS FOR DEVICE AND CABLING. COORDINATE INSTALLATION REQUIREMENTS WITH ACS VENDOR.
E3015	CONCEALED DOOR CONTACT FOR ACCESS CONTROL SYSTEM. PROVIDE CONCEALED CONDUIT PATHWAYS FOR DEVICE WIRING. COORDINATE INSTALLATION REQUIREMENTS WITH OWNER'S ACS VENDOR.
E3016	ACCESS CONTROL SYSTEM PUSH TO EXIT STATION WITH REQUEST TO EXIT MOTION SENSOR MOUNTED ABOVE DOOR. PROVIDE FLUSH OUTLET BOX AND CONCEALED CONDUIT PATHWAYS FOR DEVICE AND CASING. COORDINATE INSTALLATION REQUIREMENTS WITH OWNER'S ACS VENDOR.
E3017	ELECTROMECHANICAL DOOR LOCK. COORDINATE WITH ARCHITECTURAL DOOR SCHEDULE AND ACCESS CONTROL SPECIFICATIONS. PROVIDE OUTLET BOX AND CONCEALED CONDUIT PATHWAYS TO SUPPLY POWER TO DOOR LOCK. COORDINATE INSTALLATION REQUIREMENTS WITH DOOR INSTALLER AND OWNER'S ACS VENDOR.
E3018	PROVIDE FLUSH MOUNTED OUTLET BOX FOR SECURITY SYSTEM HORN/STROBE (BY OTHERS). COORDINATE OUTLET ROUGH-IN LOCATION WITH OWNER'S SECURITY VENDOR. PROVIDE 3/4" CONDUIT WITH PULLSTRING FROM OUTLET TO SECURITY PANEL.
E3019	SITE CONDUITS STUB-UP. REFER TO SITE PLAN FOR SIZE AND ROUTING.
E3021	TYP. CABLE TRAY (BY OTHERS).
E3022	INSULATED GROUND BAR ASSEMBLY 1/4"x4"x12" COPPER ERICO EGBA1442CC, MOUNTED 18" ABOVE FLOOR. INSULATED COPPER GROUND CONDUCTOR ROUTED IN CONDUIT TO ELECTRICAL SERVICE GROUND.
E3023	3/4" PLYWOOD, PLUGGED A/C GRADE PER SPECIFICATIONS FROM 12" AFF TO 9'-0" AFF. COUNTERSUNK SCREWS. TWO COATS LIGHT GRAY LATEX PAINT.
E3024	TYP. MOUNT RECEPTACLES TO SIDE OF CABLE TRAY.
E3025	PROVIDE 3-3" CDS SLEEVES STUBBED-THRU SIDE WALL ABOVE CEILING WITH END BUSHINGS FOR FLOOR DATA CABLES ACCESS IN TELECOM ROOM.
E3027	2-POST COMMUNICATION RACK WITH 2 VERTICAL WIRE MANAGERS (BY OTHERS), LADDER TYPE RACK TO WALL WITH ALL REQUIRED MOUNTING HARDWARE (BY OTHERS), PROVIDE #4 GROUNDING BONDING CONDUCTOR TO RACKS.
E3028	THIS OUTLET SHALL BE LOCATED WITHIN 24" OF HVAC CONTROL PANEL. FIELD COORDINATE.
E3029	PROVIDE POWER AND DATA AND SIGNAL WALL BOX WITH POWER RECEPTACLE, BULKHEAD DEVICE PLATES AND OUTLET ACTIVATIONS. LEGRAND/WIREMOLD EVOLUTION SERIES EFSB4. COORDINATE MOUNTING HEIGHT AND LOCATION WITH WALL MOUNTED MONITOR SUPPORT BRACKETS SUCH THAT MONITOR CONCEALS BACKBOX FROM VIEW. ROUTE 1 1/4" CONDUIT STUB-UP ABOVE CEILING FOR SIGNAL CABLES AND 3/4" CONDUIT ABOVE CEILING FOR RECEPTACLE POWER CIRCUIT.
E6100	PROVIDE 2 - 1 1/4" CONDUITS FROM WALL OUTLET BOX STUBBED-OUT ABOVE CEILING WITH CONDUIT END BUSHINGS.
E6193	CIRCUIT THIS BRANCH CIRCUIT FURNITURE RECEPTACLE CIRCUIT WITH DEDICATED NEUTRAL VIA PULG LOAD CONTROL RELAY ABOVE CEILING PER FBC ENERGY CONSERVATION TO CODE C405.7.1 AND ASHRAE STANDARD 90.1. SEE DWG E1.2.2 FOR RELAY LOCATION AND REQUIREMENTS. PROVIDE LABEL ON CONTROLLED RECEPTACLE COVERS READING "CONTROLLED RECEPTACLE".



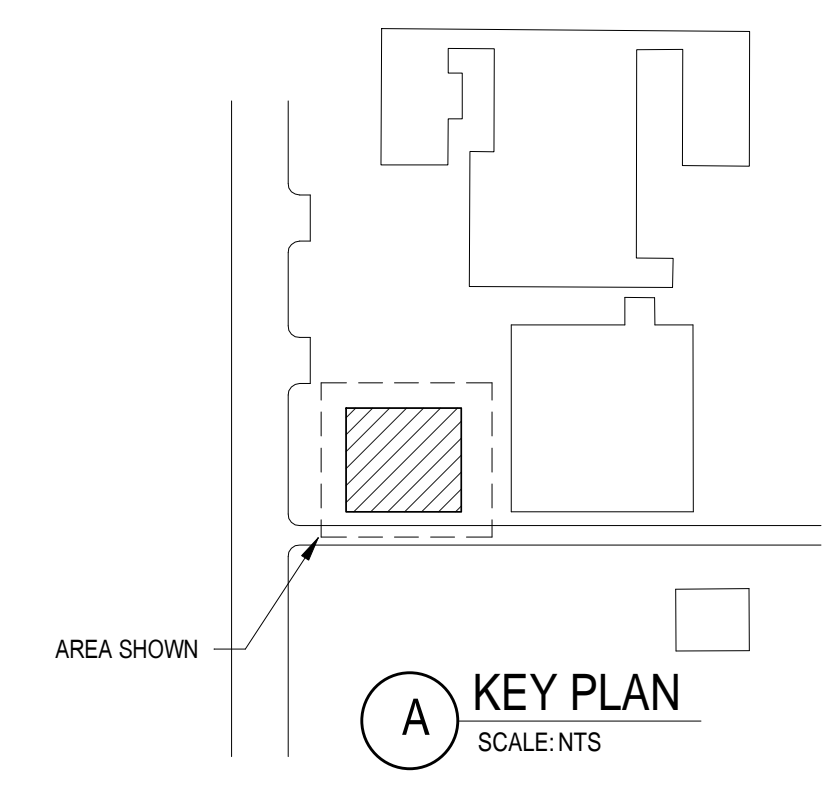
NOTE:
ALL DEVICES SHOWN ARE CIRCUITED TO PANEL RP, UON.

KEYNOTE LEGEND

NO.	DESCRIPTION
E6198	JUNCTION BOX FOR CONNECTION TO DOOR ACS POWER SUPPLY CABINET (BY OTHERS) LOCATED ABOVE CEILING. COORDINATE INSTALLATION WITH ACS DOOR INSTALLER. SEE DETAIL FOR ADDITIONAL REQUIREMENTS.

KEYNOTE LEGEND

NO.	DESCRIPTION
E6194	PROVIDE FURNITURE SERVICE FEED-IN WHIPS FROM RECESSED DATA WALL J-BOXES MOUNTED AT 12" AFF. AS REQUIRED. PROVIDE QUANTITY OF OUTLET BOXES, OUTLET BOX BLANK COVERS WITH 90 DEGREE CONNECTORS, J-BOXES, CONDUIT, RACEWAY AND RACEWAY ACCESSORIES AS REQUIRED TO ACCOMMODATE DATA CABLES SERVING LANDSCAPE FURNITURE DATA OUTLETS (DATA CABLES BY OTHERS) FIELD VERIFY LANDSCAPE FURNITURE CABLE FEED-IN J-BOX LOCATIONS WITH FURNITURE SHOP DRAWINGS AND LANDSCAPE FURNITURE AND COORDINATE FURNITURE DATA FIELD WIRING REQUIREMENTS WITH FURNITURE INSTALLER AND OWNER. COORDINATE FURNITURE DATA CABLING FEED-IN LOCATIONS WITH OWNER'S FURNITURE VENDOR'S FURNITURE PLANS.
E6195	PROVIDE RANDL INDUSTRIES, INC. 5" SQUARE TELECOMMUNICATIONS OUTLET BOX WITH 1 1/4" SIDE KNOCKOUTS, MODEL #T-55017
E6196	PROVIDE INDIVIDUAL FULL VOLTAGE, NEMA SIZE "0" CONTACTORS WITH GREEN "RUN" LIGHT, 120V COIL AND NEMA-1 ENCLOSURE. CONTROL BY EMCS RELAYS. SEE PANELBOARD SCHEDULE FOR BRANCH CIRCUIT INFORMATION. PROVIDE CONTACTOR FOR EACH FAN NOTED AND LABEL COVERS OF CONTACTORS ACCORDINGLY. STACK CONTACTORS VERTICALLY TO FIT WITHIN SPACE SHOWN.



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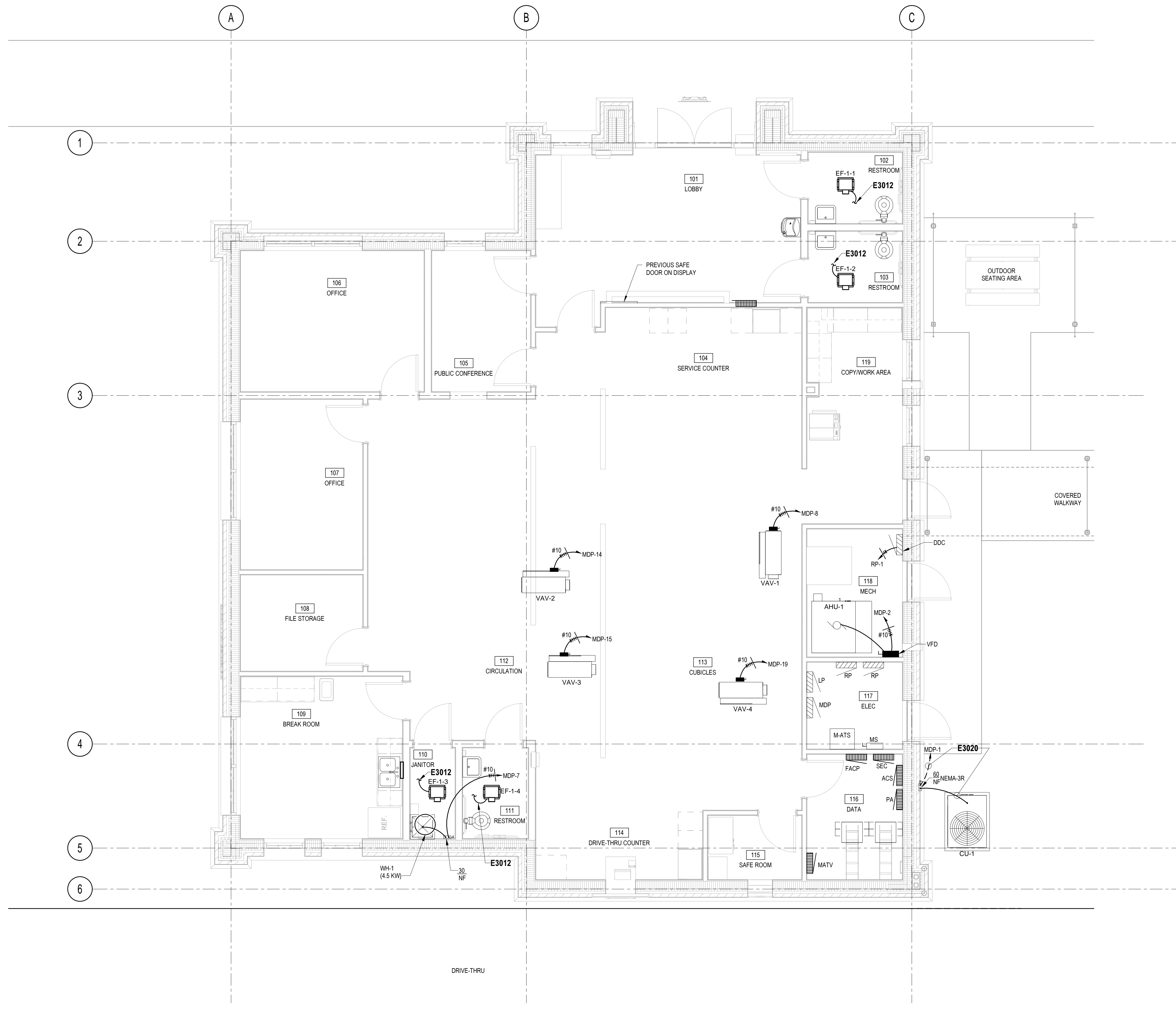
No.	Date	Issues & Revisions
2	12/10/2020	DESIGN DEVELOPMENT
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TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

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Checked By: RAR
Job No: 19035
Date: MARCH 5, 2021
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POWER AND SIGNAL FLOOR PLAN

E3.1



GENERAL NOTES	
A. GENERAL ELECTRICAL NOTES ON DRAWING E0.1 APPLY TO THIS DRAWING.	
B. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF EQUIPMENT SUCH AS DUCT MOUNTED SMOKE DETECTORS, DDC PANELS, VFD DRIVES, AHU'S, CU'S, EXHAUST FANS, VAV UNITS, ETC.	
C. SEE PLUMBING DRAWINGS FOR EXACT LOCATIONS OF EQUIPMENT SUCH AS WATER HEATERS AND WATER RECIRCULATION PUMPS.	
D. UL-LISTED ASSEMBLIES SHALL BE INSTALLED AT ALL PENETRATIONS OF RATED WALLS. JUNCTION BOXES LOCATED WITHIN RATED WALLS SHALL BE WRAPPED WITH FIRE STOP PUTTY PADS. ALL WORK SHALL BE CONCEALED UNLESS OTHERWISE NOTED.	
KEYNOTE LEGEND	
NO.	DESCRIPTION
E3012	CIRCUIT EXHAUST FAN TO RESTROOM LIGHT SWITCH.
E3020	PROVIDE 3-#6 #8 EGC IN 1\"/>

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410 NORTH RING AVENUE TARPON SPRINGS, FL 34689

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ROBERT A. RACE II, P.E.
PE514853

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2	12/10/2020	DESIGN DEVELOPMENT
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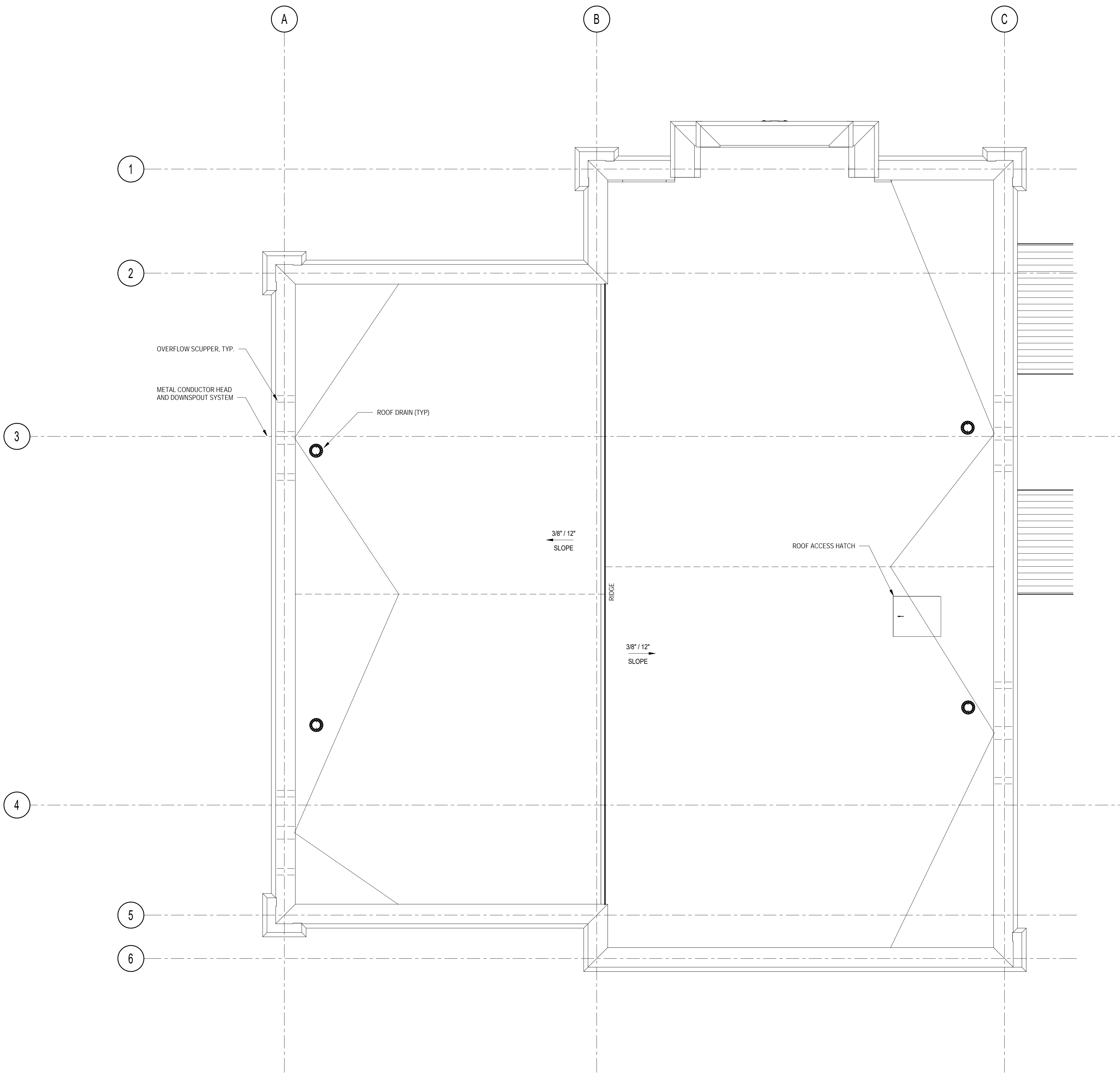
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HVAC POWER PLAN

E3.2

N 1 HVAC POWER PLAN
SCALE: 1/4" = 1'-0"



OVERFLOW SCUPPER, TYP.
METAL CONDUCTOR HEAD AND DOWNSPOUT SYSTEM

ROOF DRAIN (TYP)

3/8" / 12" SLOPE

3/8" / 12" SLOPE

ROOF ACCESS HATCH

RIDGE

1 ROOF PLAN
SCALE: 1/4" = 1'-0"
0' 2' 4' 8'

GENERAL NOTES

- A. COORDINATE EXACT LOCATIONS OF MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS.
- B. REFER TO DRAWING 1E0.1 FOR LEGEND AND GENERAL NOTES
- C. COORDINATE ALL WORK WITH THE OWNER AND OTHER TRADES

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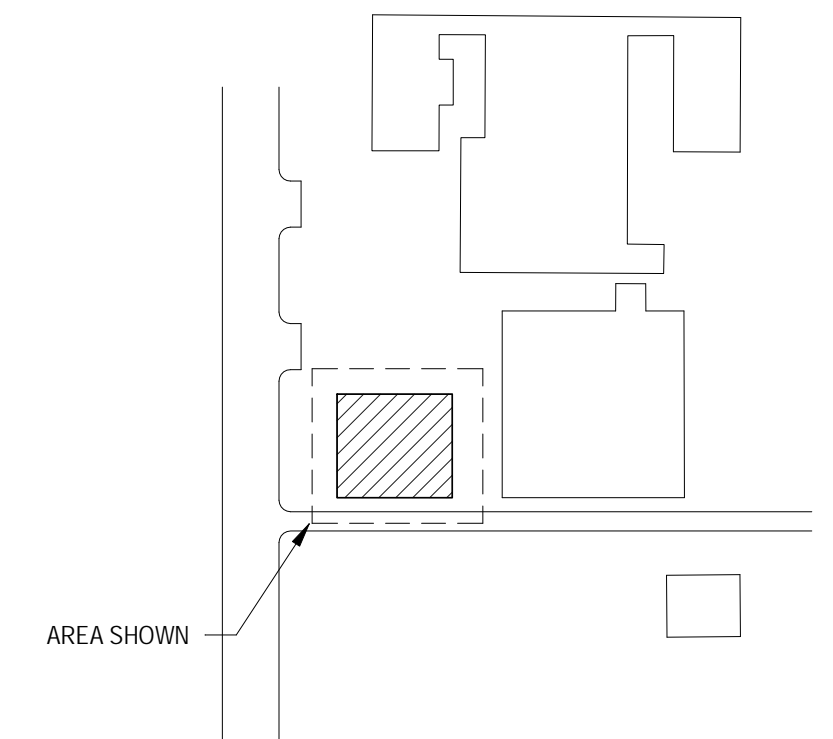
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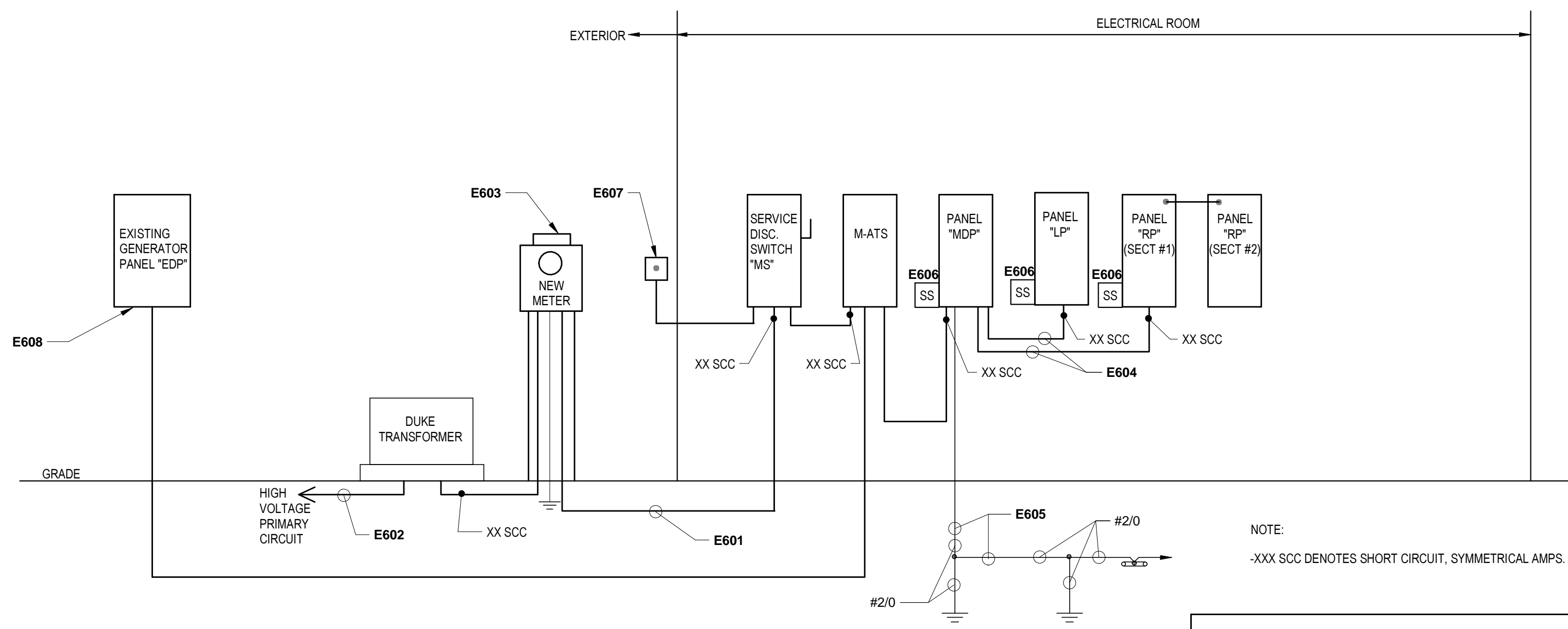
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ROOF PLAN



A KEY PLAN
SCALE: NTS

E3.3



NOTE:
 -XXX SCC DENOTES SHORT CIRCUIT, SYMMETRICAL AMPS.

NOTE:
 A. CALCULATED FAULT CURRENTS ONLY SHOWN WHERE THEY EXCEED 10,000 AMPS.
 B. WIRE SIZES INDICATED ARE BASED ON VOLTAGE DROP AND HARMONIC CURRENT CONSIDERATIONS AND CALCULATIONS.

1 CLERKS BLDG OFFICE - ELECTRICAL RISER
 SCALE: NTS

CONSTRUCTION KEYNOTES	
NO.	DESCRIPTION
E601	NEW SERVICE LATERAL.
E602	PRIMARY CIRCUIT PROVIDED BY DUKE ENERGY.
E603	NEW DEMAND METER. COORDINATE SERVICE REQUIREMENTS WITH FP&L.
E604	SEE PANEL SCHEDULES FOR FEEDER REQUIREMENTS.
E605	NEW SERVICE ELECTRODE GROUNDING CONDUCTORS.
E606	SURGE SUPPRESSION DEVICE. SEE SPECIFICATIONS FOR REQUIREMENTS.
E607	BLDG POWER SERVICE DISCONNECT BREAK GLASS STATION. PROVIDE WIRING IN CONDUIT AS REQUIRED. SEE FLOOR PLAN DWGS FOR LOCATION.
E608	PROVIDE NEW 200/3 CB IN EXISTING PANEL TO SERVE NEW CLERKS BLDG EMERGENCY FEEDER CIRCUIT.

BUILDING 7 OFFICE SERVICE LOAD SUMMARY		
LOAD	CONN KVA	DESIGN KVA
LIGHTING	XX	XX
RECEPTACLES	XX	XX
WATER HEATER	XX	XX
COOLING	XX	###
HEATING	XX	XX
LARGEST MOTOR	-	-
FANS	XX	XX
FUTURE RESTAURANT	XX	XX
MISC EQUIPMENT	-	-
TOTALS	XX	XX
FUTURE (20%)		XX
GRAND TOTAL		XX

XX KVA = XX AMPS => XX AMP SERVICE
 1.73 X 0.208
 ### NONCOINCIDENT LOAD, NEC 220.60

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ELECTRICAL RISER

E6.2

WIRE SIZE SCHEDULE	
NO.	WIRE AND CONDUIT SIZE
1	3 SETS OF 4-#500 KCMIL IN 4" CNDS.
2	2 SETS OF 4-#350 KCMIL, #10 EGC IN 3" CNDS.
3	4-#6, #8 EGC IN 1" CND.
4	4-#1, #6 EGC IN 2" CND.
5	4-#400 KCMIL, #3 EGC IN 3 1/2" CND.
6	4-#350 KCMIL, #3 EGC IN 3" CND.
7	4-#350 KCMIL, #3 EGC IN 3" CND.

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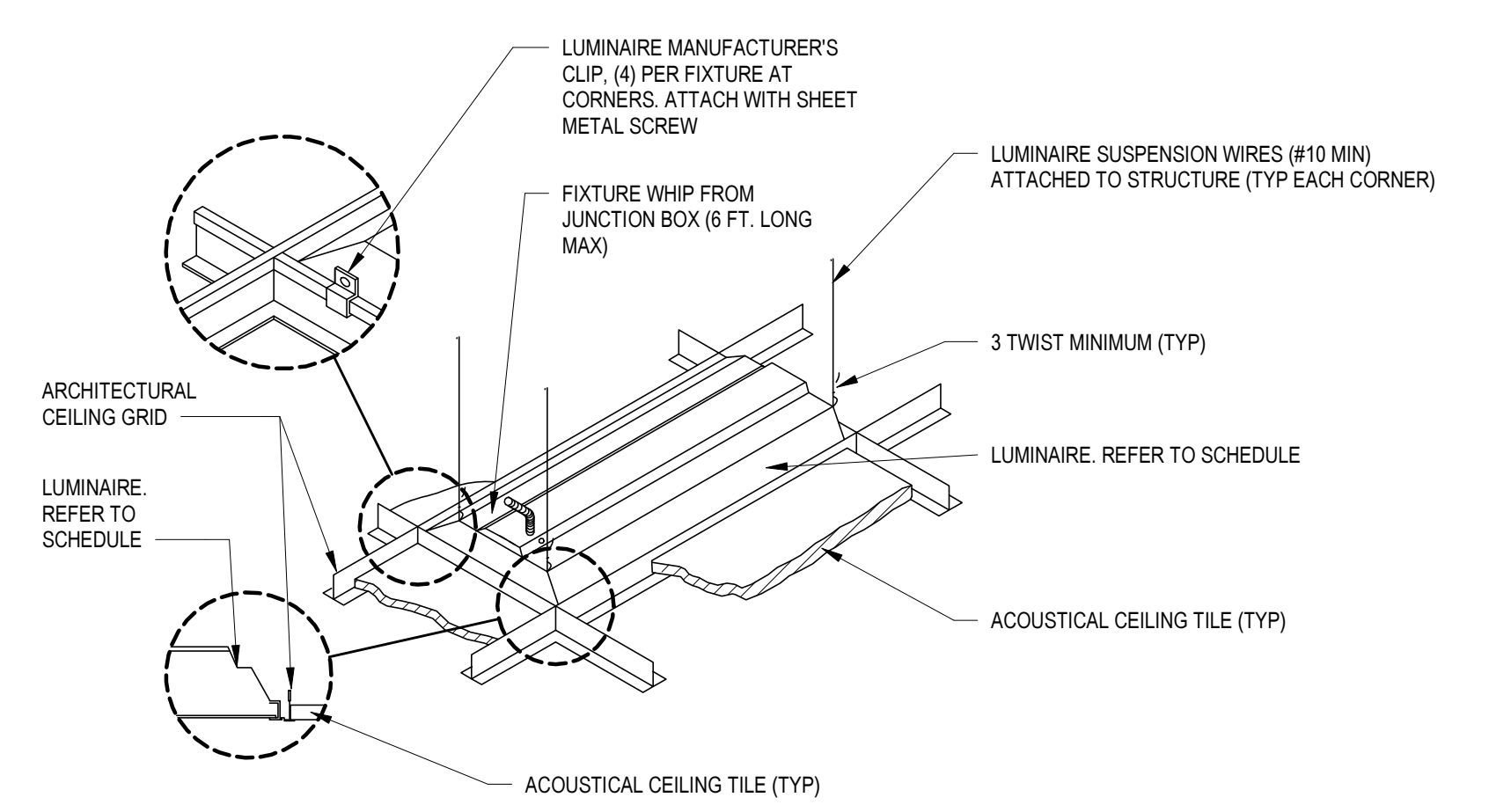
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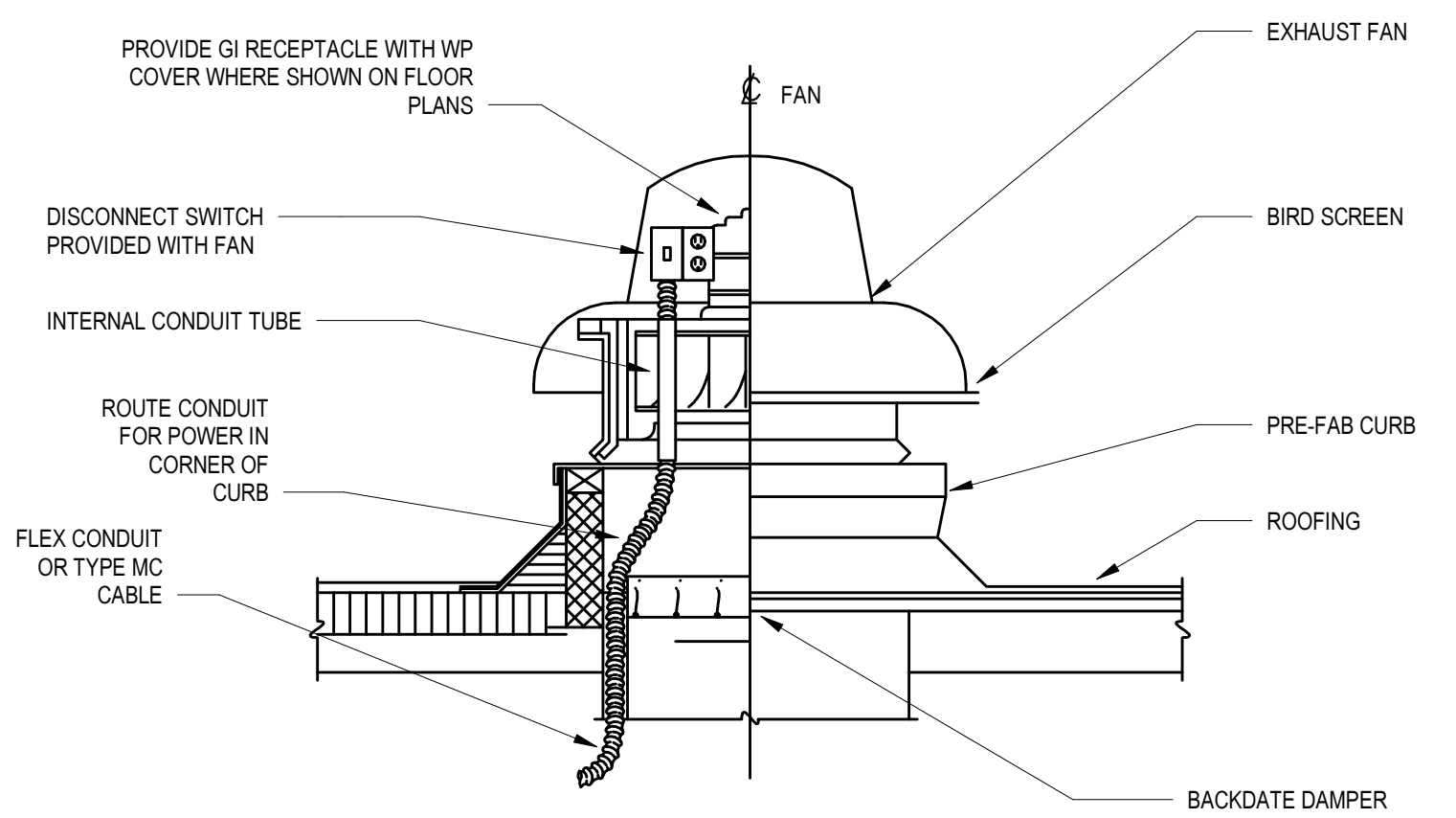
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DETAILS

E7.1

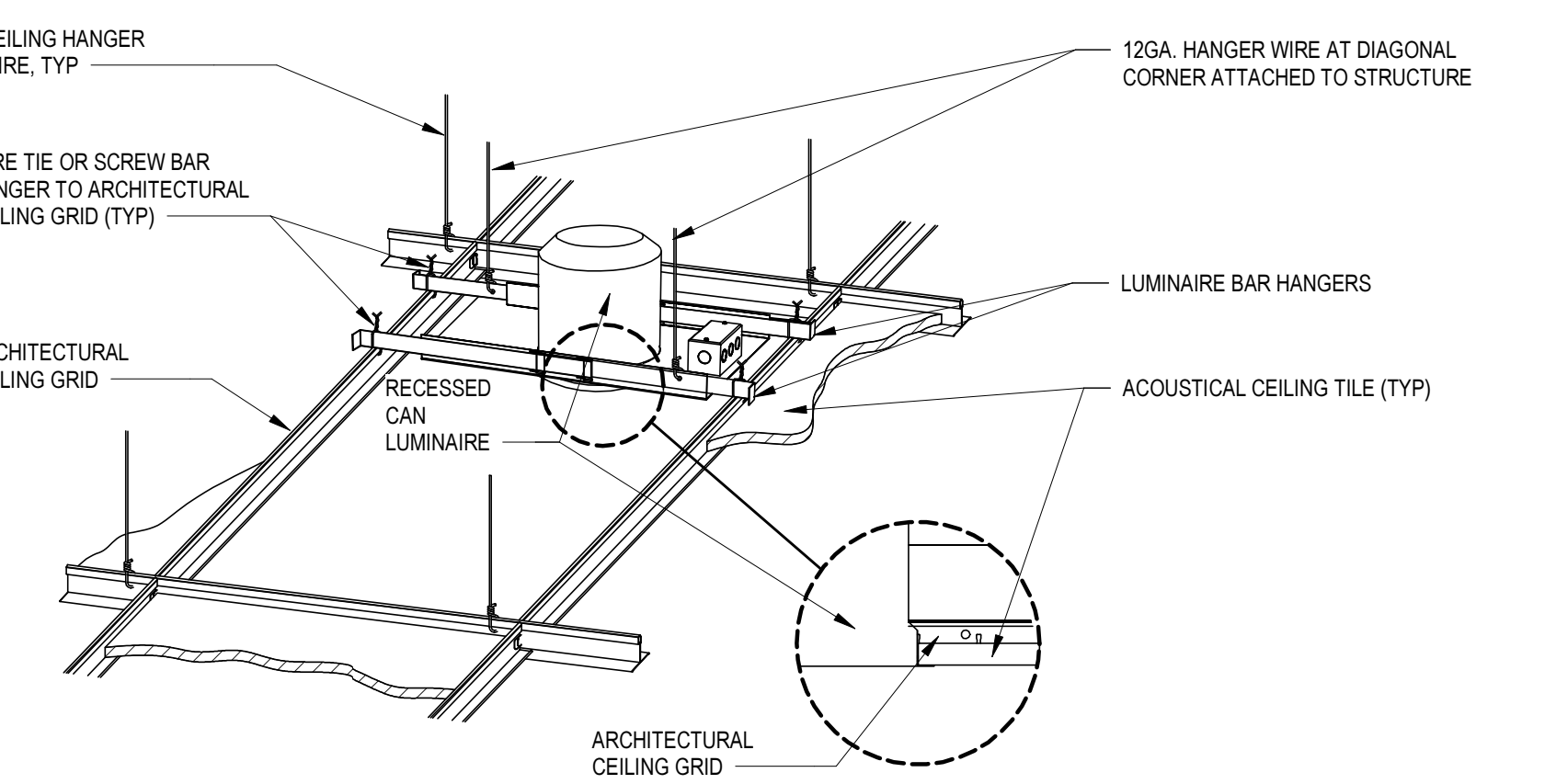


3 LUMINAIRE MOUNTING - LAY-IN CEILING DETAIL
SCALE: NTS

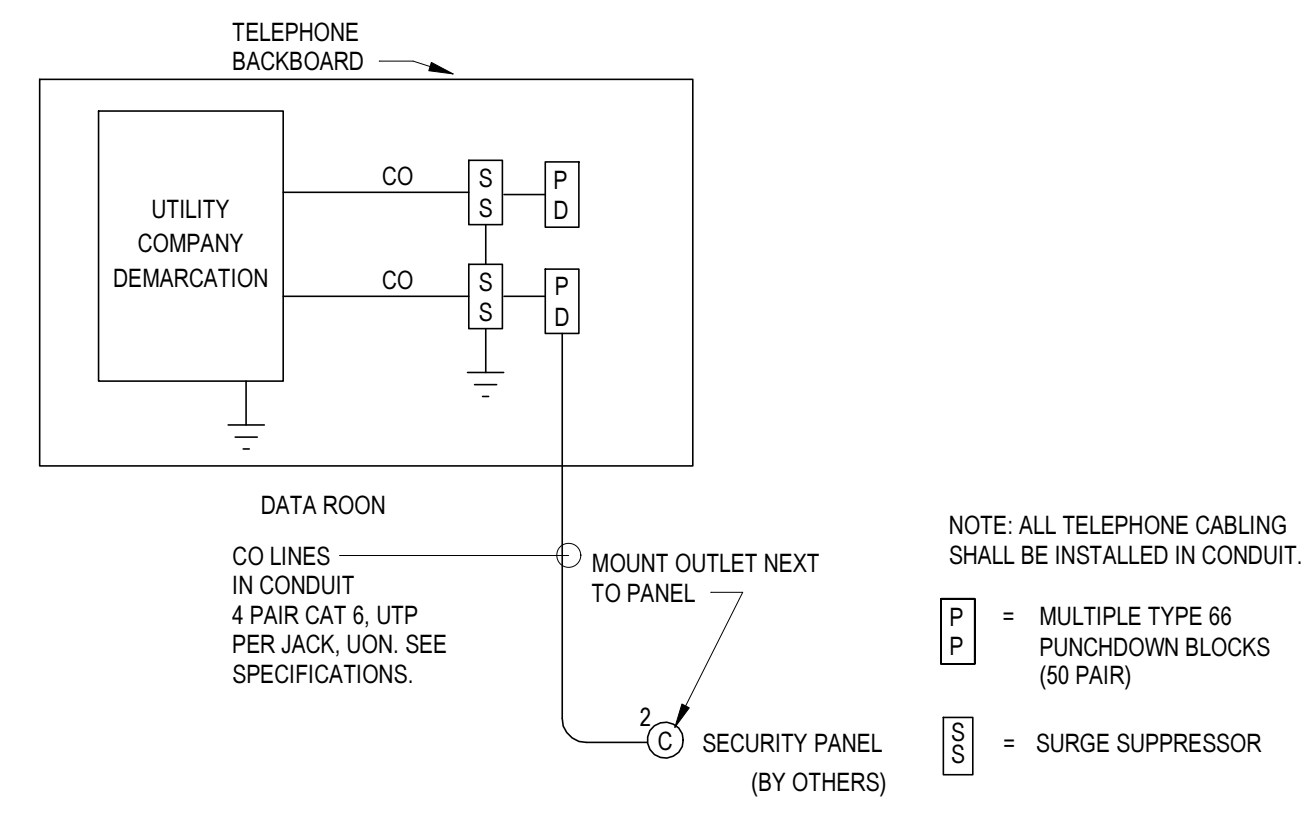


6 EXHAUST FAN DETAIL
SCALE: NTS

NOTE:
PITCH POCKETS OR SEPARATE PENETRATIONS ARE PROHIBITED. COORDINATE ROUGH-IN WITH SHOP DRAWINGS.



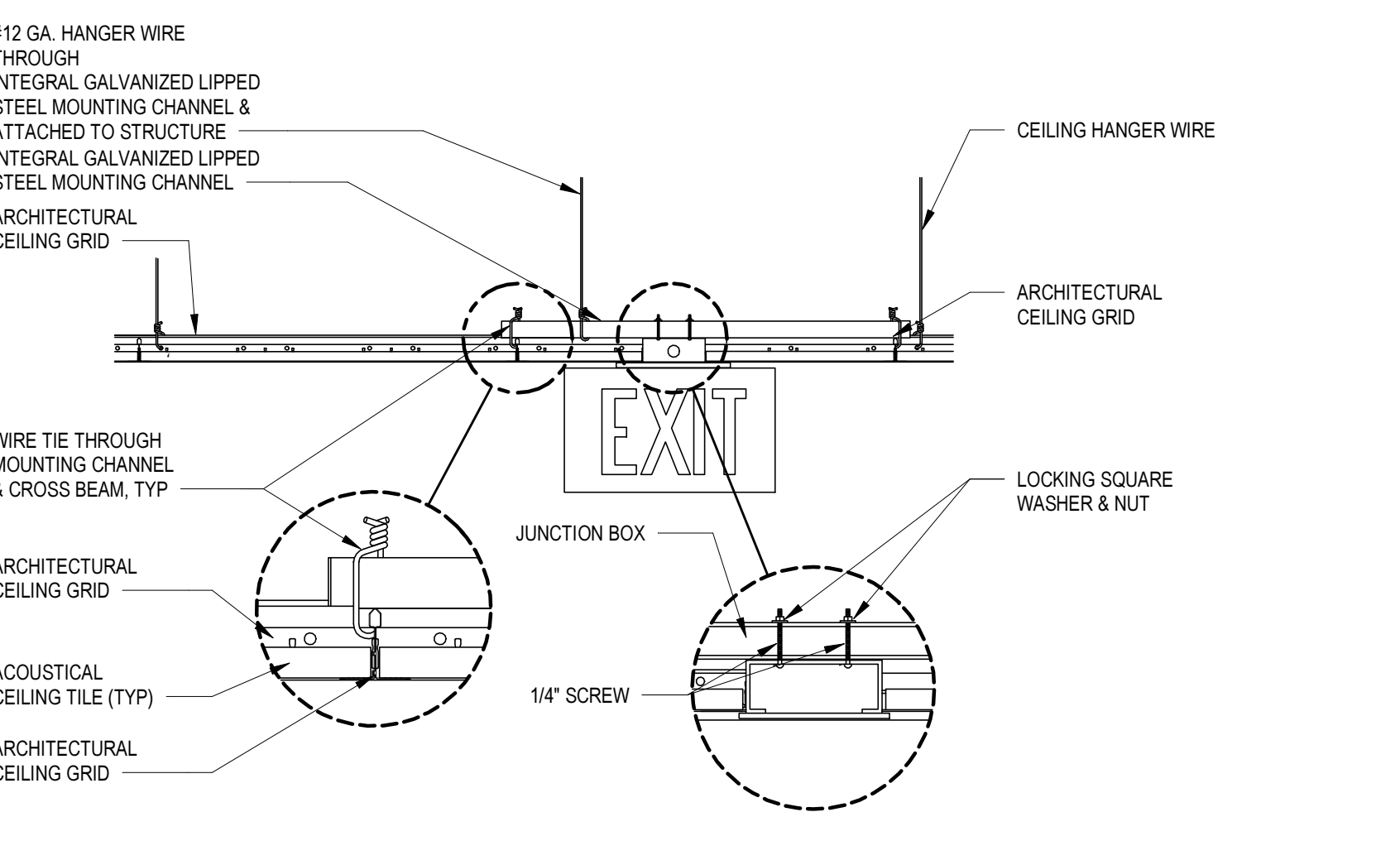
2 DOWNLIGHT MOUNTING - LAY-IN CEILING DETAIL
SCALE: NTS



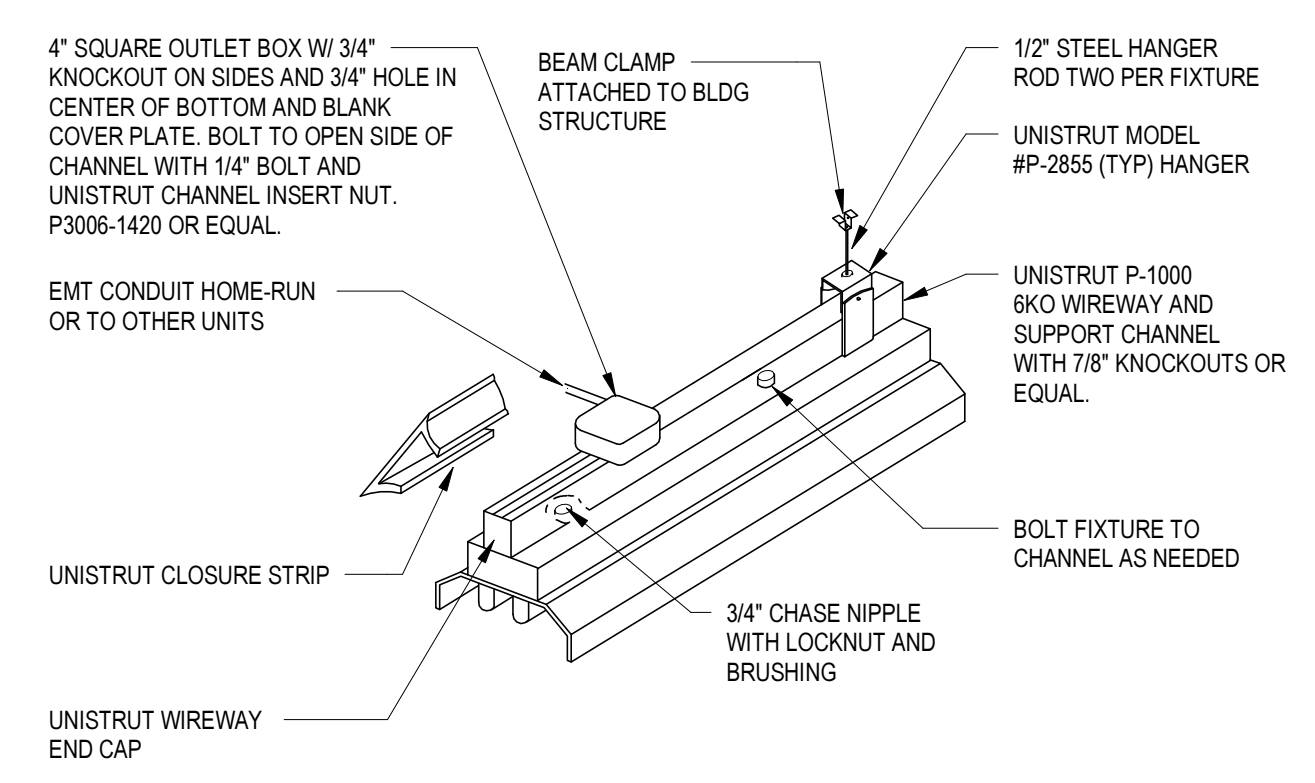
5 TELEPHONE RISER
SCALE: NTS

NOTE: ALL TELEPHONE CABLING SHALL BE INSTALLED IN CONDUIT.

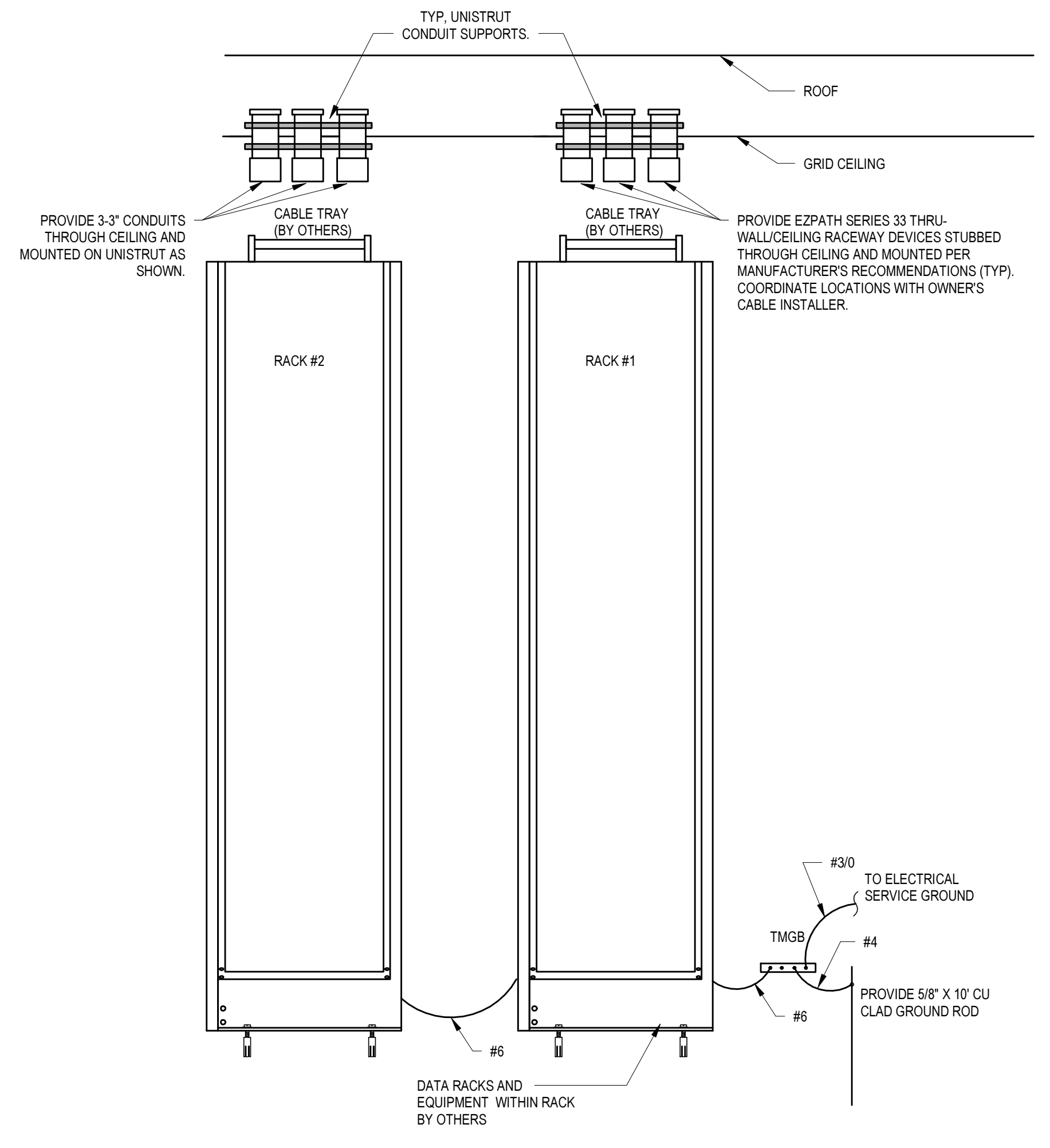
P = MULTIPLE TYPE 66 PUNCHDOWN BLOCKS (50 PAIR)
S = SURGE SUPPRESSOR



1 EXIT SIGN MOUNTING - LAY-IN CEILING DETAIL
SCALE: NTS

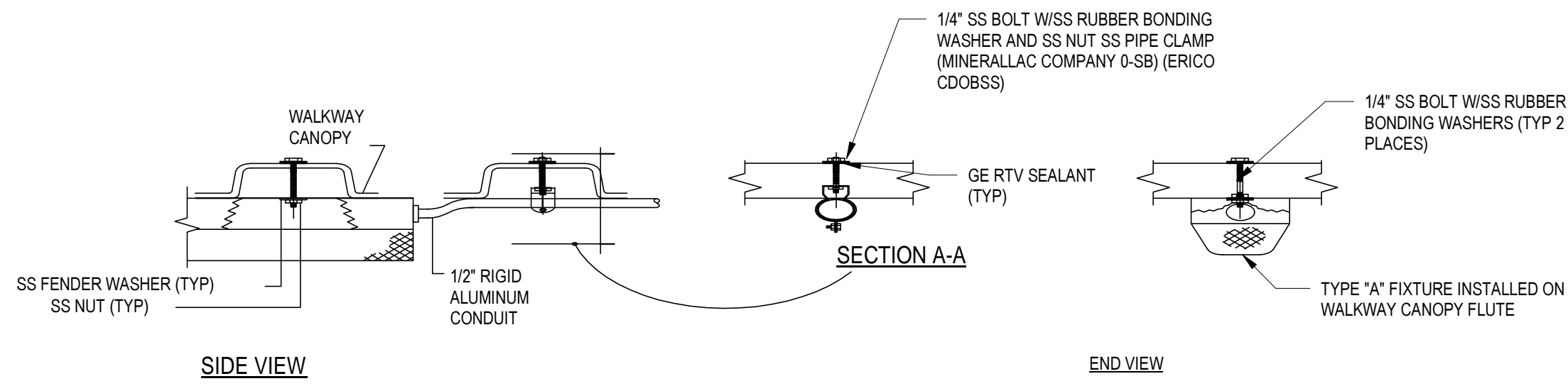


4 PENDANT MOUNTED FIXTURE DETAIL
SCALE: NTS

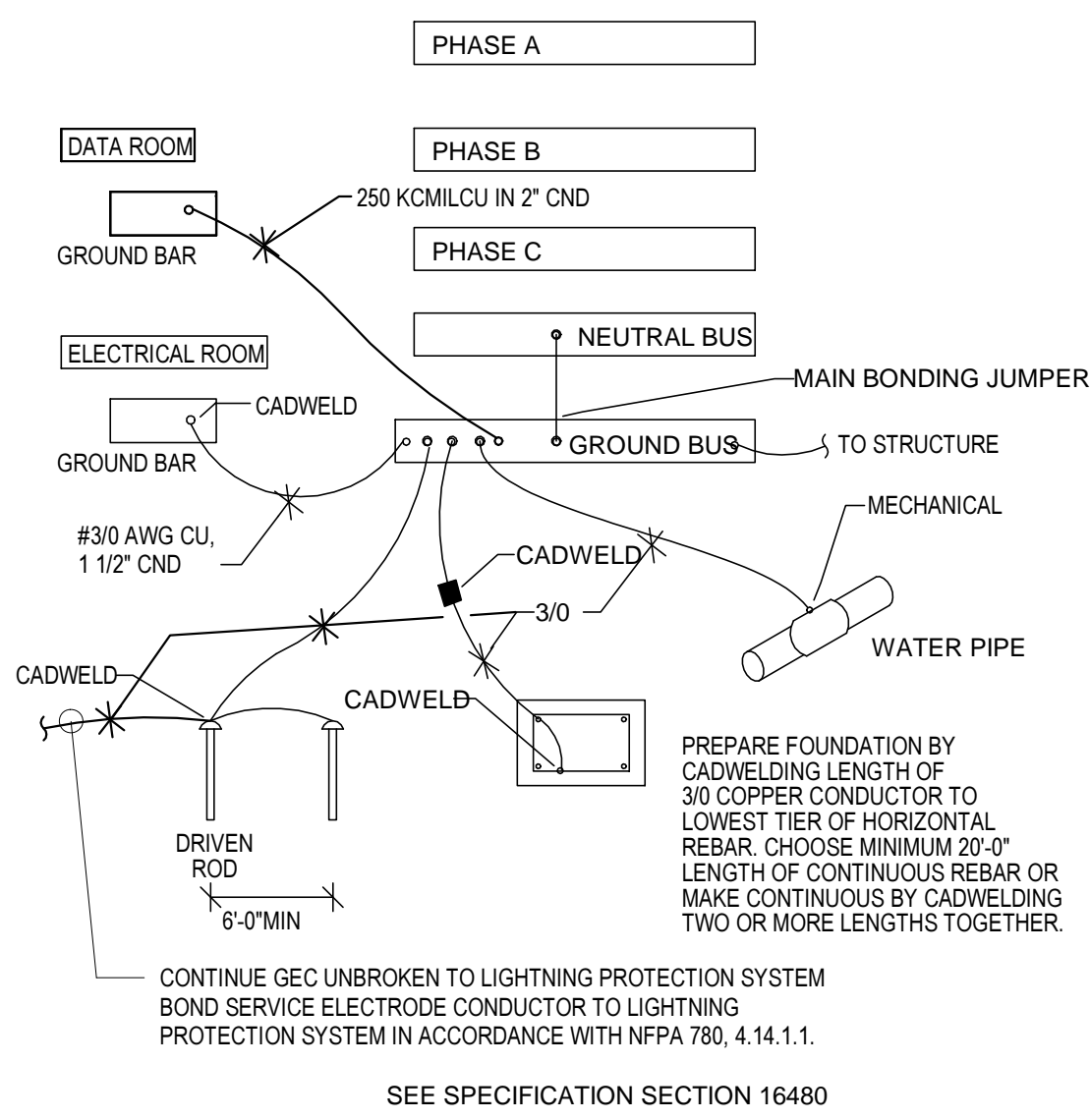


7 DATA RACK ELEVATION
SCALE: NTS

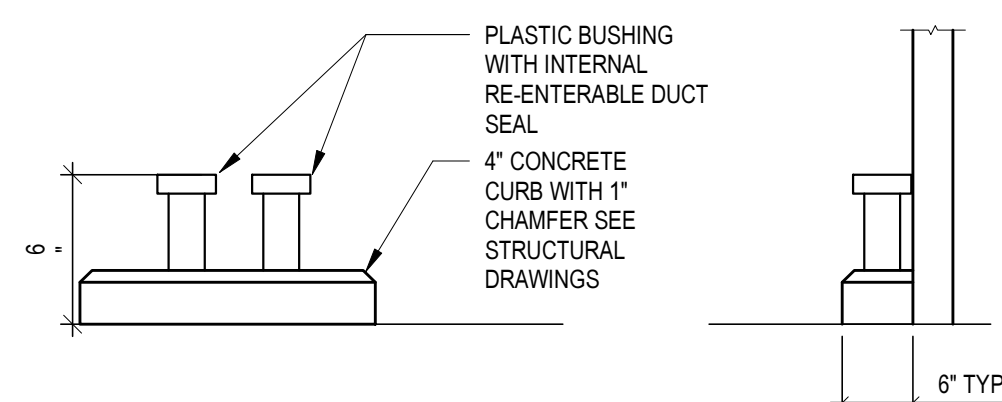
PROVIDE 3-3\"/>



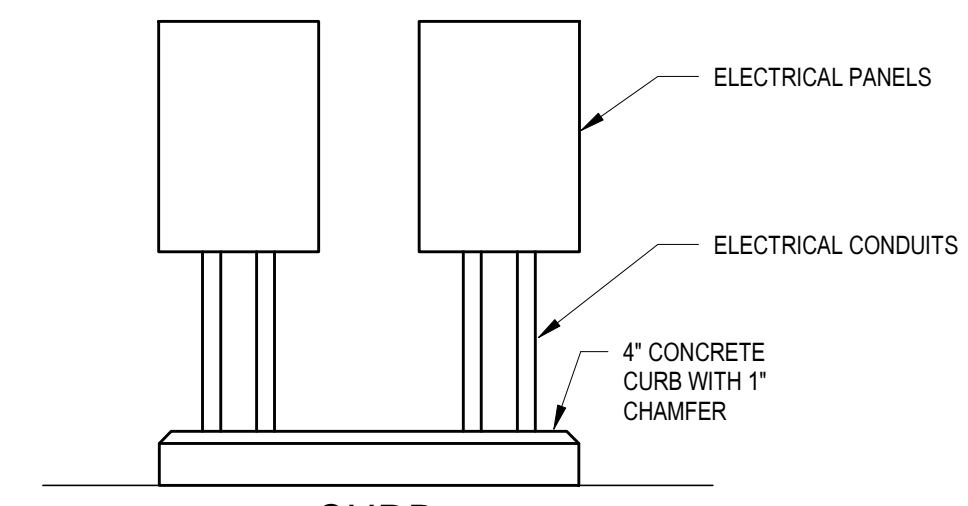
10 EXTERIOR CANOPY LIGHT FIXTURE DETAIL
SCALE: NTS



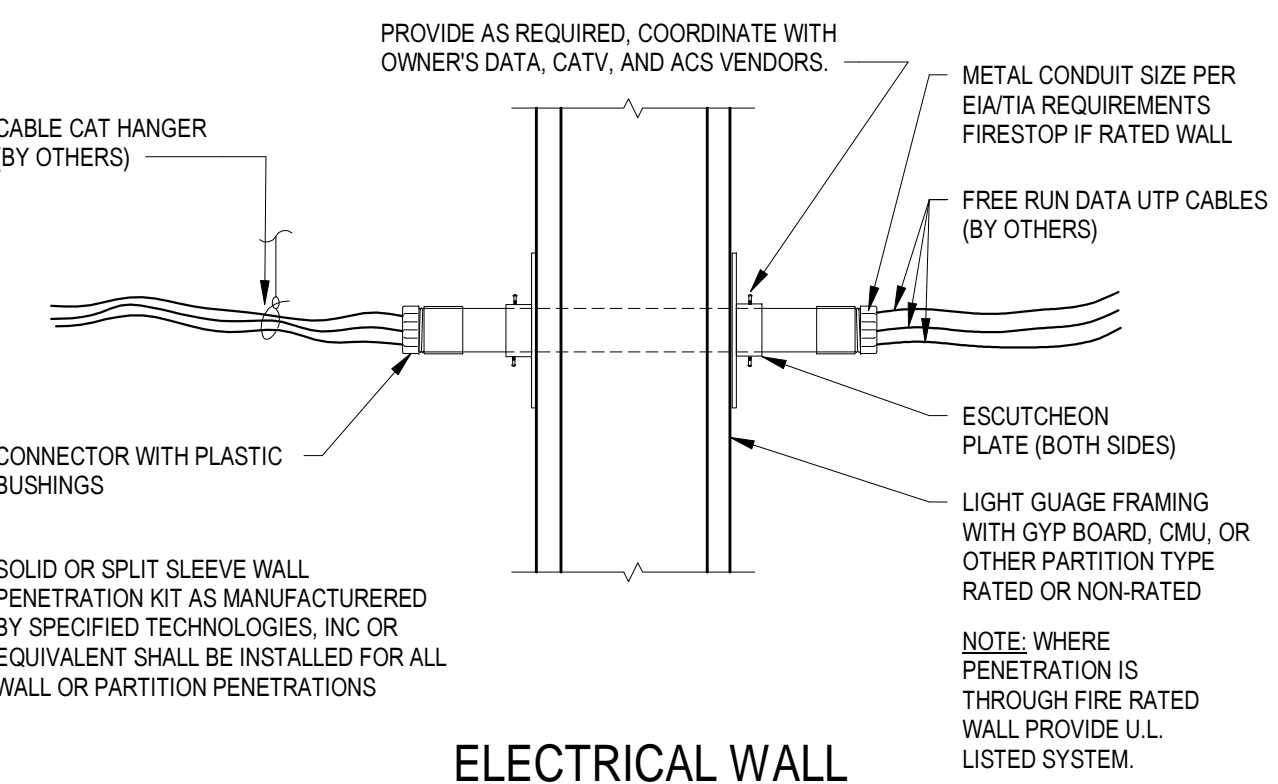
9 SERVICE GROUNDING ELECTRODE
SCALE: NTS



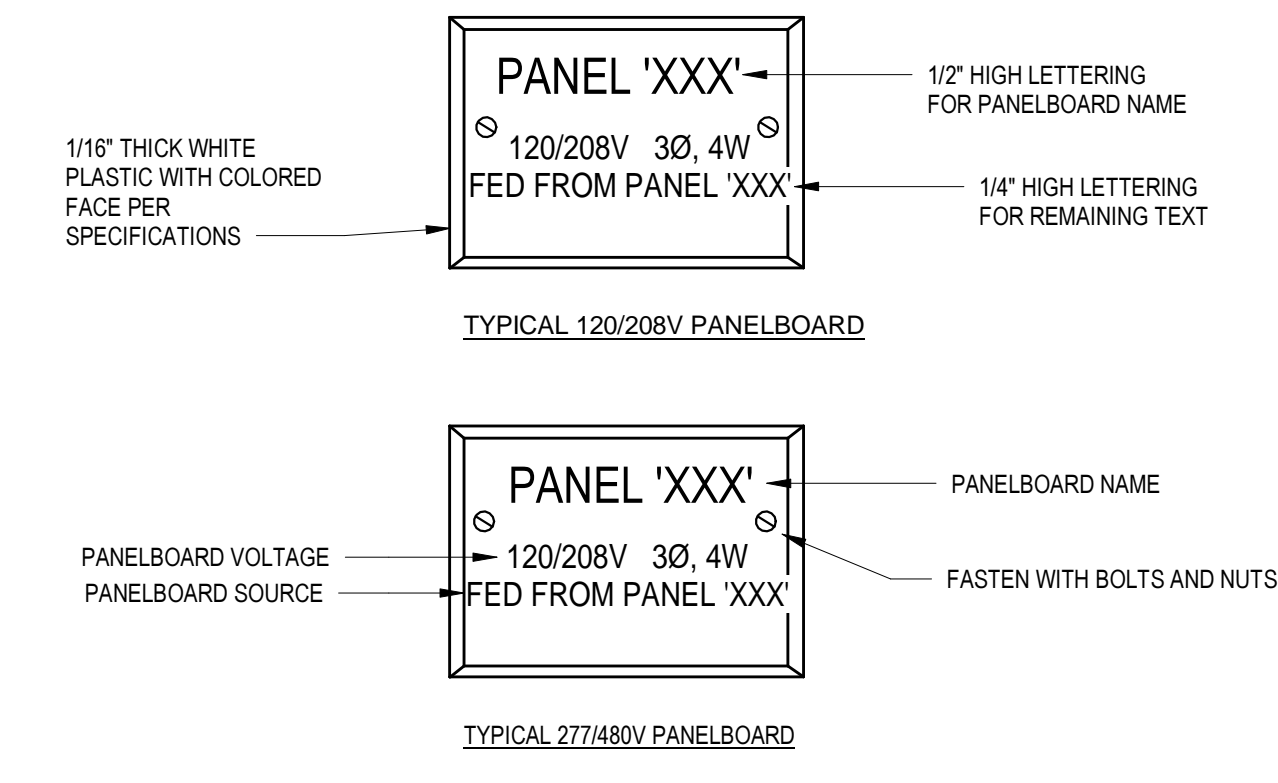
8 CONDUIT STUB-UP DETAIL
SCALE: NTS



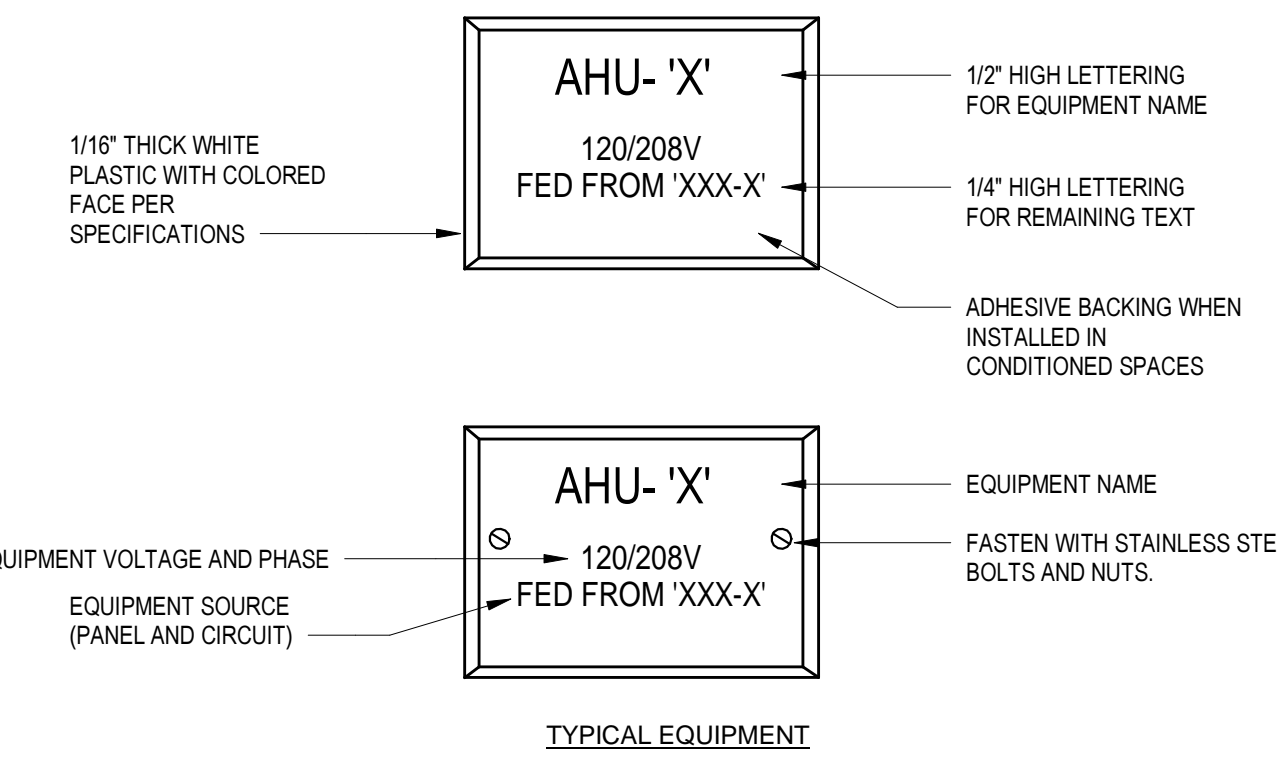
7 CURB DETAIL
SCALE: NTS



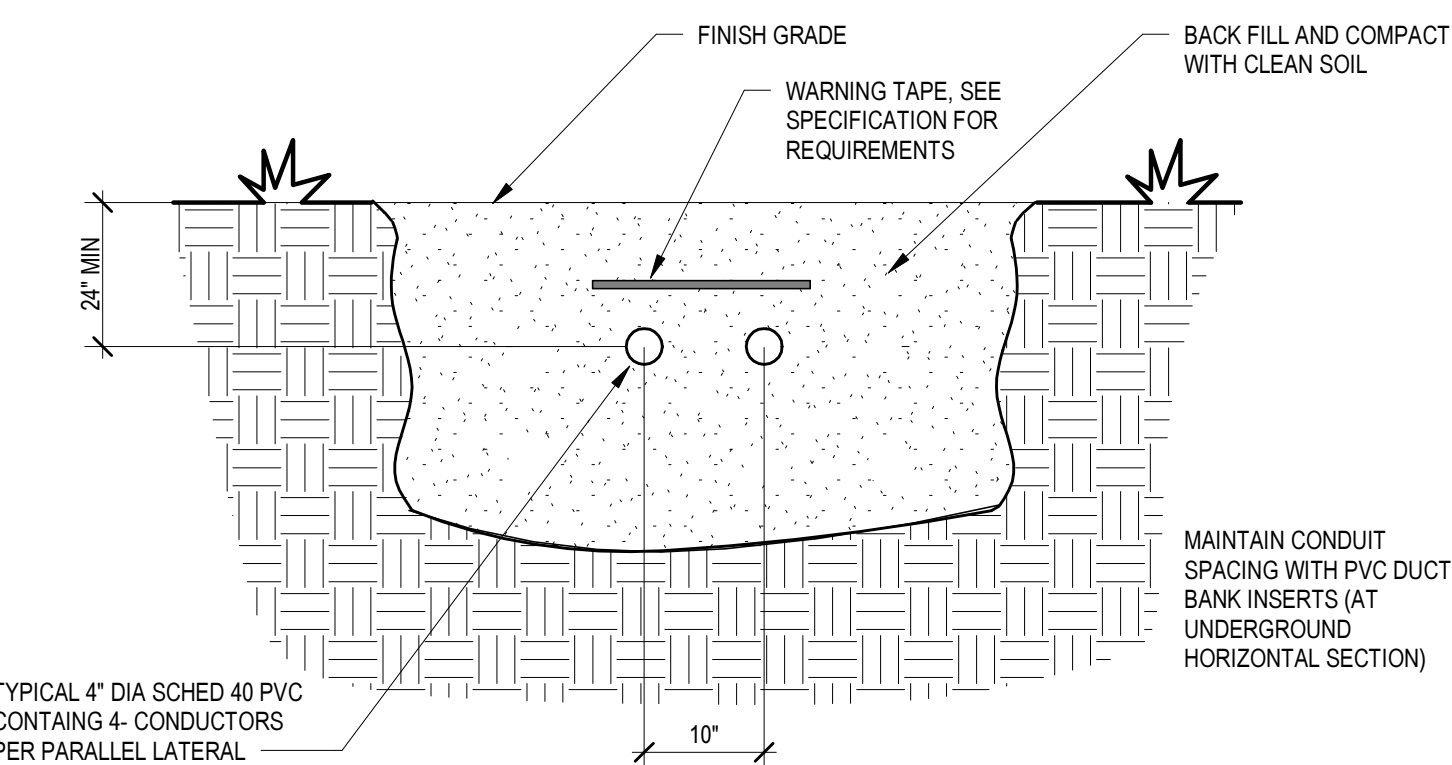
6 ELECTRICAL WALL PENETRATION TYPICAL SECTION
SCALE: NTS



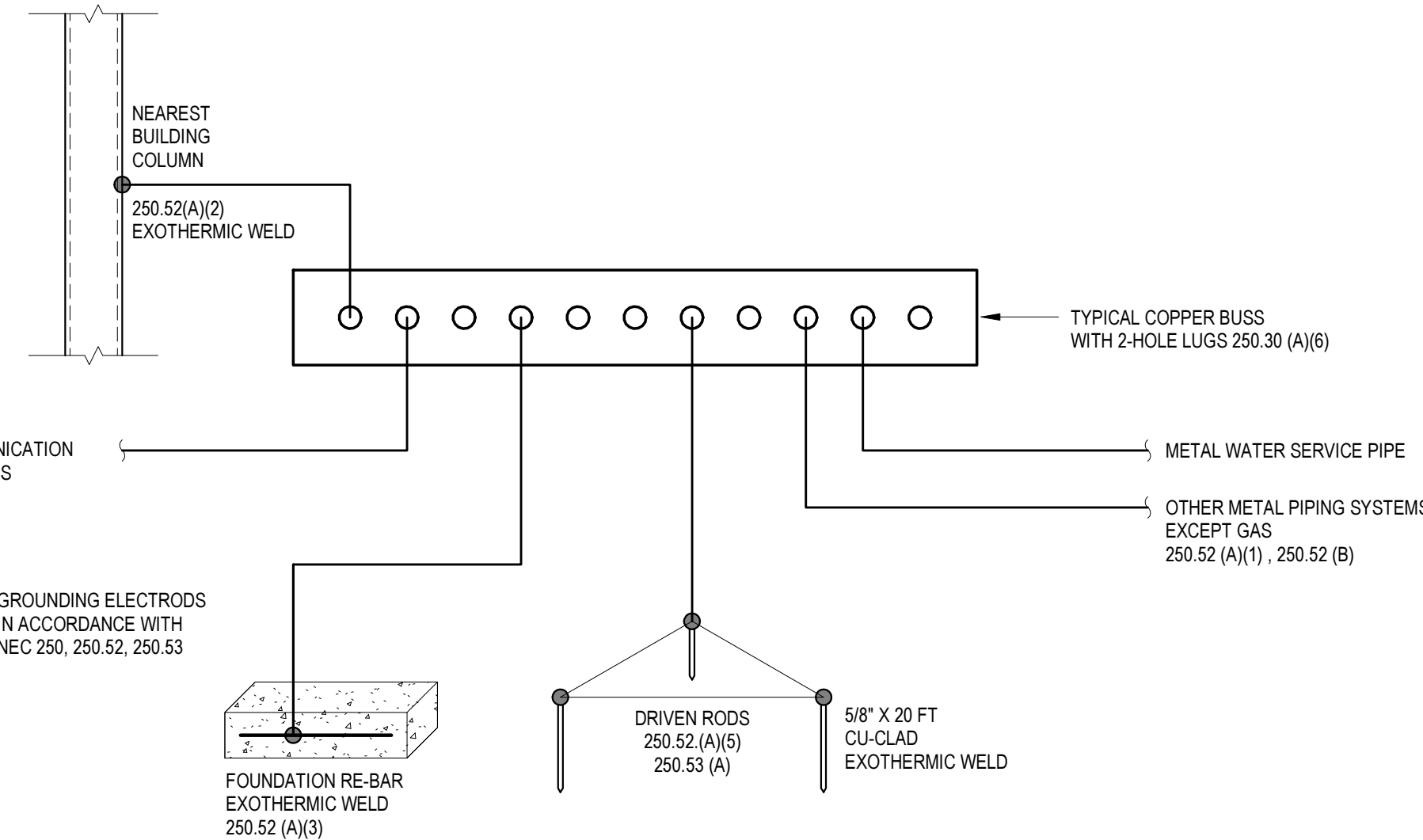
5 PANELBOARD NAMEPLATE DETAIL
SCALE: NTS



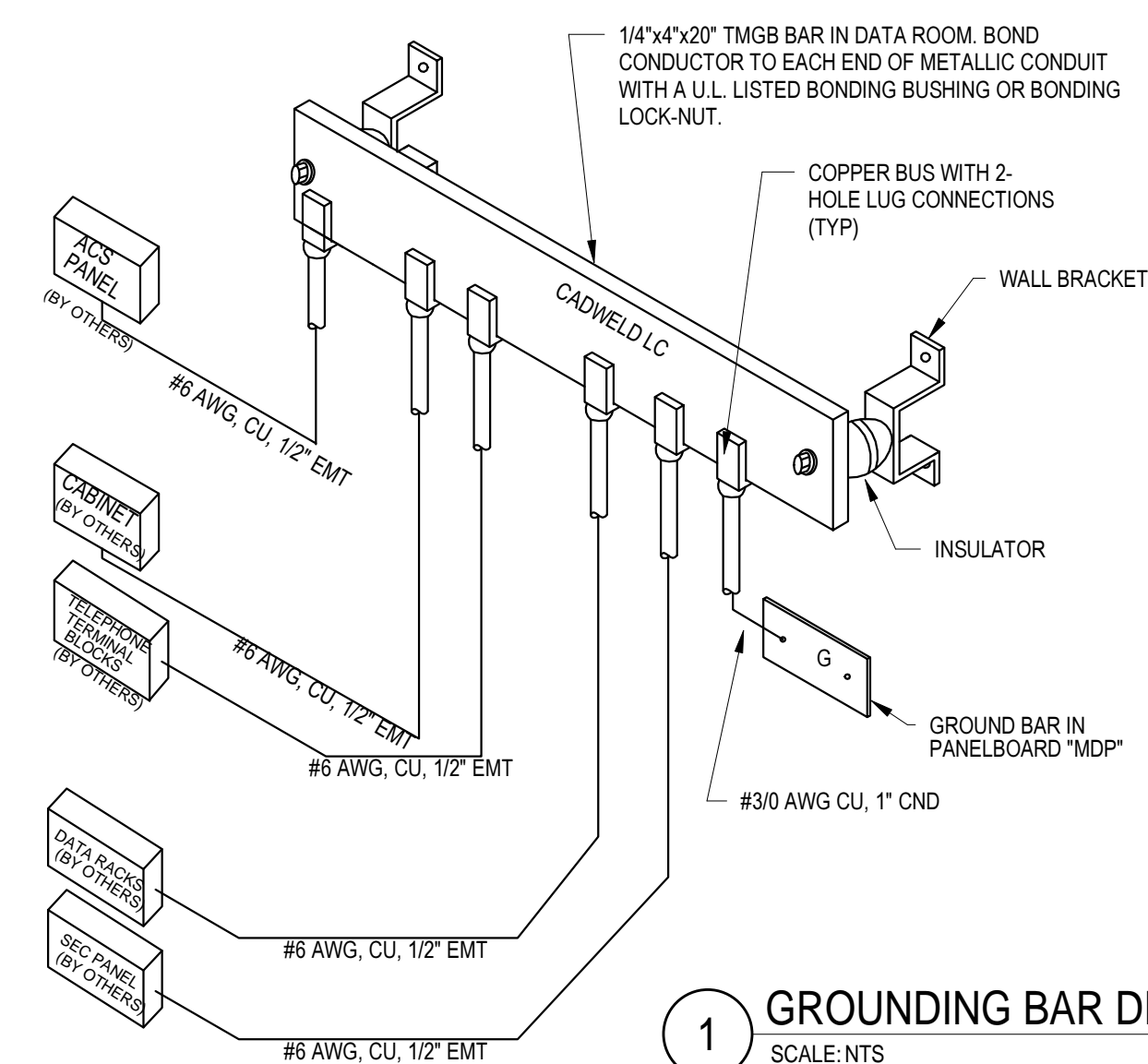
4 EQUIPMENT NAMEPLATE DETAIL
SCALE: NTS



3 SECONDARY SERVICE LATERAL DUCT BANK SECTION
SCALE: NTS



2 GROUNDING SCHEMATIC
SCALE: NTS

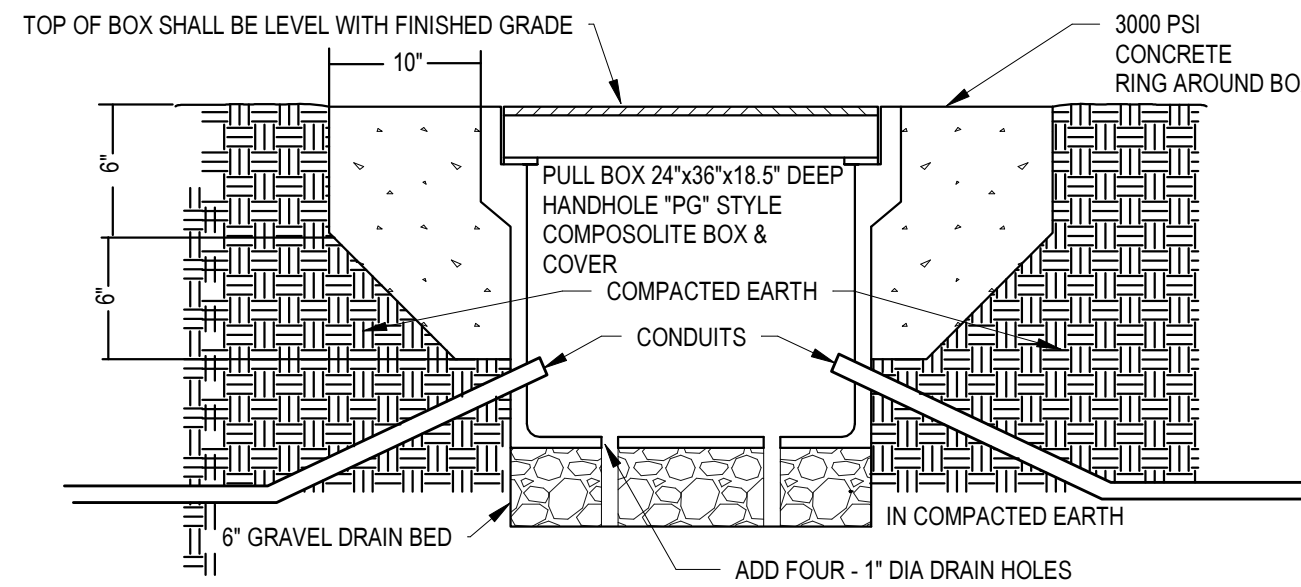


1 GROUNDING BAR DETAIL
SCALE: NTS

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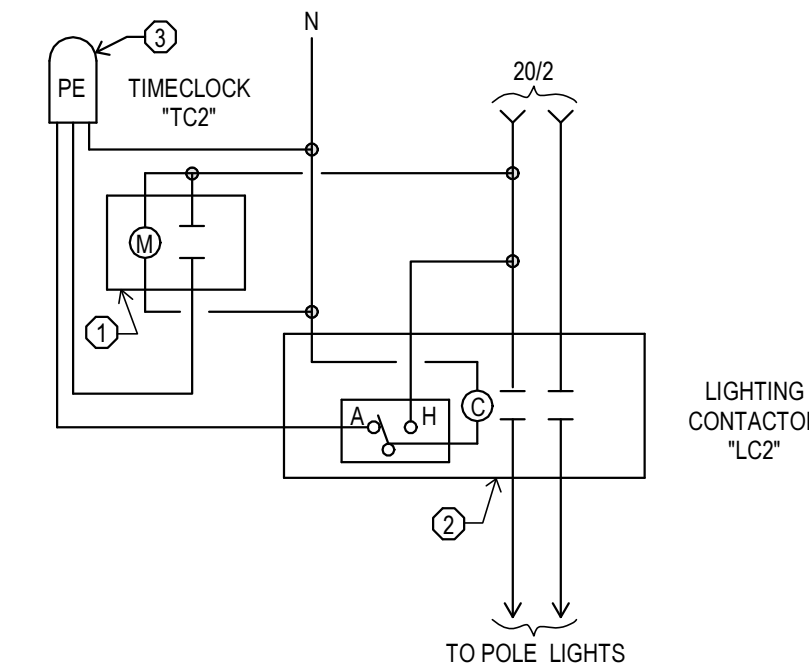


SPECIFICATION:
 IN-GROUND ENCLOSURE SHALL BE COMPOSITE AS MANUFACTURED BY QUIAZITE OR APPROVED EQUAL. ENCLOSURES AND HEAVY DUTY COVERS SHALL BE RATED FOR NO LESS THAN 15,000 LBS OVER A 10'x10' AREA AND BE DESIGNED AND TESTED TO TEMPERATURES OF -50°F. MATERIAL COMPRESSIVE STRENGTH SHALL BE NO LESS THAN 11,000 PSI. COVERS SHALL HAVE A MINIMUM COEFFICIENT OF FRICTION OF .5. COVER LOGO - "COMMUNICATIONS" - GRAY COLOR BOX SHALL BE QUIAZITE. CAT. PG2436DA18, SOLID BASE W/ PG2436HA00 GRAY COLOR COVER.

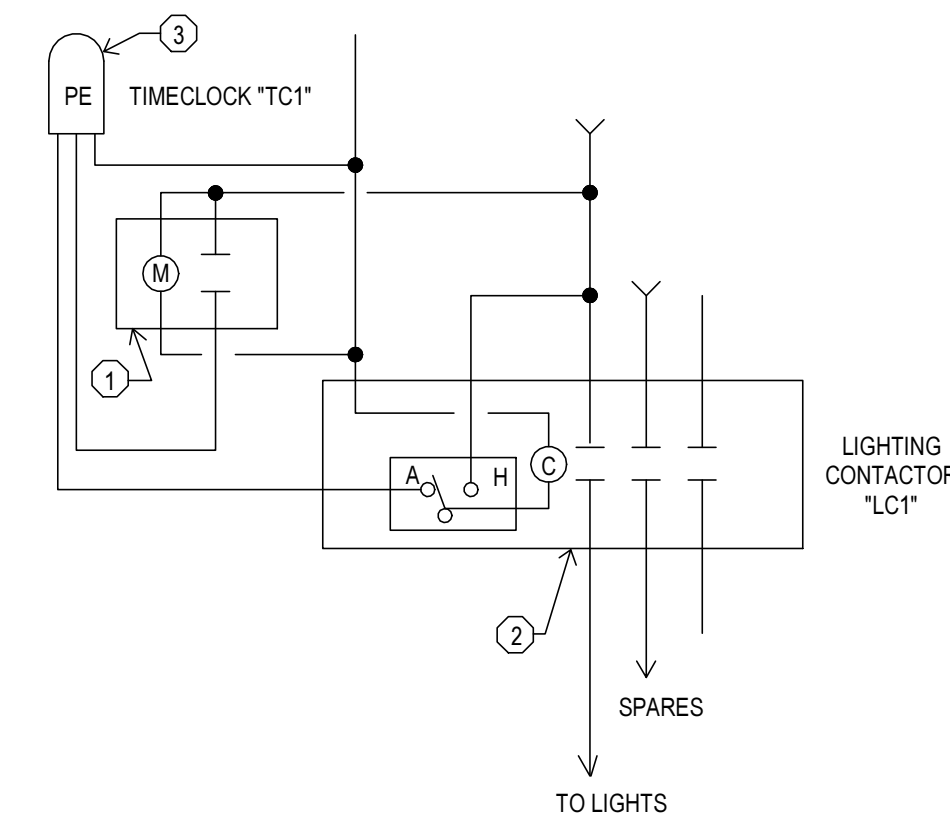
5 NON-DIRECT TRAFFIC HANHOLE
 SCALE: NTS

EXTERIOR LIGHTING CONTROL NOTES:

- 1 TIME CLOCK INTERMATIC T174CR OR EQUIVALENT FOR EXTERIOR LIGHTING. PROVIDE A 120 VOLT, 1 POLE, 7 DAY TIME SWITCH, WITH DAY OMITTING AND 24 HOUR RESERVE TIMING MOTOR, TORK OR EQUAL. CIRCUIT TIME CLOCK TO THE LIGHTING CONTACTOR CONTROL COIL.
- 2 ELECTRICALLY HELD LIGHTING CONTACTOR FOR EXTERIOR LIGHTING. 20A, 2 POLE WITH A 120V. COIL, 120 VOLT RATED CONTACTS, ON-OFF-AUTO SELECTOR SWITCH. MOUNT CONTACTOR IN A NEMA-1 ENCLOSURE, SQUARE 'D' TYPE LG OR EQUAL.
- 3 EXTERIOR FIXTURES SHALL BE CONTROLLED VIA A 120 VOLT PHOTOELECTRIC CELL MOUNTED AT THE CONTACTOR LOCATION. COORDINATE EXACT LOCATION AND MOUNTING IN THE FIELD FOR MAXIMUM PERFORMANCE. WIRE PE CELL TO LIGHTING CONTACTOR CONTROL COIL.



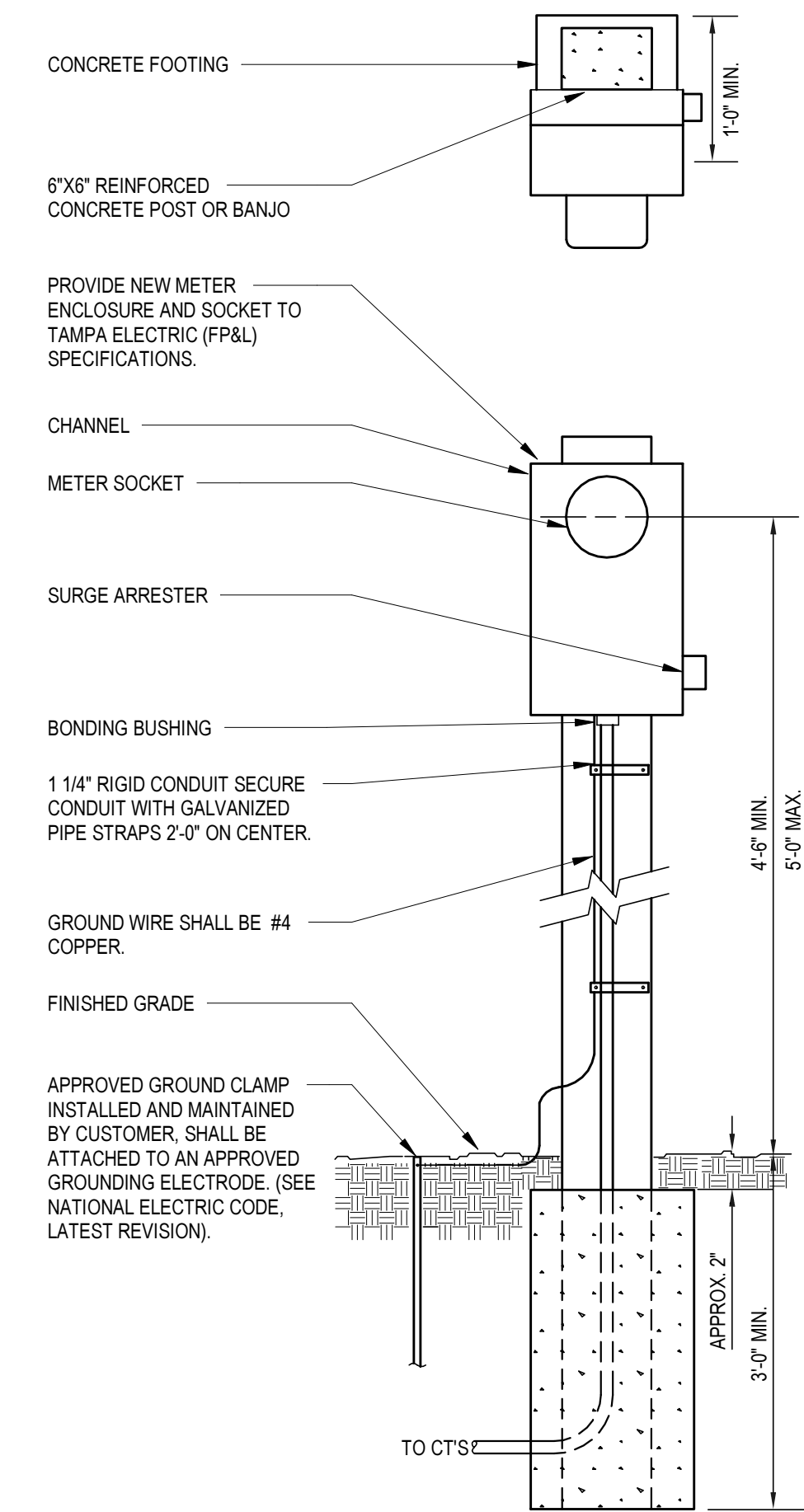
4 PARKING LOT LIGHTS CONTROL DIAGRAM
 SCALE: NTS



EXTERIOR LIGHTING CONTROL NOTES:

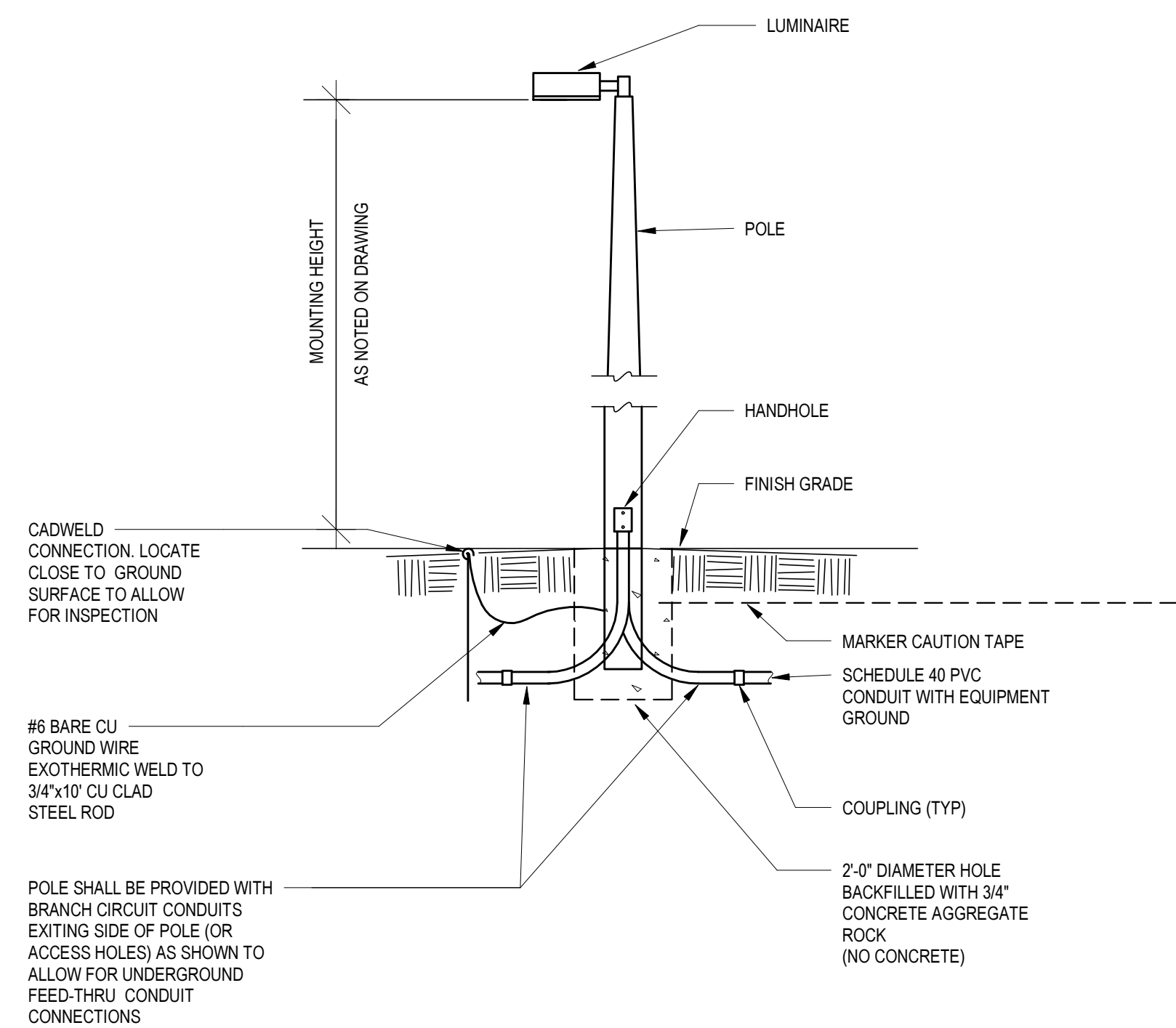
- 1 TIME CLOCK MODEL INTERMATIC T174CR OR EQUIVALENT FOR EXTERIOR LIGHTING. PROVIDE A 120 VOLT, 1 POLE, 7 DAY TIME SWITCH, WITH DAY OMITTING AND 24 HOUR RESERVE TIMING MOTOR, TORK OR EQUAL. CIRCUIT TIME CLOCK TO THE LIGHTING CONTACTOR CONTROL COIL.
- 2 ELECTRICALLY HELD LIGHTING CONTACTOR FOR EXTERIOR LIGHTING. 20A, 3 POLE WITH A 120V. COIL, 120 VOLT RATED CONTACTS, ON-OFF-AUTO SELECTOR SWITCH. MOUNT CONTACTOR IN A NEMA-1 ENCLOSURE, SQUARE 'D' TYPE LG OR EQUAL.
- 3 EXTERIOR FIXTURES SHALL BE CONTROLLED VIA A 120 VOLT PHOTOELECTRIC CELL MOUNTED INCONSPICUOUSLY ON THE WALL. COORDINATE EXACT LOCATION AND MOUNTING IN THE FIELD FOR MAXIMUM PERFORMANCE. WIRE PE CELL TO LIGHTING CONTACTOR CONTROL COIL.

3 BUILDING EXTERIOR PERIMETER LIGHTING CONTROL DIAGRAM
 SCALE: NTS

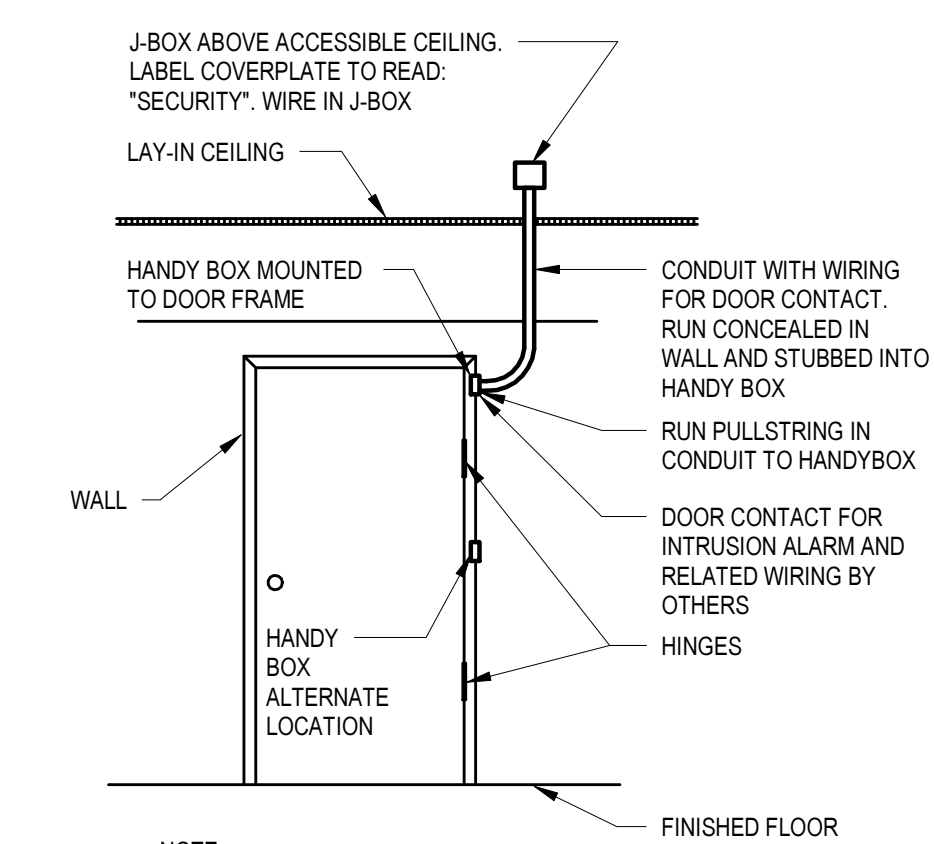


NOTE: COORDINATE UTILITY DETAILS AND REQUIREMENTS WITH FP&L REQUIREMENTS FOR ELECTRICAL SERVICE AND METER INSTALLATIONS.

2 UTILITY METER PEDESTAL DETAIL
 SCALE: NTS



6 LIGHT POLE
 SCALE: NTS



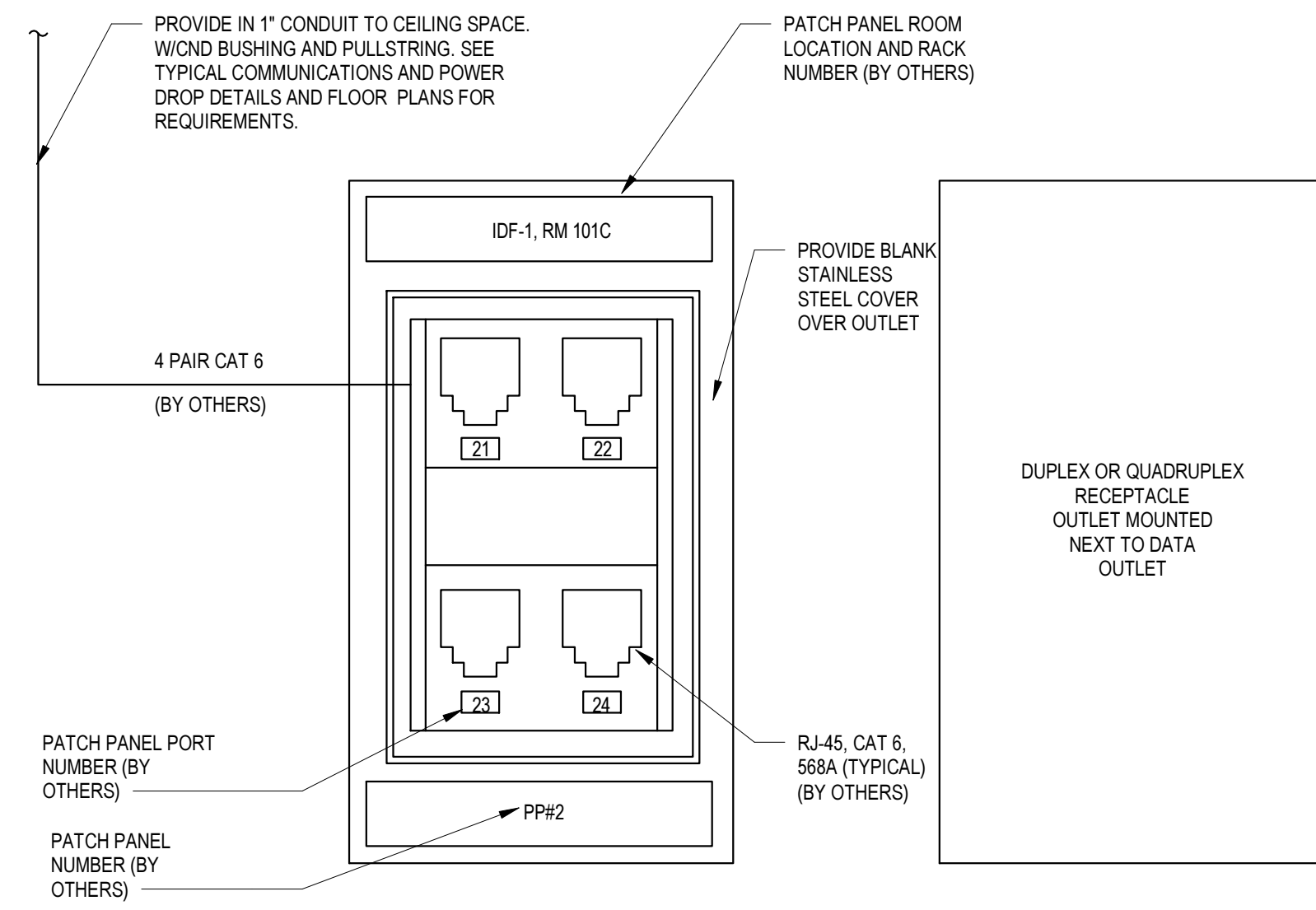
NOTE: RUN ALL CONDUITS FOR SECURITY INTRUSION CONCEALED IN WALLS OR ABOVE CEILING

1 SECURITY SWITCH DETAIL
 SCALE: NTS

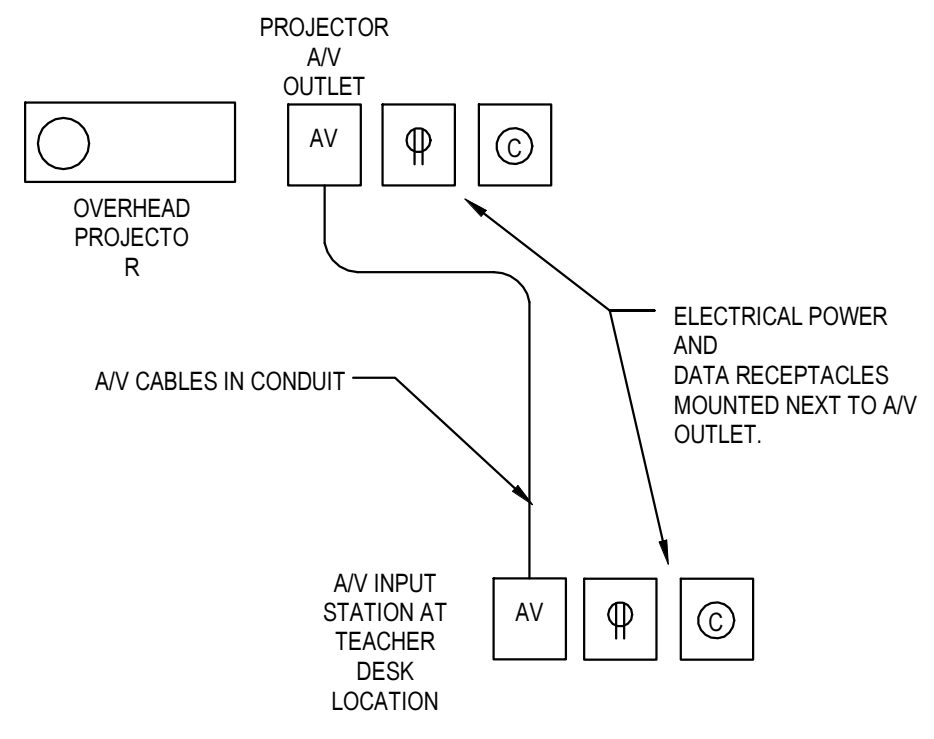
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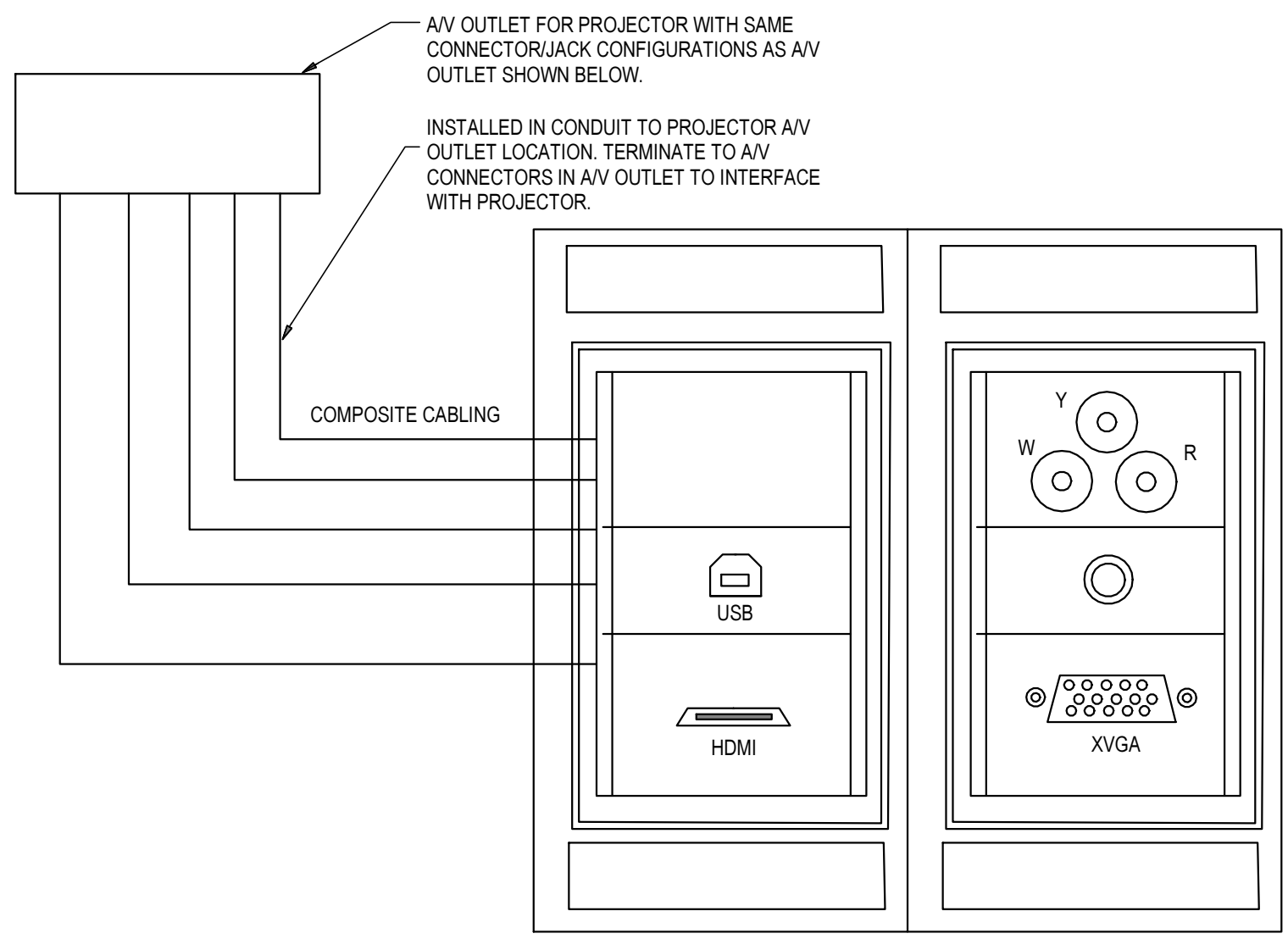
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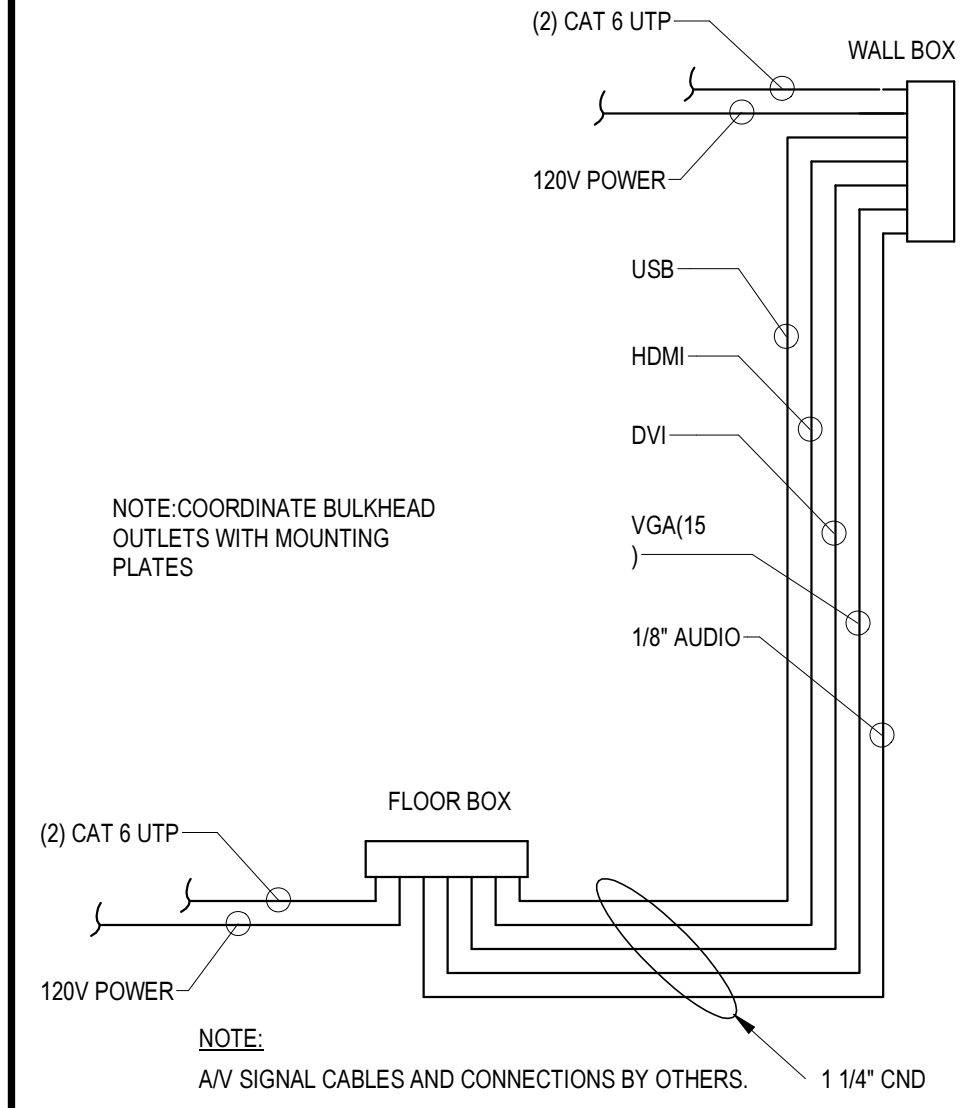
5 TYPICAL QUAD COMMUNICATIONS OUTLET DETAIL
SCALE: NTS



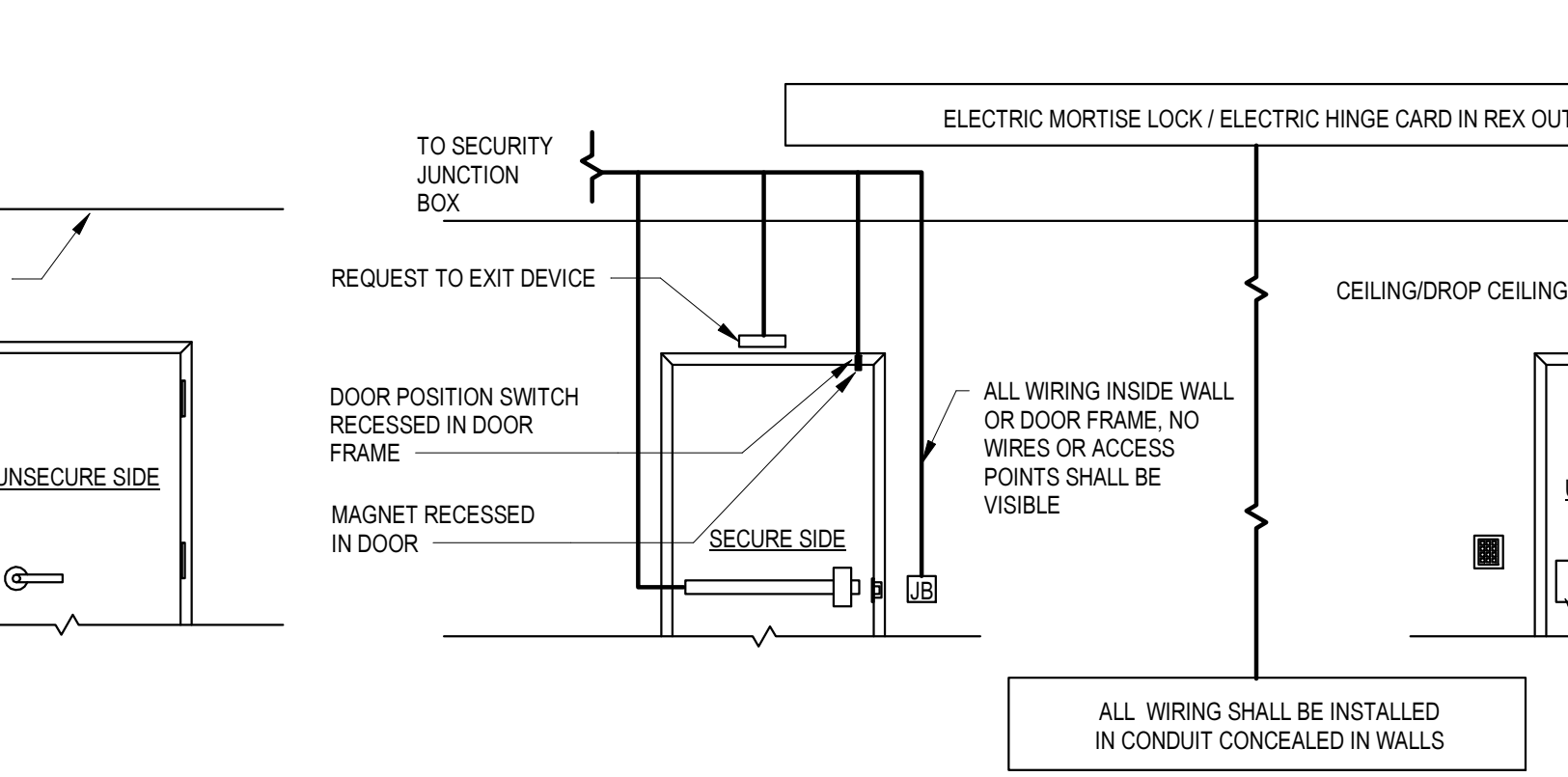
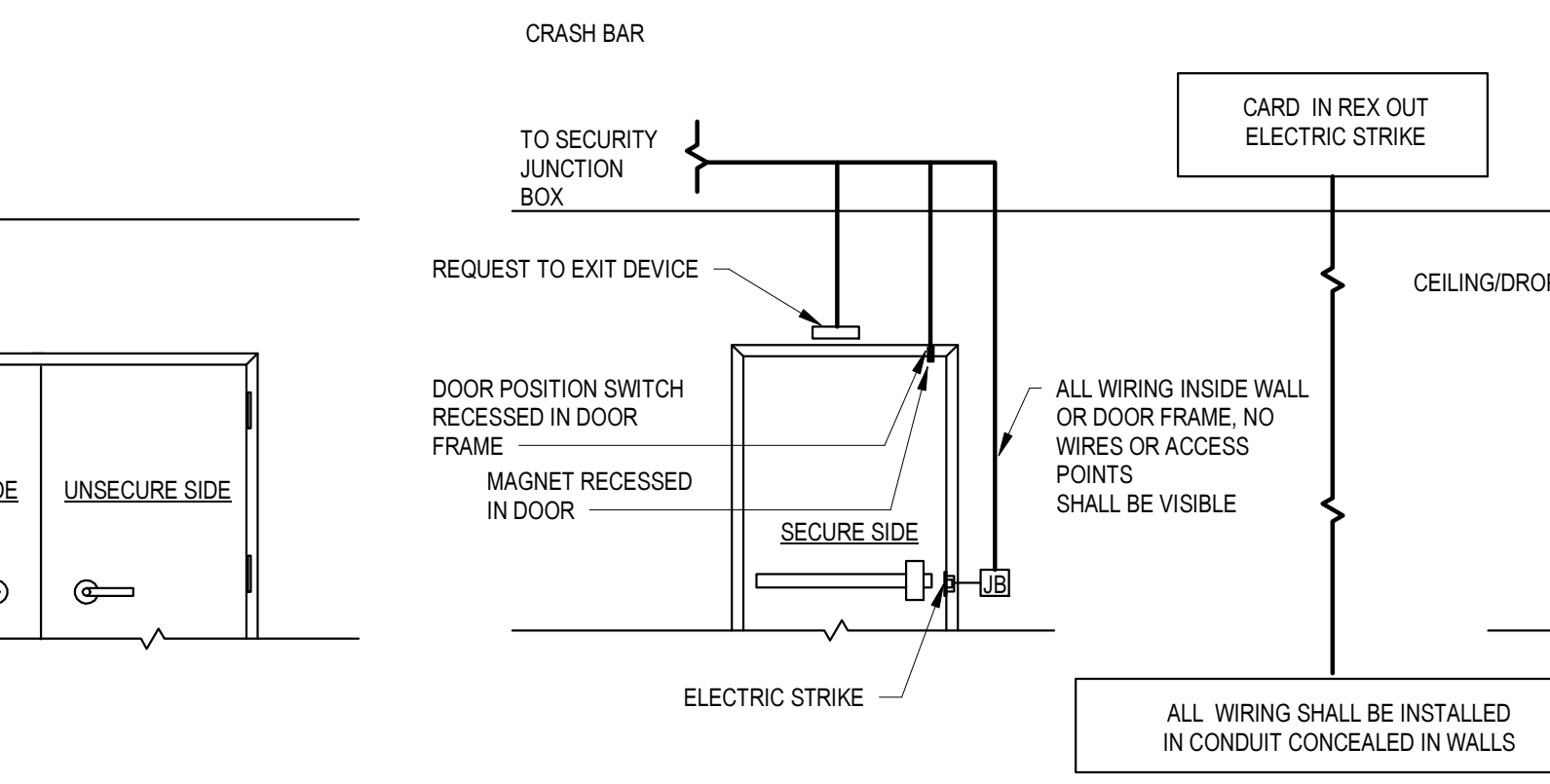
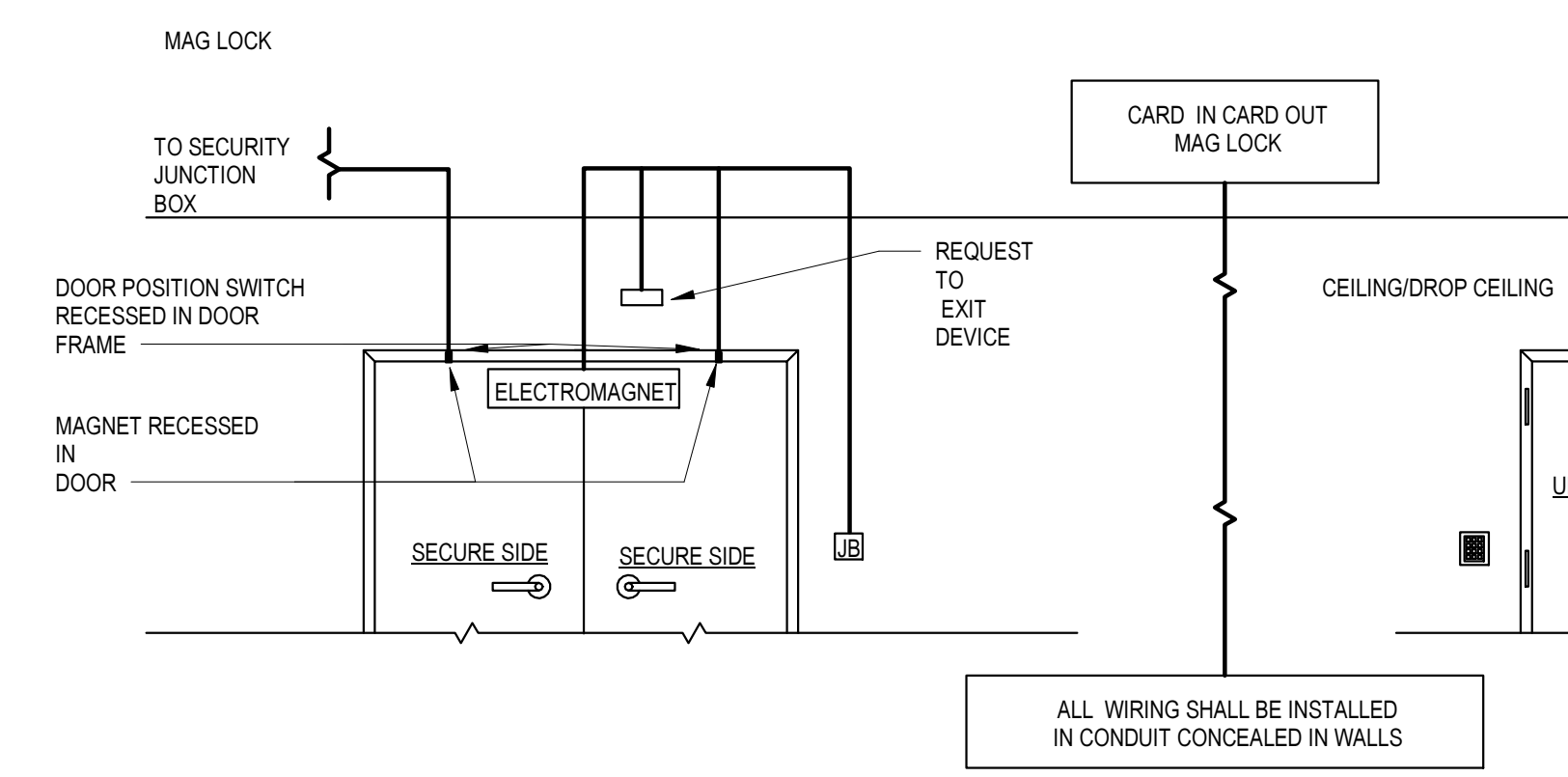
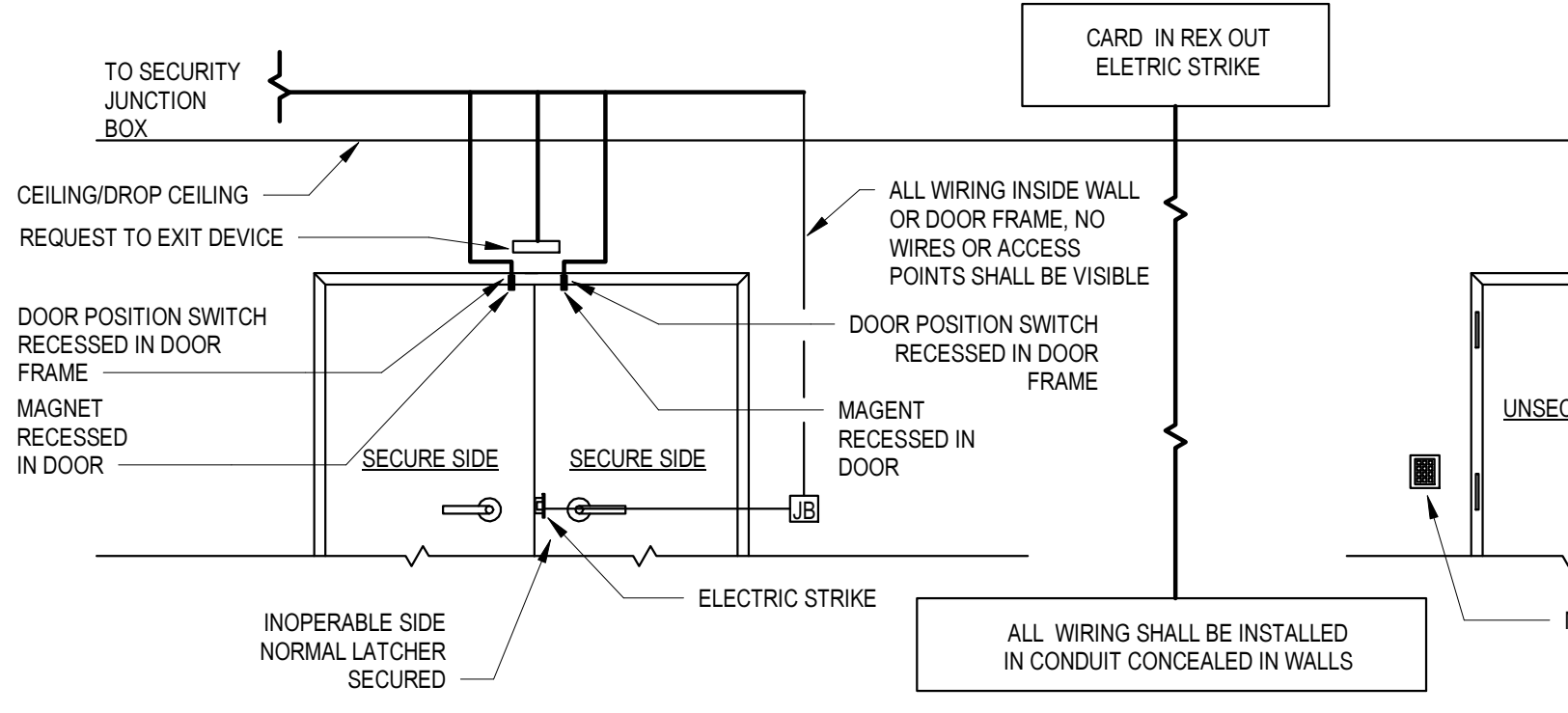
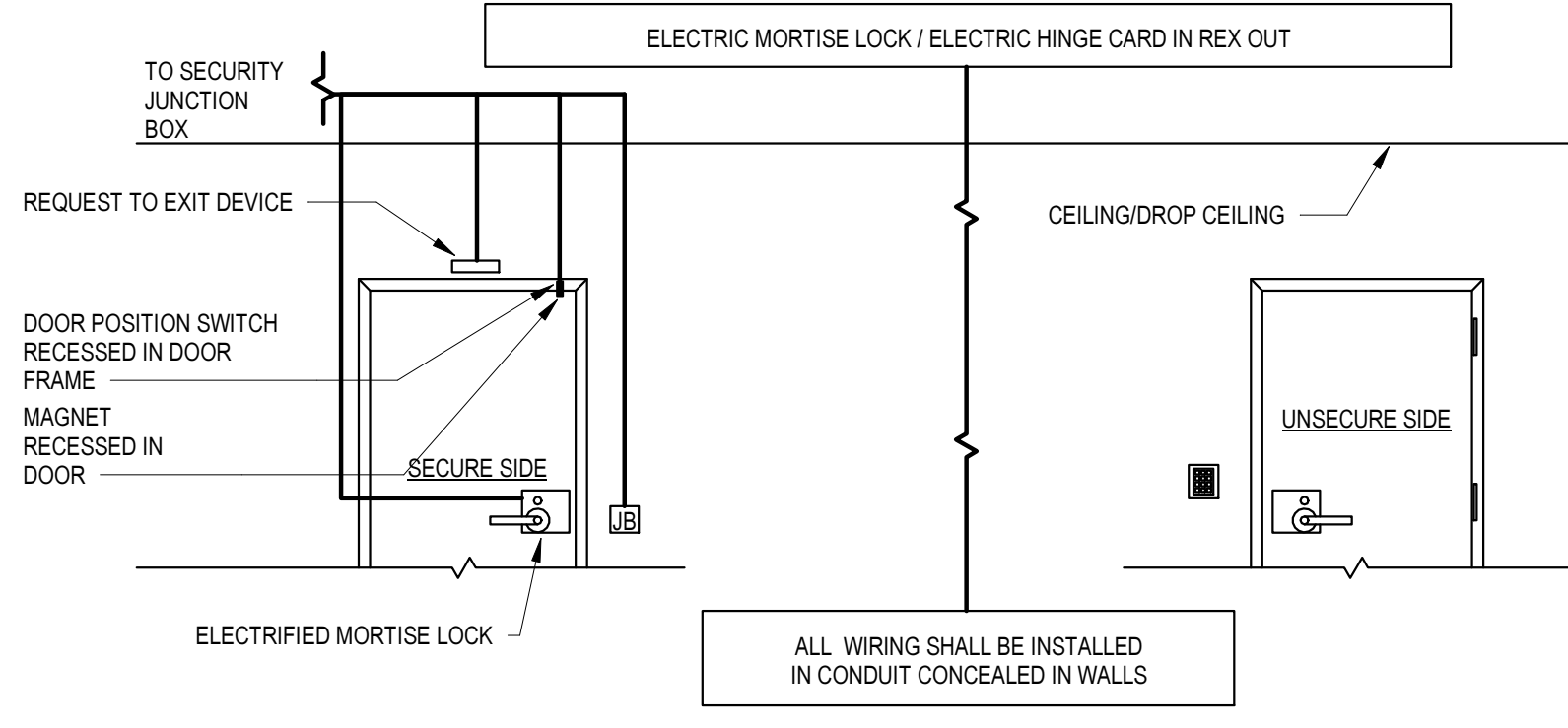
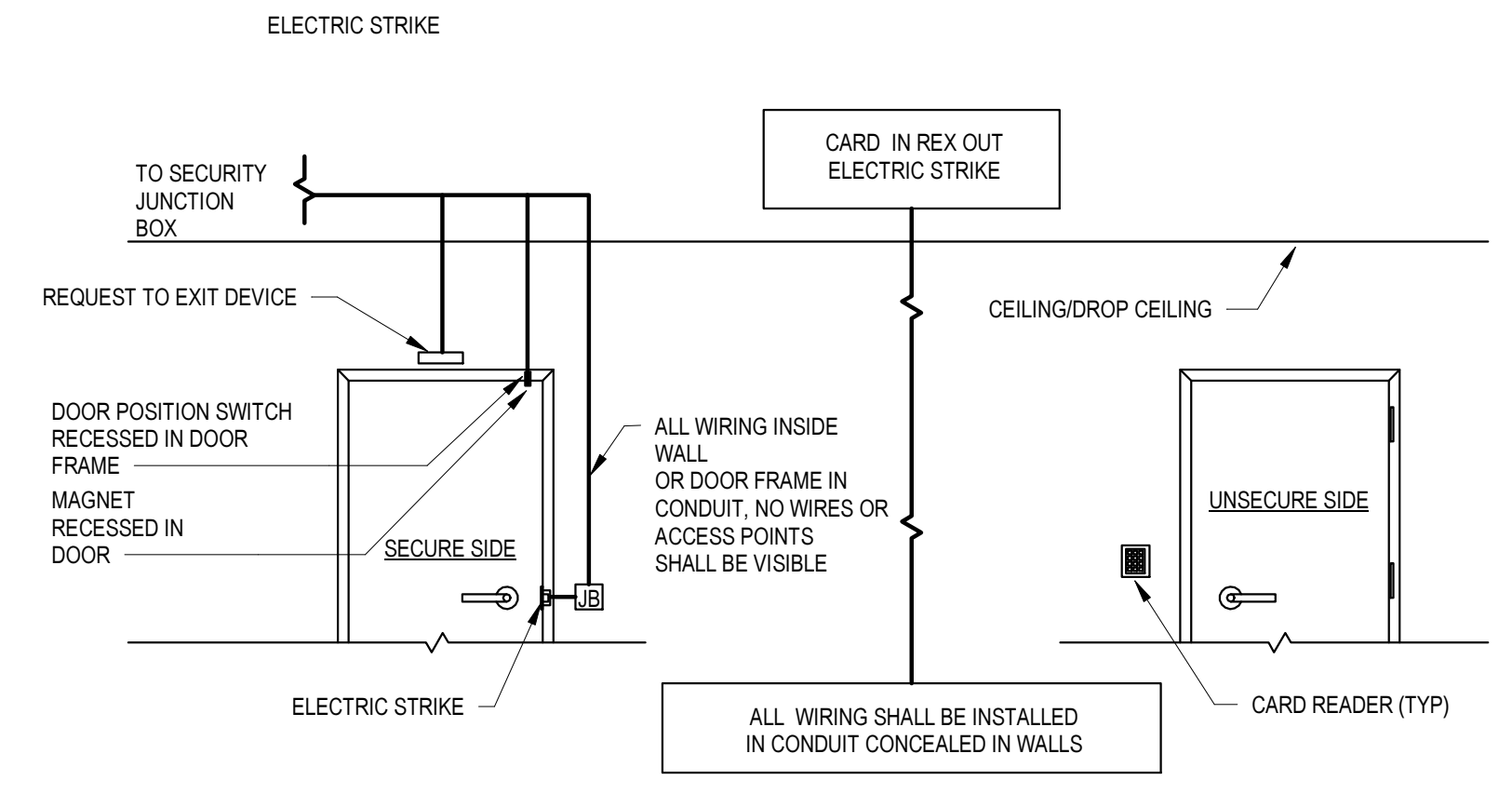
4 AV SYSTEM RISER
SCALE: NTS



3 TYPICAL AV COMMUNICATIONS OUTLET DETAIL
SCALE: NTS



2 CONFERENCE ROOM AV RISER
SCALE: NTS



1 STANDARD SECURITY DOOR TYPE DETAILS
SCALE: NTS

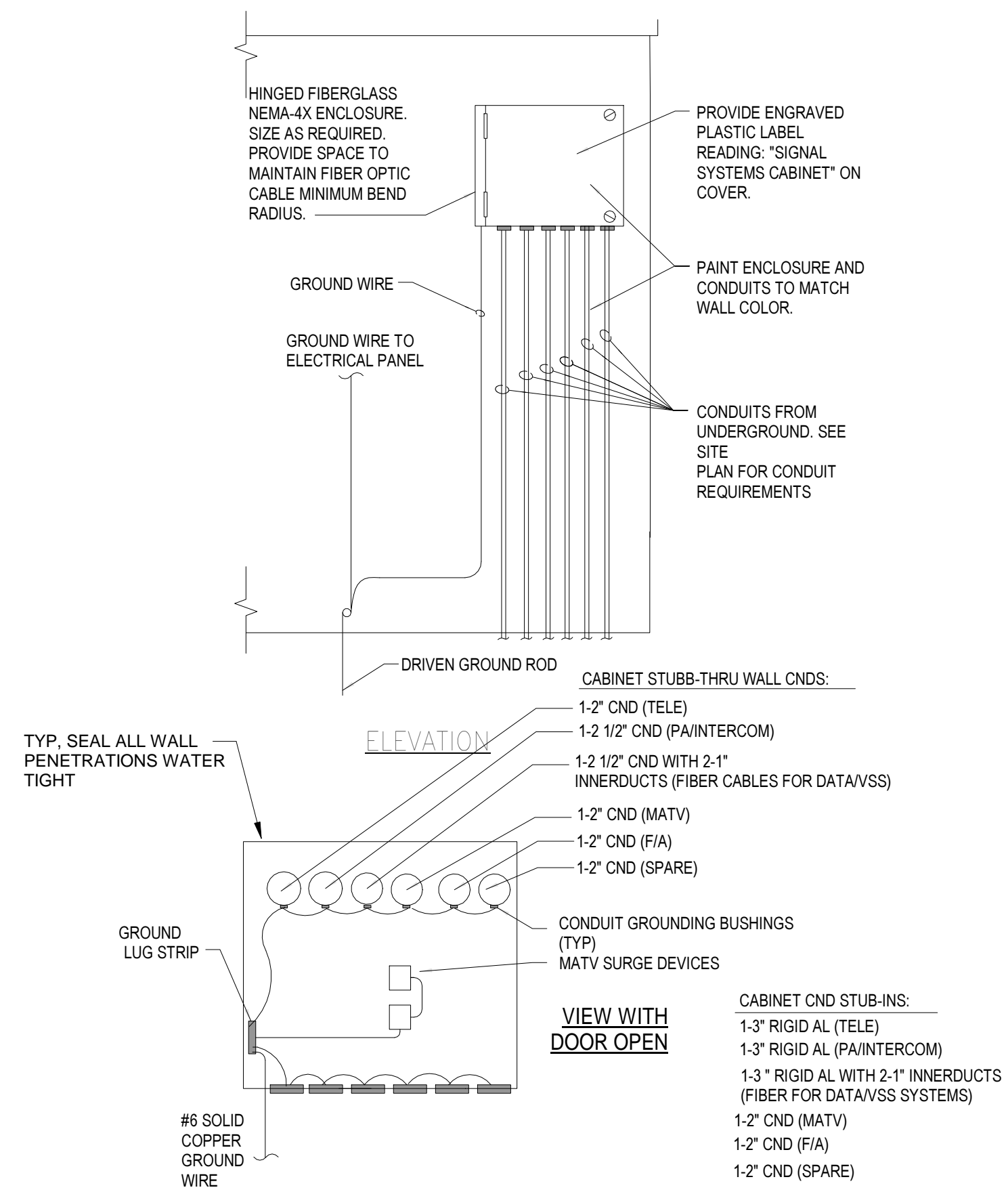
- NOTES
- COORDINATE DOOR TYPES IN BUILDING WITH DOOR IDENTIFICATION NUMBERS SHOWN ON ARCHITECTURAL FLOOR PLAN DRAWINGS AND DOOR SCHEDULE ON ARCHITECTURAL DRAWINGS.
 - COORDINATE THIS DRAWING WITH ACCESS CONTROL/SECURITY SYSTEM DEVICES SHOWN ON POWER & SIGNAL PLAN DRAWINGS.
 - RUN ALL CONDUITS FOR ACCESS CONTROL SYSTEMS CONCEALED IN WALL OR ABOVE CEILING. IN FINISH LOCATIONS VERIFY OUTLET LOCATIONS AND REQUIREMENTS WITH SECURITY/CARD ACCESS SYSTEM INSTALLER.
 - CONDUIT, OUTLET BOXES AND BLANK STAINLESS STEEL COVERPLATES SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR. ACS DEVICES AND WIRING BY OWNER'S ACS CONTRACTOR.

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PE 51483

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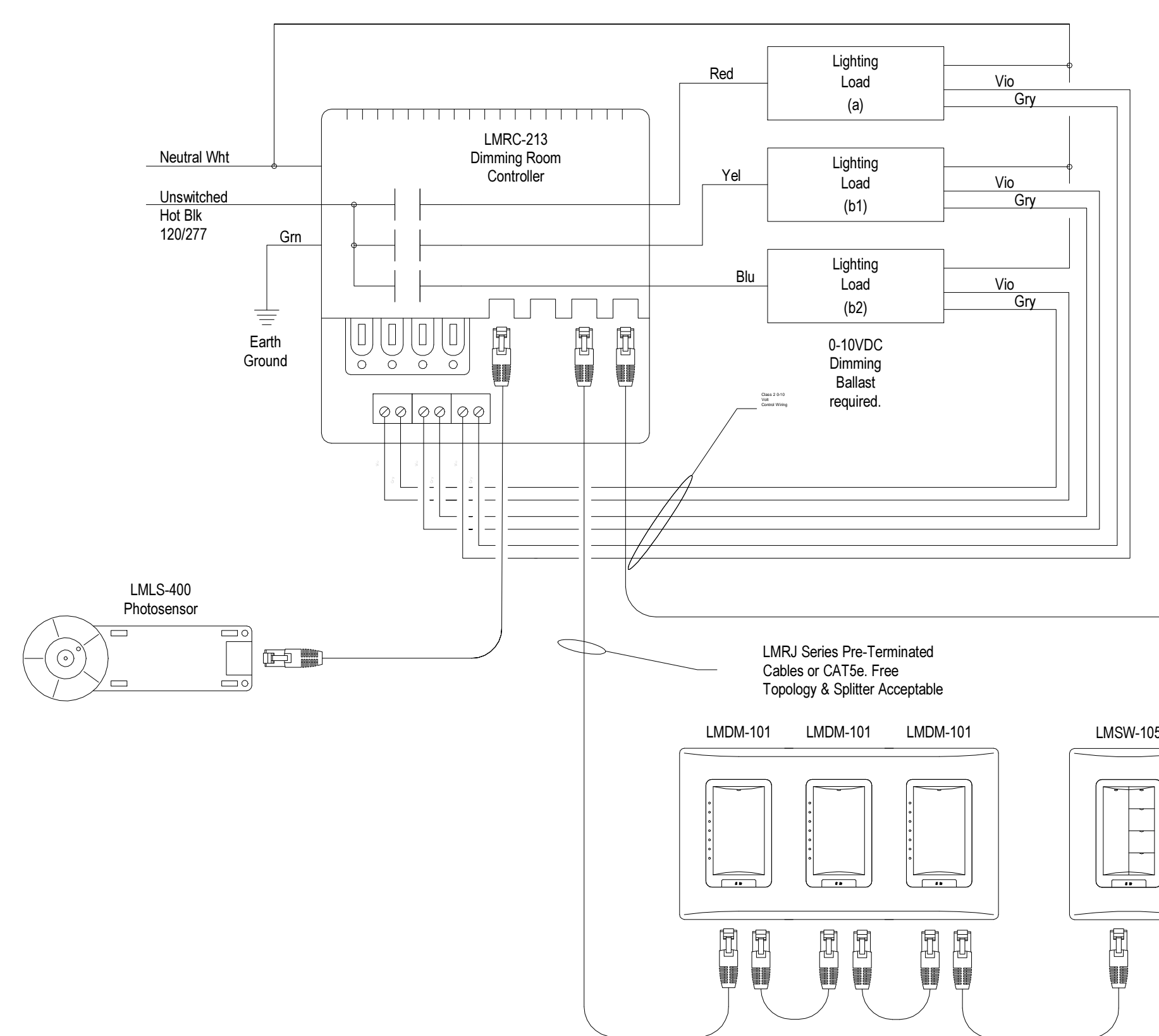
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2 SIGNAL SYSTEMS CABINET DETAIL
SCALE: NTS

0-10V Dimming Room Controllers

LMRC-21x units use a 20A, 120/277V 50/60 Hz input circuit, have 4-Cat 5e DLM ports, an Input Circuit Current Monitor, and provide 250mA 24VDC to power DLM Cat 5e devices



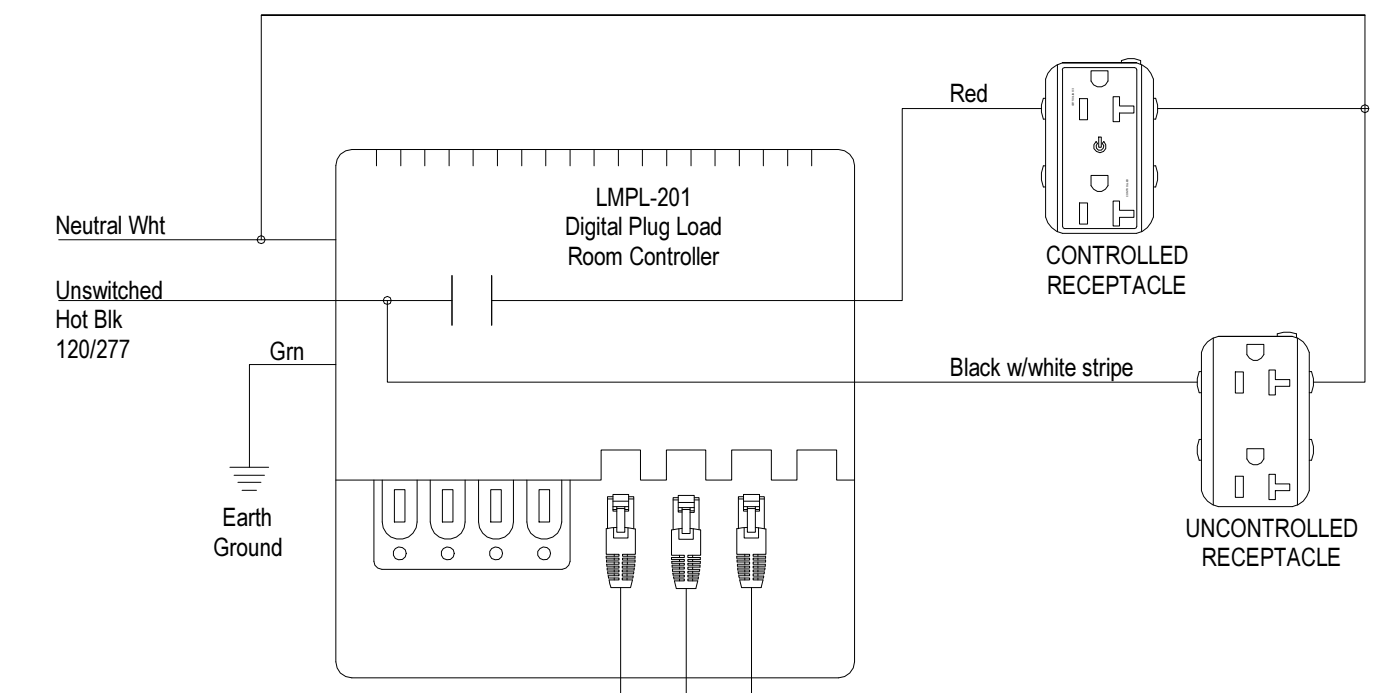
1 WS DLM PLUG LOAD OPTIONS
SCALE: NTS

ON/OFF Plug Load Controllers

LMPL-xxx units are UL Listed for Plug Load control. They control a 20A, 120V 60 Hz input circuit, have 3-Cat 5e DLM ports, and provide 150 or 250mA 24VDC to power DLM Cat 5e devices (Note LMCP relays are also Plug Load rated).

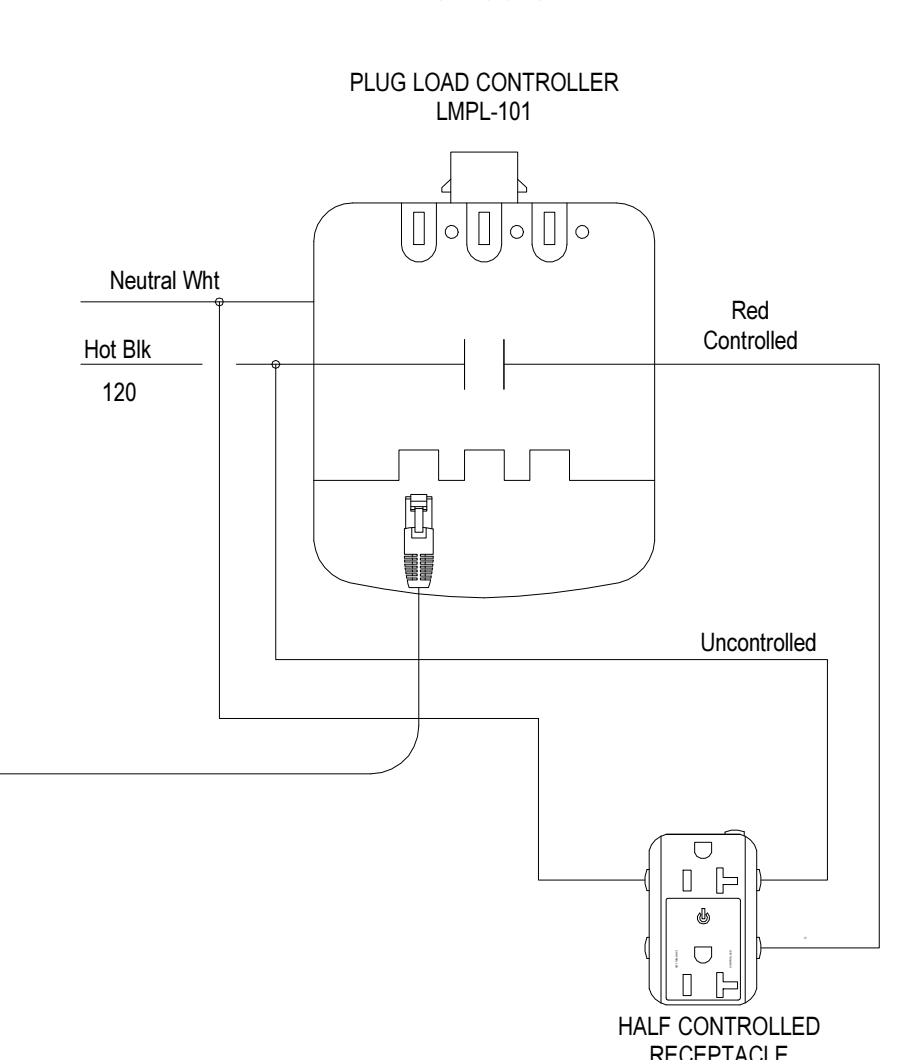
LMPL-201
Enhanced Plug Load
1 Circuit

Includes current monitor, provides 250mA of 24VDC power for DLM devices.

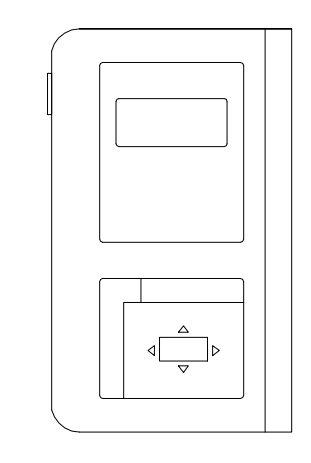


LMPL-101
Basic Plug Load
1 Circuit

Provides 150mA of 24VDC power for DLM devices (see 100 series rules)



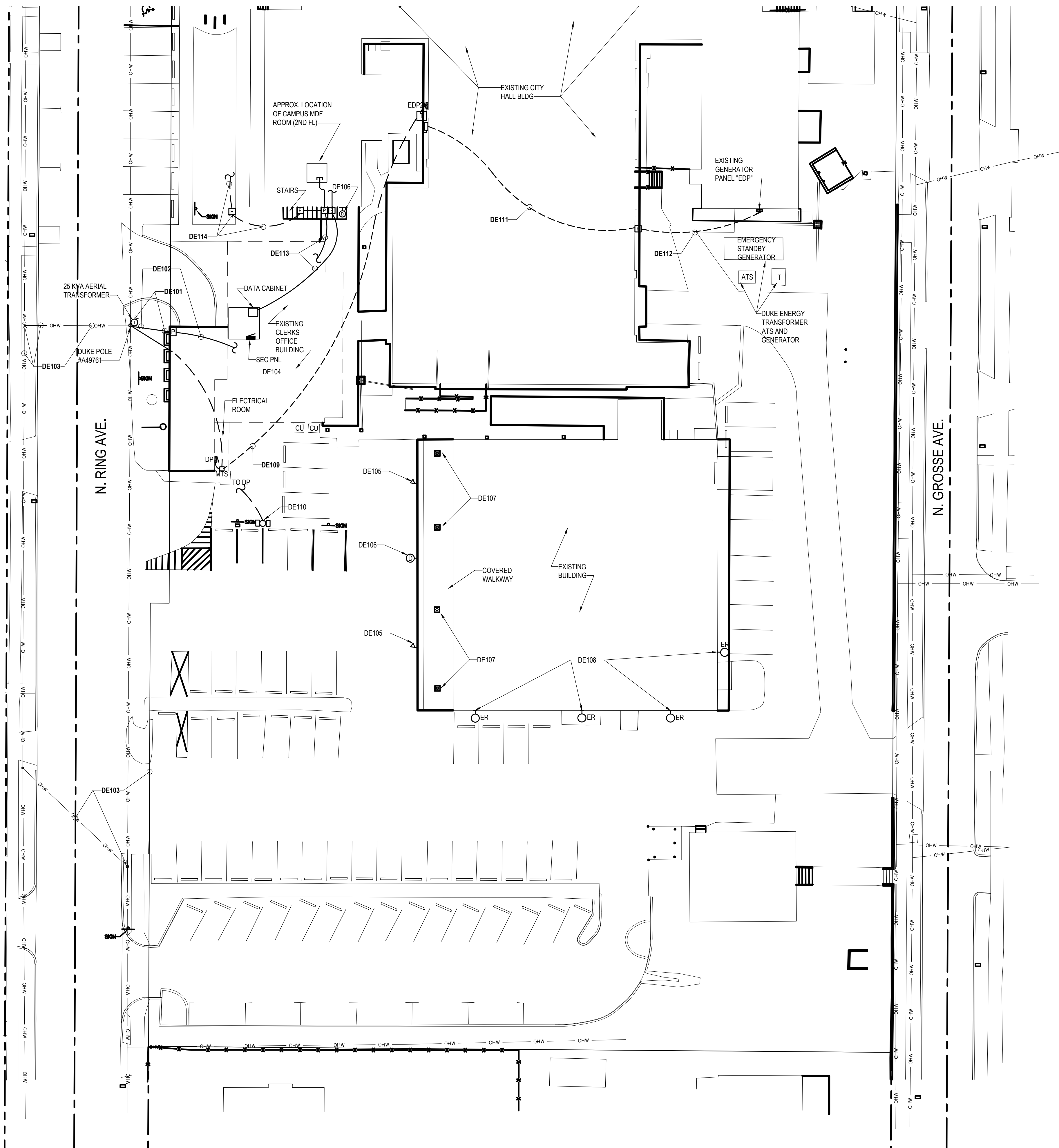
LMCT-100
Wireless
Configuration Tool



No.	Date	Issues & Revisions
2	12/10/2020	DESIGN DEVELOPMENT
3	03/05/2021	60% CONSTRUCTION DOCS

TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

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GENERAL NOTES

- A. REFER TO LEGEND, SPECIFICATION AND GENERAL NOTES ON DRAWING E0.1.
- B. COORDINATE ALL WORK WITH THE OWNER AND OTHER TRADES. SEE ARCHITECTURAL DWGS FOR PHASING PLANS.
- C. FIELD VERIFY EXISTING DEVICES SHOWN FOR REFERENCE. NOT ALL MAY BE SHOWN.
- D. TAG OUT AND LOCK OUT ALL CIRCUITS DURING WORK. WORK ON LIVE PANELBOARDS IS NOT AUTHORIZED. COORDINATE ALL POWER OUTAGES WITH THE OWNER WHILE CONTINUING OPERATIONS IN THE BUILDING.
- E. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACCESS HOURS TO PROJECT SITE.
- F. ALL DUKE ENERGY WORK SHALL BE INCLUDED IN CONTRACTOR'S BID.

KEYNOTE LEGEND

NO.	DESCRIPTION
DE101	TYP. EXISTING DUKE ENERGY POWER SERVICE TO EXISTING CLERK'S OFFICE BLDG AND ALL RELATED OVERHEAD CABLES AND AERIAL TRANSFORMER/CUT-OUTS, ETC. TO BE REMOVED. REMOVE ALL SERVICE EQUIPMENT, CABLE METER AND AERIAL TRANSFORMER. COORDINATE REMOVAL OF SERVICE AND RELATED SERVICE EQUIPMENT WITH OWNER AND DUKE ENERGY. NOTIFY DUKE ENERGY OF REMOVAL OF SERVICE. COORDINATE DISCONNECTION OF SERVICE METERS, AND CUSTOMERS ACCOUNT DEACTIVATION WITH DUKE ENERGY REPRESENTATIVE JOEL GOOD (727) 243-3460 AND OWNER.
DE102	COORDINATE THE DISCONNECTION AND REMOVAL OF OWNERS SERVICE PROVIDER SERVICE CONNECTIONS AND REMOVAL OF RELATED EQUIPMENT AND CABLES SERVING CLERKS OFFICE BLDG WITH OWNER. VERIFY SERVICE SERVING CAMPUS ROUTED THRU CLERKS BLDG THAT NEEDS TO BE RE-ROUTED IN ORDER TO KEEP SERVICE ACTIVE TO CAMPUS WHEN CLERKS BLDG IS REMOVED. COORDINATE THIS WORK SCOPE WITH OWNER AND IT DIRECTOR, SUZANNE LINTON. (727) 943-1157.
DE103	EXISTING DUKE ENERGY POWER POLE AND OVERHEAD POWER FEEDER CIRCUIT. FIELD VERIFY EXACT LOCATION. PROTECT AND MAINTAIN.
DE104	EXISTING BUILDING TO BE REMOVED. DISCONNECT ALL POWER, LIGHTING, COMMUNICATIONS AND SECURITY SYSTEMS BACK TO SOURCE. RE-PHASE EXISTING CAMPUS SIGNAL SYSTEM HEAD END EQUIPMENT AS REQUIRED WHEN SYSTEM INTERFACE CABLE TO BLDG IS REMOVED BACK TO SOURCE. COORDINATE SIGNAL SYSTEMS DISCONNECTION WITH SUZANNE LINTON AND EMERGENCY POWER SYSTEM FEEDER REMOVAL BACK TO SOURCE WITH PUBLIC WORKS DIRECTOR TOM FUNCHEON (727) 942-5610.
DE105	REMOVE EXISTING FLOOD LIGHT AND CIRCUIT BACK TO SOURCE. CUT AND CAP CONDUIT AT ROOF.
DE106	PROTECT AND MAINTAIN EXISTING VIDEO SURVEILLANCE CAMERA
DE107	PROTECT AND MAINTAIN COVER WALKWAY LIGHTS.
DE108	PROTECT AND MAINTAIN BLDG PERIMETER WALLPACK LIGHTS.
DE109	DISCONNECT AND REMOVE BLDG EMERGENCY POWER FEEDER BACK TO EXISTING PANEL "EDP2" SHOWN. TURN-OFF BREAKER IN SOURCE PANEL AND UPDATE DIRECTORY CARD TO READ: "SPARE".
DE110	CAREFULLY REMOVE ELECTRIC CAR DUAL CHARGING STATION AND STORE FOR SUBSEQUENT RE-INSTALLATION WHERE SHOWN ON DWG E1.1. REMOVE CIRCUIT BACK TO SOURCE. COORDINATE REMOVAL OF CHARGING STATION WITH TOM FUNCHEON.
DE111	APPROXIMATE ROUTING OF EXISTING EMERGENCY POWER CIRCUIT IN BLDG CRAWL SPACE. PROTECT AND MAINTAIN. FIELD VERIFY.
DE112	APPROXIMATE ROUTING OF EXISTING EMERGENCY FEEDER CIRCUIT. FIELD VERIFY, MARK AND PROTECT AND MAINTAIN.
DE113	TYP. REMOVE ALL CIRCUITS AND CONDUITS SERVING EXISTING CLERKS OFFICE BLDG FROM ROOF BACK TO SOURCE. PROVIDE KNOCK-OUT SEALS ON EXISTING WALL MOUNTED PULLBOXES AND PATCH WALL WATERTIGHT AND PAINT WALL TO MATCH WALL COLOR WHERE ELECTRICAL BOXES AND CONDUITS ARE REMOVED.
DE114	FIELD VERIFY AND PROTECT AND MAINTAIN EXISTING HANDHOLES AND UNDERGROUND CIRCUITS.



**CITY OF TARPON SPRINGS
CLERK'S OFFICE**

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PE 51483

No	Date	Issues & Revisions

TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS

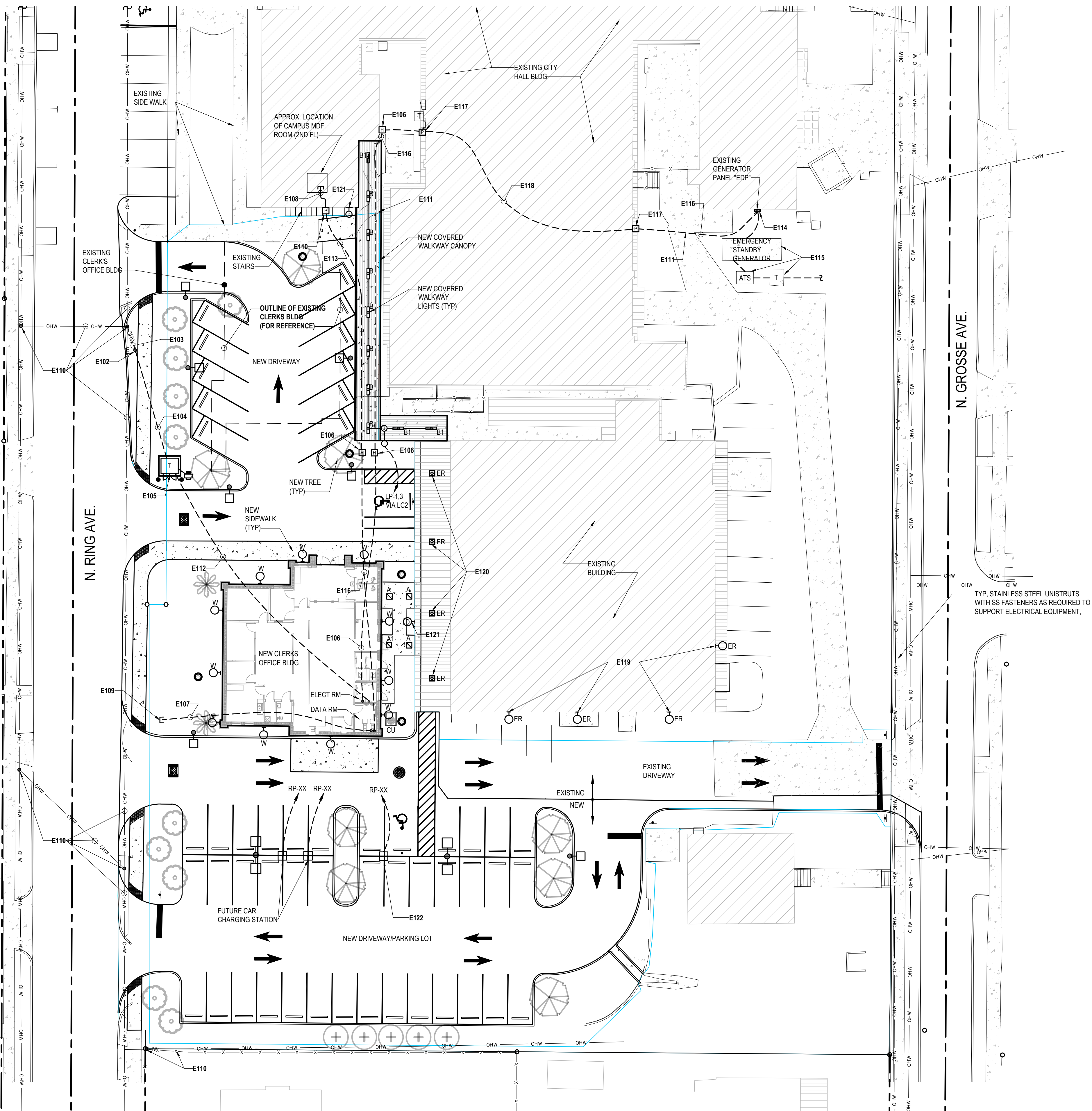
Phase: 60% CONSTRUCTION DOCUMENTS
Drawn By: TDM
Checked By: AML
Job No: 19035
Date: MARCH 5, 2021
Mar 10, 2021 - 3:46pm

OVERALL ELECTRICAL SITE DEMO PLAN

DE1.1

7/25/2021 1:03:50 PM - PROJECT: 19035 - OVERALL ELECTRICAL SITE PLAN.dwg (REV. 10) - 2021 - 3:49pm

NOTE:
CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES INCLUDING WATER, SEWER, SIGNAL, STORM WATER, POWER, IRRIGATION, AND OTHER OBSTRUCTIONS. COORDINATE WITH ALL OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO UNDERGROUND UTILITIES AND ASSOCIATED DAMAGE DURING THE TRENCHING AND DIGGING PROCESS. ALL TRENCHES SHALL BE HAND DUG.



GENERAL NOTES

A. COORDINATE ALL WORK WITH THE OWNER, THE PHASING SCHEDULE AND OTHER TRADES.
B. FIELD VERIFY ACTUAL EXISTING CONDITIONS. INFORMATION SHOWN ON THIS DRAWING IS THE RESULT OF FIELD OBSERVATIONS.
C. FIELD COORDINATE EXACT LOCATIONS OF ROOMS IN EXISTING MAIN BUILDING, AS WELL AS EXISTING EQUIPMENT THEREIN, SHOWN HERE FOR REFERENCE ONLY.
D. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACCESS HOURS TO PROJECT SITE.
E. CUT AND PATCH ALL INTERIOR WALLS IN FINISHED SPACES TO INSTALL FLUSH BACKBOXES AND CONCEAL CONDUITS. CONDUITS AND BOXES MAY BE SURFACE MOUNTED IN ELECTRICAL ROOMS, MECHANICAL ROOMS AND ELEVATOR MACHINE ROOMS. ALL CONDUIT RUN IN EXTERIOR LOCATIONS SHALL BE CONCEALED UNLESS SPECIFICALLY INDICATED OTHERWISE. CUT AND PATCH ALL SURFACES AS REQUIRED.
F. COORDINATE NEW CONSTRUCTION SITE UTILITY WORK SHOWN WITH CM, OWNER, AND DUKE ENERGY REPRESENTATIVE. JOEL GOOD (727) 243-3460. ALL DUKE ENERGY WORK SCOPE COSTS SHALL BE INCLUDED IN CONTRACTORS BID.
G. SEE CIVIL, LANDSCAPE AND ARCHITECTURAL SITE PLANS FOR ADDITIONAL INFORMATION.
H. COORDINATE ALL WORK WITH THE OWNER, THE PHASING SCHEDULE AND OTHER TRADES.
I. REFER TO LEGEND, SPECIFICATIONS AND GENERAL NOTES ON DRAWING E0.1.
J. FIELD VERIFY EXISTING DEVICES SHOWN FOR REFERENCE. NOT ALL MAY BE SHOWN.
K. NO UNDERGROUND SPLICES SHALL BE PERMITTED FOR UNDERGROUND CIRCUITS.
L. CONTRACTOR SHALL MARK LOCATIONS OF ALL NEW TREES ON SITE AND COORDINATE/ADJUST HANDHOLE LOCATIONS AND UNDERGROUND CONDUIT ROUTING SO THAT HANDHOLES AND CONDUITS DO NOT INTERFERE WITH TREES AND TREE ROOT BALLS. CONTRACTOR SHALL ALSO COORDINATE LOCATIONS OF ALL CIVIL AND IRRIGATION EQUIPMENT, PIPING AND STRUCTURES SO THAT HANDHOLES AND UNDERGROUND CONDUIT ROUTINGS DO NOT INTERFERE WITH CIVIL AND IRRIGATION SYSTEMS.
M. COORDINATE ALL REQUIRED POWER OUTAGES TO PERFORM DUKE WORK SCOPE WITH OWNER AND CONTRACTOR. ONE WEEK NOTICE SHALL BE PROVIDED TO OWNER FOR POWER OUTAGES.

KEYNOTE LEGEND

NO.	DESCRIPTION
E101	EXISTING DUKE ENERGY OVERHEAD POWER FEEDER CIRCUIT AND POLE. FIELD VERIFY EXACT LOCATION. PROTECT AND MAINTAIN.
E102	PROPOSED NEW DUKE ENERGY POLE WITH PRIMARY CIRCUIT FUSED CUT-OUTS.
E103	PROPOSED NEW DUKE ENERGY OVERHEAD CIRCUIT TAP AND PRIMARY CIRCUIT EXTENSION TO NEW POLE SHOWN.
E104	PROPOSED ROUTING OF NEW DUKE ENERGY UNDERGROUND PRIMARY POWER DISTRIBUTION LOOP CIRCUITS IN 4" CONDUITS SERVING NEW TRANSFORMER SHOWN. ALL CONDUCTORS SHALL BE IN CONDUIT. MINIMUM 36" UNDERGROUND FURNISHED AND INSTALLED BY DUKE ENERGY. PRIMARY CIRCUIT DIRECTIONAL BORING AND CONDUIT/CONDUCTOR INSTALLATION SHALL BE BY DUKE ENERGY. ALL BORING OPENINGS AND ALL TRENCH BACKFILL AND COMPACTING AND ALL ASPHALT, CONCRETE AND GRASS PATCHING AND REPAIR WORK SCOPE SHALL BE INCLUDED IN CONTRACTORS SCOPE OF WORK. COORDINATE WORK SCOPE WITH DUKE ENERGY. COORDINATE WORK SCOPE WITH DUKE ENERGY. COORDINATE COMPACTING REQUIREMENTS WITH CIVIL DWGS AND SITE CONTRACTOR. POWER COMPANY SHALL COORDINATE THE UNDERGROUND PRIMARY INSTALLATION WITH EXISTING STORM DRAIN, SANITARY WATER/FIREFIRE/SEWER/STORMWATER/FIBER CABLES, AND GAS LINES FOR CLEARANCE AND SPACES REQUIRED. RUN POWER CONDUIT UNDER PIPES. PROVIDE HIGH VOLTAGE WARNING TAPE ABOVE CONDUITS 12" BELOW GRADE. PROVIDE A MINIMUM 5'-0" SEPARATION BETWEEN POWER AND SIGNAL UNDERGROUND CONDUITS. CONTRACTOR SHALL SAWCUT/PATCH CONCRETE WALKWAYS, SIDEWALKS AND ASPHALT ROADWAY AS REQUIRED. OBTAIN PERMITS FOR WORK AS REQUIRED.
E105	PROPOSED LOCATION OF NEW DUKE ENERGY PAD MOUNTED TRANSFORMER. COORDINATE SERVICE, METER AND CONCRETE PAD REQUIREMENTS WITH DUKE ENERGY REQUIREMENTS FOR ELECTRIC SERVICE AND METER INSTALLATIONS.
E106	NEW HANDHOLE. SEE DETAIL FOR ADDITIONAL REQUIREMENTS.
E107	PROVIDE 3-3" CONDUITS W/PULLSTRING FOR NEW SERVICE PROVIDER'S CABLES.
E108	EXTEND 3-4" CONDUITS ABOVE ACCESSIBLE CEILING AND STUBB-THRU MDF ROOM CEILING W/CONDUIT END BUSHING IN MDF ROOM.
E109	STUBB OUT 3-3" CONDUITS WITH PULLSTRINGS FOR SERVICE PROVIDER'S CONNECTION NEAR PROPERTY LINE. COORDINATE EXACT CONDUIT STUBB-OUT LOCATION WITH SERVICE PROVIDER'S. MARK CONDUIT ENDS AT GRADE. ROUTE CONDUITS TO NEW DATA ROOM AS SHOWN.
E110	PROVIDE NEMA-3R SIGNAL SYSTEMS CABINET WITH LOCKABLE DOOR AND DOOR HINGE. SEE DETAIL FOR ADDITIONAL REQUIREMENTS.
E111	TYP. SAWCUT PATCH EXISTING ASPHALT AND SIDEWALKS AS REQUIRED TO INSTALL NEW CIRCUITS SHOWN. DIRECTIONAL BORE WHERE POSSIBLE.
E112	NEW SERVICE LATERAL. SEE RISER FOR ADDITIONAL REQUIREMENTS.
E113	PROVIDE 3-3" CNDS WITH PULLSTRINGS FOR NEW COMMUNICATION AND SECURITY CABLING INTERFACE FROM CAMPUS MDF ROOM TO NEW BLDG. PROVIDE 3-1" INTERDUITS WITH PULLSTRINGS IN TWO OF THE THREE CONDUITS. CABLING BY OTHERS.
E114	PROVIDE NEW 2003 CB IN EXISTING PANEL TO SERVE NEW CLERKS BLDG EMERGENCY FEEDER CIRCUIT.
E115	EXISTING DUKE STANDBY GENERATOR, ATS AND TRANSFORMER. MARK ALL UNDERGROUND CIRCUITS AND PROTECT AND MAINTAIN.
E116	NEW EMERGENCY FEEDER CIRCUIT. SEE RISER FOR ADDITIONAL REQUIREMENTS.
E117	NEW NEMA-3R PULLBOX. SIZE AS REQUIRED.
E118	COORDINATE ROUTING OF NEW FEEDER CIRCUIT IN CRAWL SPACE UNDER EXISTING BLDG WITH EXISTING OBSTRUCTIONS. FIELD VERIFY.
E119	PROTECT AND MAINTAIN EXISTING WALL PACK LIGHTS.
E120	PROTECT AND MAINTAIN EXISTING CANOPY LIGHTS.
E121	PROTECT AND MAINTAIN EXISTING VIDEO SURVEILLANCE CAMERA.
E122	RE-INSTALL EXISTING CAR CHARGING STATION. PROVIDE CONCRETE BASE AND FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE NEW BRANCH CIRCUIT AS SHOWN AND COORDINATE WITH OWNER TO RE-CONNECT AND ACTIVATE CAR CHARGING STATION.

DRAWING KEY

---	PROPERTY LINE
- - -	WETLAND
- · - · -	WETLAND SETBACK
— · — · —	FENCE SYSTEM

NO. 1

OVERALL ELECTRICAL SITE PLAN

SCALE: 1"= 20'

No.	Date	Issues & Revisions

TO THE BEST OF THE ARCHITECT'S AND/OR ENGINEER'S KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS

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Drawn By: XG
Checked By: RAR
Job No: 19035
Date: MARCH 5, 2021
Mar 10, 2021 - 3:49pm

OVERALL ELECTRICAL SITE PLAN

E1.1

LONG & ASSOCIATES
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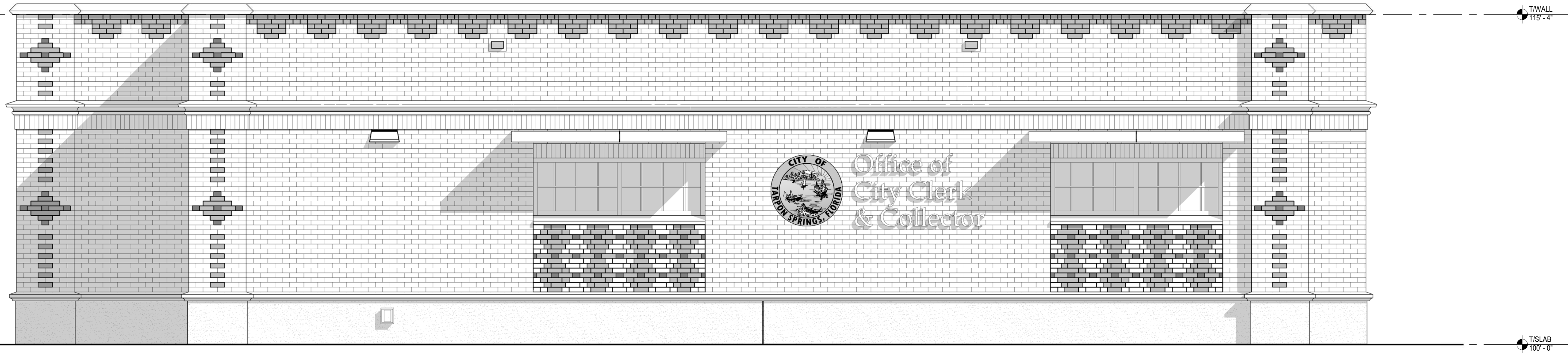
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OVERALL ELECTRICAL SITE PLAN

E1.1



1 WEST ELEVATION OPTION 1
SCALE: 3/8" = 1'-0"



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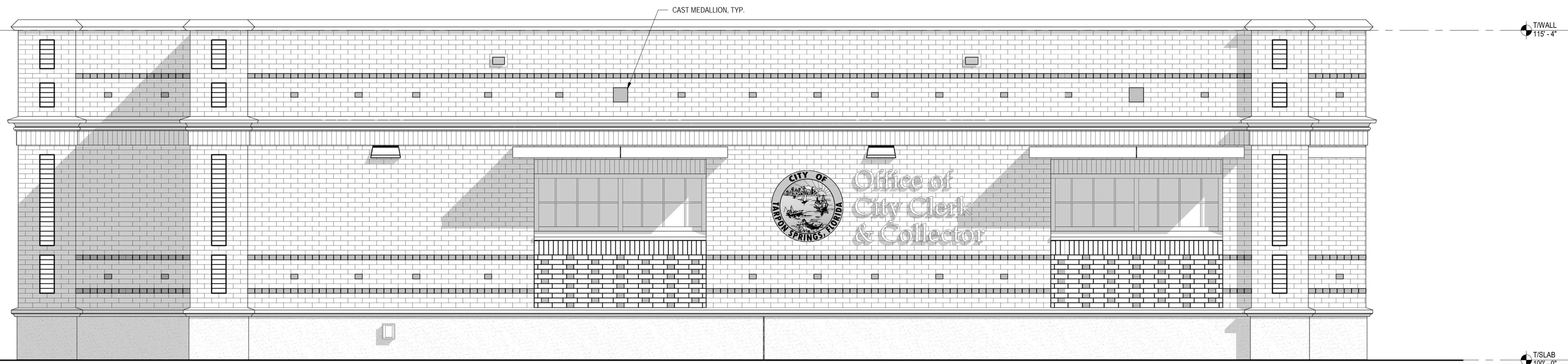
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WEST ELEVATION
OPTION 1

A6.3



1 WEST ELEVATION OPTION 2
SCALE: 3/8" = 1'-0"

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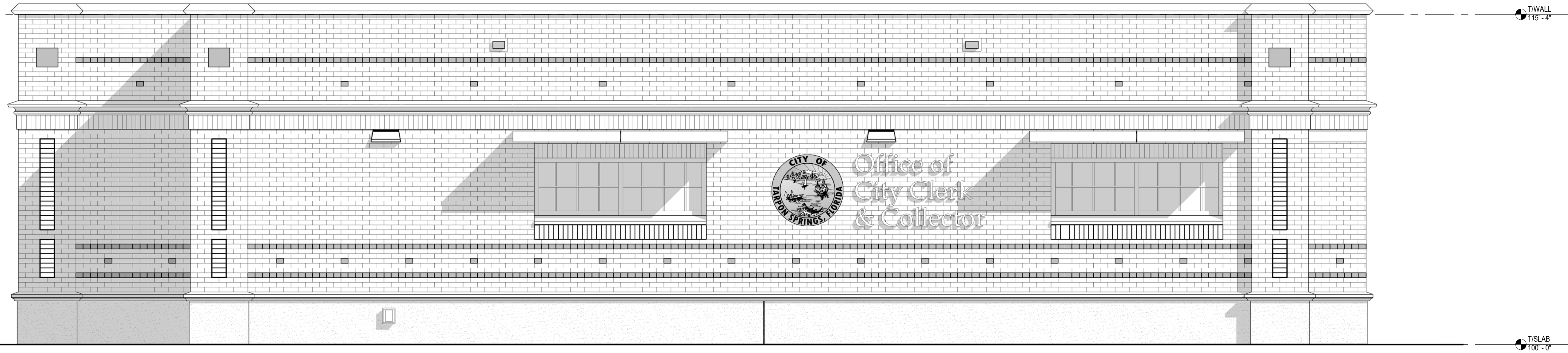
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WEST ELEVATION
OPTION 2

A6.4



1 WEST ELEVATION OPTION 3
SCALE: 3/8" = 1'-0"

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WEST ELEVATION
OPTION 3

A6.6