



# *City of Tarpon Springs, Florida*

PLANNING AND ZONING DEPARTMENT  
324 EAST PINE STREET  
P.O. BOX 5004  
TARPON SPRINGS, FLORIDA 34688-5004  
(727) 942-5611  
FAX (727) 943-4651

Renea Vincent, AICP, CPM  
Director

**HERITAGE PRESERVATION BOARD  
SEPTEMBER 13, 2021, AT 6:30 PM  
CITY HALL AUDITORIUM  
324 EAST PINE STREET, TARPON SPRINGS, FLORIDA**

## **A G E N D A**

- 1. CALL TO ORDER, ROLL CALL**
- 2. PUBLIC COMMENTS**
- 3. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**
- 4. APPLICATION 21-109: 0 CYPRESS STREET; CONSTRUCTION OF A NEW SINGLE FAMILY DETACHED RESIDENCE ON THE VACANT PROPERTY**
- 5. STAFF COMMENTS**
- 6. BOARD COMMENTS**
- 7. ADJOURNMENT**

If a person decides to appeal any decision made by the Heritage Preservation Board with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. You are invited to attend that meeting to express your views or to present facts in regard to the case. Written comments may be addressed to the Planning & Zoning Department, P.O. Box 5004, Tarpon Springs, Florida 34688-5004, and will become part of the record. All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611. Said hearing may be continued from time to time pending adjournment. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611 or email a written request to [kyothers@ctsfl.us](mailto:kyothers@ctsfl.us).

## SECRETARY OF THE INTERIOR'S STANDARDS

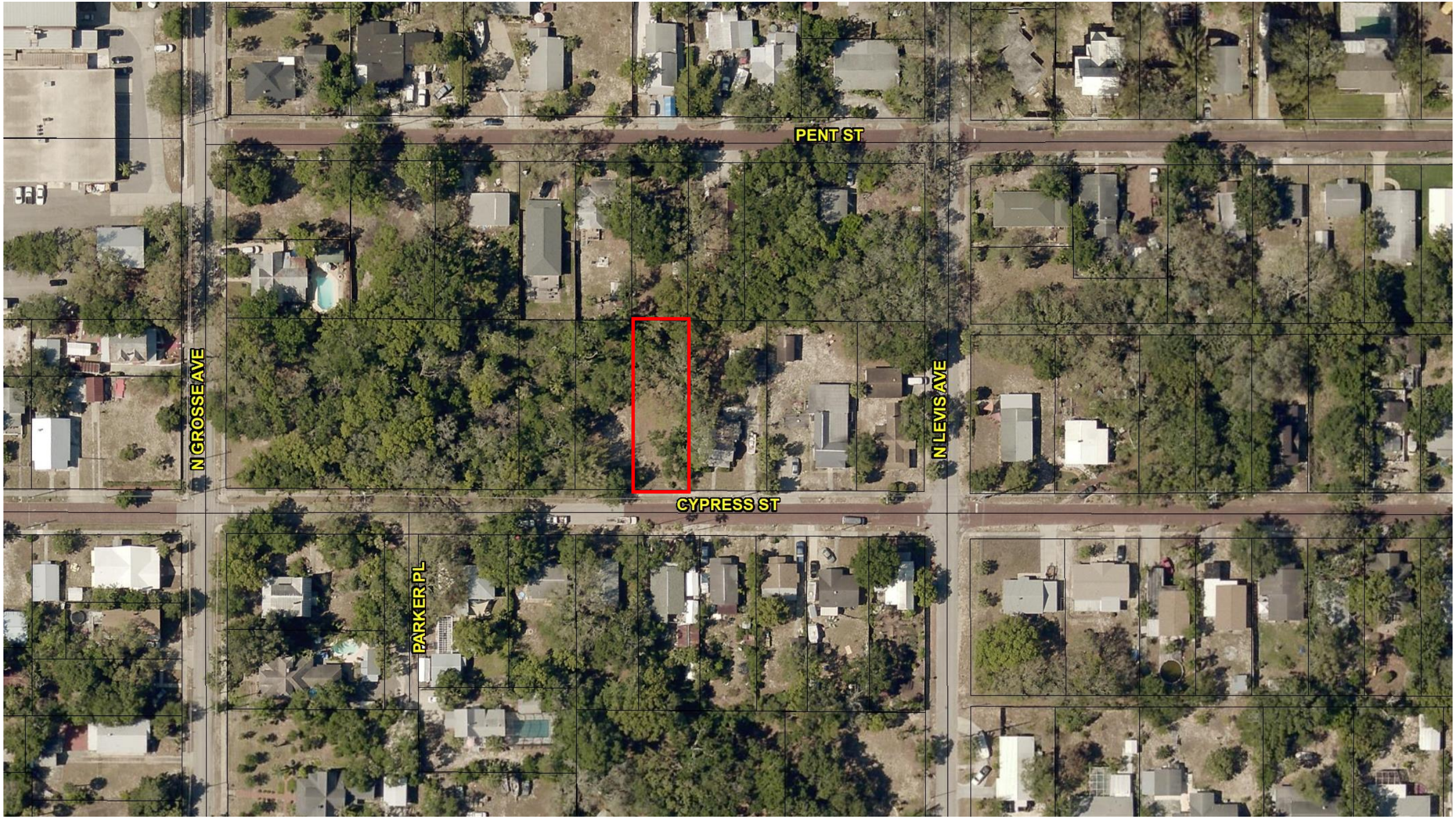
1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its environment.*
2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
4. *Most properties change over time. Those changes that have acquired historic significance in their own right shall be retained and preserved.*
5. *Distinctive features, finishes, construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
9. *New additional, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

# HABITAT FOR HUMANITY APPLICATION #21-109

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Heritage Preservation Board, September 13, 2021





PENT ST

CYPRESS ST

N GROSSE AVE

N LEVISA AVE

PARKER PL

# REQUEST

- Certificate of Approval for construction of a new single family detached dwelling
- Lot Size: 7,500 square feet
- Applicant: Habitat for Humanity



# ADDITIONAL INFORMATION

## Project Features:

- Proposed masonry vernacular style residence
  - Front gable, one story
  - Masonry vernacular with Craftsman elements
  - 17.5 feet in height to peak of roof, just under 30 feet in width
  - Front setback of 23 feet to porch
  - Front facade features stucco and decorative shingle siding, Queen Anne windows, decorative banding, flared porch columns, decorative bracket
  - Trees being retained on site
  - Materials:
    - Stucco, struck block, and HardieShingle siding
    - Vinyl and aluminum windows
    - Fiberglass pedestrian door, metal garage door
    - Shingle roof
    - Concrete driveway and walkway

# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 1) New construction consistency.
- 2) Windows, doors and entries.
- 3) Neighborhood and district context.
- 4) Roof shape and texture.
- 5) Size and massing / shape.
- 6) Landscaping.
- 7) Architectural features.
- 8) Adherence to period of construction.
- 9) Adherence to Secretary's Guidelines.
- 10) Conformance with other City code requirements.
- 11) Impact upon archeological sites.

Especially Applicable Guidelines: 5, 12, 30-34, 39

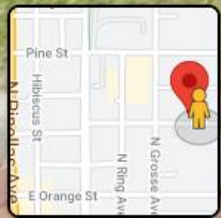


440 Cypress St

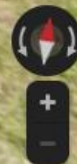
Tarpon Springs, Florida

Google

Street View - Aug 2019



Google





455 Cypress St

Tarpon Springs, Florida

Google

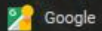
Street View - Aug 2019



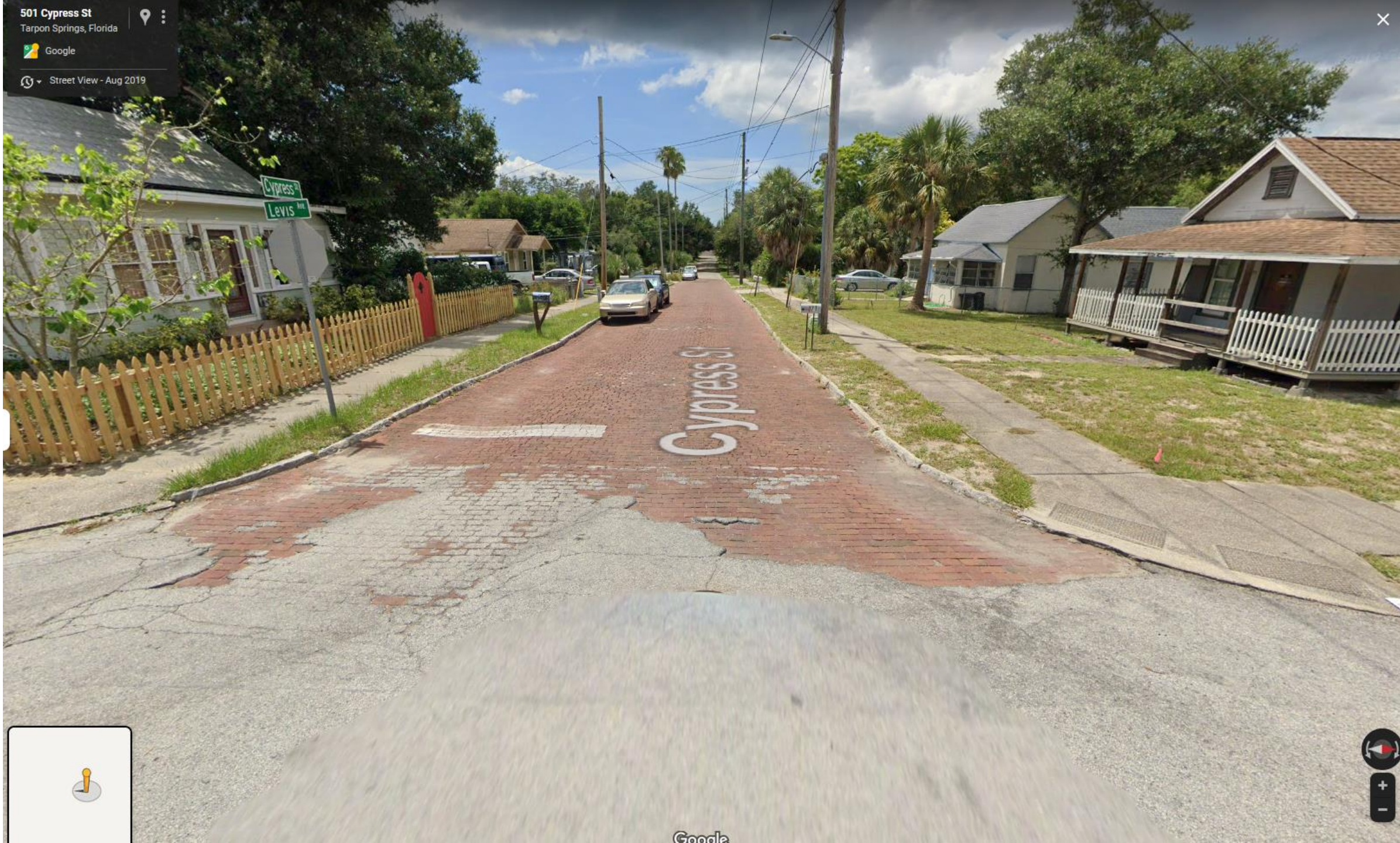
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501 Cypress St

Tarpon Springs, Florida



Street View - Aug 2019



Google



526 Cypress St  
Tarpon Springs, Florida

Google

Street View - Aug 2019



Google



530 Cypress St

Tarpon Springs, Florida

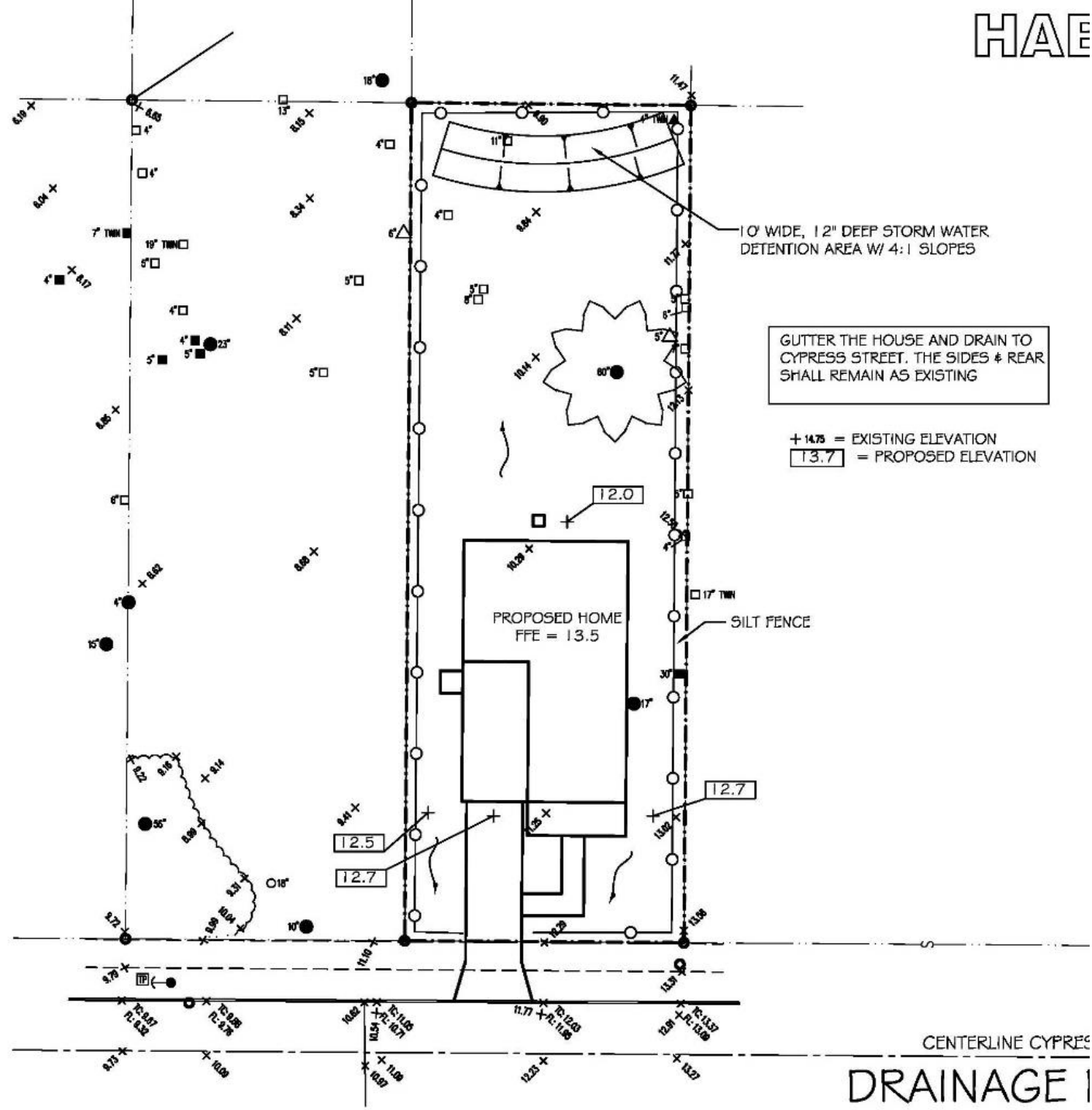
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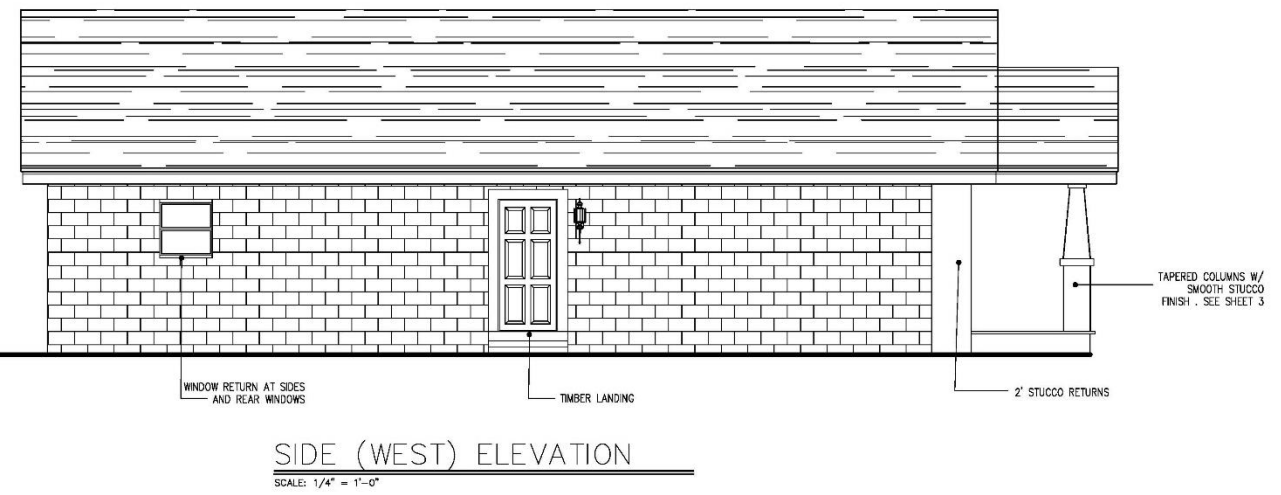
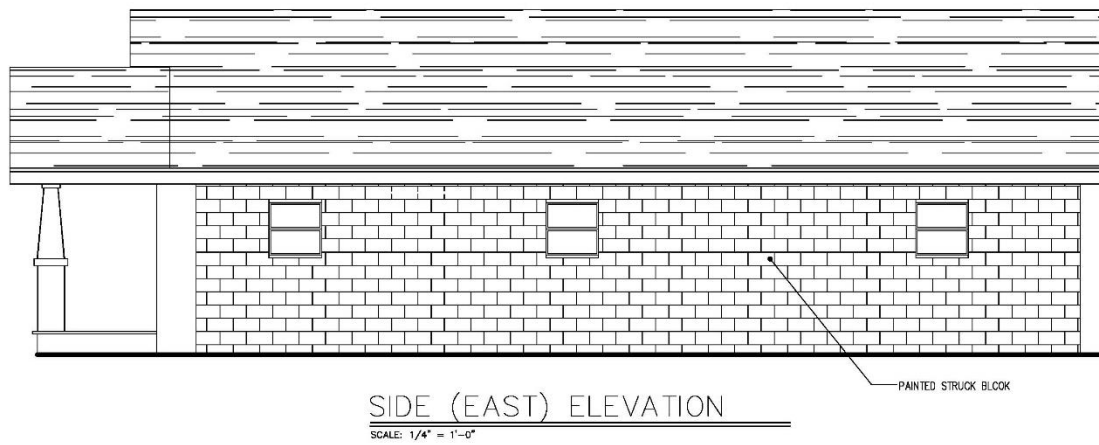
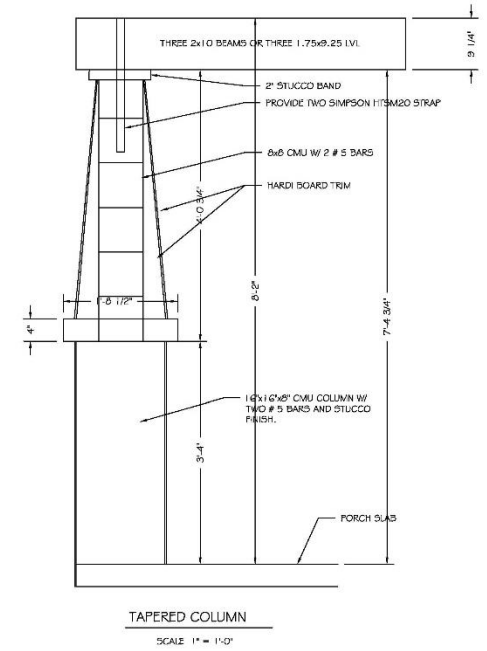
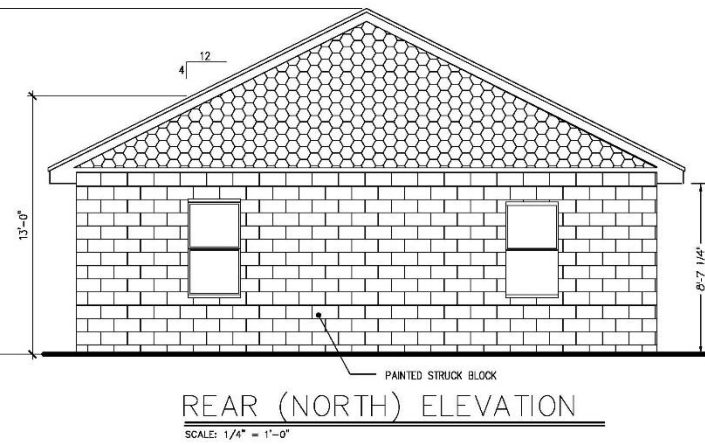
Street View - Aug 2019



Google



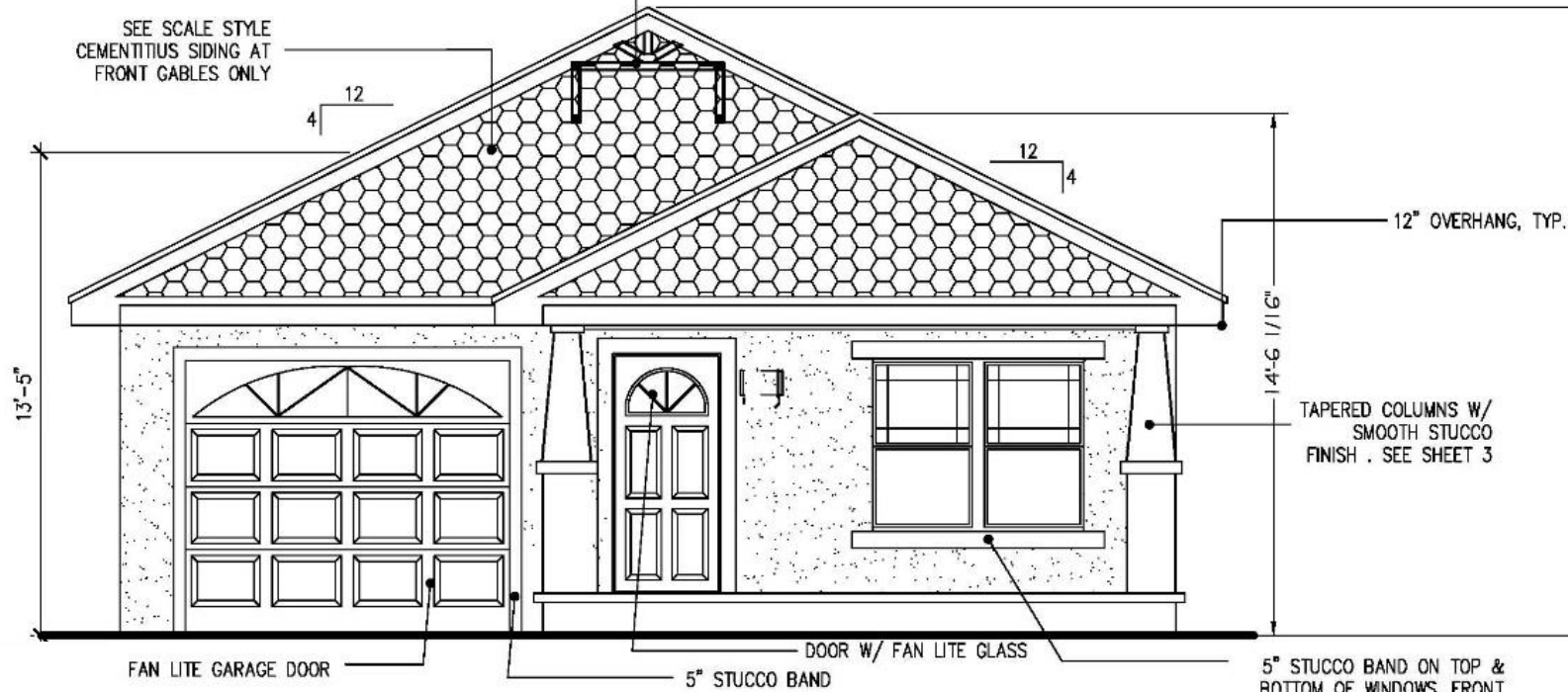






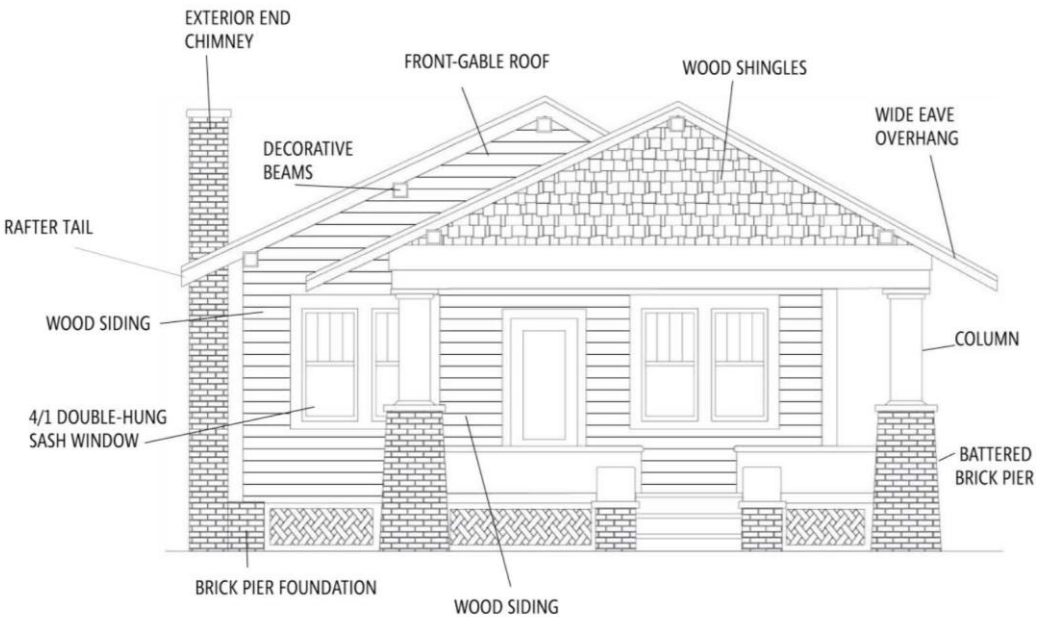
BRACKETS, FRONT GABLE ONLY

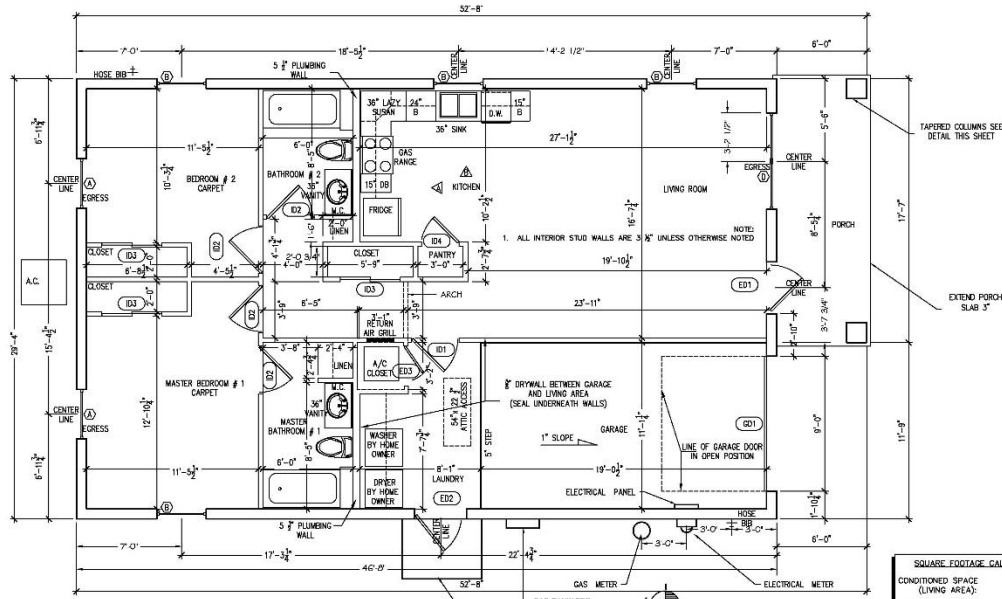
SEE SCALE STYLE  
CEMENTITIOUS SIDING AT  
FRONT GABLES ONLY



# FRONT (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"





**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SQUARE FOOTAGE CALCULATIONS**

|   |                           |
|---|---------------------------|
| CONDITIONED SPACE (LIVING AREA)               | 1040 sq. ft.              |
| NON CONDITIONED SPACE: (GARAGE) (FRONT PORCH) | 317 sq. ft. / 105 sq. ft. |
| <b>TOTAL:</b>                                 | <b>1462 sq. ft.</b>       |

**WINDOW SCHEDULE**

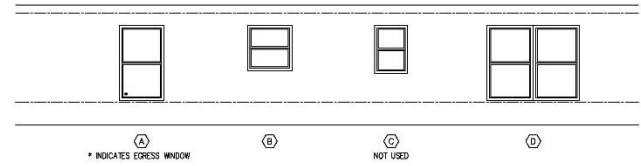
| WINDOW DESIGNATION | QUANTITY | ROUGH OPENING W/O WOOD BLOCK | TOP OF WINDOW ABOVE FLOOR |
|--------------------|----------|------------------------------|---------------------------|
| (A)                | 2        | 39" x 64"                    | 6'-8" V.L.F.              |
| (B)                | 4        | 39" x 39"                    | 6'-8" V.L.F.              |
| (C)                | NOT USED | 22" x 38"                    | 6'-8" V.L.F.              |
| (D)                | 1        | 77" x 64"                    | 6'-8" V.L.F.              |

NOTE: WINDOWS: VINYL FRAME, COLONIAL GRIDS, SINGLE HUNG, DOUBLE PANE, LOW E. BATHROOM WINDOWS: \* SHALL BE OBTAINED TEMPERED GLASS. VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES.  
EXTERIOR DOOR ROUGH OPENING = 41.5 x 82.5  
GARAGE ROUGH OPENING = 105 x 84

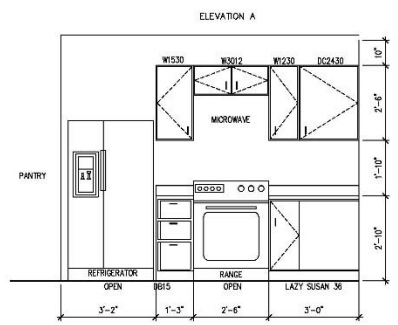
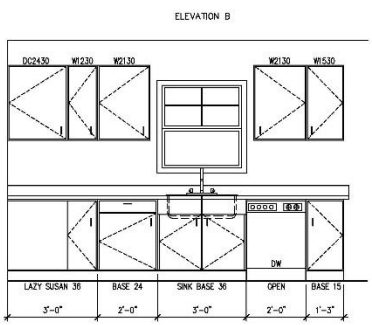
**DOOR SCHEDULE**

| DOOR DESIGNATION | QUANTITY | SIZE          | SWING            | REMARKS                              | FL PRODUCT APPROVAL # |
|------------------|----------|---------------|------------------|--------------------------------------|-----------------------|
| (ED1)            | 1        | 3'-0" x 6'-8" | OUTSWING / RIGHT | FIBERGLASS W/ANGLIGHT                | FL # 15213.1          |
| (ED2)            | 1        | 3'-0" x 6'-8" | OUTSWING / RIGHT | FIBERGLASS                           | FL # 15213.1          |
| (ID1)            | 1        | 3'-0" x 6'-8" | OUTSWING / RIGHT | ONE HOUR FIRE RATED SELF CLOSING     |                       |
| (ED3)            | 4        | 3'-0" x 6'-8" | 3 LEFT - 1 RIGHT | H.C. 6 PANEL INT. COLONIAL WOOD DOOR |                       |
| (ED4)            | 5        | 2'-0" x 6'-8" | BY-PASS          | H.C. 6 PANEL INT. COLONIAL WOOD DOOR |                       |
| (ID4)            | 1        | 2'-6" x 6'-8" | LEFT             | H.C. 6 PANEL INT. WOOD DOOR          |                       |
| (ED5)            | 1        | 2'-6" x 6'-8" | OUTSWING / LEFT  | EXTERIOR DOOR SEALED                 |                       |
| (GD1)            | 1        | 9'-0" x 7'-0" | SECTIONAL        | LARGE MESSIE IMPACT RESISTANT DOOR   | FL # 15212.5          |

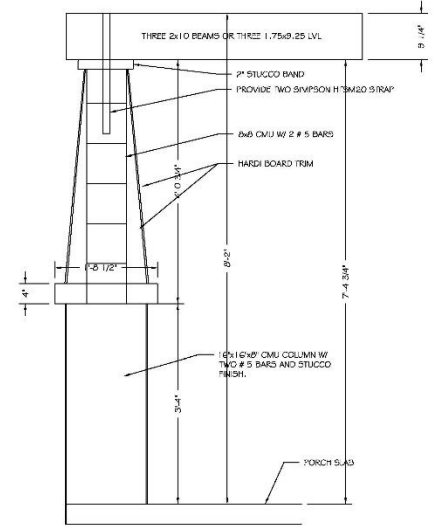
NOTE: DOORS: SOLID CORE (S.C.) HOLLOW CORE (H.C.)



**WINDOW DETAILS**  
SCALE: N.T.S.



**KITCHEN CABINET ELEVATIONS**  
SCALE: 1/2" = 1'-0"



**TAPERED COLUMN**  
SCALE: 1" = 1'-0"



O CYPRESS STREET EAST LOT

Daniel R. Stowers P.E.  
Civil Engineer  
5920 Bahama Way North  
St. Pete Beach Florida 33706

HABITAT FOR HUMANITY OF PINELLAS & WEST PASCO COUNTIES  
13355 49th STREET NORTH  
CLEARWATER, FL 33762  
PHONE: 727 536-4755  
FAX: 727 209-2191

SCALE  
1/4" = 1'-0"

FLOOR PLAN  
SHEET 3

# PRELIMINARY STAFF RECOMMENDATION

Staff recommends approval of Application #21-109 for a Certificate of Approval with the following condition:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No responses to the notices have been received.



**CITY OF TARPON SPRINGS**  
**PLANNING & ZONING BOARD / BOARD OF COMMISSIONERS**  
**SEPTEMBER 13, 2021**

**STAFF REPORT, September 8, 2021**

**Application No. / Project Title:** 21-109 / Habitat for Humanity  
**Staff:** Patricia L. McNeese, AICP  
Principal Planner

**Applicant / Owner:** Habitat for Humanity

**Property Size:** 7,500 square feet

**Current Zoning:** R-60 (One and Two Family Residential)

**Current Land Use:** Residential Urban (RU)

**Location / Parcel ID:** 435 Cypress Street / 12-27-15-89982-018-0400

**BACKGROUND SUMMARY:**

The applicant is seeking a Certificate of Approval for construction of a new single family detached dwelling on vacant property located on the north side of Cypress Street between North Grosse Avenue and North Levis Avenue. The subject property is located in the R60 zoning district.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff recommends approval of the project as presented by the applicant with the following conditions:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**HISTORIC DISTRICT CONSIDERATIONS:**

1. When considering this application, the Heritage Preservation Board (Board) is encouraged to refer to the Historic District Design Review Guidelines Manual (DRGM), primarily Guidelines 5, 12, 30, 34 – 37 and 39. The DRGM can be accessed at the following link:  
<https://www.ctsfl.us/wp-content/uploads/2021/02/Guidelines-for-Adoption-2-9-2021.pdf>
2. The adjacent property to the east located at 455 Cypress Avenue is a frame vernacular single family residence listed as contributing in the district and built ca. 1910. The adjacent property to the west is vacant City-owned property used for stormwater and other utilities.
3. The subject applicant built two residences at 527 and 533 Cypress Street, just outside the historic district, in 2018. Both are positive architectural additions to the neighborhood.



## **REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL**

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

***(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.***

**ANALYSIS:** The applicant is proposing the placement of a new one-story single family residence on the site. The historic district on this block of Cypress Street is characterized by one-story frame and masonry vernacular structures. The applicant has proposed a masonry structure of 17.5 feet in height to peak of roof and just under 30 feet in width. The height and width of the proposed structure is very consistent with the predominant character of Cypress Street exhibiting several contributing and contributing-altered one-story vernacular structures, several with front porches (some now enclosed). The scale and massing of the proposed structure is very consistent with the adjacent contributing structures and with those of similar character and style in the district.

***(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.***

**ANALYSIS:** Not applicable to this project.

***(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.***

**ANALYSIS:** The main facade of the building will be set back 25 feet from the front property line with the front porch extending at least two feet closer. The adjacent buildings along this block of Cypress Street display similar setbacks. Front driveways and walkways to front entries characterize this brick street environment. The proposed residence matches these characteristics with a prominent front entry framed by a porch, and walkway coming off the driveway. The applicant also plans to retain shade trees on the site which will soften the “new construction” impact and maintain the integrity and rhythm of the historic street environment. The proposed layout will enhance and preserve the streetscape and pedestrian experience established along this block.

***(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.***



**ANALYSIS:** The project proposes to use a shingle roof which is consistent with all of the structures in this block of Cypress Street as well as with the style of residence proposed.

***(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.***

**ANALYSIS:**

The project basically mimics masonry vernacular construction with elements of the Craftsman style including front gable roof, front porch with flared columns, paired Queen Anne front window set, shingle siding gable accent, and simple bracket ornamentation. The proposed residence is charming without being overly ornate, consistent with vernacular architecture on this street. The porch, front entry and banded window pair are prominent features at the streetfront that convey the feel of the district by blending with the surrounding historic structures. The front-loading garage is the only element that is not completely congruent with the existing historic architecture on this street as many of these older properties had no garage or may have had parking/garages in the rear of the property. The front garage opening is somewhat diminished, however, by the prominence of the front porch and by the proposed decorative garage door. The front garage does not unduly detract from the neighborhood and is acceptable.

For the exterior walls, the applicant will be using painted struck block with stucco application for the front facade. The applicant has submitted a materials list. The windows will be of vinyl where visible from the front and will use extruded aluminum on the less visible parts of the building. The pedestrian doors will be of fiberglass construction. The garage door will be of metal construction. The decorative gable peaks will be of cementitious siding (HardieShingle®). The driveway and walkway will be concrete, consistent with the rest of the neighborhood and with the concrete sidewalks on both sides of Cypress Street.

***(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.***

**ANALYSIS:** Not applicable to this project.

***(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.***

**ANALYSIS:** Not applicable to this project.

***(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural***



***property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.***

**ANALYSIS:** Not applicable to this project.

***(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.***

**ANALYSIS:** Not applicable to this project.

***(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.***

**ANALYSIS:** The project is located in the R60 zoning district. The proposal meets the standards of that district. The proposed use is consistent with the City's Comprehensive Plan

***(11) The impact upon archaeological sites shall preserve the integrity of the site.***

**ANALYSIS:** No archaeological sites will be impacted.

**PUBLIC CORRESPONDENCE:**

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff has not received any responses to these notices.

**ATTACHMENTS:**

1. Slide Presentation
2. Survey
3. Site Plan
4. Elevation Plan
5. Floor Plan
6. Materials List

LEGAL DESCRIPTION

THE EAST 1/2 OF THE WEST 100 FEET OF THE SOUTH 1/2 OF LOT 4, BLOCK 18, OFFICIAL MAP OF THE TOWN OF TARPON SPRINGS, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 78, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X (SHADED), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF TARPON SPRINGS, PINELLAS COUNTY, COMMUNITY NUMBER 120259 (MAP NUMBER 12103C-0019-G), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR

HABITAT FOR HUMANITY OF PINELLAS & WEST PASCO COUNTIES, INC.

SURVEY ABBREVIATIONS

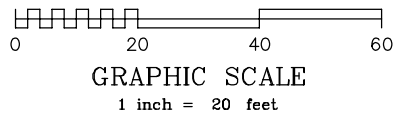
- A = ARC LENGTH
A/C = AIR CONDITIONER
AF = ALUMINUM FENCE
ALUM = ALUMINUM
D/W = DRIVEWAY
EL OR ELEV = ELEVATION
EFC = EDGE OF FENCE
EOM = EDGE OF MASONRY
EOW = EDGE OF WATER
ESMT = EASEMENT
FOM = FOUND CONCRETE MONUMENT
FES = FLARED END SECTION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FND = FOUND
FNO = FOUND
FOP = FOUND OPEN PIPE
FC = FLORIDA POWER CORP.
FPP = FOUND PINCHED PIPE
FRM = FRAME
FZL = FLOOD ZONE LINE
GAR = GARAGE
GE = GLASS ENCLOSURE
G/S = CONCRETE SLAB
COR = CORNER
COV = COVERED AREA
D = DEED
DOT = DEPARTMENT OF TRANSPORTATION
DRNG = DRAINAGE
LS = LAND SURVEYOR
M = MEASURED
MAS = MASONRY
MES = METERED END SECTION
MH = MANHOLE
MHL = MEAN HIGH WATER LINE
MSL = MEAN SEA LEVEL
NAB = NAIL AND BOTTLE CAP
N&T = NAIL AND TAB
NOD = NATIONAL GEODETIC VERTICAL DATUM
NO = NUMBER
O/A = OVERALL
OH = OVERHEAD WIRE(S)
OR = OFFICIAL RECORDS
Q/S = OFFSET
P = PLAT
PB = PLAT BOOK
PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PG = PAGE
LB = LAND SURVEYING BUSINESS
LHSM = LOWEST HORIZONTAL SUPPORTING MEMBER
LS = LAND SURVEYOR
M = MEASURED
MAS = MASONRY
MES = METERED END SECTION
MH = MANHOLE
MHL = MEAN HIGH WATER LINE
MSL = MEAN SEA LEVEL
NAB = NAIL AND BOTTLE CAP
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Q/S = OFFSET
P = PLAT
PB = PLAT BOOK
PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PG = PAGE
PK = PARKER KALON
PL = PROPERTY LINE
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
POL = POINT ON LINE
PP = POWER POLE
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PROP = PROPERTY
PSM = PROFESSIONAL SURVEYOR & MAPPER
PVC = PVC FENCE
PWT = PAVEMENT
RAD = RADIUS
R = RECORD
REF = REFERENCE
RES = RESIDENCE
RL = RADIAL LINE
RLS = REGISTERED LAND SURVEYOR
RND = ROUND
RNG = RANGE
RRS = RAIL ROAD SPIKE
R/W = RIGHT-OF-WAY
SCM = SET CONCRETE MONUMENT
S/E = SCREENED ENCLOSURE
SEC = SECTION
SET N&D = SET NAIL AND DISK LB# 1834
SR = SET 1/2" IRON ROD LB# 1834
SQ = SQUARE
SRF = SPLIT RAIL FENCE
SR = STATE ROAD
STY = STORY
SUB = SUBDIVISION
S/W = SIDEWALK
TB = 1" BAR
TBM = TEMPORARY BENCH MARK
TC = TOP OF CURB
TOB = TOP OF BANK
TOS = TOE OF SLOPE
TRANS = TRANSFORMER
TYP = TYPICAL
UG = UNDERGROUND
UTL = UTILITY
WD = WOOD
WF = WOOD FENCE
WFS = WOOD FRAME STRUCTURE
WIF = WROUGHT IRON FENCE
WT = WITNESS
WRF = WIRE FENCE
WV = WATER VALVE

\*\*\* ABBREVIATIONS MAY ALSO BE CONCATENATED AS REQUIRED.
\*\*\* OTHER COMMONLY RECOGNIZED AND/OR ACCEPTED ABBREVIATIONS ARE ALSO UTILIZED BUT NOT SPECIFIED HEREON.

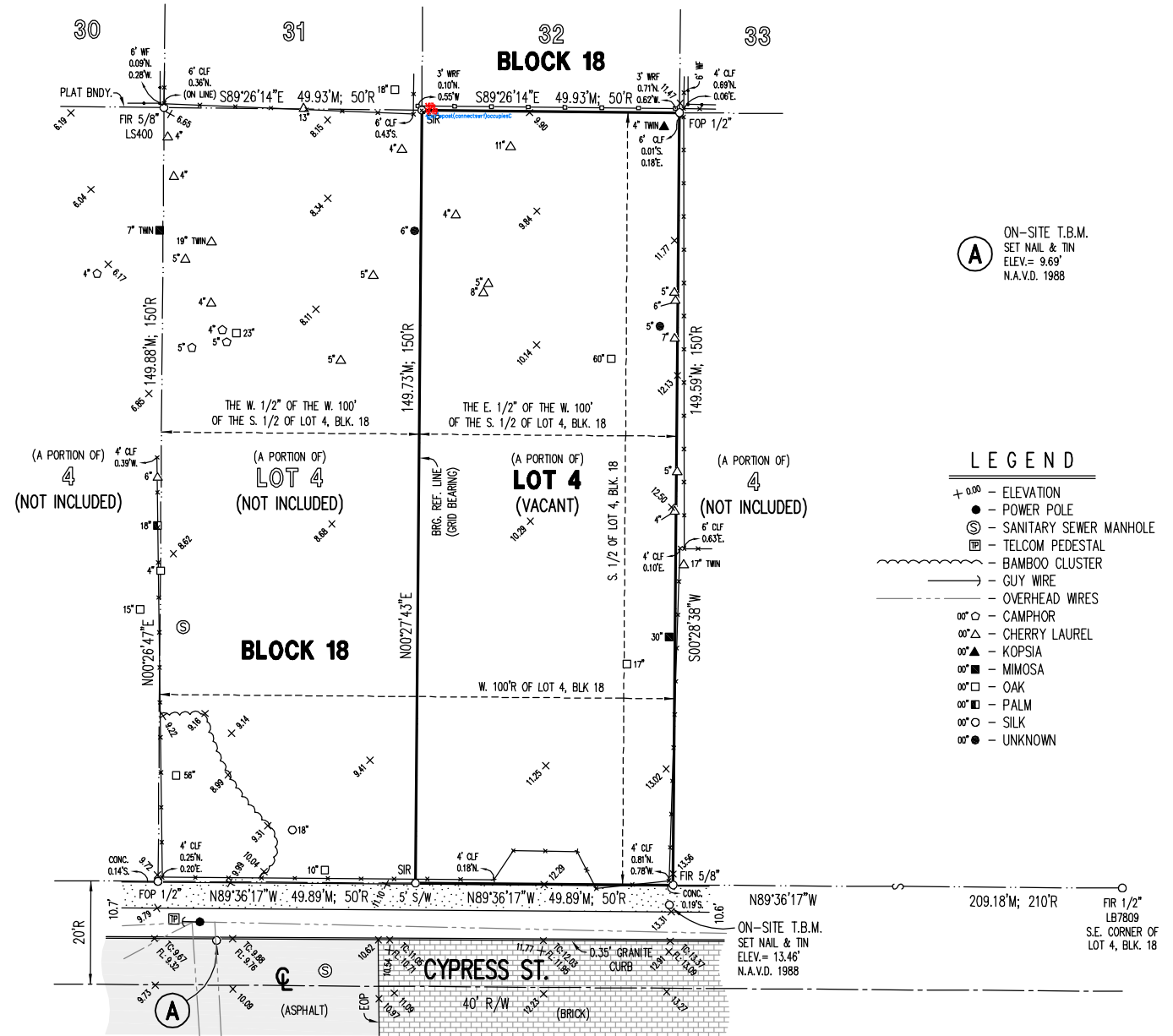
GENERAL NOTES

- 1.) THIS SURVEY HAS BEEN EXCLUSIVELY PREPARED FOR THE NAMED ENTITIES (THE "CERTIFIED PARTIES") SHOWN HEREON AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR RE-USE THIS SURVEY FOR ANY PURPOSE WITHOUT THE EXPRESSED, WRITTEN CONSENT OF GEORGE A. SHIMP II & ASSOCIATES, INC. (THE "SURVEY FIRM") AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER (THE "SIGNING SURVEYOR"), HEREINAFTER COLLECTIVELY REFERRED TO AS "THE SURVEYOR". NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THE CERTIFIED PARTIES SHOWN ON THIS SURVEY.
2.) UNAUTHORIZED COPIES AND/OR REPRODUCTIONS VIA ANY MEDIUM OF THIS SURVEY OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE SURVEYOR'S EXPRESSED, WRITTEN CONSENT.
3.) THE WORD "CERTIFY" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF THE SURVEYOR'S OPINION REGARDING THE FACTS OF THE SURVEY BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.
4.) THIS SURVEY SHALL BE VALID FOR ONE (1) YEAR FROM THE DATE OF FIELD SURVEY SHOWN HEREON.
5.) THIS PROPERTY WAS SURVEYED BASED ON THE PROPERTY'S LEGAL DESCRIPTION, AS SHOWN HEREON, WHICH UNLESS OTHERWISE STATED, WAS PROVIDED TO THE SURVEYOR BY THE CLIENT, OR CLIENT'S DESIGNATED AGENT.
6.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR TITLE COMMITMENT AND IS SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND/OR OTHER MATTERS OF RECORD. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, EXCEPT AS SHOWN.
7.) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER MATTERS OF RECORD THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THERE MAY BE ADDITIONAL EASEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY THAT ARE NOT SHOWN HEREON AND MAY (OR MAY NOT) BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
8.) BASIS OF BEARINGS: MEASURED BEARINGS ARE IN REFERENCE TO FLORIDA STATE PLANE COORDINATE GRID NORTH, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 READJUSTMENT), AS ESTABLISHED BY THE NATIONAL GEODETIC SURVEY.
9.) THERE ARE NO VISIBLE ENCROACHMENTS, EXCEPT AS SHOWN HEREON.
10.) THIS SURVEY SHOWS VISIBLE, ABOVE GROUND FEATURES. NO UNDERGROUND FEATURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN HEREON.
11.) ALL BUILDING TIES, PROPERTY MARKER LOCATIONS AND OTHER SITE IMPROVEMENT LOCATIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO ADJACENT BOUNDARY LINES, UNLESS OTHERWISE STATED.
12.) THE FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAP, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING AND DAMAGE. LARGER FLOODS THAN THOSE PREDICATED ON SAID MAP MAY OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THE FLOOD INSURANCE RATE MAP "IS FOR INSURANCE PURPOSES ONLY" AND ANY DAMAGES THAT MAY RESULT FROM RELIANCE ON THIS FLOOD ZONE DETERMINATION SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR. THE FLOOD ZONE LINES (IF ANY) SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON A SCALED INTERPRETATION FROM THE FLOOD INSURANCE RATE MAP AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
13.) UNLESS OTHERWISE SHOWN, THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP LINES, LINES AFFECTED BY ADVERSE USE, LINES OF CONFLICTING/OVERLAPPING DEEDS, OR OTHER LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
14.) NO INFORMATION ON ADJOINING PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THE SURVEYOR.
15.) BECAUSE OF THE POSSIBILITY OF MOVEMENT OF THE MONUMENTATION FROM ITS ORIGINAL PLACEMENT BY PERSONS OTHER THAN THE SURVEYOR, IT IS RECOMMENDED THAT PRIOR TO ANY NEW IMPROVEMENTS ON THE PROPERTY THAT THE POSITION OF THE MONUMENTATION BE VERIFIED.
16.) FENCES AND WALLS (IF ANY) SHOWN ALONG THE BOUNDARIES OF THIS SURVEY ARE EXAGGERATED FOR CLARITY AND OWNERSHIP IS NOT DETERMINED. THE TIES AT THE PROPERTY CORNERS OR AT SPECIFICALLY DESIGNATED POINTS ARE BASED UPON FIELD LOCATIONS. FENCES AND WALLS ALONG OTHER PROPERTY BOUNDARIES MEANDER AND ARE APPROXIMATE. PRIOR TO THE RECONSTRUCTION OF ANY FENCES OR WALLS, IT WOULD BE PRUDENT TO HAVE THE BOUNDARY LINE STAKED.
17.) THE PRINTED DIMENSIONS SHOWN ON THIS SURVEY SUPERSEDE ANY SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.
18.) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY AND UNLESS OTHERWISE SHOWN, IS BASED ON EXISTING SURVEY MONUMENTATION AS FOUND IN THE FIELD.
19.) THE ACCURACY OF THIS SURVEY, AS OBTAINED BY FIELD-MEASURED CONTROL MEASUREMENTS AND CALCULATIONS, MEETS OR EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY REQUIREMENT AS SPECIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17, FLORIDA ADMINISTRATIVE CODE).
20.) THIS SURVEY IS BEING CERTIFIED ACCORDING TO THE LAST DATE OF FIELD SURVEY AND NOT THE SIGNATURE DATE (IF ANY).
21.) THIS SURVEY SHALL NOT BE FILED FOR PUBLIC RECORDS WITHOUT THE KNOWLEDGE AND THE EXPRESSED, WRITTEN CONSENT OF THE SURVEYOR.
22.) UNLESS OTHERWISE SHOWN, THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON THE DEFINITION OF A FOOT AS ADOPTED BY THE UNITED STATES BUREAU OF STANDARDS AND REFER TO THE HORIZONTAL PLANE.
23.) TREES BY NATURE ARE IRREGULAR IN SHAPE AND SIZE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THEM. THE TREE SIZE IS DETERMINED AT CHEST HEIGHT DIAMETER AND THE TREE LOCATION IS CENTER OF THE TREE TRUNK. ANY TREE LOCATIONS THAT ARE CRITICAL TO DESIGN SHOULD BE FIELD VERIFIED. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON. HOWEVER, TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL SURVEYOR AND MAPPER, THEREFORE, THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR IDENTIFICATION OF TREE SPECIES. ALL TREE TYPES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND ANY TREE SPECIES THAT ARE CRITICAL SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
24.) THIS SURVEY SHALL NOT BE USED WITH A SURVEY AFFIDAVIT. AN INCORRECT SURVEY AFFIDAVIT CAN INCREASE THE OWNER/BUYER'S LIABILITY, DECREASE THEIR LEGAL RIGHTS AND PROTECTIONS WHICH ARE AFFORDED BY A CURRENT SURVEY AND MAY RESULT IN COSTLY LITIGATION AS WELL. AN INCORRECT SURVEY AFFIDAVIT CAN BE THE RESULT OF CHANGES MADE TO THE PROPERTY SINCE THE DATE OF THE LAST SURVEY, WHICH MAY INCLUDE IMPROVEMENTS MADE BY THE OWNER, ADJACENT OWNERS OR UTILITY COMPANIES OR CHANGES IN THE SURVEY BOUNDARY MONUMENTATION. USE OF THIS SURVEY BY A LENDING INSTITUTION OR TITLE COMPANY IN CONJUNCTION WITH A SURVEY AFFIDAVIT IS STRICTLY PROHIBITED AND SHALL RENDER THIS SURVEY NULL AND VOID.
25.) BENCH MARK: THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM N.G.S. CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.) "MAUCHULA CORRS ARP", "MAC DILL AFB CORRS ARP" AND "ZEPHYRHILLS CORRS ARP" USING THE ONLINE POSITIONING USER SERVICE (O.P.U.S.) ON SEPTEMBER 5, 2019.

SECTION 12, TWP. 27 S., RNG. 15 E., PINELLAS COUNTY, FLORIDA



LAKE BUTLER VILLA CO.
P.B. 3, PG. 83



ON-SITE T.B.M.
SET NAIL & TIN
ELEV.= 9.69'
N.A.V.D. 1988

- LEGEND
+ 0.00 - ELEVATION
- POWER POLE
- SANITARY SEWER MANHOLE
- TELCOM PEDESTAL
- BAMBOO CLUSTER
- GUY WIRE
- OVERHEAD WIRES
- CAMPHOR
- CHERRY LAUREL
- KOPSIA
- MIMOSA
- OAK
- PALM
- SILK
- UNKNOWN

BOUNDARY SURVEY

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DO NOT COPY OR REPRODUCE

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING AS REQUIRED BY THE STATE OF FLORIDA RULE 5J-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.
STATE OF FLORIDA
George A. Shimp II, Florida Registered Land Surveyor No. 2512

JOB NUMBER: 190221 DATE SURVEYED: 8-21-2019
DRAWING FILE: 190221.DWG DATE DRAWN: 9-6-2019
LAST REVISION: N/A X REFERENCE: N/A
GEORGE A. SHIMP II AND ASSOCIATES, INCORPORATED
LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256



# HABITAT FOR HUMANITY OF PINELLAS & WEST PASCO COUNTIES

## NEW TWO BEDROOM HOME FOR THE EDDY FAMILY

### 0 CYPRESS STREET, TARPON SPRINGS

JULY 2021

#### GENERAL NOTES

##### VISITABILITY REQUIREMENTS

1. NO STEP ENTRANCE TO LAUNDRY ROOM.
2. BEDROOM AND BATHROOM DOORS SHALL BE 36"
3. ENTRANCE DOOR SHALL BE 36"
4. USE LEVER HANDLE DOOR HARDWARE.
5. HALLWAY SHALL BE 48" MINIMUM WIDTH.
6. PROVIDE GRAB BAR BLOCKING AROUND TUB & WATER CLOSET. GRAB BARS NOT REQUIRED UNLESS REQUESTED BY OWNER.
7. PROVIDE 30"x48" WHEELCHAIR MANEUVERING AREA IN BATHROOM WITH DOOR OPEN.
8. BOTTOM OF ELECTRIC OUTLETS TO BE 16" ABOVE FINISHED FLOOR.
9. ELECTRIC SWITCHES TO BE 48" AFF.

##### LUMBER

1. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED TO .40 PCF CCA OR .25 PCF ACQ.

##### WINDOW PROTECTION

PROVIDE HURRICANE STORM PANELS MEETING THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE. ALTERNATE MANUFACTURES WILL BE ACCEPTABLE PROVIDE THEY MEET THE IMPACT REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE.

##### EXTERIOR WALLS

EXTERIOR WALLS SHALL BE CONCRETE BLOCK (CMU) MEETING REQUIREMENTS OF R607 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE.

##### STUCCO AND PAINT

1. APPLY STUCCO AS SHOWN ON ELEVATIONS.
2. STUCCO SHALL BE APPLIED IN TWO COATS. FIRST COAT SHALL BE A SCRATCH COAT. SECOND COAT SHALL BE FINISH COAT. TOTAL THICKNESS SHALL BE 7/8" MIN.
3. STUCCO OVER WOOD SHALL HAVE PAPERBACK METAL LATH
4. PROVIDE CORNER BEADS AND CONTROL JOINTS. VERIFY LOCATION OF CONTROL JOINTS WITH ENGINEER.
5. PROVIDE PRIMER/SEALER PLUS TWO COATS OF ELASTOMERIC PAINT TO STUCCO.

##### GENERAL

1. PROVIDE WIRE SHELVING IN CLOSETS.
2. SOFFITS SHALL BE VENTED VINYL.
3. EQUAL SIMPSON OR USP CONNECTORS MAY BE USED

##### ATTIC VENTILATION CALCULATIONS

ATTIC AREA = 1227 S.F. = 176688 S.I.  
 REQUIRED VENTILATION = 176688 / 150 = 1178 S.I.  
 VENTED SOFFIT = 14 S.I. PER S.F.  
 SOFFIT AREA = 228 S.F.  
 VENTILATION PROVIDED = 228 x 14 = 3192 > 1178 O.K.

##### ATTIC

THE ATTIC IS UNINHABITABLE WITHOUT STORAGE PORCH CEILING

PORCH CEILING SHALL BE SOLID VINYL PANEL MATERIAL NAILING STRIPS SHALL BE AT 12" SPACING

##### ROOF SHEATHING NAILING SCHEDULE

ALL EDGES & FIELD - 4"

NAILS SHALL BE 8d RING SHANK, 2" LONG, AND SHALL CONFORM TO 2020 FLORIDA RESIDENTIAL BUILDING CODE

##### APPLICABLE CODES

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA RESIDENTIAL BUILDING CODE 7 EDITION AND THE 2017 EDITION OF THE NATIONAL ELECTRIC CODE

##### CONCRETE

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000psi IN 28 DAYS. CONCRETE SHALL MEET THE REQUIREMENTS OF FDOT SECTION 346. UP TO 34% FLYASH MAY BE USED AS A CEMENTING AGENT PROVIDED THE REQUIRED DESIGN STRENGTH IS MET.
2. REINFORCING STEEL SHALL BE #5 BARS GRADE 40.
3. REINFORCING LAPS SHALL BE 25" MINIMUM.
4. ADD NO WATER AT SITE.
5. HABITAT WILL BE TAKING TWO TEST CYLINDER FOR EACH CONCRETE POUR. CONCRETE THAT DOES NOT REACH THE REQUIRED STRENGTH WILL BE SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO HABITAT.
6. HOUSE SLAB SHALL BE FIBROUS CONCRETE CONFORMING TO ASTM C 1116, ASTM C 94 AND ASTM E 119-83. FIBERS SHALL BE 100 PERCENT VIRGIN POLYPROPYLENE AT .75 POUNDS PER CUBIC YARD.
7. APPLY MEMBRANE CURING COMPOUND TO HOUSE SLAB CONFORMING TO FDOT 925 AND ASTM C309
8. ALLOW 72 HOURS BEFORE THE SLAB IS LOADED.
9. PROVIDE 1" DEEP SAW JOINTS @ 10' MAXIMUM SPACING FOR FLOOR SLAB, PORCH AND DRIVEWAY.

##### GARAGE DOOR

GARAGE DOOR SHALL BE VALVE SERIES AS MANUFACTURED BY CLOPAY OR EQUAL MEETING THE WIND LOADING REQUIREMENTS OF 145 mph (W5) ALTERNATE MANUFACTURES WILL BE ACCEPTABLE PROVIDE THEY MEET THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE.

##### TRUSS DESIGN CRITERIA

DESIGN SHALL BE BASED ON ASCE 7-10 AND THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. DESIGN WIND SPEED = 145 MPH BUILDING CATEGORY 2

##### UPLIFT

ROOF ZONE 1 = -34.5 psf  
 ROOF ZONE 2 = -43.2 psf  
 ROOF ZONE 3 = -51.2 psf

##### TRUSS VERTICAL LOADING

TOP CORD LIVE LOAD = 30 psf  
 BOTTOM CORD LIVE LOAD = 10 psf

TOP & BOTTOM CORDS SHALL BE #2 SELECT WITH Fb = 1500 psi  
 WEB MEMBER MAY BE #2 WITH NO KNOTS @ JOINTS  
 CONNECTORS SHALL BE 20 GAUGE GALV. STEEL GRADE 40, MEETING THE REQUIREMENTS OF ASTM A653 55.  
 PROVIDE 2x4 LATERAL BRACING OF BOTTOM CORD 2/3 POINTS.  
 TRUSSSED SHALL HAVE A 6.5' RAISED HEEL.

#### INDEX TO SHEETS

1. COVER SHEET AND GENERAL NOTES
2. FOUNDATION PLANS, TYPICAL WALL SECTIONS AND PORCH BEAM DETAILS
3. FLOOR PLAN, DOOR/WINDOW SCHEDULE AND COLUMN DETAIL
4. ELECTRICAL PLAN, HVAC PLAN AND PLUMBING ISOMETRIC
5. ELEVATIONS
6. ROOF PLAN, BLOCKING AND TIMBER LANDING

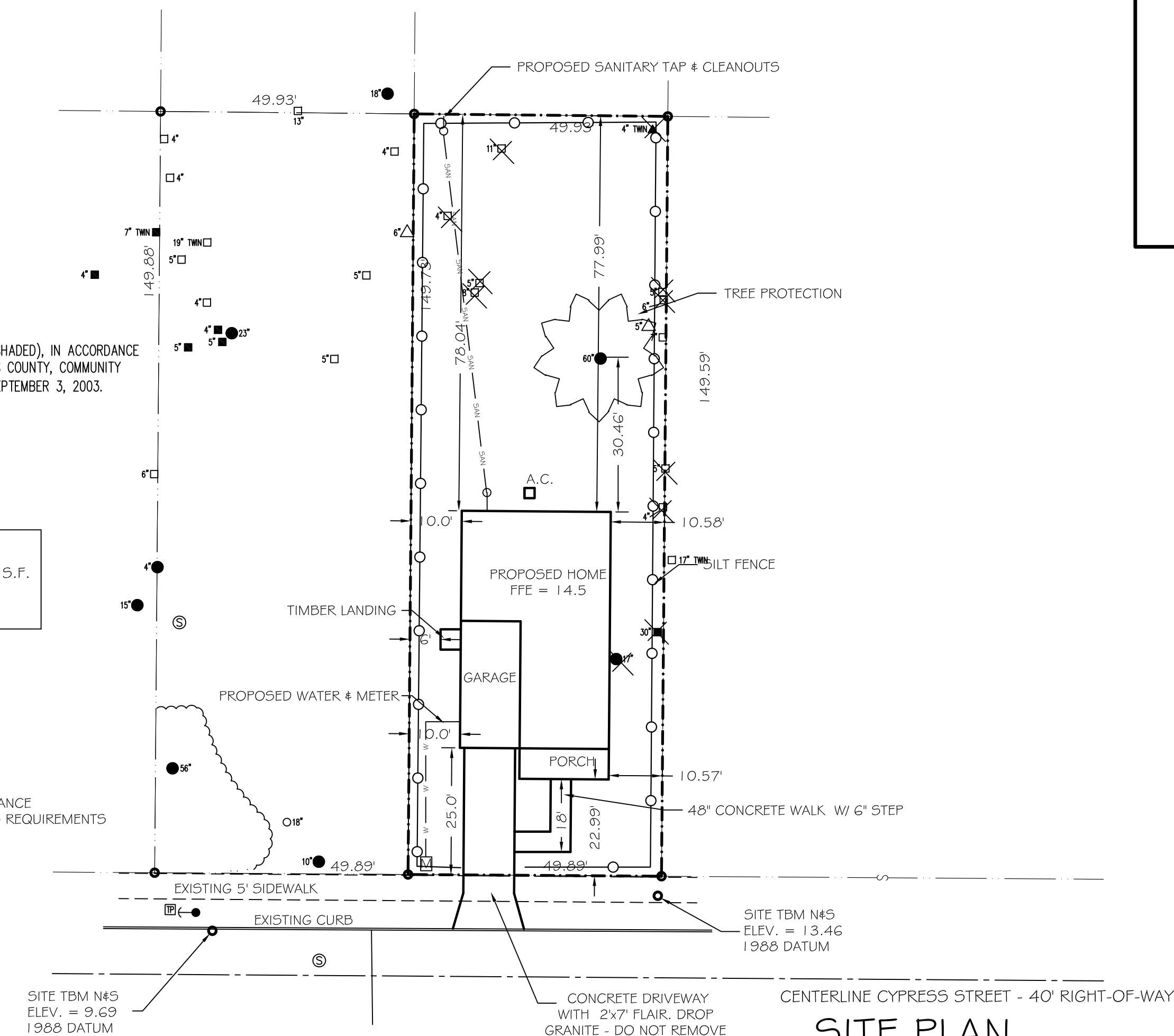
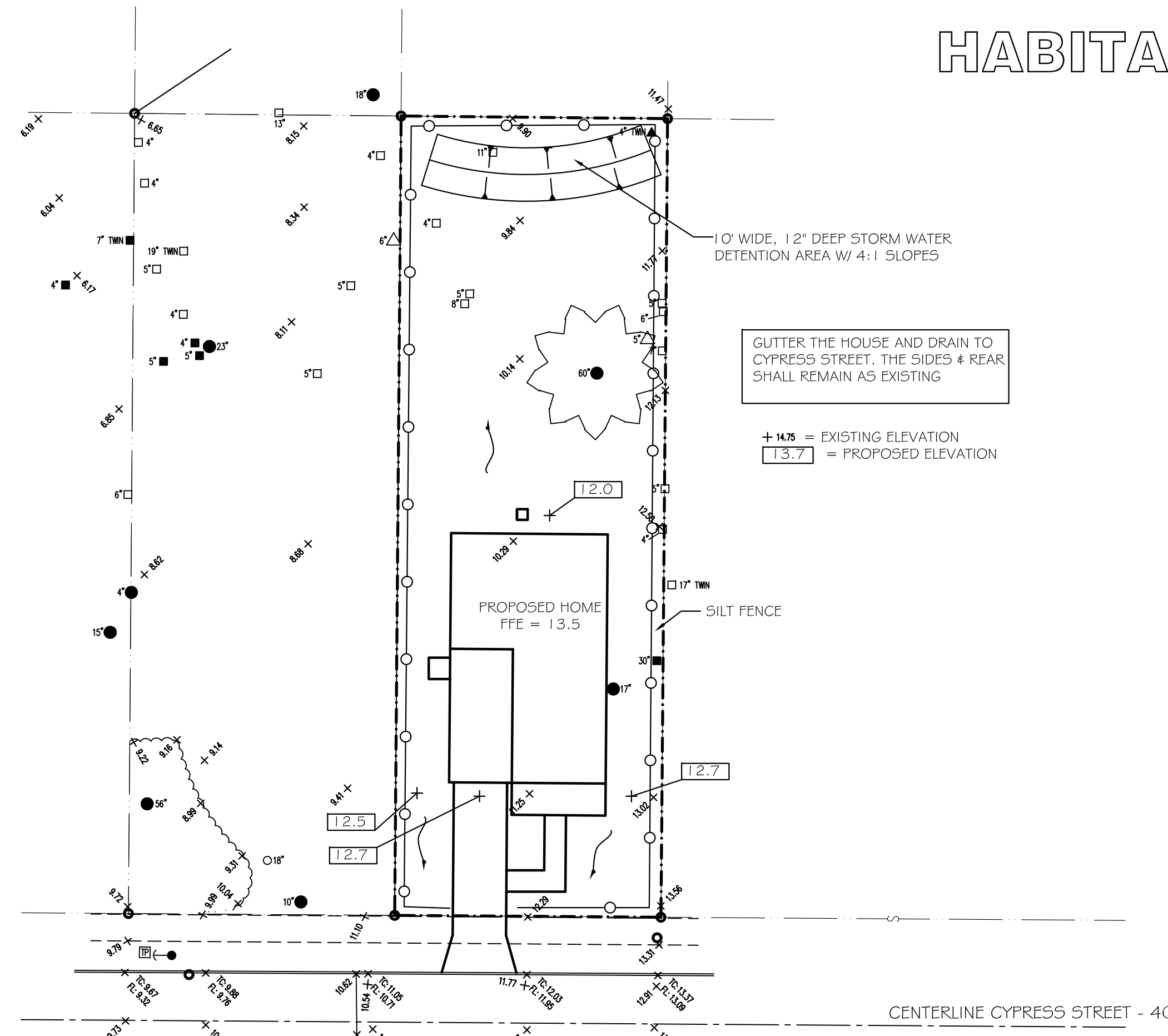
#### DESIGN CRITERIA

1. RISK CATEGORY 2
2. HEIGHT AND EXPOSURE COEFFICIENT = 1.0
3. EXPOSURE B
4. DESIGN WIND SPEED = 145 mph
5. BUILDING IS AN ENCLOSED STRUCTURE
6. INTERNAL PRESSURE COEFFICIENT = .18
7. EFFECTIVE AREA = 20 S.F.  
 MAXIMUM GABLE ROOF UPLIFT FROM TABLE R301.2(2) 2020 FLORIDA BUILDING CODE

ZONE 1 = -34.5 psf  
 ZONE 2 = -43.4 psf  
 ZONE 3 = -51.2 psf  
 MAXIMUM WALL PRESSURES  
 WALL ZONE 4 = -23.6 psf  
 WALL ZONE 5 = -28.4 psf

#### NOTES

1. A.C. PAD TO BE SCREENED FROM ADJOINING PROPERTIES AND ROADWAY USING SHRUBS.
2. CONCRETE DRIVE WITHIN THE STREET RIGHT-OF-WAY SHALL BE 6" IN THICKNESS WITH 6x6 10 GAUGE WWF. AND A MINIMUM OF 3000 psi FIBROUS CONCRETE.
3. REPLACE ANY DAMAGED SIDEWALKS. CONCRETE SIDE WALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND THE DRIVEWAY AND REPLACED IN ACCORDANCE WITH THE CITY OF TARPON SPRINGS STANDARDS.
4. LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF TARPON SPRINGS REQUIREMENTS



#### FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X (SHADED), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF TARPON SPRINGS, PINELLAS COUNTY, COMMUNITY NUMBER 120259 (MAP NUMBER 12103C-0019-G), MAP DATED SEPTEMBER 3, 2003.

LOT AREA = 7465 S.F.  
 IMPERVIOUS AREA = 1792 S.F.  
 IMPERVIOUS = 24.01 %

#### SET BACKS

FRONT GARAGE = 25'  
 FRONT LIVING AREA = 20'  
 SIDES = 5'  
 REAR = 20'

PROVIDE LANDSCAPING IN ACCORDANCE WITH THE CITY OF TARPON SPRINGS REQUIREMENTS

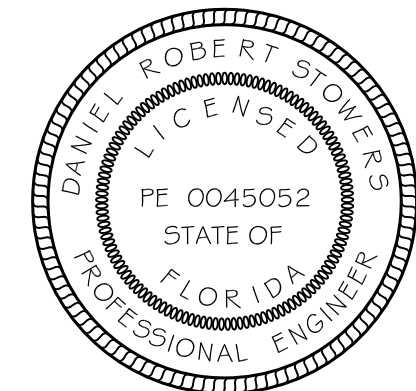
| NO. | REVISION | DATE |
|-----|----------|------|
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|     |          |      |

DESIGNED BY: DAN STOWERS  
 DRAWN BY: DAN STOWERS  
 APPROVED BY: GABY CAMACHO

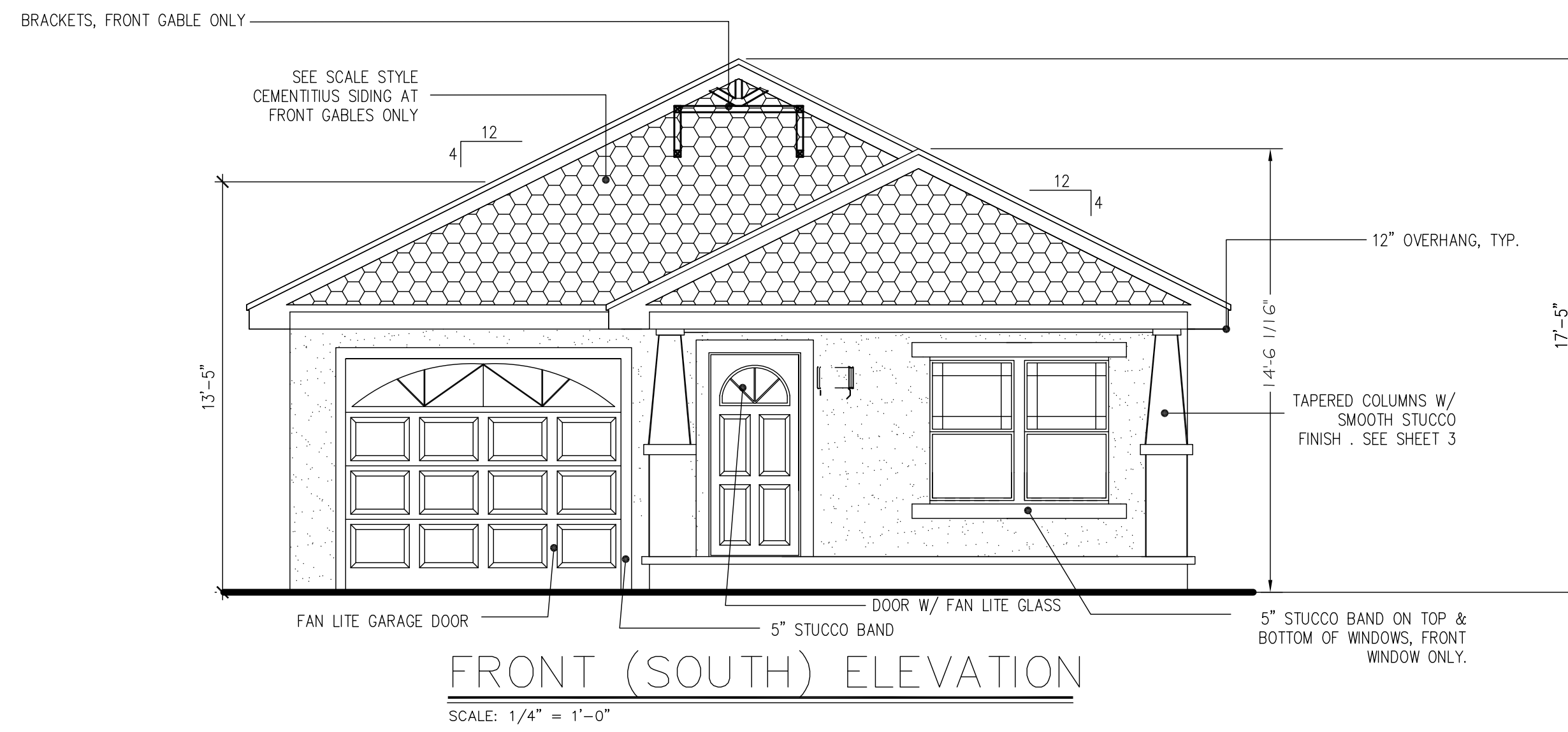
PREPARED BY:  
**DANIEL R. STOWERS P.E.**  
 P.E. 3 45052  
 5920 BAHAMA WAY NORTH  
 ST. PETE BEACH, FLORIDA 33706

### COVER SHEET

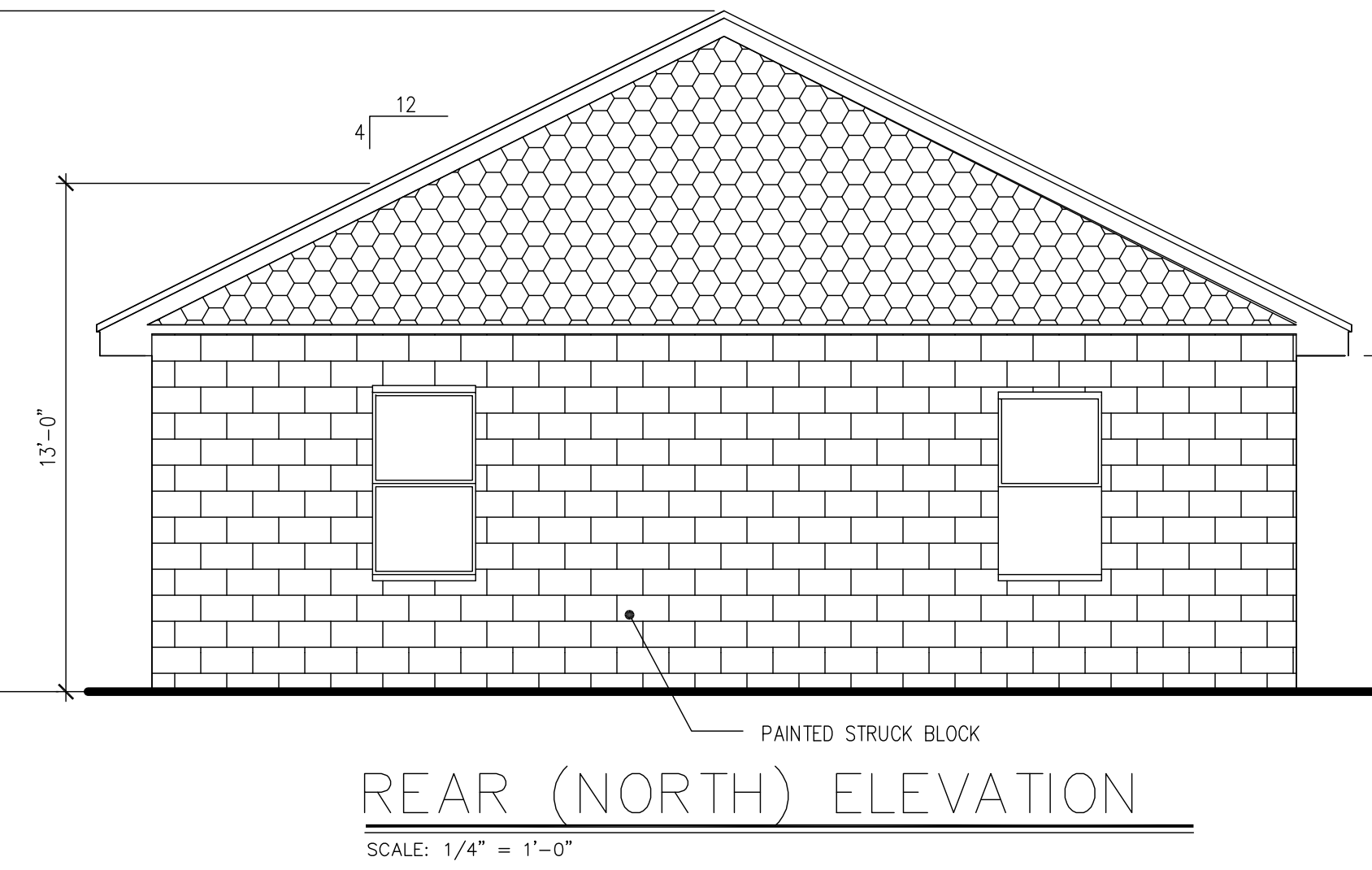
HABITAT FOR HUMANITY OF PINELLAS & WEST PASCO COUNTIES  
 13555 49th STREET NORTH  
 CLEARWATER FLORIDA 33762  
 727-536 4755  
 727-209 2191 (FAX)



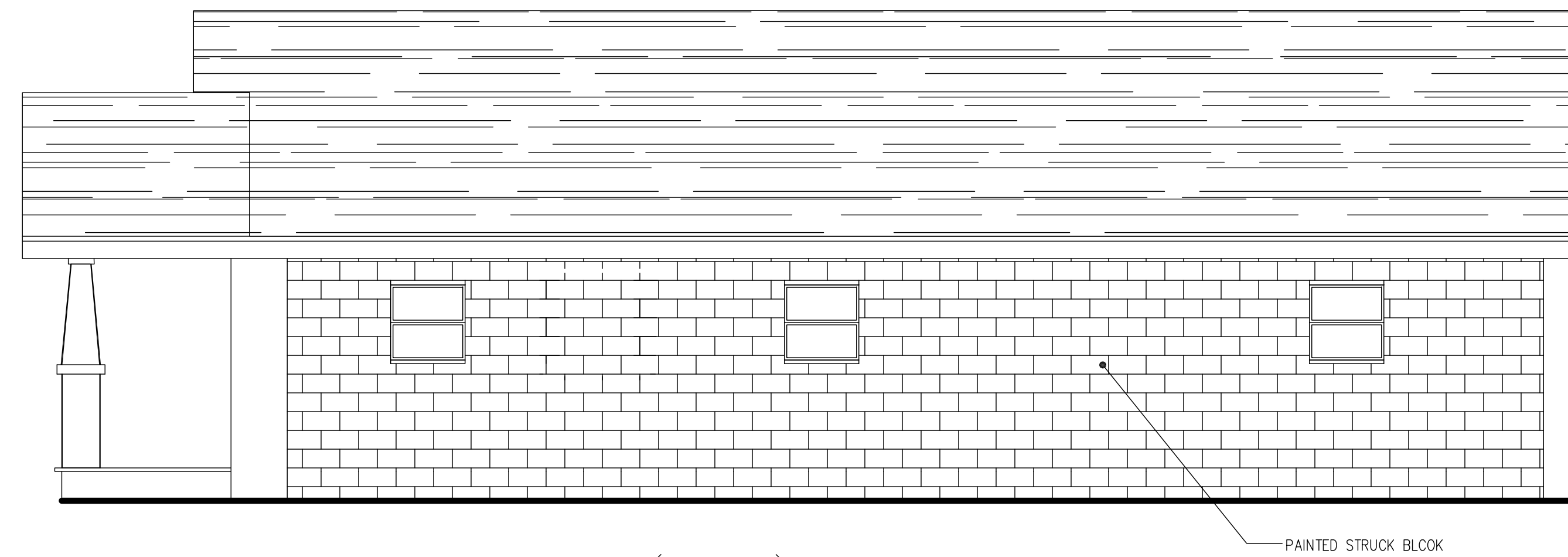
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|-------------|
|             |
| DATE        |
| JULY 2021   |
| PROJECT NO. |
|             |
| SHEET NO.   |
| 1 OF 6      |



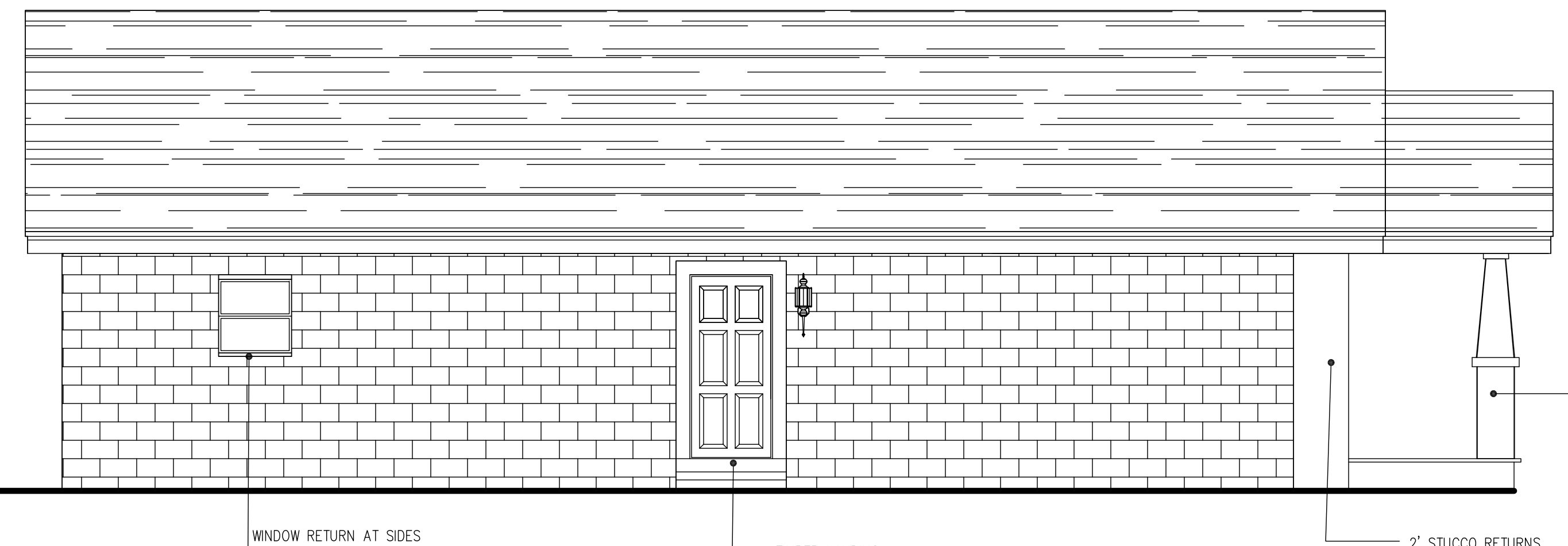
**FRONT (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



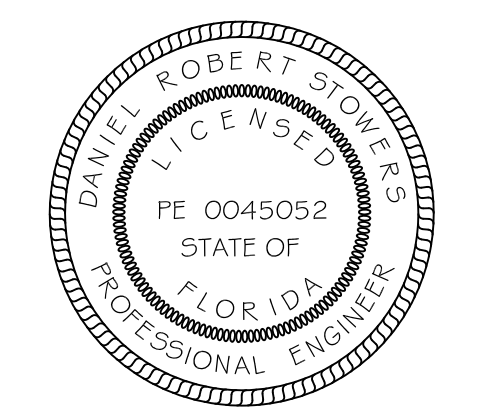
**REAR (NORTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"



0 CYPRESS STREET EAST LOT

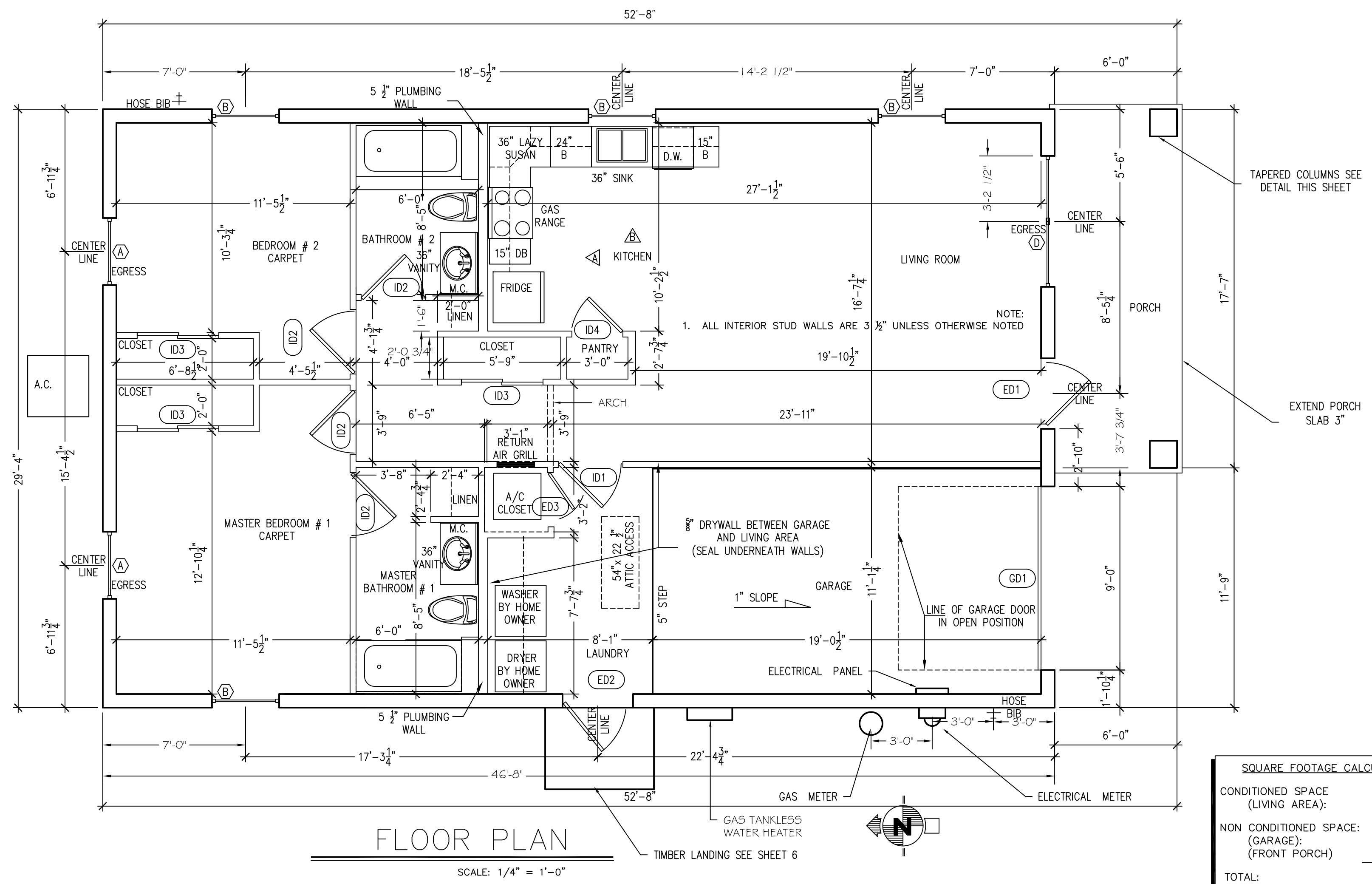
Daniel R. Stowers P.E.  
Civil Engineer  
5920 Bahama Way North  
St. Pete Beach Florida 33706

HABITAT FOR HUMANITY OF PINELLAS & WEST PASCO COUNTIES

13355 49th STREET NORTH  
CLEARWATER, FL 33762  
PHONE: 727 536-4755  
FAX: 727 209-2191

SCALE  
1/4" = 1'-0"

ELEVATIONS  
SHEET 5



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SQUARE FOOTAGE CALCULATIONS**

|                                  |                    |
|----------------------------------|--------------------|
| CONDITIONED SPACE (LIVING AREA): | 1040 sq.ft.        |
| NON CONDITIONED SPACE: (GARAGE): | 317 sq.ft.         |
| (FRONT PORCH)                    | 105 sq.ft.         |
| <b>TOTAL:</b>                    | <b>1462 sq.ft.</b> |

**WINDOW SCHEDULE**

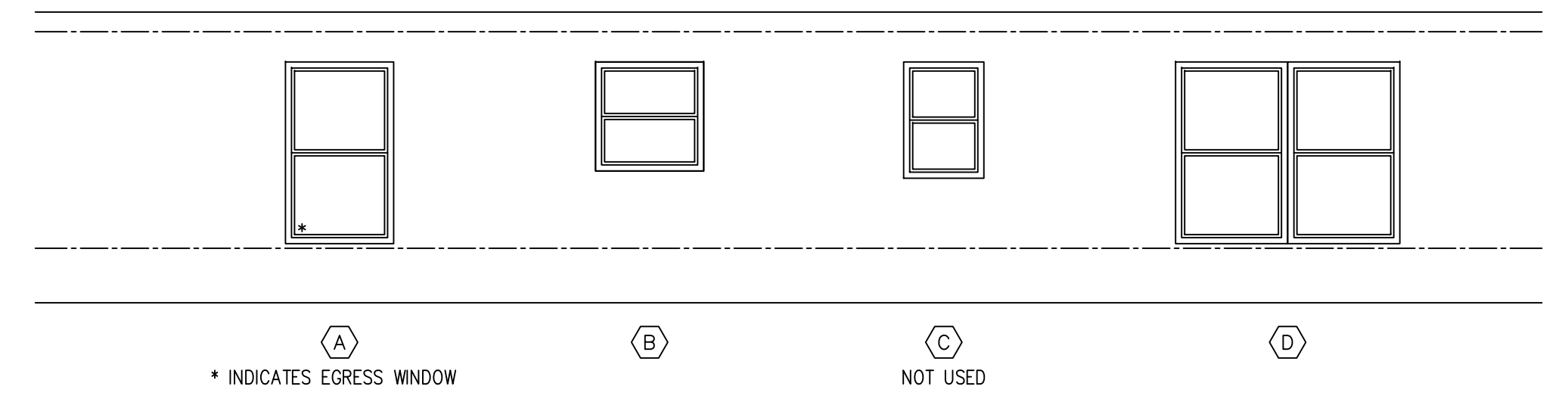
| WINDOW DESIGNATION | QUANTITY | ROUGH OPENING W/O WOOD BUCK | TOP OF WINDOW ABOVE FLOOR |
|--------------------|----------|-----------------------------|---------------------------|
| (A)                | 2        | 39 1/2" x 64"               | 6'-8" V.I.F.              |
| (B)                | 4        | 39 1/2" x 39 1/2"           | 6'-8" V.I.F.              |
| (C)                | NOT USED | 29" x 39 1/2"               | 6'-8" V.I.F.              |
| (D)                | 1        | 77" x 64"                   | 6'-8" V.I.F.              |

NOTE: WINDOWS: VINYL FRAME, COLONIAL GRIDS, SINGLE HUNG, DOUBLE PANE, LOW E.  
BATHROOM WINDOWS: \* SHALL BE OBTURED TEMPERED GLASS.  
VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES.  
EXTERIOR DOOR ROUGH OPENING = 41.5 x 82.5  
GARAGE ROUGH OPENING = 108 x 84

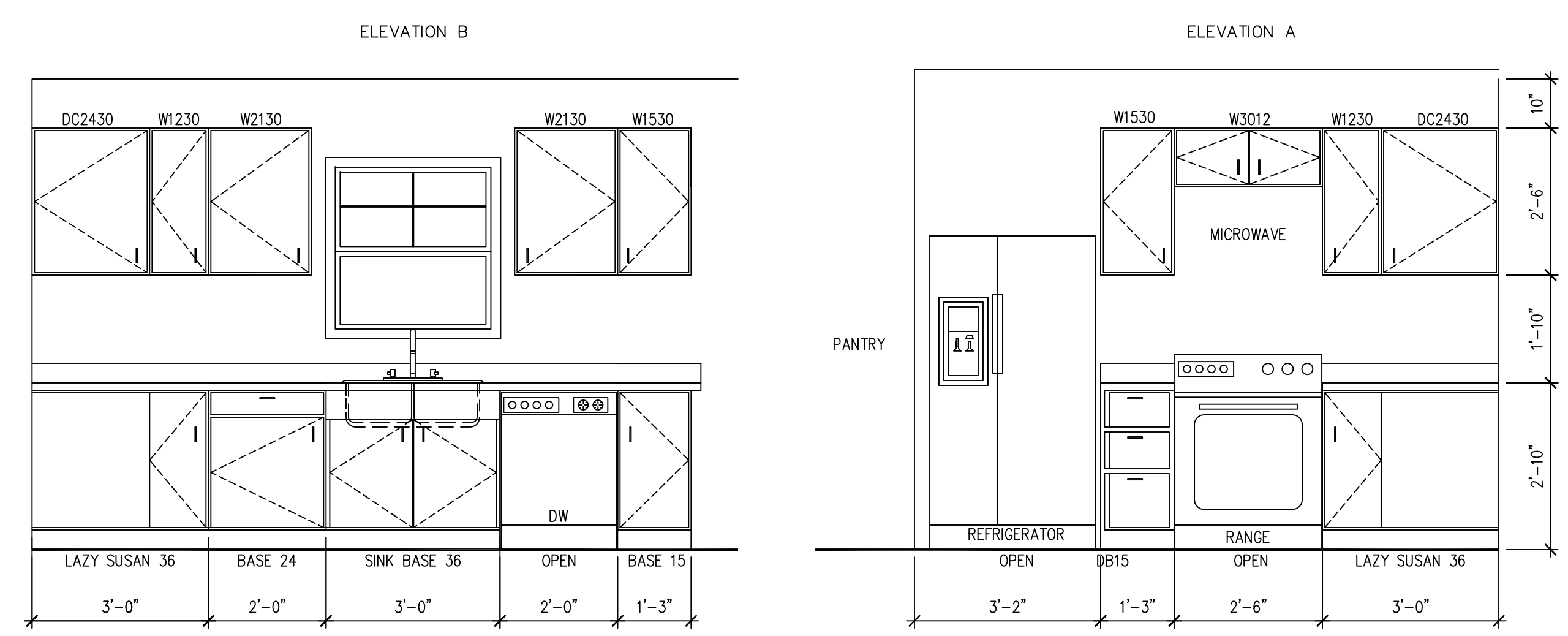
**DOOR SCHEDULE**

| DOOR DESIGNATION | QUANTITY | SIZE          | SWING            | REMARKS                                    | FL PRODUCT APPROVAL # |
|------------------|----------|---------------|------------------|--|-----------------------|
| (ED1)            | 1        | 3'-0" x 6'-8" | OUTSWING / RIGHT | FIBERGLASS W/FANLIGHT                      | FL #: 15213.1         |
| (ED2)            | 1        | 3'-0" x 6'-8" | OUTSWING / RIGHT | FIBERGLASS                                 | FL #: 15213.1         |
| (ID1)            | 1        | 3'-0" x 6'-8" | OUTSWING / RIGHT | ONE HOUR FIRE RATED SELF CLOSING WOOD DOOR |                       |
| (ID2)            | 4        | 3'-0" x 6'-8" | 3 LEFT - 1 RIGHT | H.C. 6 PANEL INT. WOOD DOOR                |                       |
| (ID3)            | 6        | 2'-0" x 6'-8" | BY-PASS          | H.C. 6 PANEL INT. COLONIST WOOD DOOR       |                       |
| (ID4)            | 1        | 2'-6" x 6'-8" | LEFT             | H.C. 6 PANEL INT. WOOD DOOR                |                       |
| (ED3)            | 1        | 2'-6" x 6'-8" | OUTSWING / LEFT  | EXTERIOR DOOR SEALED                       |                       |
| (GD1)            | 1        | 9'-0" x 7'-0" | SECTIONAL        | LARGE MISSILE IMPACT RESISTANT DOOR        | FL #: 15212.5         |

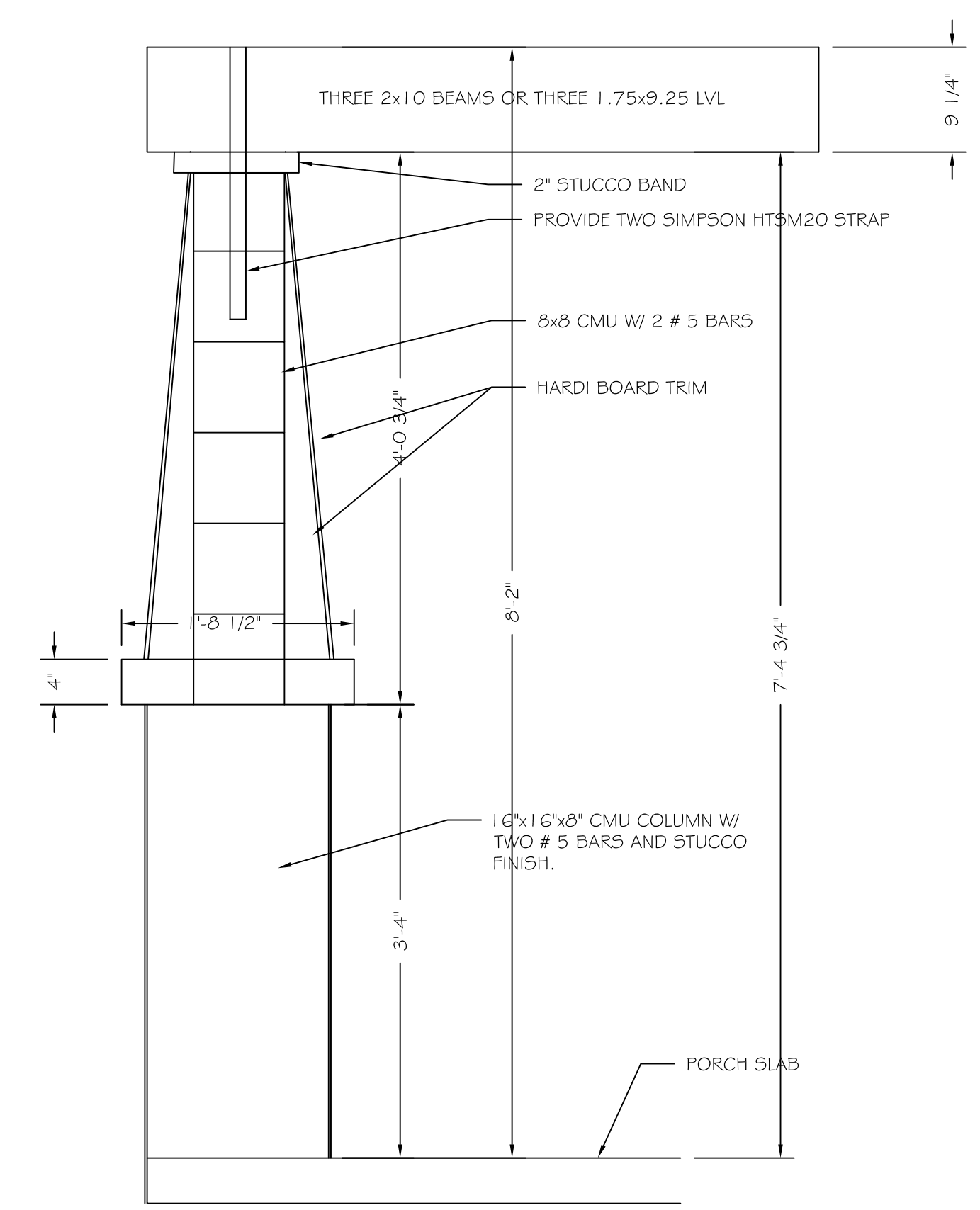
NOTE: DOORS: SOLID CORE (S.C.) HOLLOW CORE (H.C.)



**WINDOW DETAILS**  
SCALE: N.T.S.



**KITCHEN CABINET ELEVATIONS**  
SCALE: 1/2" = 1'-0"



**TAPERED COLUMN**  
SCALE: 1" = 1'-0"



O CYPRESS STREET EAST LOT

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HABITAT FOR HUMANITY OF PINELLAS & WEST PASCO COUNTIES

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SCALE  
1/4" = 1'-0"

FLOOR PLAN  
SHEET 3

## PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

| Category/Subcategory                | Manufacturer         | Product Description  | Approval Number(s) |
|-------------------------------------|----------------------|--|--------------------|
| <b>1. EXTERIOR DOORS</b>            |                      |  |                    |
| A. SWINGING                         | Plastpro             | Exterior Door – Fiberglass<br>Glazed Fiberglass “Lip Lite” Glazing | 15213.1-R4         |
| B. SLIDING                          |                      |  |                    |
| C. SECTIONAL                        | Raynor Garage Doors  | BuildMark, Trademark - Impact                                      | 15212.5-R9         |
| D. ROLL UP                          |                      |  |                    |
| E. AUTOMATIC                        |                      |  |                    |
| F. OTHER                            |                      |  |                    |
| <b>2. WINDOWS</b>                   |                      |  |                    |
| A. SINGLE HUNG                      | JELD-WEN             | Vinyl Single Hung Window   | 14104.1-R21        |
| B. HORIZONTAL SLIDER                |                      |  |                    |
| C. CASEMENT                         |                      |  |                    |
| D. DOUBLE HUNG                      |                      |  |                    |
| E. FIXED                            |                      |  |                    |
| F. AWNING                           |                      |  |                    |
| G. PASS THROUGH                     |                      |  |                    |
| H. PROJECTED                        |                      |  |                    |
| J. WIND BREAKER                     |                      |  |                    |
| K. DUAL ACTION                      |                      |  |                    |
| L. MULLION                          | JELD-WEN             | Vertical Mullion - Extruded Aluminum                               | 11870.1-R7         |
| <b>3. PANEL WALL</b>                |                      |  |                    |
| A. SIDING                           |                      |  |                    |
| B. SOFFITS                          | Ply Gem Siding Group | Mastic T4 Universal 12" Vinyl Soffit                               | 33919              |
| C. EIFS                             |                      |  |                    |
| D. STOREFRONTS                      |                      |  |                    |
| E. CURTAIN WALLS                    |                      |  |                    |
| F. WALL LOUVER                      |                      |  |                    |
| G. GLASS BLOCK                      |                      |  |                    |
| H. MEMBRANE                         |                      |  |                    |
| I. GREENHOUSE                       |                      |  |                    |
| J. OTHER (Porch Ceiling)            | Ply Gem Siding Group | T4 12" Solid Vinyl Soffit  | 33919              |
| <b>4. ROOFING PRODUCTS</b>          |                      |  |                    |
| A. ASPHALT SHINGLES                 | Owens Corning        | Asphalt shingle and starters                                       | 10674.1-R16        |
| B. UNDERLAYMENTS                    | Polyglass USA        | Roofing Underlayment   | 5259.1-R33         |
| C. ROOFING FASTENERS                |                      |  |                    |
| D. NON-STRUCTURAL<br>METAL ROOFING  |                      |  |                    |
| E. WOOD SHINGLE AND<br>SHAKES       |                      |  |                    |
| F. ROOFING TILES                    |                      |  |                    |
| G. ROOFING<br>INSULATION            |                      |  |                    |
| H. WATERPROOFING                    |                      |  |                    |
| I. BUILT UP ROOFING<br>ROOF SYSTEMS |                      |  |                    |
| J. MODIFIED BITUMEN                 |                      |  |                    |
| K. SINGLE PLY ROOF<br>SYSTEMS       |                      |  |                    |
| L. ROOFING SLATE                    |                      |  |                    |
| M. CEMENTS-ADHESIVES<br>COATINGS    |                      |  |                    |

| Category/Subcategory                     | Manufacturer   | Product Description   | Approval Number(s)  |
|--|--|---|---|
| N. LIQUID APPLIED ROOF SYSTEMS           |  |   |   |
| O. ROOF TILE ADHESIVE                    |  |   |   |
| P. SPRAY APPLIED POLYURETHANE ROOF       |  |   |   |
| Q. OTHER                                 | Millennium Metals, Inc.                                  | Off ridge vent for shingle roofs  | 19567-R2  |
| <b>5. SHUTTERS</b>                       |  |   |   |
| A. ACCORDION                             |  |   |   |
| B. BAHAMA                                |  |   |   |
| C. STORM PANELS                          | Town and Country Industries                              | 24 Gage Galvanized 12" O.C. Steel Panels  | 12856.3-R7  |
| D. COLONIAL                              |  |   |   |
| E. ROLL-UP                               |  |   |   |
| F. EQUIPMENT                             |  |   |   |
| G. OTHERS                                |  |   |   |
| <b>6. SKYLIGHTS</b>                      |  |   |   |
| A. SKYLIGHT                              |  |   |   |
| B. OTHER                                 |  |   |   |
| <b>7. STRUCTURAL COMPONENTS</b>          |  |   |   |
| A. WOOD CONNECTORS/ ANCHORS              | Simpson Strong -Tie Co.<br><br>USP Structural Connectors | H Ties<br>HUC Hanger<br><br>Twist Strap Tie<br>Face Mount Hanger<br>Narrow Flange Masonry Hanger<br>Strap Rafter Ties<br>Truss Anchor<br>Top Mount Hanger | 10456.7-R5<br>10531.10-R5<br><br>17244.8-R4<br>17232.17-R7<br>578.3-R7<br>17236-R7<br>17680.2-R4<br>17241.19-R5 |
| B. TRUSS PLATES                          |  |   |   |
| C. ENGINEERED LUMBER                     | LP EWP   | Laminated Veneer Lumber   | 15228.2-R5  |
| D. RAILING                               |  |   |   |
| E. COOLERS-FREEZERS                      |  |   |   |
| F. CONCRETE ADMIXTURES                   |  |   |   |
| G. MATERIAL                              |  |   |   |
| H. INSULATION FORMS                      |  |   |   |
| I. PLASTICS                              |  |   |   |
| J. DECK-ROOF                             |  |   |   |
| K. WALL                                  |  |   |   |
| L. SHIELDS                               |  |   |   |
| M. OTHER                                 |  |   |   |
| <b>8. NEW EXTERIOR ENVELOPE PRODCUTS</b> |  |   |   |
| A. Front & Rear Gables                   | James Hardie Building Products                           | HardieShingle Siding  | 13192.4-R6  |
| B.                                       |  |   |   |

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

*Ralph Braun*

APPLICANT SIGNATURE

8-12-2021

DATE